

11285 CA-1 TENANT IMPROVEMENTS

FLUID

FLUID STUDIOS LLP
PO BOX 167
FOREST KNOLLS
CA 94933

CODE DATA

FIRE RESISTANCE RATING FOR BUILDING ELEMENTS PER CBC 2016 TABLE 601& 602

PROVIDED FOR TYPE V-B CONSTRUCTION TYPE & A-2 OCCUPANCY		
PRIMARY STRUCTURAL FRAME	0 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
EXTERIOR BEARING WALL	0 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
INTERIOR BEARING WALL	0 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
EXTERIOR NONBEARING WALL/PARTITION		
X < 5	1 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
5 ≤ X < 10	1 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
10 ≤ X < 30	0 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
X ≥ 30	0 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
INTERIOR NONBEARING WALL/PARTITION	0 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
FLOOR CONSTRUCTION & SECONDARY MEMBERS	0 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
ROOF CONSTRUCTION & SECONDARY MEMBERS	0 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE

INTERIOR WALL AND CEILING FINISH REQUIREMENT BASED ON OCCUPANCY PER TABLE 803.13

GROUP A-2 OCCUPANCY, NONSPRINKLERED		
INTERIOR EXIT STAIRWAYS/RAMPSPASSAGEWAYS:	A	
CORRIDORS/ENCLOSURES FOR EXIT ACCESS STAIRWAYS/RAMPSPASSAGEWAYS:	A	
ROOMS/ENCLOSED SPACES	C*	

*BASE CODE REQUIREMENT = CLASS B, TABLE 803.13 FOOTNOTE E ALLOWS CLASS B FOR ASSEMBLY WITH OCCUPANT LOAD < 300

GROUP B OCCUPANCY, NONSPRINKLERED		
INTERIOR EXIT STAIRWAYS/RAMPSPASSAGEWAYS:	A	
CORRIDORS/ENCLOSURES FOR EXIT ACCESS STAIRWAYS/RAMPSPASSAGEWAYS:	B	
ROOMS/ENCLOSED SPACES	C	

CLASSIFICATION SHALL BE IN ACCORDANCE WITH ASTM E84 OR UL 723		
CLASS	FLAME SPREAD	SMOKE DEVELOPED
A	0-25	0-450
B	26-75	0-450
C	76-200	0-450

INTERIOR FLOOR FINISH PER SECTION 804

PER SECTION 804.1, EXCEPTION: CLASSIFICATION OF FLOOR FINISHES AND COVERINGS OF A TRADITIONAL TYPE, SUCH AS WOOD, VINYL, LINOLEUM, TERRAZZO AND RESILIENT FLOOR COVERING MATERIALS THAT ARE NOT COMPRISED OF FIBERS

NON INFRINGEMENT STATEMENT

THE SCOPE OF WORK TO BE PERFORMED DOES NOT INFRINGE ON THE EXISTING LIFE-SAFETY SYSTEMS FOR THE BUILDING. THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR REVIEWING AND COORDINATION OF ALL SUBMITTED DOCUMENTS PREPARED BY OTHERS, INCLUDING DEFERRED SUBMITTAL ITEMS, FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING.

ANDREW J. DAVIS
FLUID STUDIOS, LLP
PO BOX 167
FOREST KNOLLS, CA 94933



CODES

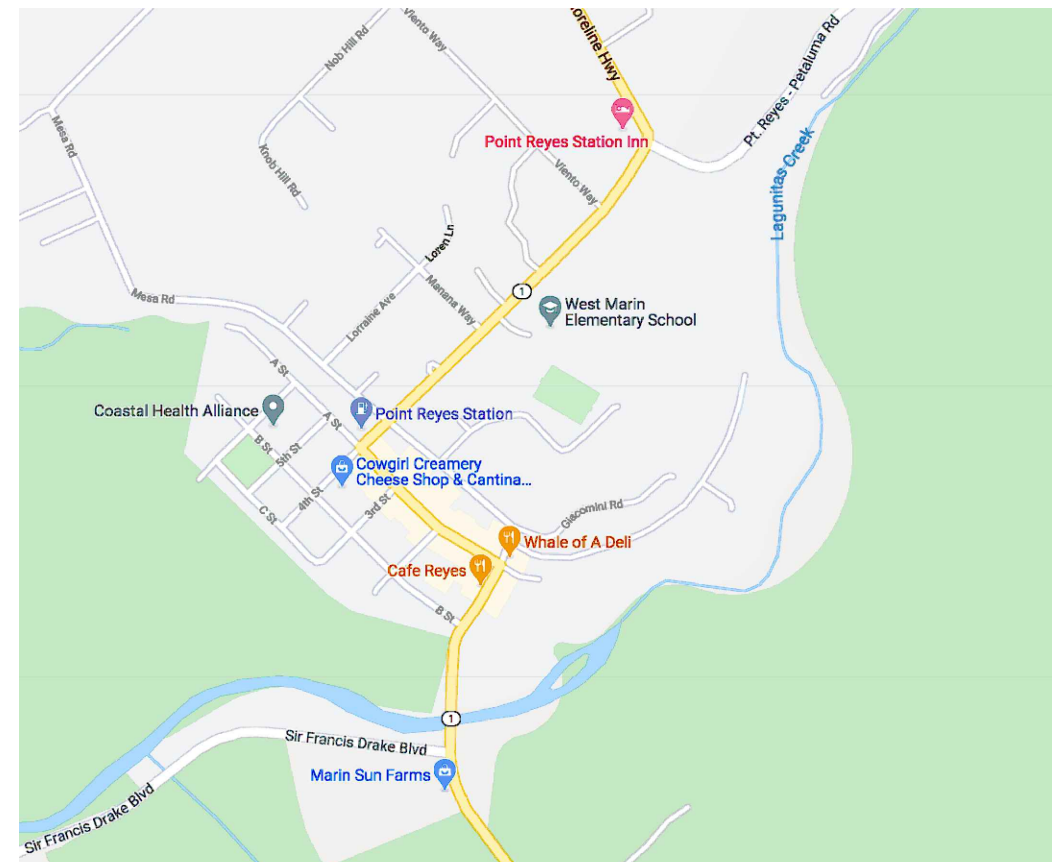
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA ENERGY CODE
ALL OF THE ABOVE AS ADOPTED BY THE COUNTY OF MARIN

PROJECT DESCRIPTION

INTERIOR RENOVATION OF EXISTING RESTAURANT, INCLUDING EXPANSION INTO ADJACENT TENANT SPACE, RELOCATION OF NON-LOAD-BEARING WALLS, REPLACEMENT OF SELECTED EXISTING EQUIPMENT, FINISHES, AND APPLIANCES AND CONSTRUCTION OF NEW RESTROOMS. EXTERIOR WORK CONSISTS OF NEW / REPLACEMENT ROOF-MOUNTED MECHANICAL EQUIPMENT. PARKING TO BE PROVIDED AT REMOTE PARKING LOT.

PROJECT DATA

ADDRESS:	11285 CA-1 POINT REYES STATION, CA 94952
APN:	119-226-01
ZONING:	C-VCR-B2
YEAR BUILT:	1973 (PER ASSESSOR RECORDS)
CONSTRUCTION TYPE:	TYPE V-B
FIRE SPRINKLERS:	NO
AREA, BUILDING:	LEVEL 1: 4,238 SQ. FT. (NO CHANGE) LEVEL 2: 819 SQ. FT. (NO CHANGE) TOTAL: 5,058 SQ. FT. (NO CHANGE)
STORIES, AREA OF WORK	1
STORIES, BUILDING:	2 (NO CHANGE)
HEIGHT, BUILDING:	20'-10" (TO TOP OF RIDGE)
OCCUPANCY:	A-2, B (NO CHANGE)
WALL & CEILING FINISH:	CLASS C
PARKING:	18 STALLS, REMOTE (PROVIDED AT 60 4TH ST, APN 119-222-08)



EXISTING BUILDING



DRAWING INDEX

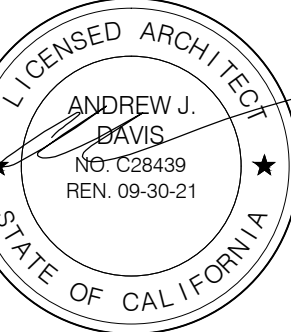
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		PERMIT	PERMIT	SET	PERMIT
		2020.12.28	2021.01.28	2021.04.02	2021.04.16
T1.1	TITLE SHEET, GENERAL INFO, INDEX
T1.2	GENERAL CONDITIONS, ABBREVIATIONS & SYMBOLS	.	.	.	.
T1.3	SURVEY - SUBJECT PROPERTY	.	.	.	.
T1.4	SURVEY - REMOTE PARKING SITE	.	.	.	.
T2.1	CONTEXT PLAN	.	.	.	.
T2.2	EXISTING SITE PLAN	.	.	.	.
T2.3	PROPOSED SITE PLAN	.	.	.	.
T2.4	REMOTE PARKING EXISTING SITE PLAN	.	.	.	.
T2.5	REMOTE PARKING PROPOSED SITE PLAN	.	.	.	.
T2.6	BUILDING CODE ANALYSIS - BUILDING PLANS	.	.	.	.
T2.7	PLUMBING FIXTURE ANALYSIS & AREA OF WORK	.	.	.	.
T1.6A	ADA COMPLIANCE DETAILS	.	.	.	.
T1.6B	ADA COMPLIANCE DETAILS	.	.	.	.
T1.6C	ADA COMPLIANCE DETAILS	.	.	.	.
T1.6D	ADA COMPLIANCE DETAILS	.	.	.	.
T1.6E	ADA COMPLIANCE DETAILS	.	.	.	.
T1.6G	ADA COMPLIANCE DETAILS	.	.	.	.
FS-T1	FOOD SERVICE NOTES	.	.	.	.
FS-1	FOOD SERVICE EQUIPMENT FLOOR PLAN	.	.	.	.
FS-2	FOOD SERVICE EQUIPMENT SCHEDULE	.	.	.	.
FS-3	FOOD SERVICE EQUIPMENT PLUMBING PLAN	.	.	.	.
FS-4	FOOD SERVICE EQUIPMENT ELECTRICAL PLAN	.	.	.	.
FS-5	FOOD SERVICE EQUIPMENT WALL BACKING	.	.	.	.
FS-6	FOOD SERVICE EQUIPMENT ELEVATIONS	.	.	.	.
FS-6.1	FOOD SERVICE EQUIPMENT ELEVATIONS	.	.	.	.
FS-7	EX-HAUST HOOD & MAKE-UP AIR SYSTEM	.	.	.	.
FS-7.1	EX-HAUST HOOD & MAKE-UP AIR SYSTEM	.	.	.	.
FS-7.2	EX-HAUST HOOD & MAKE-UP AIR SYSTEM	.	.	.	.
FS-7.3	EX-HAUST HOOD & MAKE-UP AIR SYSTEM	.	.	.	.
FS-7.4	EX-HAUST HOOD & MAKE-UP AIR SYSTEM	.	.	.	.
FS-7.5	EX-HAUST HOOD & MAKE-UP AIR SYSTEM	.	.	.	.
A2.1	EXISTING/DEMO L1 PLAN	.	.	.	.
A2.2	EXISTING/DEMO L1 RCP	.	.	.	.
A2.3	REFERENCE L2 PLAN	.	.	.	.
A2.4	EXISTING/DEMO ROOF PLAN	.	.	.	.
A2.5	PROPOSED L1 PLAN	.	.	.	.
A2.5A	L1 LAYOUT & FRAMING PLAN	.	.	.	.
A2.5B	L1 CEILING FRAMING PLAN	.	.	.	.
A2.5C	FLOOR FINISH PLAN	.	.	.	.
A2.6	PROPOSED L1 RCP	.	.	.	.
A2.6A	L1 PHOTOMETRIC CALC PLAN	.	.	.	.
A2.7	PROPOSED ROOF PLAN	.	.	.	.
A3.1	EXISTING EXTERIOR ELEVATIONS	.	.	.	.
A3.2	EXISTING EXTERIOR ELEVATIONS	.	.	.	.
A3.3	PROPOSED EXTERIOR ELEVATIONS	.	.	.	.
A4.1	BUILDING SECTIONS	.	.	.	.
A4.2	BUILDING SECTIONS	.	.	.	.
A5.1	INTERIOR ELEVATIONS	.	.	.	.
A5.2	INTERIOR ELEVATIONS	.	.	.	.
A5.3	INTERIOR ELEVATIONS	.	.	.	.
A5.4	INTERIOR ELEVATIONS	.	.	.	.
A5.5	INTERIOR ELEVATIONS	.	.	.	.
A5.6	INTERIOR ELEVATIONS	.	.	.	.
A5.7	INTERIOR ELEVATIONS	.	.	.	.
A7.1	SCHEDULES	.	.	.	.
A10.1A	TYPICAL STRUCTURAL DETAILS	.	.	.	.
A10.1B	TYPICAL STRUCTURAL DETAILS	.	.	.	.
A10.2	TYPICAL ACOUSTIC CEILING TILE DETAILS	.	.	.	.
A10.3	DETAILS	.	.	.	.
A11.1	PROCEDURES, MATERIALS, SYSTEMS & PRODUCTS	.	.	.	.
M0.0	MECHANICAL GENERAL NOTES	.	.	.	.
M0.1	MECHANICAL DETAILS	.	.	.	.
M1.1	MECHANICAL PLAN - 1ST FLOOR	.	.	.	.
M1.2	MECHANICAL PLAN - ROOF	.	.	.	.
E0.1	ELECTRICAL GENERAL NOTES	.	.	.	.
E0.2	ELECTRICAL DIAGRAMS & SCHEDULES	.	.	.	.
E1.1	ELECTRICAL DEMO PLAN - LEVEL 1	.	.	.	.
E1.2	ELECTRICAL DEMO PLAN - LEVEL 2	.	.	.	.
E1.3	ELECTRICAL DEMO PLAN - ROOF	.	.	.	.
E2.1	POWER & SIGNAL PLAN - LEVEL 1
E2.3	POWER & SIGNAL PLAN - ROOF
E3.1	LIGHTING PLAN - LEVEL 1

PROJECT SPONSOR

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2021.04.16 - USE PERMIT COMMENTS

Project
11285 CA-1
PT REYES STATION
CA 94952
APN 119-226-01

TENANT
IMPROVEMENTS

NOT FOR CONSTRUCTION

SCALE: AS NOTED

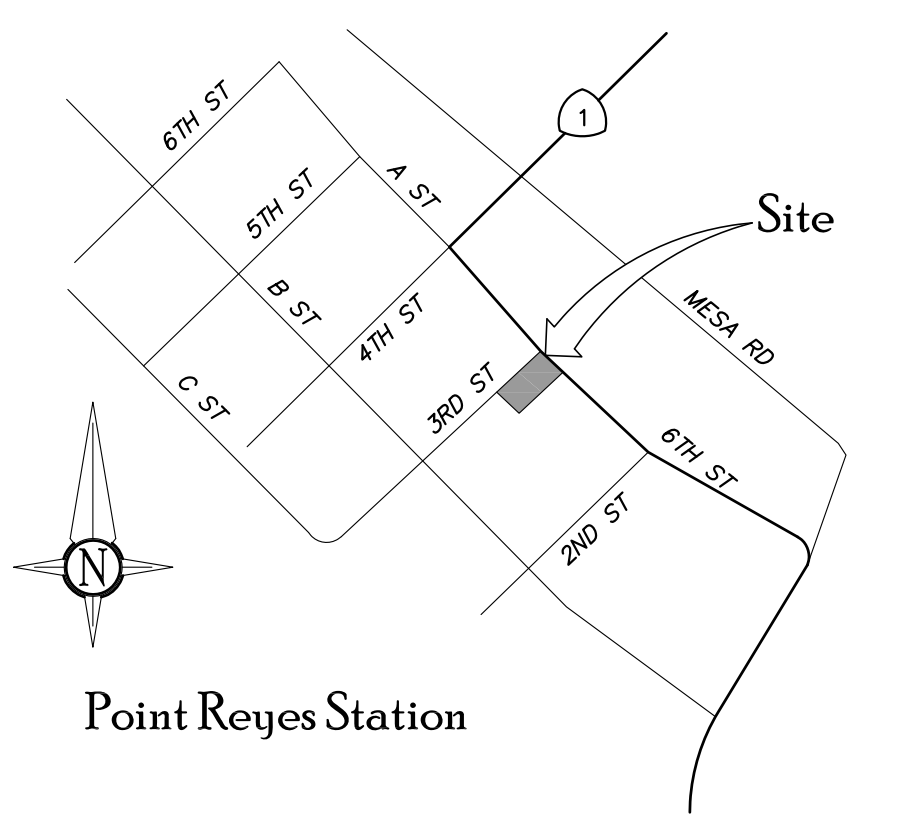
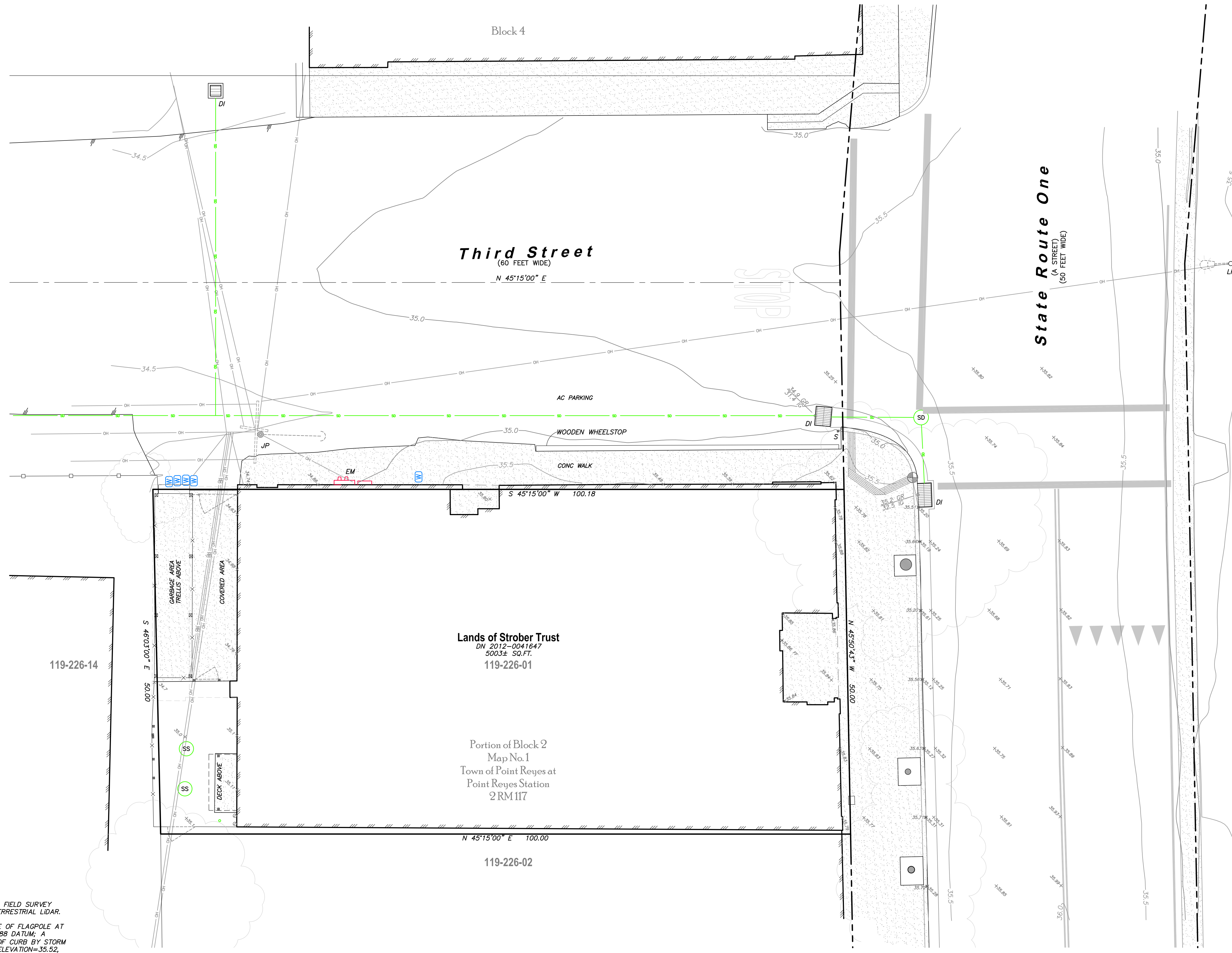
SHEET

TITLE & GENERAL
INFORMATION

T1.1

DATE: 2021.04.16

JOB NUMBER: 2027



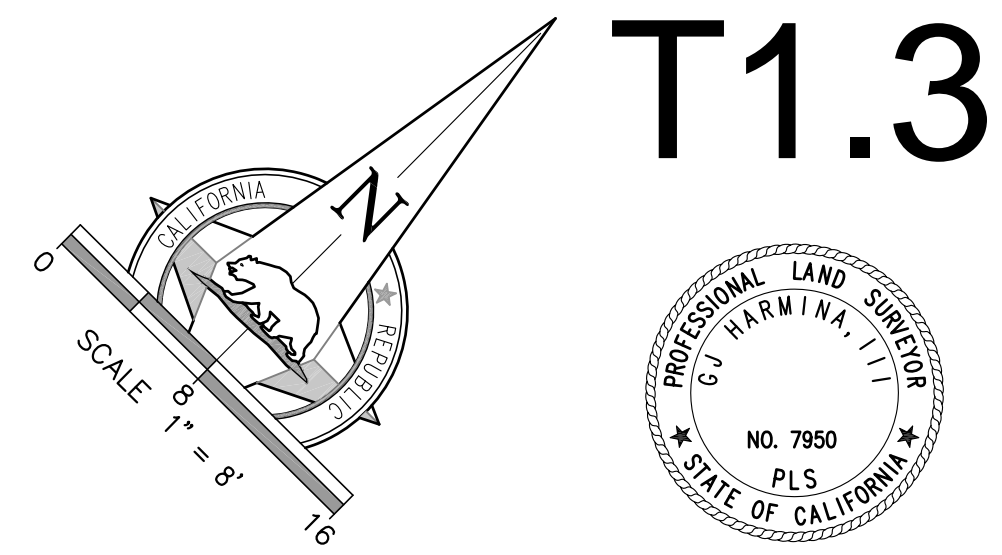
VICINITY MAP
NTS

LEGEND

	BUILDING
	CENTERLINE PER MAP
	STATE RIGHT OF WAY
	FENCE, WOOD PICKET
	FENCE, WOOD SOLID
	EDGE OF PAVEMENT
	OVERHEAD UTILITIES
	STORM DRAIN
	CONCRETE
	DROP INLET
	ELECTRIC MAIN
	GUY ANCHOR
	TEMPORARY BENCHMARK
	WATER METER

ABBREVIATIONS

APN	ASSESSOR'S PARCEL NUMBER
AC	ASPHALTIC CONCRETE
CONC	CONCRETE
DI	DROP INLET
EM	ELECTRIC METER
FF	FINISHED FLOOR
GR	GRATE
IG	INVERT GRADE
JP	JOINT POLE
LP	LIGHT POLE
MCR	MARIN COUNTY RECORDS
OH	OVERHEAD UTILITY LINES
NTS	NOT TO SCALE
S	SIGN
SD	STORM DRAIN
SS	SANITARY SEWER, SEPTIC TANK
TBM	TEMPORARY BENCHMARK
W	WATER



T1.3

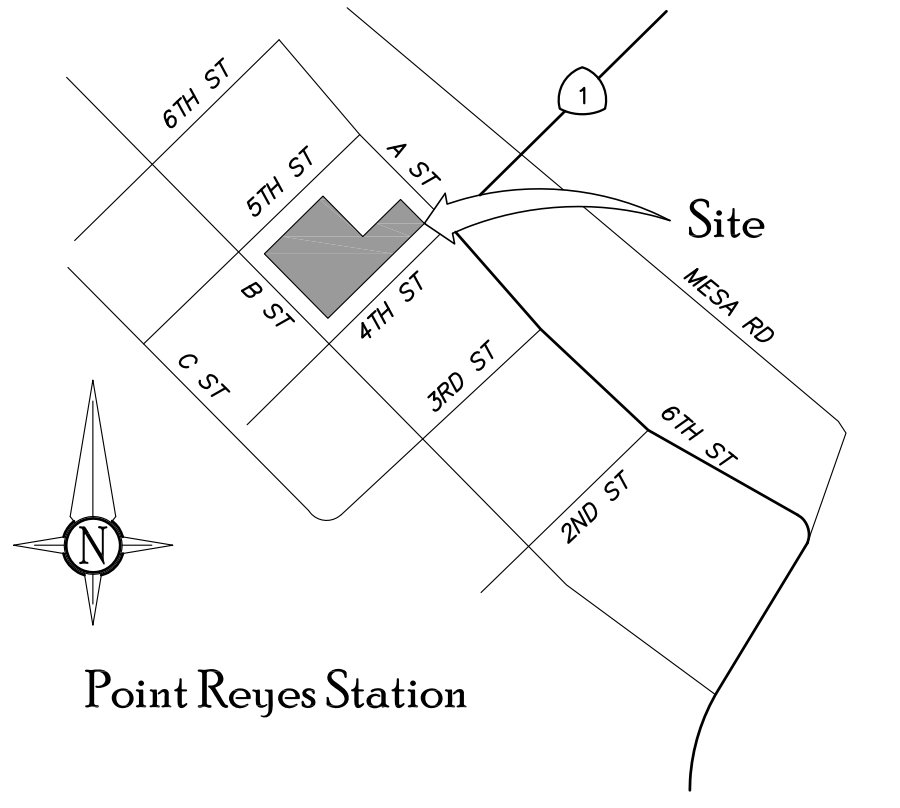
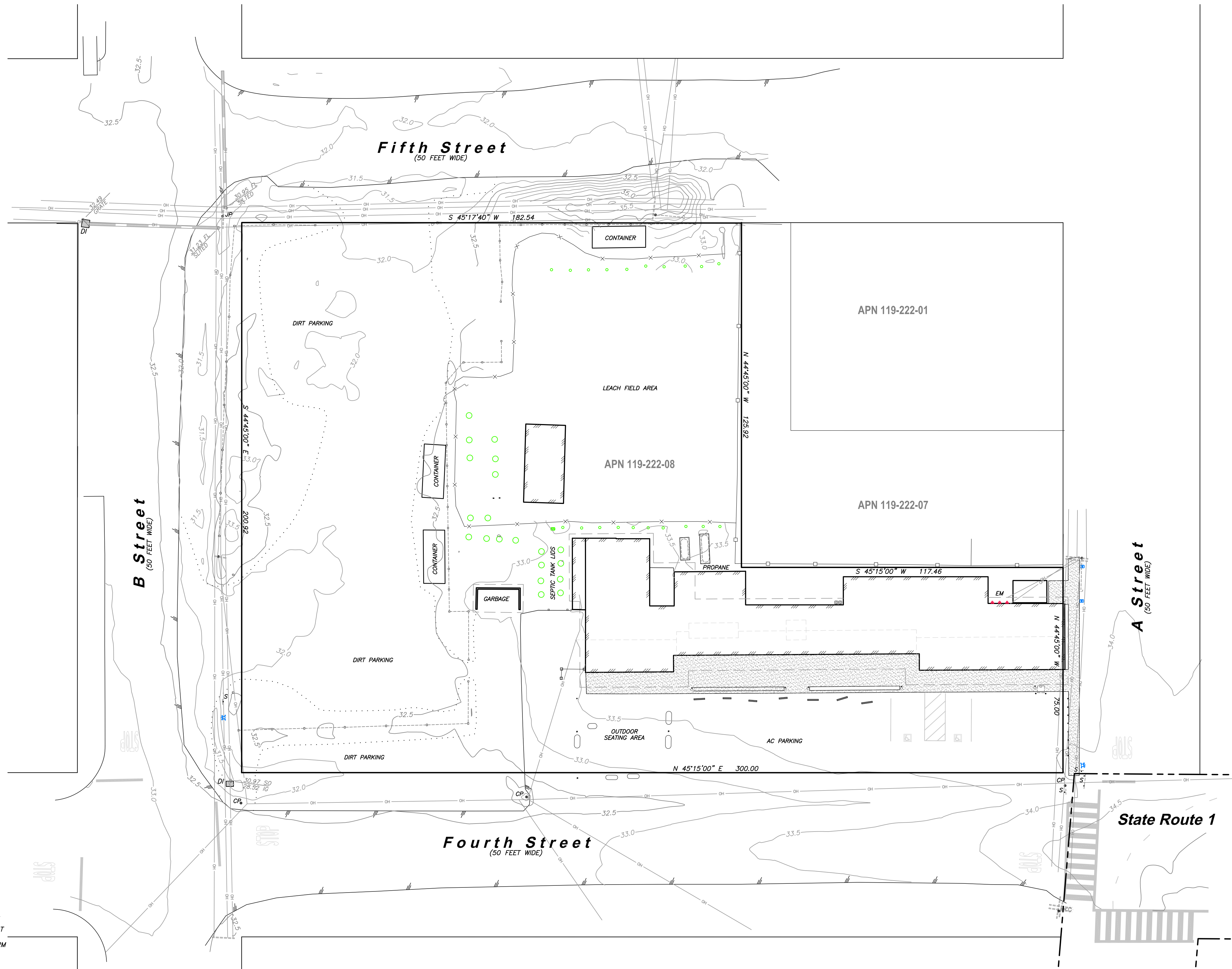
LANDS OF STROBER TRUST
11285 STATE ROUTE ONE
APN 119-226-01
POINT REYES STATION, MARIN COUNTY, CALIFORNIA

Topographic Map

1031Survey, Inc.
HIGH DEFINITION SURVEYING
1857 Rainier Circle, Petaluma, California 94954
415-827-6370 www.1031survey.com

DATE: 2020.04.02 SURVEY DATE: MAR2021
SCALE: 1" = 8' SHEET: 1 OF 1
FILE: 213067topo

- NOTES**
1. TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY 1031SURVEY, INC. IN MARCH 2021 USING TERRESTRIAL LIDAR.
 2. VERTICAL DATUM: NGS, PID JT9489 LOCATED AT THE BASE OF FLAGPOLE AT FIRE STATION ON FOURTH STREET, ELEVATION=35.23, NAVD88 DATUM; A TEMPORARY BENCHMARK (TBM) IS LOCATED AT THE BACK OF CURB BY STORM DRAIN CURB INLET IN FRONT OF THE SUBJECT PROPERTY, ELEVATION=35.52, NAVD88 DATUM.
 3. BOUNDARY IS BASED UPON A RECORD OF SURVEY THAT IS CURRENTLY IN THE PROCESS TO BE SUBMITTED TO THE COUNTY FOR REVIEW. FOR ALL BOUNDARY RELATED INFORMATION, REFER TO SAID SURVEY. BOUNDARY INFORMATION SHOWN HEREON IS CONSIDERED PRELIMINARY AND WILL BE UPDATED WITH APPROPRIATE INFORMATION AFTER THE FILING OF SAID RECORD OF SURVEY, IF NEEDED.
 4. STATE ROUTE 1 RIGHT OF WAY WAS RE-ESTABLISHED BY FOUND MONUMENTS D-27 & D-28A AS SHOWN ON THE RIGHT OF WAY RECORD MAP, R.117.10 AVAILABLE ON CALTRANS WEBSITE.
 5. THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF 1031SURVEY, INC. UNAUTHORIZED USE, COPYING, DISCLOSURE OR PUBLICATION BY ANY METHOD IS PROHIBITED WITHOUT THE WRITTEN APPROVAL OF 1031SURVEY, INC. 1031SURVEY, INC. ASSUMES NO RESPONSIBILITY FOR ANY UNAUTHORIZED DUPLICATION OF INFORMATION THAT MAY APPEAR ON ANOTHER PLAN OR MAP.
 6. THIS MAP IS PROVIDED IN AN ELECTRONIC FORMAT (ON COMPUTER DISK) AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. THE SIGNED PRINT DELIVERED WITH THIS ELECTRONIC FILE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.



VICINITY MAP
NTS

LEGEND

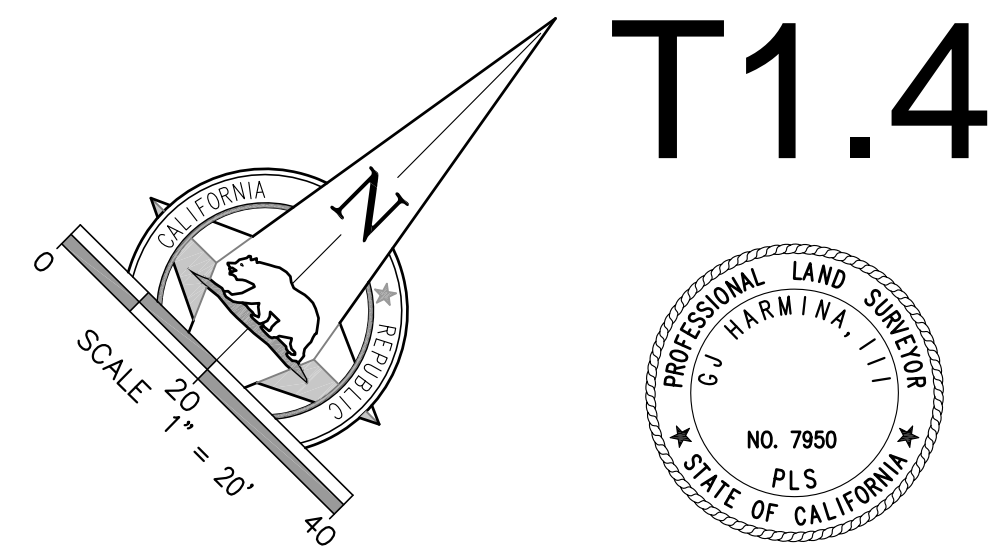
	BUILDING
	CENTERLINE PER MAP
	STATE RIGHT OF WAY
	FENCE, WOOD PICKET
	FENCE, WOOD SOLID
	EDGE OF PAVEMENT
	OVERHEAD UTILITIES
	STORM DRAIN
	CONCRETE
	DROP INLET
	ELECTRIC MAIN
	GUY ANCHOR
	TEMPORARY BENCHMARK
	WATER METER

ABBREVIATIONS

APN	ASSESSOR'S PARCEL NUMBER
AC	ASPHALTIC CONCRETE
CONC	CONCRETE
CP	COMMUNICATIONS POLE
DI	DROP INLET
EM	ELECTRIC METER
FF	FINISHED FLOOR
FL	FLOWLINE
GR	GRATE
IG	INVERT GRADE
JP	JOINT POLE
LP	LIGHT POLE
MCR	MARIN COUNTY RECORDS
OH	OVERHEAD UTILITY LINES
NTS	NOT TO SCALE
SD	STORM DRAIN
SO	SIDE OPENING
SS	SANITARY SEWER, SEPTIC TANK
TBM	TEMPORARY BENCHMARK
W	WATER

NOTES

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T1.4

LANDS OF STROBER TRUST
11285 STATE ROUTE ONE
APN 119-226-01
POINT REYES STATION, MARIN COUNTY, CALIFORNIA

Topographic Map

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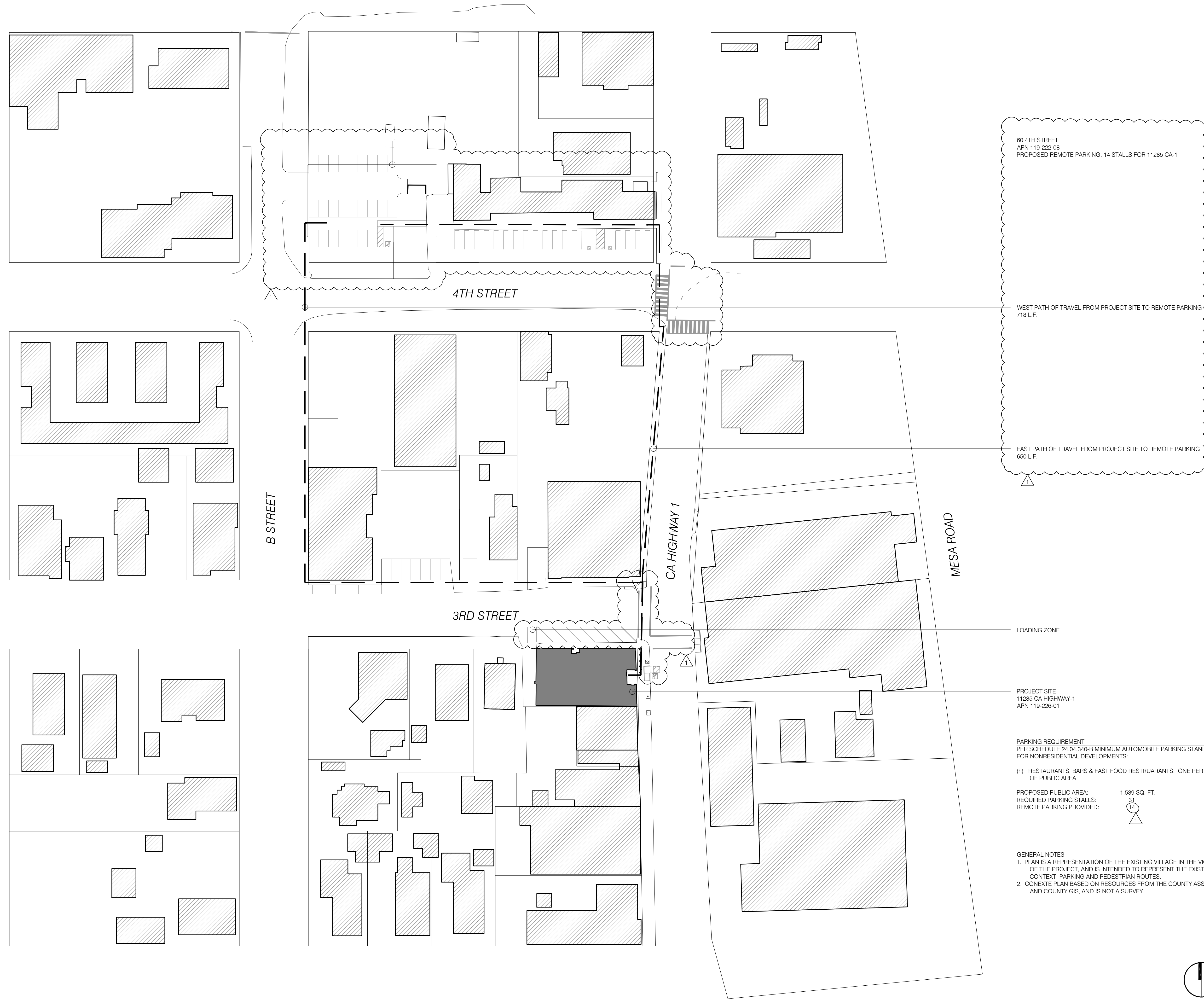
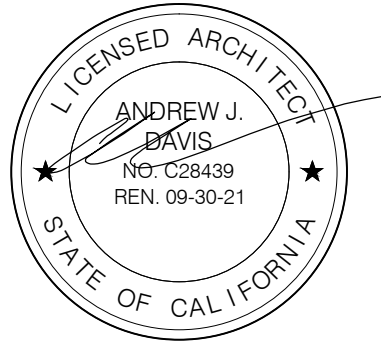
DATE: 2020.04.02 SURVEY DATE: MAR2021
SCALE: 1" = 8' SHEET: 1 OF 1
FILE: 213067topo



FLUID STUDIOS LLP
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 FOREST KNOLLS
 CA 94933

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 Forest Knolls, CA 94933
 415.250.1855
 andrew@fluid-studios.com



60 4TH STREET
 APN 119-222-08
 PROPOSED REMOTE PARKING: 14 STALLS FOR 11285 CA-1

WEST PATH OF TRAVEL FROM PROJECT SITE TO REMOTE PARKING
 718 L.F.

EAST PATH OF TRAVEL FROM PROJECT SITE TO REMOTE PARKING
 650 L.F.

LOADING ZONE

PROJECT SITE
 11285 CA HIGHWAY-1
 APN 119-226-01

PARKING REQUIREMENT
 PER SCHEDULE 24.04.340-B MINIMUM AUTOMOBILE PARKING STANDARDS
 FOR NONRESIDENTIAL DEVELOPMENTS:

(h) RESTAURANTS, BARS & FAST FOOD RESTUARANTS: ONE PER 50 S.F.
 OF PUBLIC AREA

PROPOSED PUBLIC AREA: 1,539 SQ. FT.
 REQUIRED PARKING STALLS: 31
 REMOTE PARKING PROVIDED: 14

GENERAL NOTES
 1. PLAN IS A REPRESENTATION OF THE EXISTING VILLAGE IN THE VICINITY
 OF THE PROJECT, AND IS INTENDED TO REPRESENT THE EXISTING
 CONTEXT, PARKING AND PEDESTRIAN ROUTES.
 2. CONEXTE PLAN BASED ON RESOURCES FROM THE COUNTY ASSESSOR
 AND COUNTY GIS, AND IS NOT A SURVEY.

△ 2021.04.16 - USE PERMIT COMMENTS

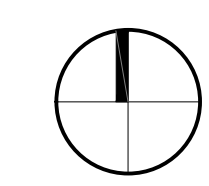
Project
11285 CA-1
PT REYES STATION
CA 94952
APN 119-226-01

**TENANT
 IMPROVEMENTS**

NOT FOR CONSTRUCTION

SCALE: 1" = 40'-0" SHEET

CONTEXT PLAN

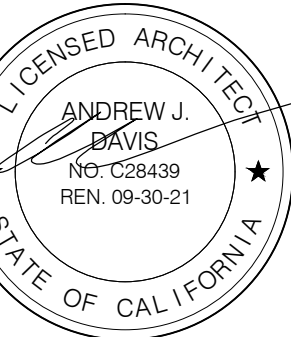


T2.1

DATE: 2021.04.16
 JOB NUMBER: 2027

PROJECT SPONSOR
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andrew@fluid-studios.com



2021.04.16 - USE PERMIT COMMENTS

Project
11285 CA-1
PT REYES STATION
CA 94952
APN 119-226-01

TENANT
IMPROVEMENTS

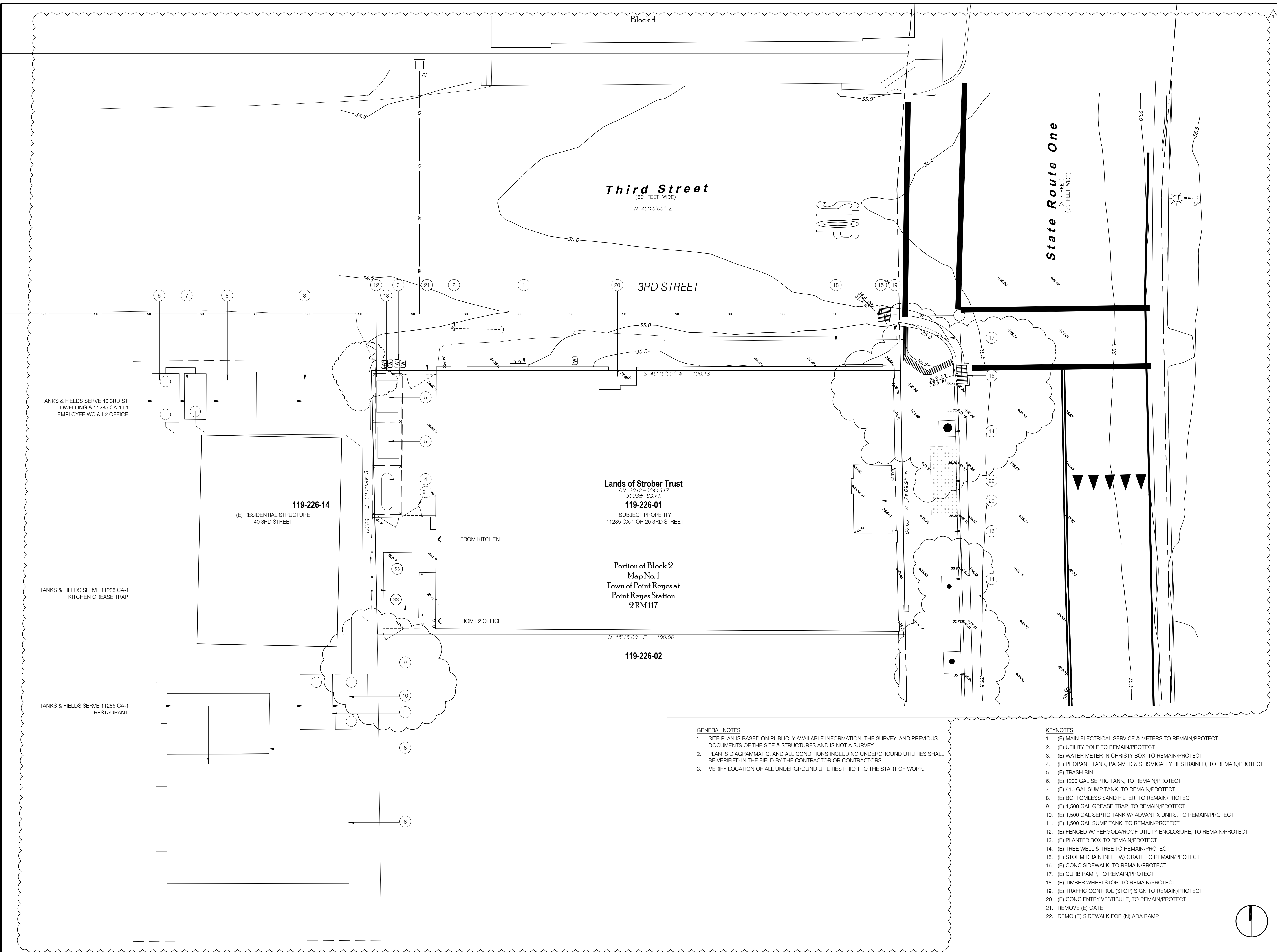
NOT FOR CONSTRUCTION

SCALE: 1/8" = 1'-0" SHEET

EXISTING SITE PLAN

T2.2

DATE: 2021.04.16
JOB NUMBER: 2027



Lands of Strober Trust
DN 2012-0041647
5003± SQ.FT.
119-226-01
SUBJECT PROPERTY
11285 CA-1 OR 20 3RD STREET

Portion of Block 2
Map No. 1
Town of Point Reyes at
Point Reyes Station
2RM117

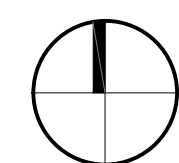
119-226-02

GENERAL NOTES

1. SITE PLAN IS BASED ON PUBLICLY AVAILABLE INFORMATION, THE SURVEY, AND PREVIOUS DOCUMENTS OF THE SITE & STRUCTURES AND IS NOT A SURVEY.
2. PLAN IS DIAGRAMMATIC, AND ALL CONDITIONS INCLUDING UNDERGROUND UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR OR CONTRACTORS.
3. VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF WORK.

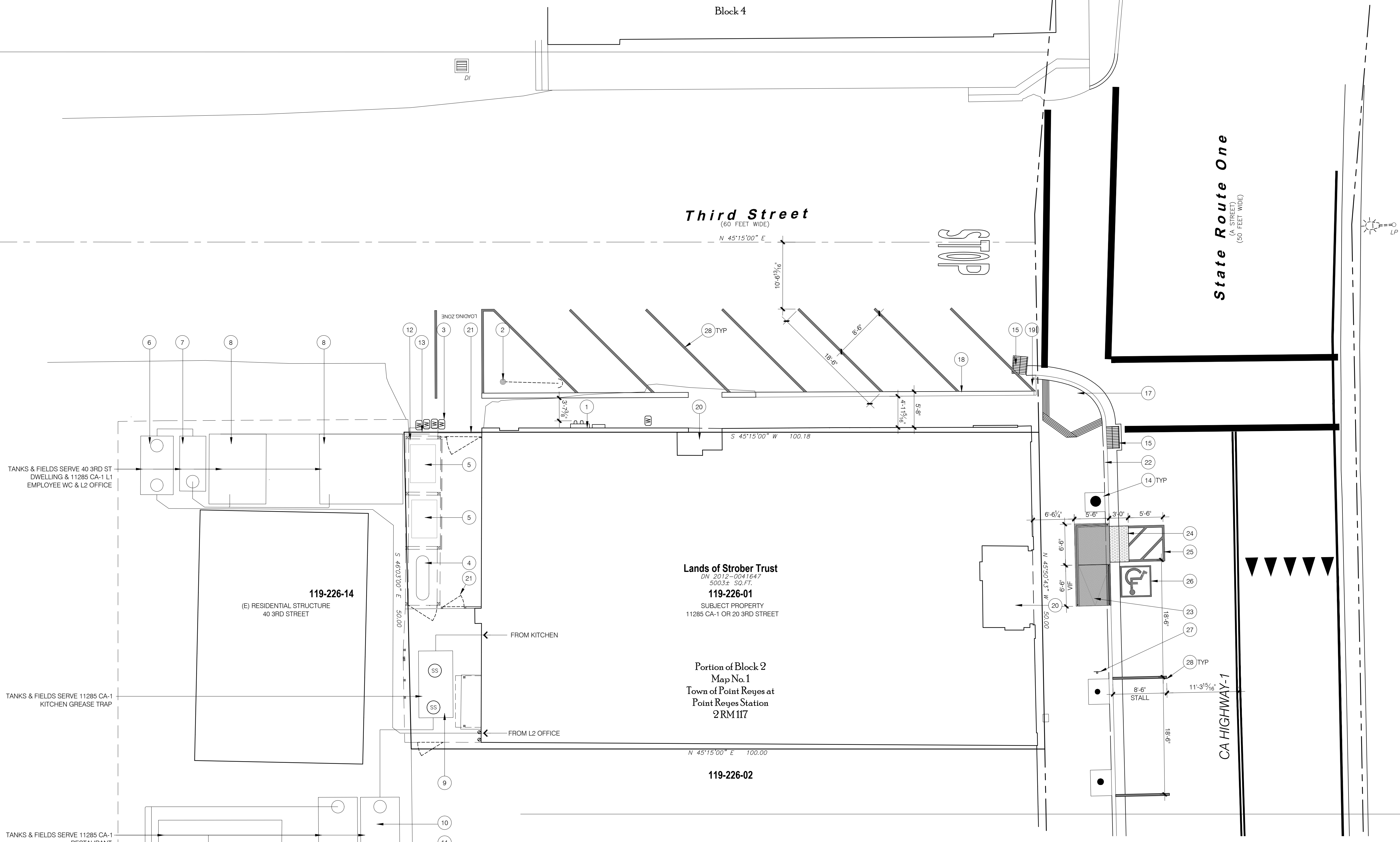
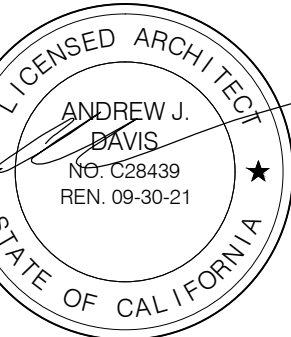
KEYNOTES

1. (E) MAIN ELECTRICAL SERVICE & METERS TO REMAIN/PROTECT
2. (E) UTILITY POLE TO REMAIN/PROTECT
3. (E) WATER METER IN CHRISTY BOX, TO REMAIN/PROTECT
4. (E) PROPANE TANK, PAD-MTD & SEISMICALLY RESTRAINED, TO REMAIN/PROTECT
5. (E) TRASH BIN
6. (E) 1200 GAL SEPTIC TANK, TO REMAIN/PROTECT
7. (E) 810 GAL SUMP TANK, TO REMAIN/PROTECT
8. (E) BOTTOMLESS SAND FILTER, TO REMAIN/PROTECT
9. (E) 1,500 GAL GREASE TRAP, TO REMAIN/PROTECT
10. (E) 1,500 GAL SEPTIC TANK W/ ADVANTIX UNITS, TO REMAIN/PROTECT
11. (E) 1,500 GAL SUMP TANK, TO REMAIN/PROTECT
12. (E) FENCED W/ PERGOLA/ROOF UTILITY ENCLOSURE, TO REMAIN/PROTECT
13. (E) PLANTER BOX TO REMAIN/PROTECT
14. (E) TREE WELL & TREE TO REMAIN/PROTECT
15. (E) STORM DRAIN INLET W/ GRATE TO REMAIN/PROTECT
16. (E) CONC SIDEWALK, TO REMAIN/PROTECT
17. (E) CURB RAMP, TO REMAIN/PROTECT
18. (E) TIMBER WHEELSTOP, TO REMAIN/PROTECT
19. (E) TRAFFIC CONTROL (STOP) SIGN TO REMAIN/PROTECT
20. (E) CONC ENTRY VESTIBULE, TO REMAIN/PROTECT
21. REMOVE (E) GATE
22. DEMO (E) SIDEWALK FOR (N) ADA RAMP



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- PATH OF TRAVEL REQUIREMENTS**
- ADA ACCESSIBLE SITE ARRIVAL POINT NOT REQUIRED PER EXCEPTION 2, SECTION 11B-206.2.1 WHICH STATES 'AN ACCESSIBLE ROUTE SHALL NOT BE REQUIRED BETWEEN SITE ARRIVAL POINTS AND THE BUILDING OR FACILITY ENTRANCE IF THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESS.
 - ACCESSIBLE ROUTE TO BE PROVIDED BETWEEN ACCESSIBLE PUBLIC WAY & BUILDING ENTRANCE IN ACCORDANCE WITH 2019 CBC SECTION 11B-206.2.2. ACCESSIBLE ROUTE SHALL BE MODIFIED, IF NONCOMPLIANT, WITH THE FOLLOWING:
 - OPENINGS IN GROUND SHALL BE STABLE, FIRM AND SLIP RESISTANT (CBC 11B-302.1)
 - OPENINGS SHALL NOT ALLOW PASSAGE OF A SPHERE MORE THAN 1/2" IN DIAMETER. ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL (11B-302.3)
 - VERTICAL CHANGES IN LEVEL OF 1/4" INCH MAXIMUM PERMITTED TO BE VERTICAL AND WITHOUT EDGE TREATMENT (11B-303.1)
 - CHANGES IN LEVEL BETWEEN 1/4" INCH AND 1/2" INCH HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE NOT GREATER THAN 1:2 (CBC 11B-303.3)
 - CHANGES IN LEVEL GREATER THAN 1/2" INCH HIGH SHALL BE RAMPED AND SHALL COMPLY WITH 11B-405 OR 11B-406 (CBC 11B-303.4)
 - WARNING CURBS REQUIRED WHERE CHANGES IN LEVEL EXCEED 4 INCHES VERTICAL BETWEEN WALKS, SIDEWALKS OR OTHER PEDESTRIAN WAYS. WARNING CURB SHALL BE 6" HIGH MINIMUM OR A GUIDE RAIL CENTERED 2" MIN & 4" MAX ABOVE THE SURFACE OF THE WALK OR SIDEWALK. (11B-303.5)
 - THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48. (11B-403.3)
 - WALKING SURFACE CLEAR WIDTH TO BE 48" MINIMUM (11B-403.5.1 EXCEPTION 3)
 - WIDTHS OF ADA PARKING STALLS AND ACCESS AISLES SHALL BE MADE FROM THE CENTERLINE OF THE MARKING (11B-502.1)
 - ADA PARKING STALL SHALL BE 144 INCHES MINIMUM WIDTH X 216 INCHES MINIMUM LENGTH (CBC 11B-502.2)
 - DETECTABLE WARNING SURFACE SHALL BE 36 INCHES IN WIDTH AT HAZARDOUS VEHICULAR AREA (CBC 11B-705.1.2.5)
 - WARNING SHALL CONSIST OF A SURFACE OF TRUNCATED DOMES AND COMPLYING WITH CBC 11B-705.1.1.
 - WARNING SHALL BE YELLOW AND APPROXIMATE FS 33538 OF FEDERAL STANDARD 595C (CBC 11B-705.1.1.3.1)
 - WARNING SHALL DIFFER FROM ADJOINING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT

- KEYNOTES**
- (E) MAIN ELECTRICAL SERVICE & METERS TO REMAIN/PROTECT
 - (E) UTILITY POLE TO REMAIN/PROTECT
 - (E) WATER METER IN CHRISTY BOX, TO REMAIN/PROTECT
 - (E) PROPANE TANK, PAD-MTD & SEISMICALLY RESTRAINED, TO REMAIN/PROTECT
 - (E) TRASH BIN
 - (E) 1200 GAL SEPTIC TANK, TO REMAIN/PROTECT
 - (E) 810 GAL SLUMP TANK, TO REMAIN/PROTECT
 - (E) BOTTOMLESS SAND FILTER, TO REMAIN/PROTECT
 - (E) 1,500 GAL GREASE TRAP, TO REMAIN/PROTECT
 - (E) 1,500 GAL SEPTIC TANK W/ ADVANTIX UNITS, TO REMAIN/PROTECT
 - (E) 1,500 GAL SLUMP TANK, TO REMAIN/PROTECT
 - (E) FENCED W/ PERGOLA/ROOF UTILITY ENCLOSURE, TO REMAIN/PROTECT
 - (E) PLANTER BOX TO REMAIN/PROTECT
 - (E) TREE WELL & TREE TO REMAIN/PROTECT
 - (E) STORM DRAIN INLET W/ GRATE TO REMAIN/PROTECT
 - (E) CONC SIDEWALK, TO REMAIN/PROTECT

- GENERAL NOTES**
- SITE PLAN IS BASED ON PUBLICLY AVAILABLE INFORMATION AND PREVIOUS DOCUMENTS OF THE SITE & STRUCTURES AND IS NOT A SURVEY.
 - PLAN IS DIAGRAMMATIC, AND ALL CONDITIONS INCLUDING UNDERGROUND UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR OR CONTRACTORS.
 - VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF WORK.
 - DOCUMENT PROVIDES DESIGN INTENT FOR PARKING LAYOUT. MARIN COUNTY RESPONSIBLE FOR ADA PARKING STALL LAYOUT REQUIREMENTS.

- DESIGN/BUILD SCOPE OF WORK**
- ADA PATH OF TRAVEL IMPROVEMENTS, IF/AS REQUIRED. REFER TO T2.1 FOR PATH OF TRAVEL REQUIREMENTS.
 - (E) CURB RAMP, TO REMAIN/PROTECT
 - (E) TIMBER WHEELSTOP, TO REMAIN/PROTECT
 - (E) TRAFFIC CONTROL (STOP) SIGN TO REMAIN/PROTECT
 - (E) CONC ENTRY VESTIBULE, TO REMAIN/PROTECT
 - REPLACEMENT GATE W/ PANIC BAR & KEYPAD ON ENTRY SIDE
 - (E) RED CURB, TO REMAIN
 - (N) CIP CONC RAMP & CURB TO (E) SIDEWALK, W/ RAIL & WHEELGUIDE
 - (N) TRUNCATED DOME TACTILE WARNING @ HAZARDOUS VEHICLE AREA
 - (N) ACCESS AISLE STRIPING
 - (N) INTERNATIONAL ACCESSIBILITY SYMBOL
 - (N) ADA PARKING SIGNAGE
 - (N) ADA PARKING SIGNAGE
 - (N) PAINTED PARKING STALL STRIPING

2021.04.16 - USE PERMIT COMMENTS

Project
11285 CA-1
PT REYES STATION
CA 94952
APN 119-226-01

TENANT
IMPROVEMENTS

NOT FOR CONSTRUCTION

SCALE: 1/8" = 1'-0" SHEET

PROPOSED SITE PLAN

T2.3

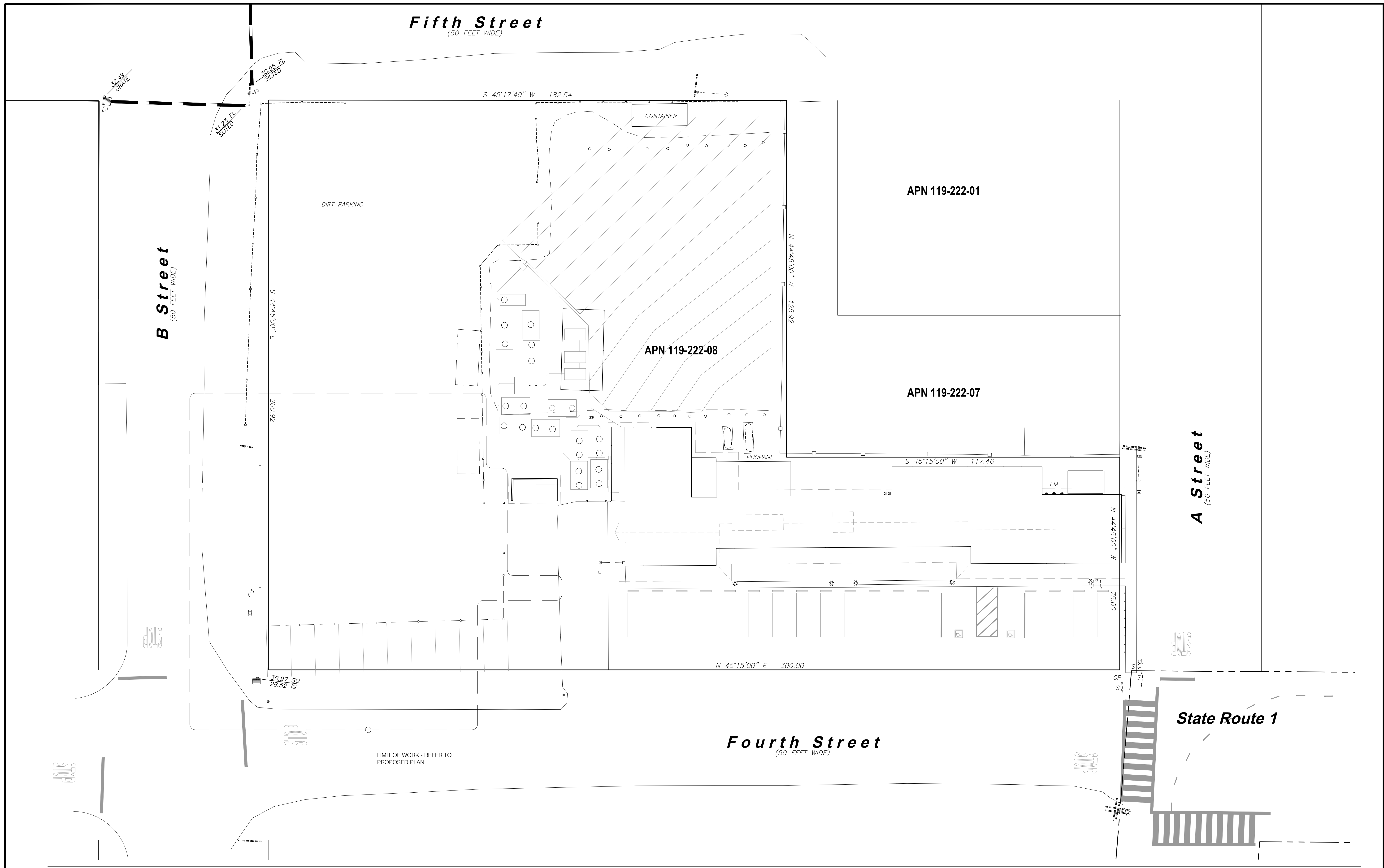
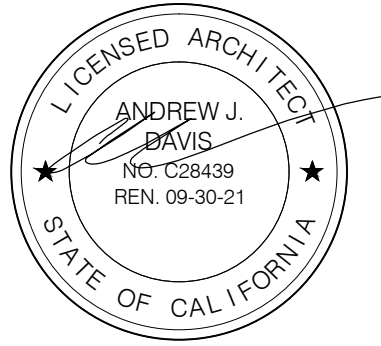
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JOB NUMBER: 2027



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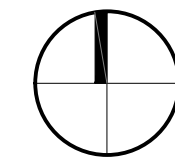
SCALE: 1/16" = 1'-0" SHEET

REMOTE PARKING
EXISTING SITE PLAN

T2.4

DATE: 2021.03.31
JOB NUMBER: 2027

Fifth Street
(50 FEET WIDE)

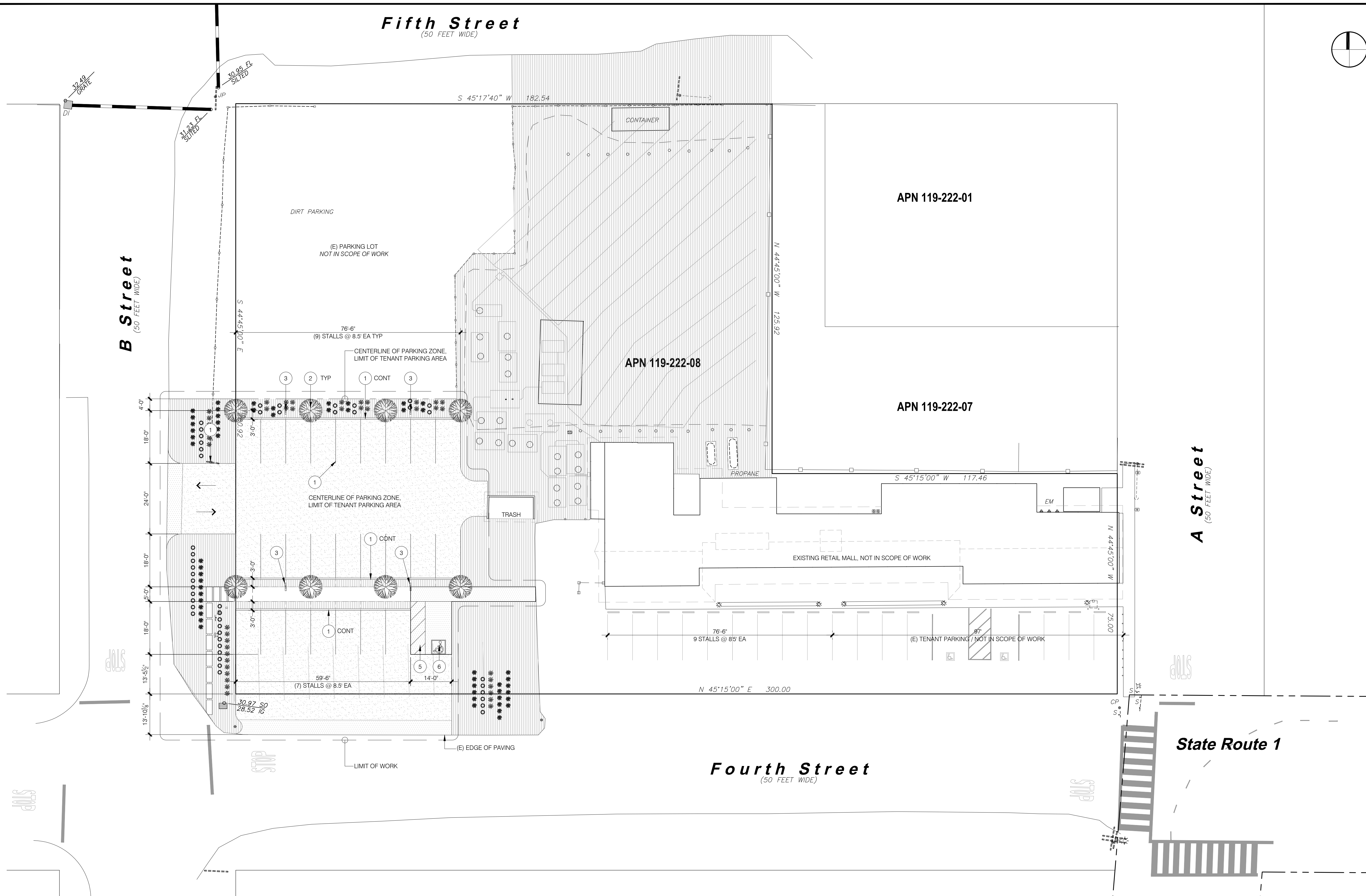
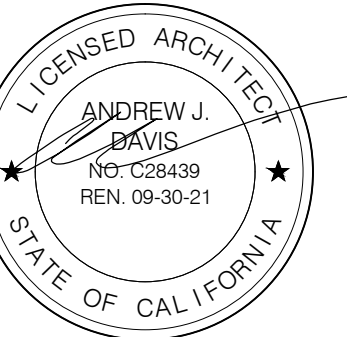


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TENANT IMPROVEMENTS

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REMOTE PARKING
PROPOSED SITE PLAN

T2.5

DATE: 2021.03.31
JOB NUMBER: 2027

LEGEND

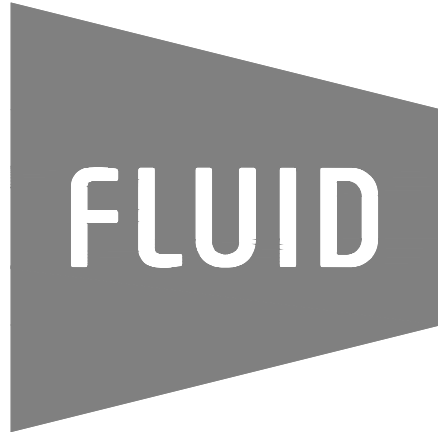
- LANDSCAPE, RESEED WITH NATIVE GRASSES
- GRAVEL PARKING SURFACING
- PAVED SURFACE (CONCRETE OR AC)
- OLEA EUROPAEA - MISSION OLIVE
- LAVANDULA X INTERMEDIA 'GROSSO' - LAVENDER
- ACHILLEA MILLEFOLIUM - YARROW
- SALVIA LEUCOPHYLLA, PT. SAL - SAGE

GENERAL NOTES

1. NEW HEAD-IN PARKING STALLS SHOWN PER MARIN COUNTY MUNICIPAL CODE SECTION 24.04.380: 8.5' X 18'. STALLS ARE SHOWN WITH A 3' OVERHANG INTO LANDSCAPE (PAST THE TIMBER WHEELSTOP)
2. NEW ADA ACCESSIBLE PARKING STALLS SHOWN PER 2019 CBC CHAPTER 11-B. STALL SHOWN IS STANDARD SIZED SINCE AN EXISTING VAN-ACCESSIBLE STALL EXISTS ON THE SITE.
3. EXCEPT FOR THE ADA STALL AND PATH OF TRAVEL, PARKING AREAS ARE TO BE GRAVEL-SURFACED AND SHALL DRAIN STORMWATER TO GRADE. NO DRAINAGE STRUCTURES TO BE PROVIDED.
4. 26 PARKING STALLS SHOWN IN THE AREA OF WORK; 14 ARE DEDICATED AS REMOTE PARKING FOR 11285 CA-1 AND THE REMAINDER ARE FOR 60 4TH STREET.
5. PROPOSED LANDSCAPE PLANTING TO BE DROUGHT-TOLERANT. IN LIEU OF IRRIGATION, PLANTS TO BE MAINTAINED MANUALLY DURING ESTABLISHMENT PERIOD.

KEYNOTES

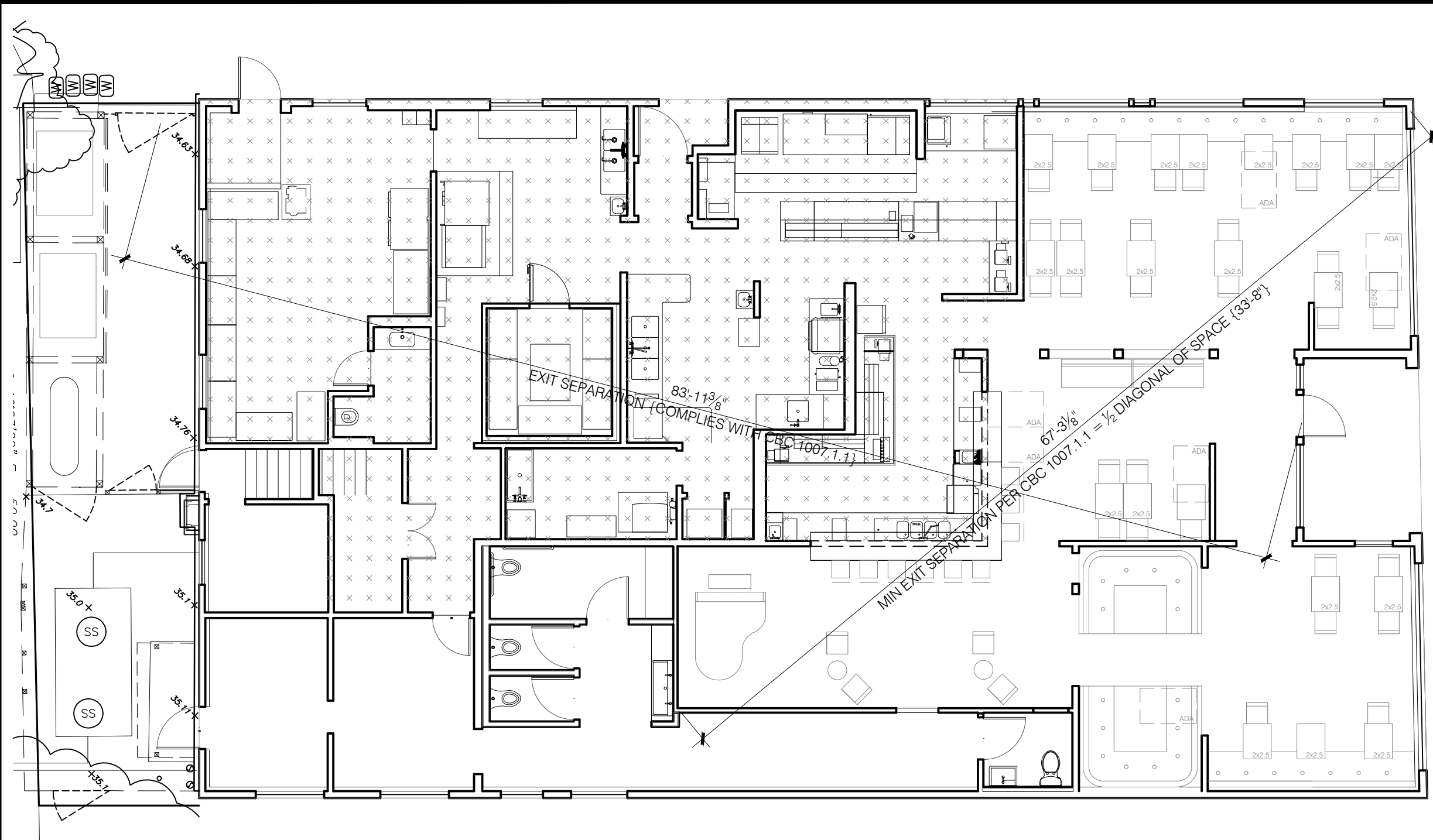
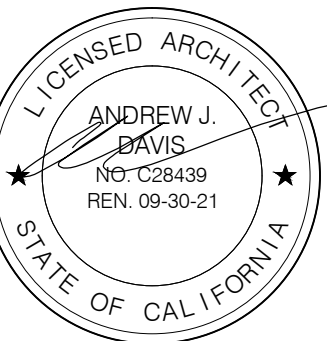
1. 6x6 TIMBER WHEELSTOP, STAKED IN PLACE
2. TREE, DROUGHT-RESISTANT
3. SOLAR POWERED LED DOWNLIGHT
4. MODULAR PARKING LOT MARKER, FOR STALL INDICATION ON GRAVEL
5. ADA PARKING STALL ACCESS AISLE STRIPING
6. ADA PARKING STALL SYMBOL OF ACCESSIBILITY



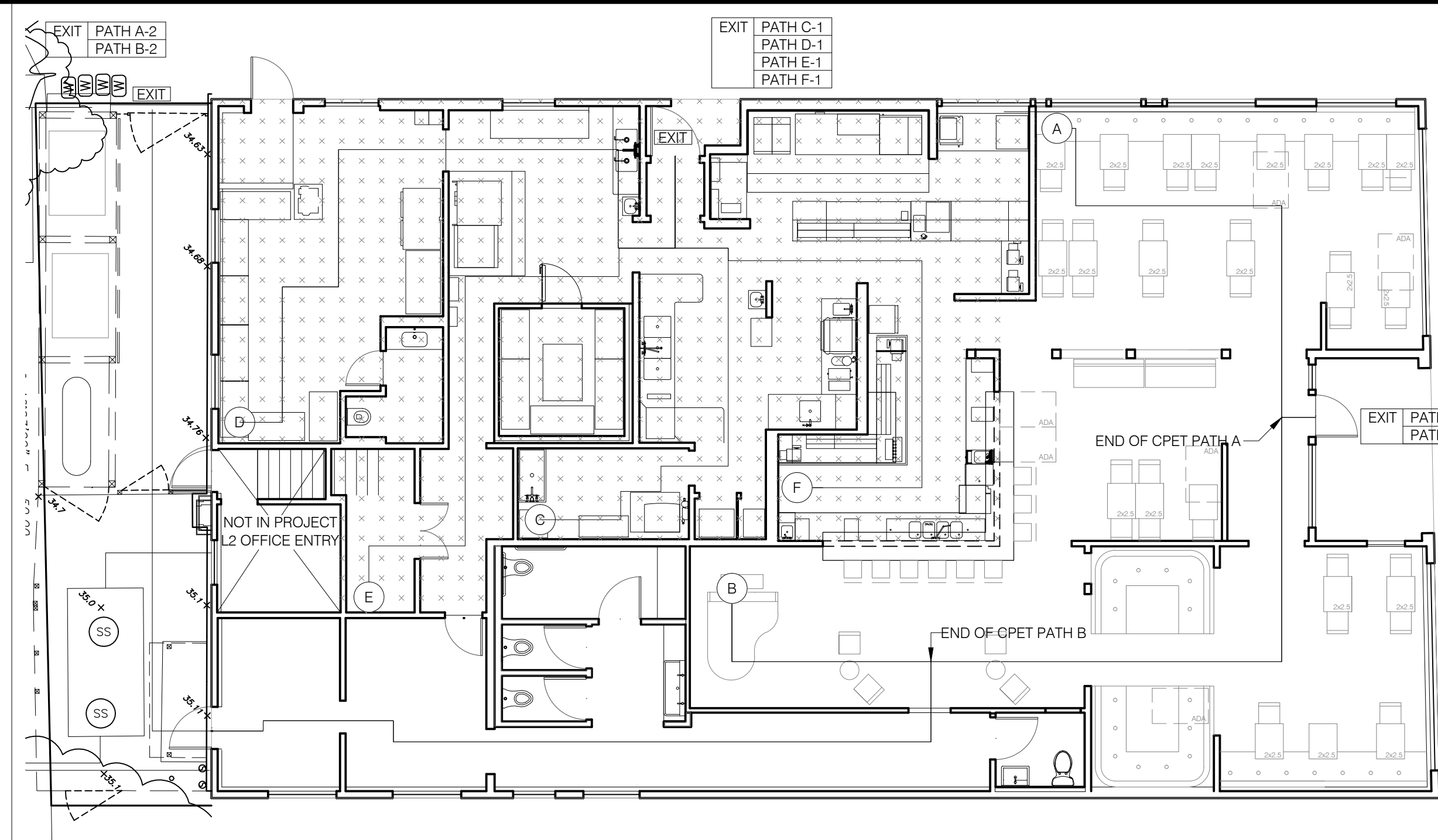
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NOTES
1. EXIT SEPARATION NOT REQUIRED FOR COMMERCIAL KITCHEN SINCE ONE EXIT IS ALLOWED



CODE REFERENCES		REF	CPET & EXIT ACCESS TRAVEL DISTANCE					
MAX OCCUPANT LOAD, SPACES W/ (1) EXIT, A OCCUPANCY, NO SPRINKLER		TABLE 1006.2.1	MARK	CPET	COMPLIES	TRAVEL DIST	COMPLIES	
TWO EXITS REQUIRED BASED ON OCCUPANCY & TRAVEL DIST		TABLE 1006.2.1				PATH 1	PATH 2	
ONE EXIT ALLOWED BASED ON OCCUPANCY & TRAVEL DIST		TABLE 1006.2.1						
MAX CPET, A OCCUPANCY, OL > 30, NO SPRINKLERS	75'	TABLE 1006.2.1	A	36'	YES	38'	187'	YES
MIN NUMBER OF EXITS PER STORY, OL 1-500	2	TABLE 1006.3.2	B	20'	YES	65'	128'	YES
SINGLE EXIT ALLOWED, A OCC, MAX 49 OCCUPANTS & 75' CPET		TABLE 1006.3.3(2)	C	43'	YES	43'		YES
EXIT ACCESS TRAVEL DISTANCE: A OCCUPANCY, NO SPRINKLER	200'	TABLE 1017.2	D	64'	YES	64'		YES
			E	53'	YES	53'		YES
			F	50'	YES	50'		YES

04 EXIT SEPARATION

02 CPET, EXIT ACCESS TRAVEL DISTANCE



MAX FLOOR AREA ALLOWANCES PER OCCUPANT, CBC TABLE 1004.5

ASSEMBLY, UNCONCENTRATED (TABLES & CHAIRS)	15 NET
ASSEMBLY, CONCENTRATED (STANDING SPACE)	5 NET
KITCHENS, COMMERCIAL	200 GROSS
BUSINESS	150 GROSS

MEANS OF EGRESS SIZING, CBC SEC 1005.3

COMPONENT	FACTOR	OCCUPANTS	MIN WIDTH
STAIRS: 0.3/OCCUPANT	0.3	0	N/A
OTHER EGRESS COMPONENTS: 0.2/OCCUPANT	0.2	48	9.6

LEGEND & OCCUPANT LOAD CALC

FILL	SPACE	OCCUPANTS	TOTAL	REQ'D EXITS
[Diagonal Hatching]	SEATING	87	133	2
[Cross-hatching]	MUSIC	46	9	1
[Stippled]	KITCHEN	9	N/A	
[None]	N/A	N/A	N/A	
	TOTAL	142		

SEATING	1300 SQ. FT.	15	87
COMMERCIAL KITCHEN	1767 SQ. FT.	200	9
MUSIC	230 SQ. FT.	5	46
L1+L2 OFFICE	920 SQ. FT.	150	6

01 OCCUPANT LOAD CALC

2021.04.16 - USE PERMIT COMMENTS

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CODE ANALYSIS



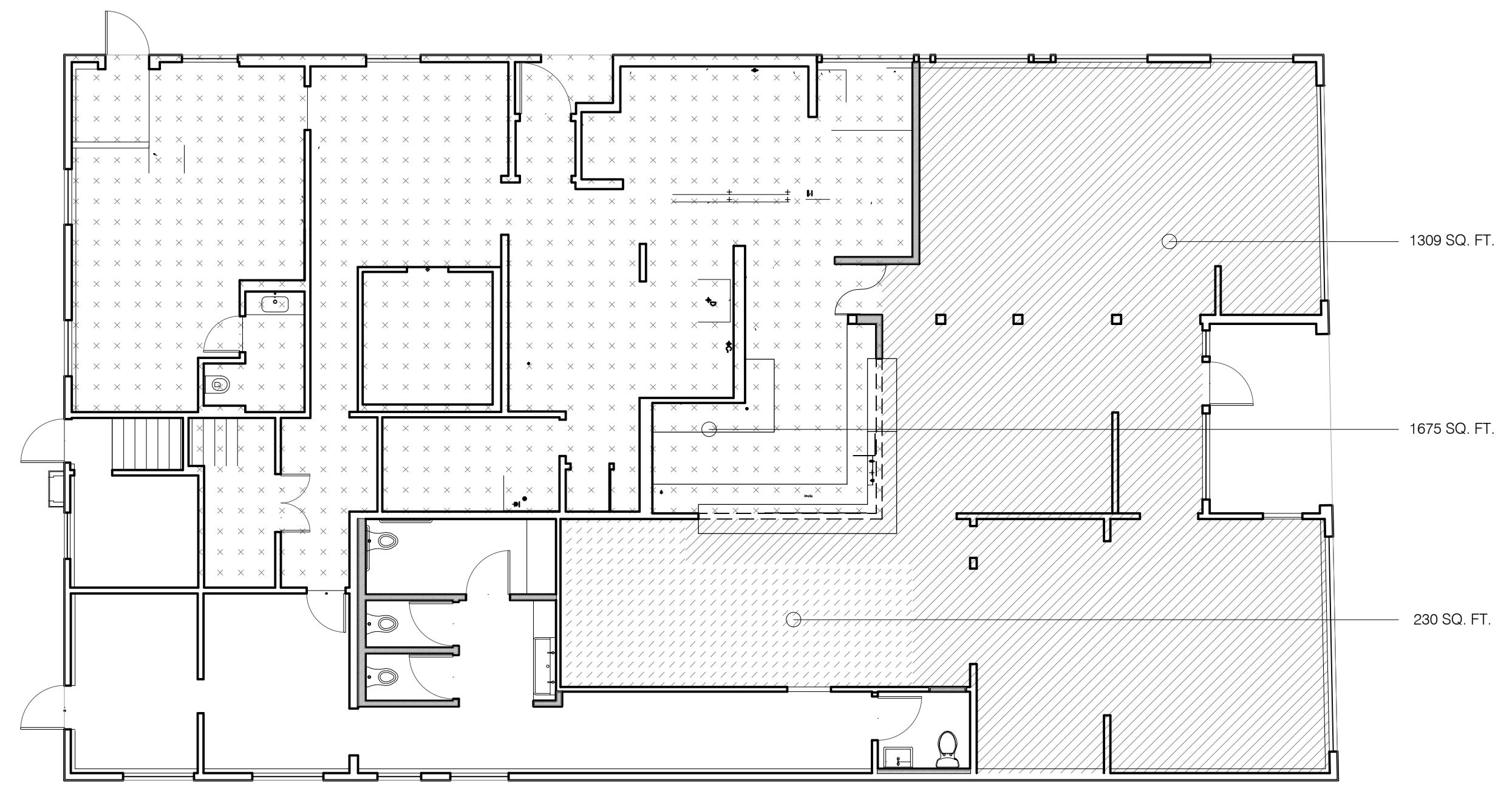
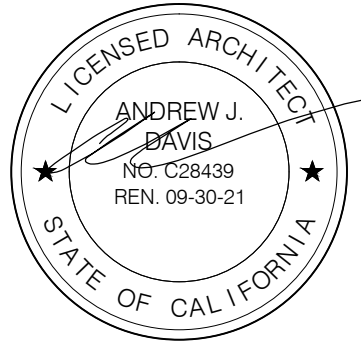
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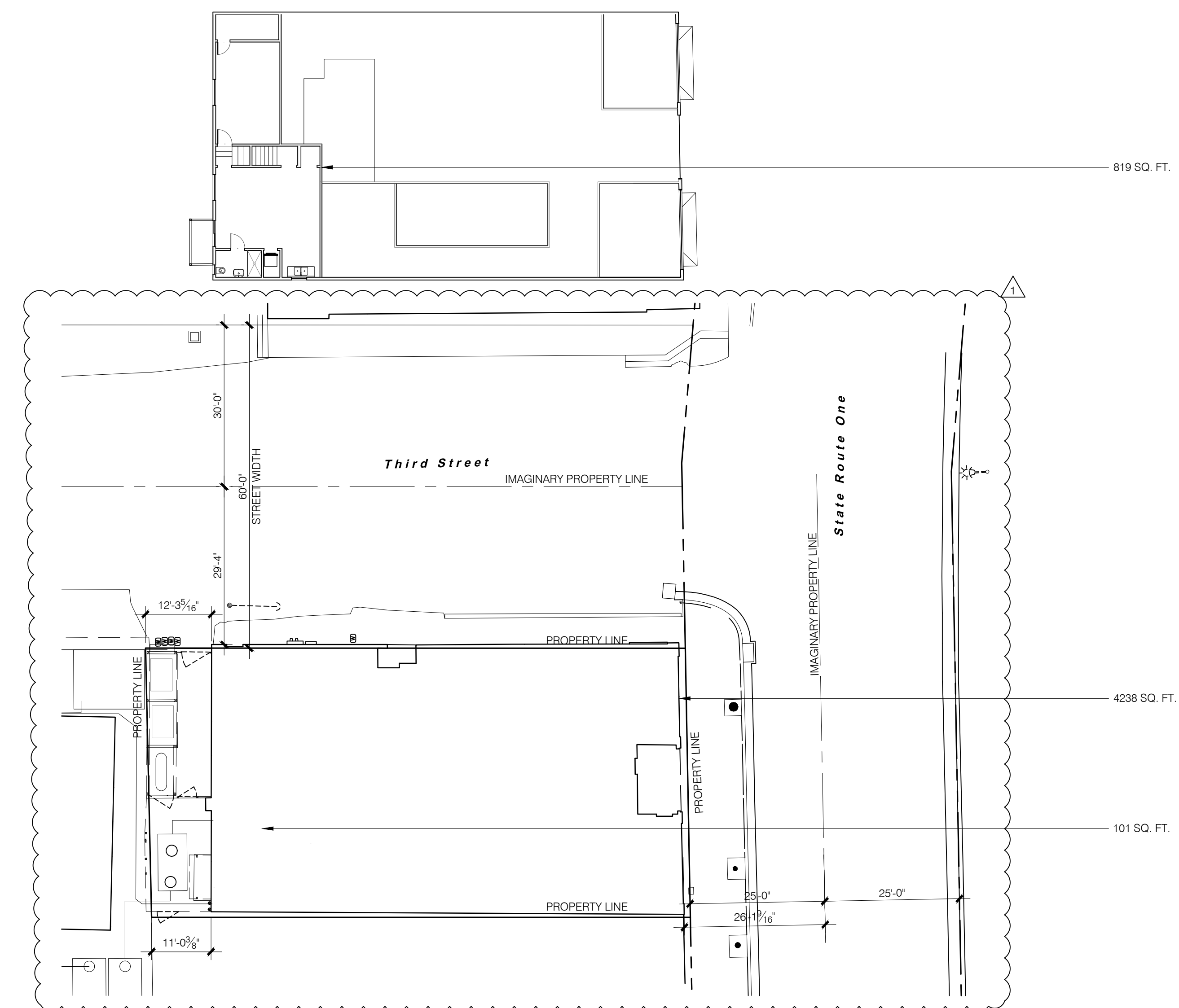
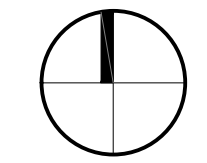
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PLUMBING FIXTURE CALC. CPC TABLE 422.1

FUNCTION	OLF (TABLE A)	AREA	OCCUPANTS	FIXTURES REQUIRED			
				WC	URINAL	LAV	OTHER
A-1 ASSEMBLY AREA	15	230 SQ. FT.	15				
A-2 ASSEMBLY AREA	30	1309 SQ. FT.	44				
KITCHENS, COMMERCIAL	200	1675 SQ. FT.	9				
NON-OCCUPIED AREAS, NOT CALCULATED	N/A	N/A	0				
TOTAL OCC			68				
MEN			34	1	1*	1	1 SERVICE SINK
WOMEN			34	2		1	

*NOTE: WC PROVIDED IN LIEU OF (1) MALE URINAL



EXISTING BUILDING INFORMATION	CONSTRUCTION TYPE	VB
FIRE SPRINKLERS	NO	
OCCUPANCY GROUP	A-2, B	
L1 FLOOR AREA	4238 SQ. FT.	
L2 FLOOR AREA	819 SQ. FT.	
TOTAL FLOOR AREA	5058 SQ. FT.	

ALLOW HEIGHT & STORIES	HEIGHT	MAX ALLOW	EXISTING	COMPLIES	CODE REF
STORIES, A-2 NS	1	40'	1	YES	TABLE 504.3
STORIES, B NS	2	2	2	YES	TABLE 504.4

ALLOWABLE AREA FACTORS	A-2 NS	6,000 SQ. FT.	TABLE 506.2
B NS	9,000 SQ. FT.	TABLE 506.2	

LEVEL	OCCUPANCY GROUP	AREA	Ai (CBC 506.2)	PROPOSED AREA (AREA / Ai)	
1	A-2	4238 SQ. FT.	6000	0.70	< 1 PER CBC 508.4.2
1	B	101 SQ. FT.	9000	0.01	< 1 PER CBC 508.4.2
2	B	819 SQ. FT.	9000	0.11	< 1 PER CBC 508.4.2
TOTAL		5159 SQ. FT.			

508.1 EACH PORTION OF A BUILDING SHALL BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH SECTION 302.1. WHERE A BUILDING CONTAINS MORE THAN ONE OCCUPANCY GROUP, THE BUILDING OR PORTION THEREOF SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF SECTION 508.2, 508.3, OR 508.4, OR A COMBINATION OF THESE SECTIONS.

508.2 ACCESSORY, ANCILLARY OCCUPANCIES, AREA < 10% OF THE FLOOR AREA OF THE STORY IN WHICH THEY ARE LOCATED.

508.3 NONSEPARATED OCCUPANCIES SHALL BE INDIVIDUALLY CLASSIFIED & CODE REQUIREMENTS APPLY TO EACH PORTION OF THE BUILDING BASED ON THE OCCUPANCY CLASSIFICATION OF THAT SPACE.

508.3.2 THE ALLOWABLE BUILDING AREA, HEIGHT AND NUMBER OF STORIES OF THE BUILDING OR PORTION THEREOF SHALL BE BASED ON THE MOST RESTRICTIVE ALLOWANCES FROM THE OCCUPANCY GROUPS UNDER CONSIDERATION.

508.3.3 NO SEPARATION IS REQUIRED BETWEEN NONSEPARATED OCCUPANCIES

BUILDING ELEMENT	TYPE V-B
PRIMARY STRUCTURAL FRAME	0
BEARING WALLS	0
EXTERIOR	TABLE 602
INTERIOR	0
NONBEARING WALLS AND PARTITIONS, EXTERIOR	TABLE 602
EXTERIOR	0
NONBEARING WALLS AND PARTITIONS, INTERIOR	0
FLOOR CONSTRUCTION & ASSOC. SECONDARY MEMBERS	0
ROOF CONSTRUCTION & ASSOC. SECONDARY MEMBERS	0

SEPARATION < 5'	1 HOUR
SEPARATION > 5' & < 10'	1 HOUR
SEPARATION > 10' & < 30'	0 HOUR
SEPARATION > 30'	0 HOUR

903.2.1.2 GROUP A2
AUTOMATIC FIRE SPRINKLER WHERE ANY OF THE FOLLOWING CONDITIONS EXISTS:

1. THE FIRE AREA EXCEEDS 5,000 SQ. FT. N/A
2. THE FIRE AREA HAS AN OCCUPANT LOAD OF 100 OR MORE N/A
3. THE FIRE AREA IS LOCATED ON A FLOOR OTHER THAN A LEVEL OF EXIT DISCHARGE SERVING SUCH OCCUPANCIES N/A
4. THE STRUCTURE EXCEEDS 5,000 SQ. FT., CONTAINS MORE THAN ONE FIRE AREA CONTAINING GROUP A-2, AND IS SEPARATED INTO TWO OR MORE BUILDINGS BY LESS THAN 4-HOUR W/OUT OPENINGS N/A

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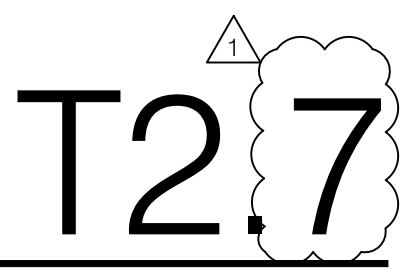
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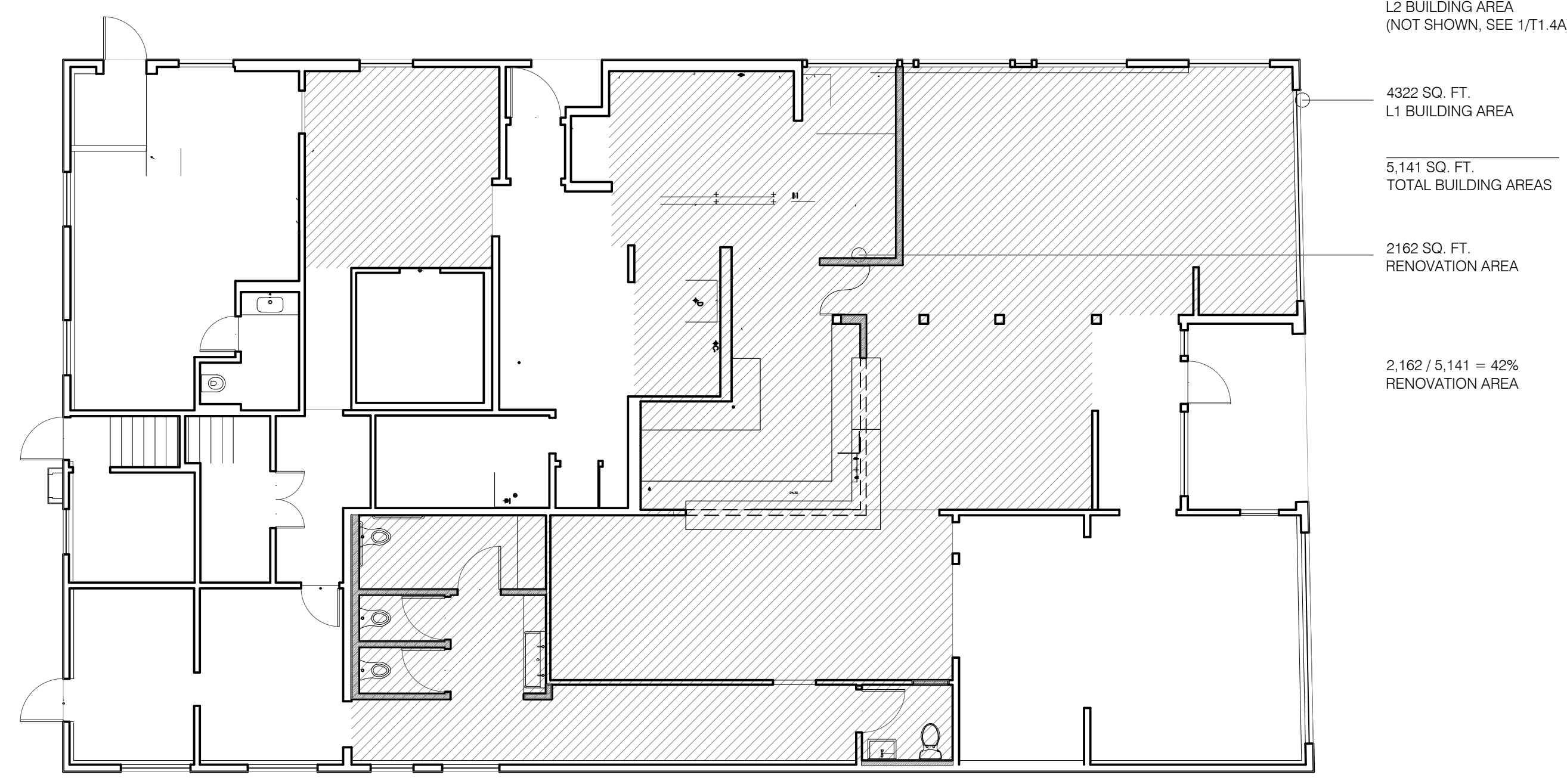
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CODE ANALYSIS



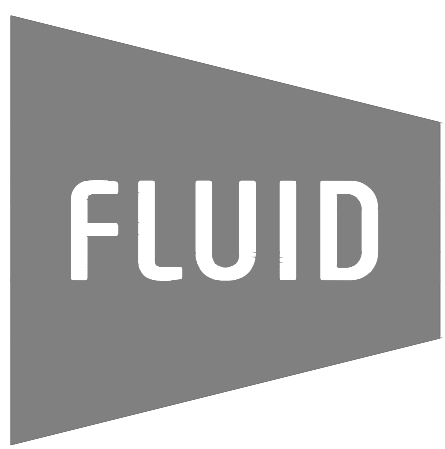
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02 PLUMBING FIXTURE CALC



03 AREA OF WORK CALC

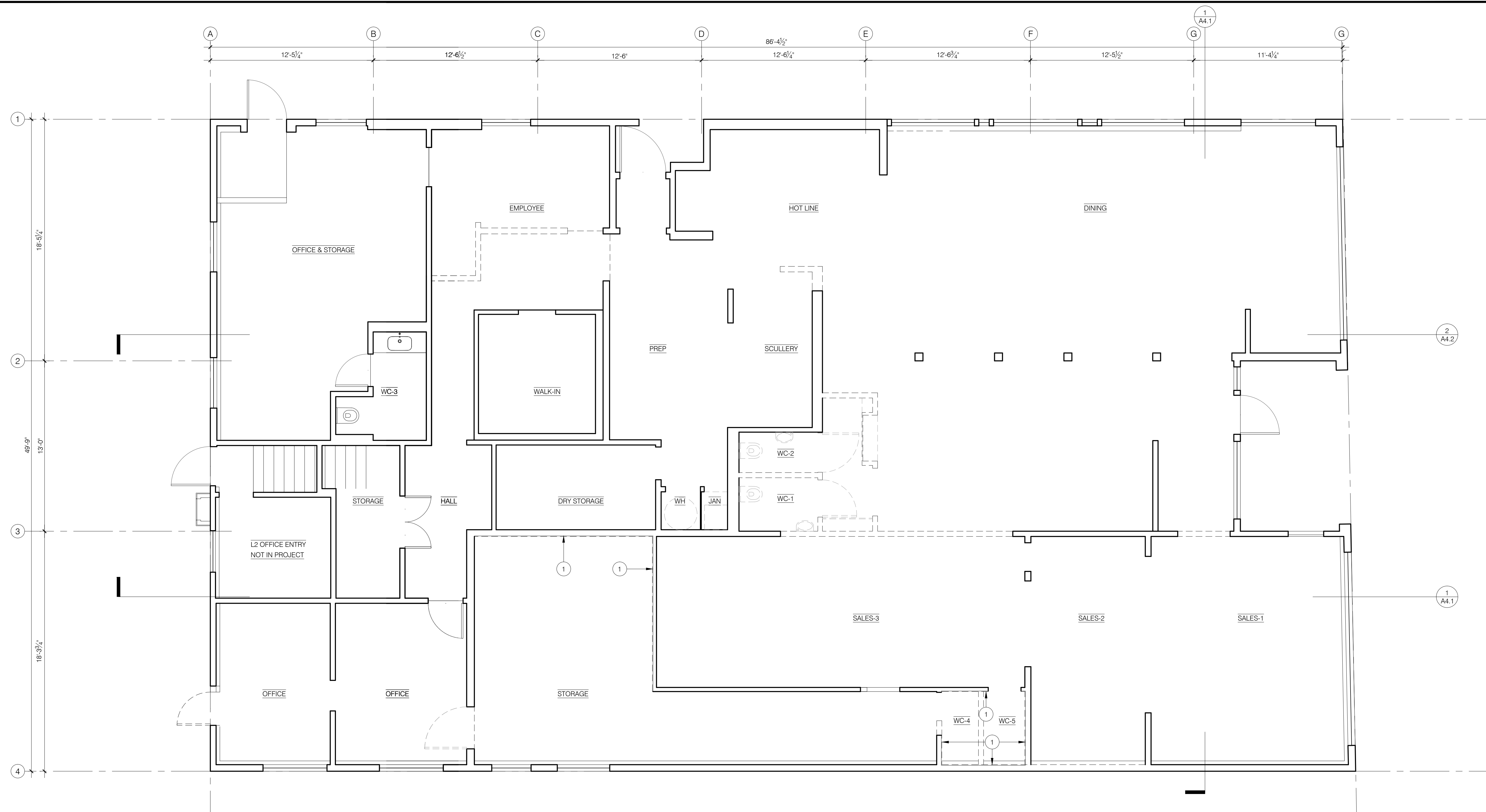
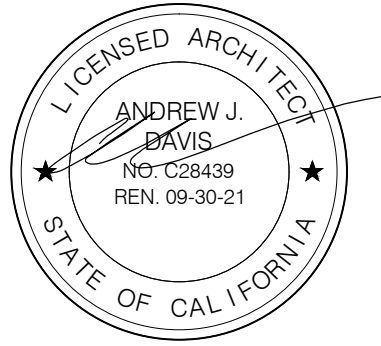
01 GENERAL BUILDING LIMITATIONS ANALYSIS



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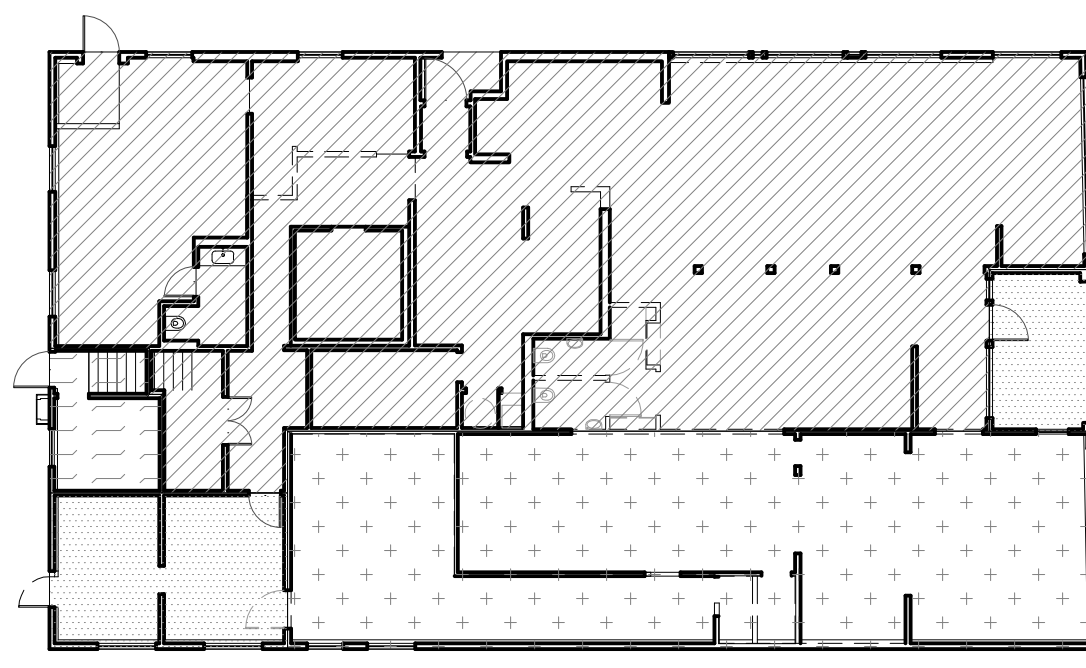
SCALE: 1/4" = 1'-0" SHEET

L1 DEMO PLAN

A2.1

DATE: 2021.04.16
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EXISTING BUILDING TENANT USE DIAGRAM



EXISTING BUILDING TENANT USE DIAGRAM LEGEND & AREAS

FILL	SPACE	AREA
[Diagonal Hatching]	TENANT-1	2616 SQ. FT.
[Dotted Pattern]	TENANT-2	1224 SQ. FT.
[Horizontal Lines]	COMMON SPACE	373 SQ. FT.
[Vertical Lines]	TENANT-3	258 SQ. FT.

LEGEND

MARK	DESCRIPTION
[Dashed Line]	DEMO (E) NON-LOAD BEARING WALL OR OTHER ITEM(S)
[Solid Line]	EXISTING WALL OR ITEM(S) TO REMAIN/PROTECT

GENERAL NOTES

- ALL WALLS SHOWN TO BE REMOVED ARE NON-LOAD BEARING
- NO CHANGES TO BUILDING EXTERIOR THIS LEVEL
- PROTECT EXISTING CONDITIONS WHICH ARE SCHEDULED TO REMAIN, INCLUDING EXTERIOR GLAZING UNITS
- ADDITIONAL DEMO, IF REQUIRED FOR NEW WORK SUCH AS EQUIPMENT, CABINETS, APPLIANCE, FIXTURE OR FINISH INSTALLATIONS, INCLUDING PLUMBING AND ELECTRICAL LINES/CONNECTIONS, IS NOT SHOWN AND IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/SUBCONTRACTOR(S).

KEYNOTES

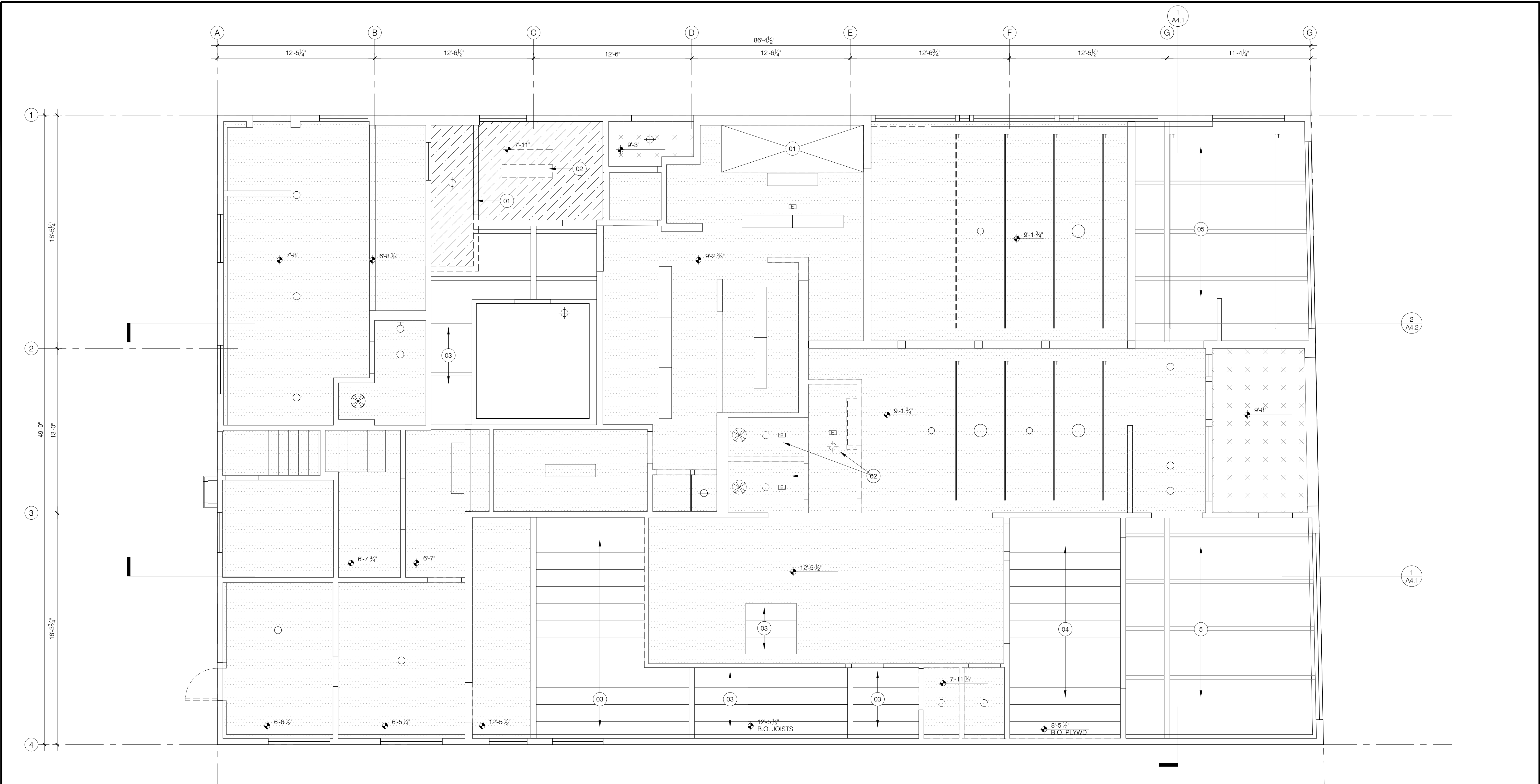
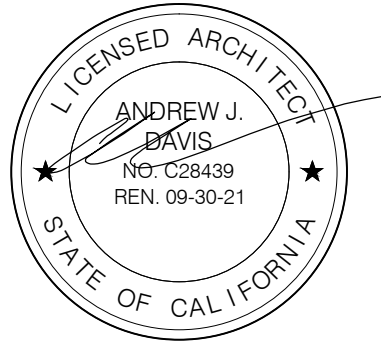
- REMOVE (E) WALL FINISH TO ALLOW FOR NEW WORK. (E) FRAMING TO REMAIN/PROTECT AND BE MODIFIED ONLY AS REQUIRED FOR NEW WORK.



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L1 DEMO RCP

A2.2

DATE: 2021.04.16
JOB NUMBER: 2027

ELECTRICAL & POWER LEGEND

⊗	SWITCH
⊗ ₃	SWITCH, MULTI-POLE
⊕	RECEPTACLE
⊕ ₄	QUAD RECEPTACLE
⊕ ₅	EQUIPMENT RECEPTACLE
⊕ ₆	DATA/TEL
⊕ ₇	TV DATA & POWER
⊕ ₈	JUNCTION BOX
⊕ ₉	JUNCTION BOX
⊕ ₁₀	SMOKE DETECTOR
⊕ ₁₁	SMOKE CO DETECTOR
⊕ ₁₂	DEHUMIDISTAT SWITCH
⊕ ₁₃	FAN

○	RECESSED DOWNLIGHT
⊕	WALL SCONCE
⊕	PENDANT
⊕	EMERGENCY LIGHT
⊕	TRACK LIGHT
⊕	UTILITY FLUORESCENT

LEGEND

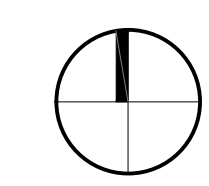
MARK	DESCRIPTION
▨	GYP BOARD CEILING TO REMAIN/PROTECT
⊗	PAINTED WD CEILING TO REMAIN/PROTECT
▨	GYP BOARD CEILING TO BE REMOVED

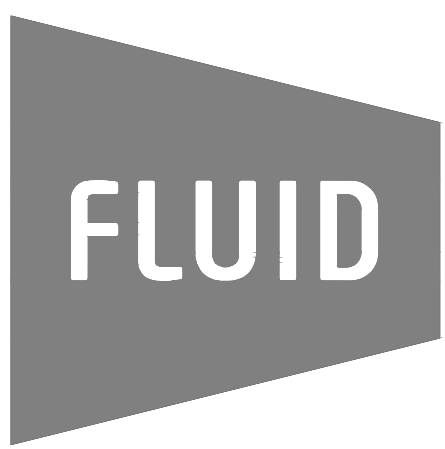
- GENERAL NOTES**
- ALL (E) UTILITY STACKS TO REMAIN, UNO
 - EXISTING LIGHT FIXTURE J-BOXES APPROXIMATED, REMOVE ALL LIGHT FIXTURES, E JBOXES TO REMAIN FOR FUTURE REUSE. CONTRACTOR SHALL IDENTIFY MATCHED SWITCH J-BOX AND LIGHT FIXTURE J-BOX LOCATIONS.
 - STRUCTURAL HEADERS TO REMAIN
 - POWER RECEPTACLES TO REMAIN WHEREVER POSSIBLE. UPGRADE RECEPTACLE TO TYPE REQUIRED BY CURRENT CODE FOR LOCATION (AFCI, GFCI, ETC).
 - ALL DIMS FROM FACE OF FINISH, UON

- KEYNOTES**
- REMOVE DROPPED BEAM
 - REMOVE ELECTRICAL FIXTURES
 - (E) 2X6 CEILING JOIST, OPEN TO TRUSS/B.O. ROOF ABV. TO REMAIN/PROTECT
 - (E) 2X6 ATTIC JOIST, B.O. PLYWD SUBFLOOR ABV. TO REMAIN/PROTECT
 - (E) TRUSS & PURLIN HIGH-BAY SPACE TO REMAIN/PROTECT

NOTES
1. -

NOTES
1. -

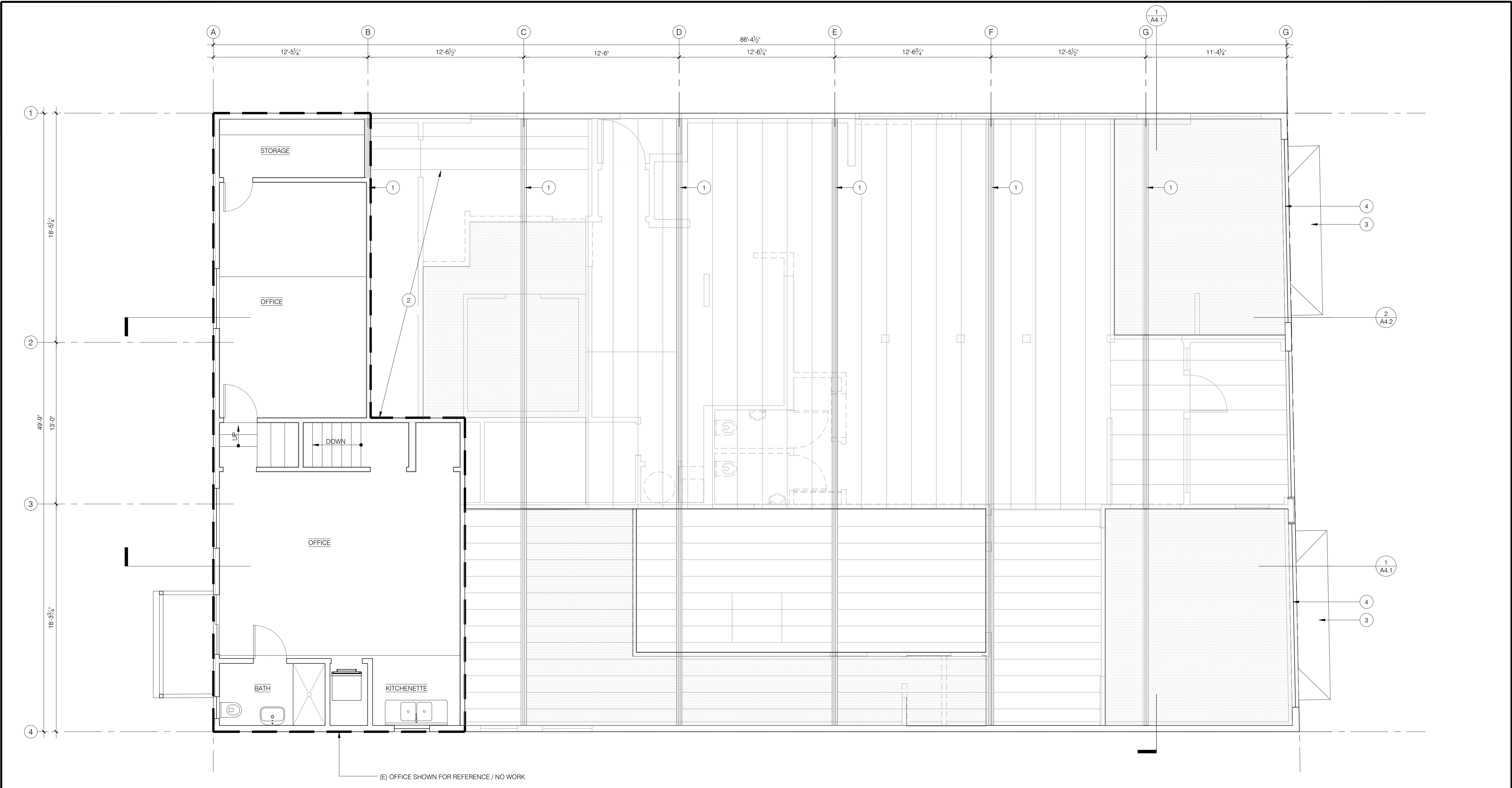
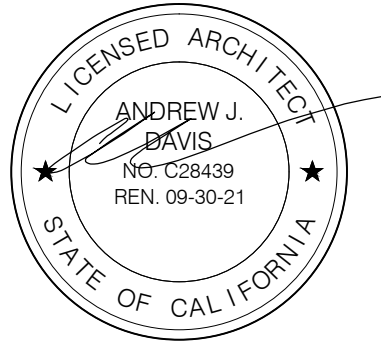




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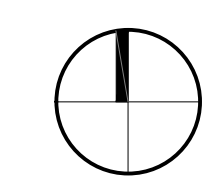
Project
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CA 94952
APN 119-226-01

TENANT
IMPROVEMENTS

NOT FOR CONSTRUCTION

SCALE: 1/4" = 1'-0" SHEET

L2 REFERENCE PLAN



A2.3

MARK	DESCRIPTION
[Symbol]	OPEN TO BELOW
[Symbol]	(E) CLG JOIST TO REMAIN/PROTECT/NO WORK
[Symbol]	(E) WALL BELOW, FOR REFERENCE, VIF
[Symbol]	(E) WALL TO REMAIN/PROTECT/NO WORK

- GENERAL NOTES
1. PLAN PROVIDED FOR REFERENCE / NO WORK THIS LEVEL WITH THE EXCEPTION OF NEW DUCTWORK FOR L1 KITCHEN & HVAC SYSTEM CONNECTIONS TO ROOF-MOUNTED EQUIPMENT
 2. CEILING JOISTS TYPICALLY 2x6 @ 2' O.C.
 3. DUCTWORK, PLUMBING VENT STACKS, AND UTILITY DISTRIBUTION IN ATTIC NOT SHOWN, VIF

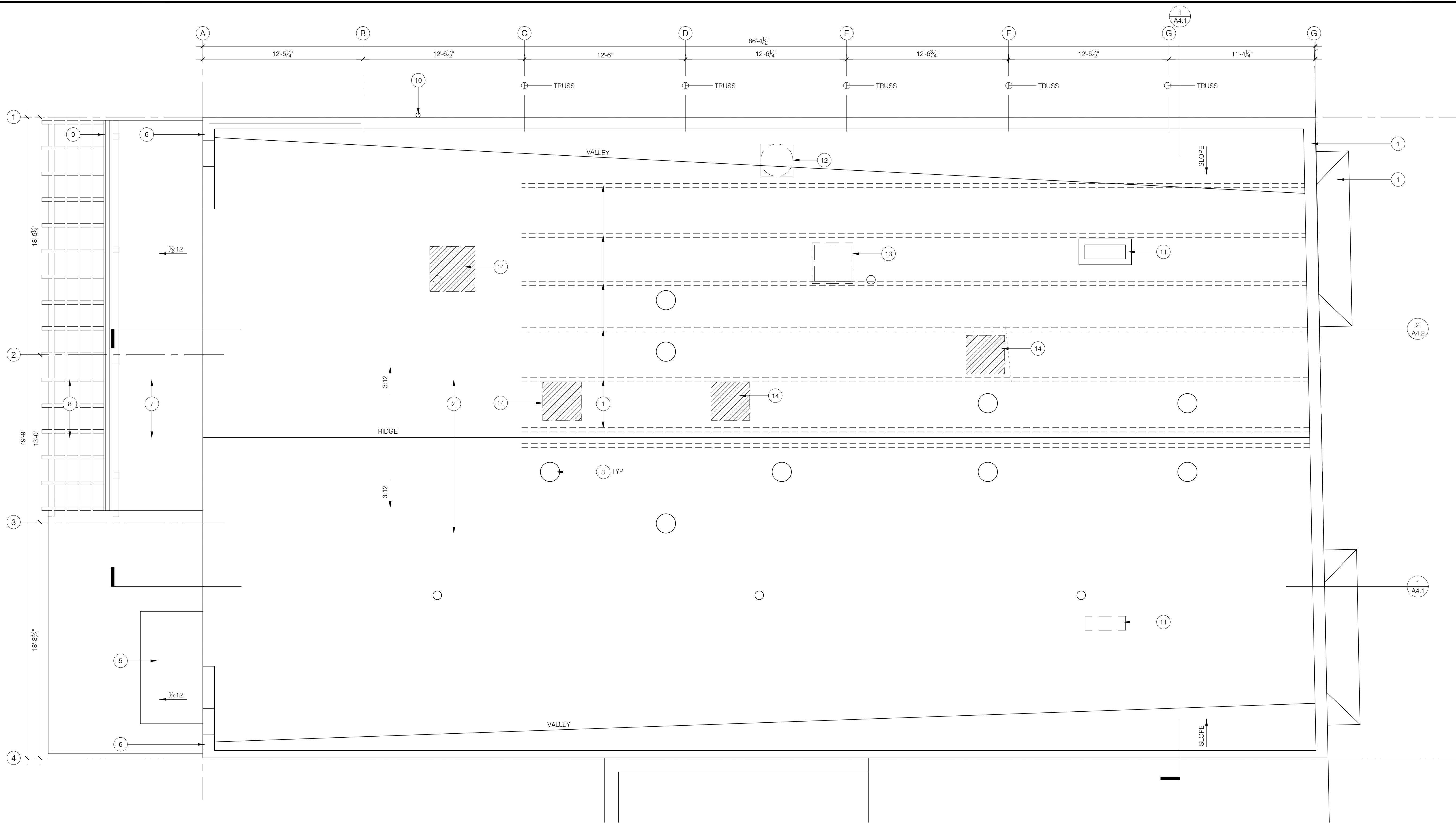
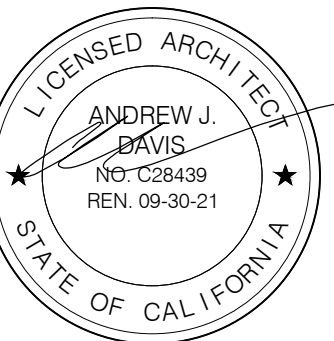
- KEYNOTES
1. (E) TRUSS, TO REMAIN/PROTECT
 2. (E) ATTIC ACCESS PLATFORM, TO REMAIN/PROTECT
 3. (E) DECORATIVE TERRA COTTA ROOF TO REMAIN/PROTECT
 4. (E) CLERESTORY WINDOW TO REMAIN/PROTECT
 - 5.



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EXISTING BUILDING TENANT USE DIAGRAM

LEGEND

MARK	DESCRIPTION
	DEMO (E) ROOF FINISH & SHEATHING FOR NEW MECH UNITS

GENERAL NOTES

- ALL CONDITIONS TO BE VIF BY CONTRACTOR
- TRUSSES MARKED ON GRID LINES & ROOF PURLINS INDICATED FOR REFERENCE. DO NOT ALTER STRUCTURAL MEMBERS FOR ANY WORK, INCLUDING INSTALLATION OF MECHANICAL UNITS

KEYNOTES

- (E) PARAPET, HEIGHT VARIES, VIF
- (E) MEMBRANE ROOF TO REMAIN/PROTECT
- (E) PASSIVE ATTIC VENT, VIF
- (E) DECORATIVE TERRACOTTA ROOF TO REMAIN/PROTECT
- (E) CORRUGATED FIBERGLASS ROOF TO REMAIN/PROTECT
- (E) THRU WALL SCUPPER TO REMAIN/PROTECT
- (E) MOD BIT SHED ROOF TO REMAIN/PROTECT
- (E) OPEN WD PERGOLA UTILITY ENCLOSURE SCREEN
- (E) GUTTER TO REMAIN/PROTECT
- (E) WEATHERHEAD W/ OVERHEAD LINES TO UTILITY POLE, TO REMAIN/PROTECT
- (E) ROOF-MTD CONDENSER UNIT TO REMAIN/PROTECT, OR REPLACE PER NEW SYSTEM REQUIREMENTS
- (E) HOOD FAN, TO BE REMOVED
- (E) MAKE UP AIR UNIT, TO BE REMOVED
- DEMO ROOF FOR NEW MECHANICAL PENETRATION & CURB
- PREP FOR NEW ROOF-MTD CONDENSER

2021.04.16 - USE PERMIT COMMENTS

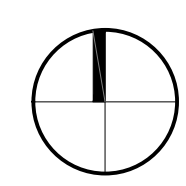
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APN 119-226-01

TENANT IMPROVEMENTS

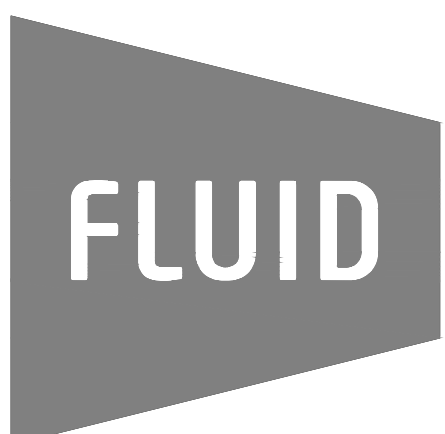
NOT FOR CONSTRUCTION

SCALE: 1/4" = 1'-0" SHEET

ROOF DEMO PLAN



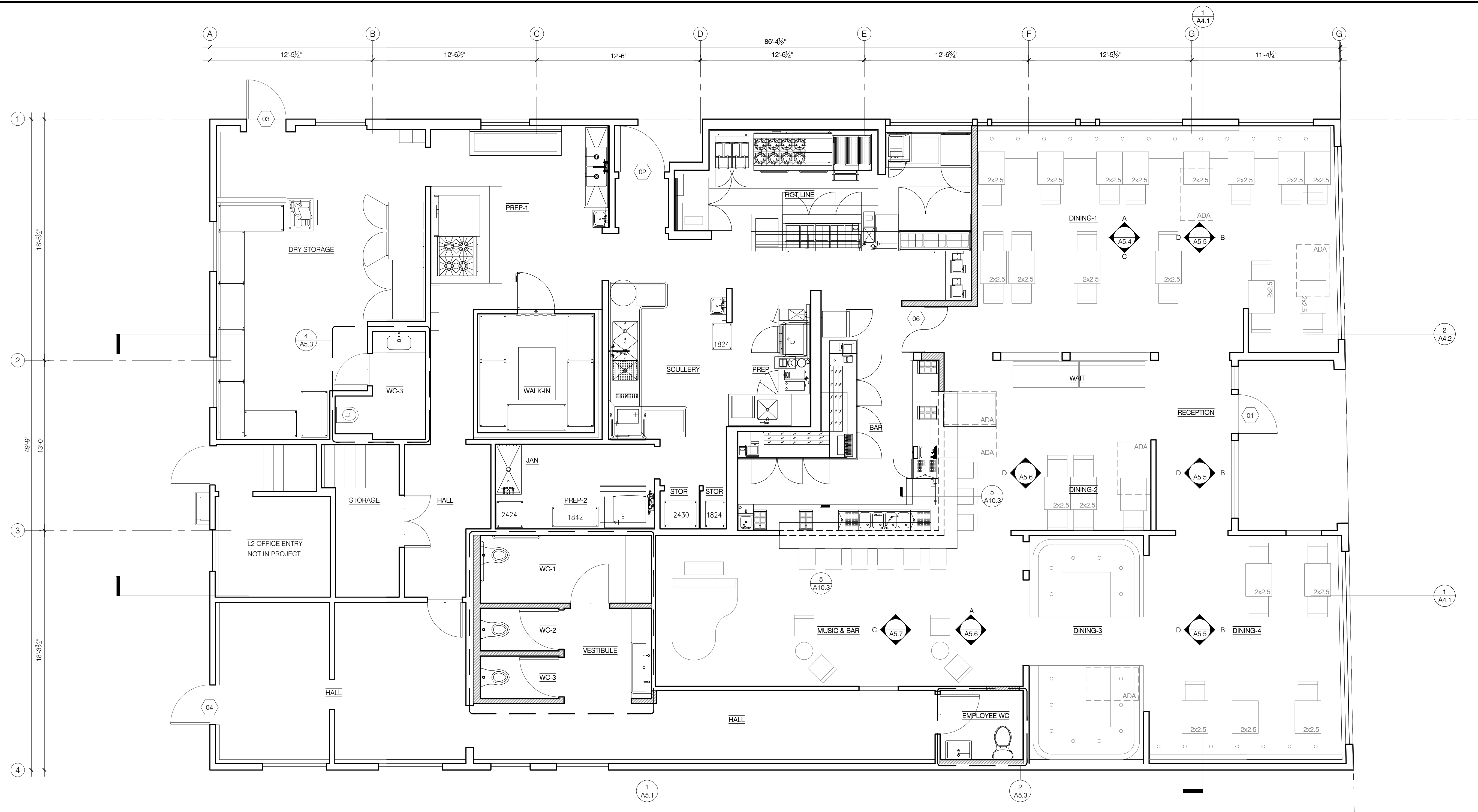
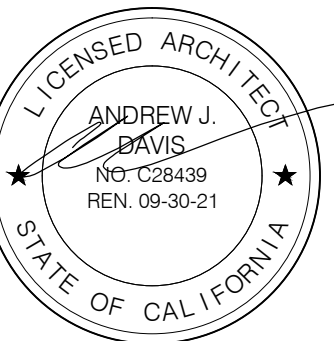
A2.4



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TENANT IMPROVEMENTS

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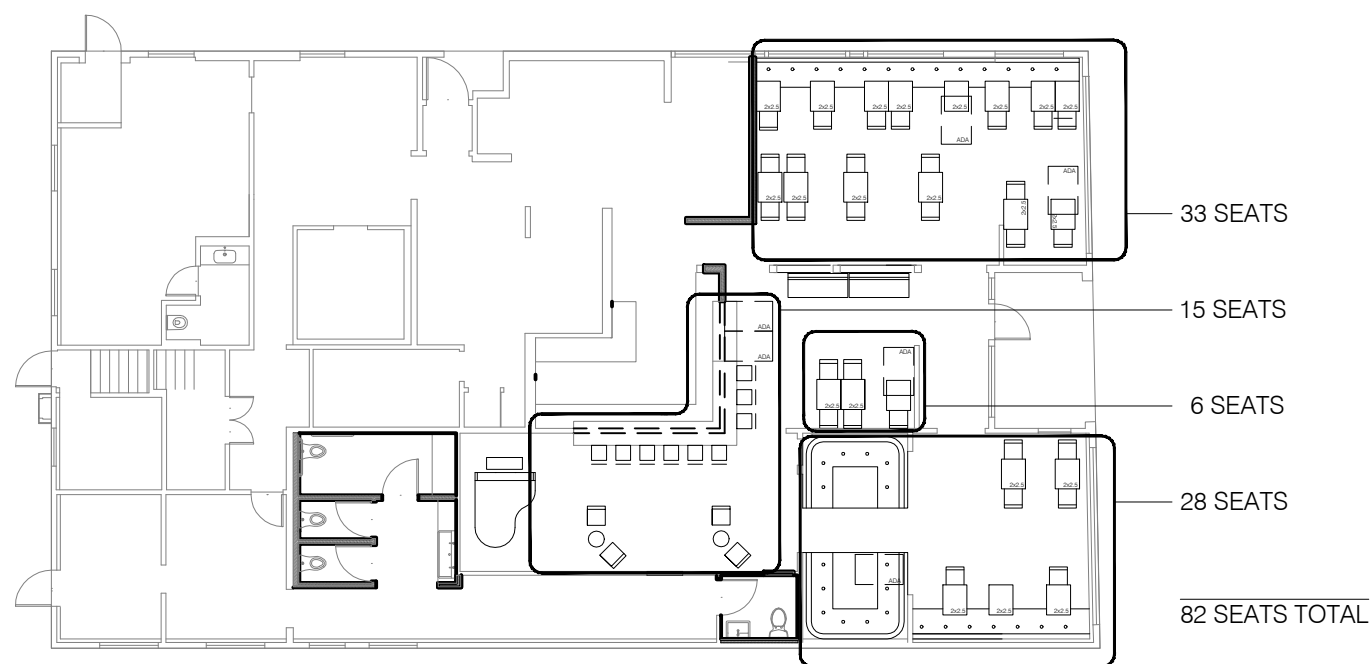
SCALE: 1/4" = 1'-0" SHEET

L1 NEW PLAN

A2.5

DATE: 2021.04.16
JOB NUMBER: 2027

SEAT COUNT DIAGRAM



LEGEND

MARK	DESCRIPTION
(E) WALL TO REMAIN / PROTECT	
(N) WALL, 2X4 @ 16" OC OR MTL STUD, W/ 5/8" TYPE X GYP BOTH SIDES	

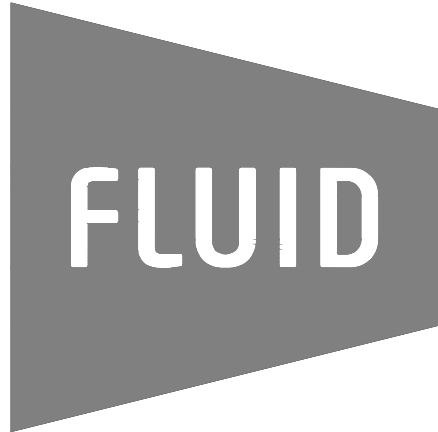
GENERAL NOTES

1. NEW WALLS ARE NON-LOAD BEARING. FRAME WALLS TO BOTTOM CHORD OF (E) TRUSSES & BRACE TO BOTTOM CHORD. REFER TO A2.5A FOR WALL LAYOUT AND WALL ASSEMBLY INFORMATION.
2. NO CHANGES TO BUILDING EXTERIOR THIS LEVEL.
3. REFER TO CODE ANALYSIS SHEETS T2.4 & T2.5 FOR ADDITIONAL INFORMATION.
4. ALL DIMS FROM (E) FACE OF FINISH.
5. ALL DIMENSIONS AND CONDITIONS TO BE VIF.
6. REFER TO FOOD SERVICE DRAWINGS FOR EQUIPMENT, FINISHES, AND UTILITIES IN ALL KITCHEN, FOOD PREP AND FOOD STORAGE AREAS.

KEYNOTES

1. -

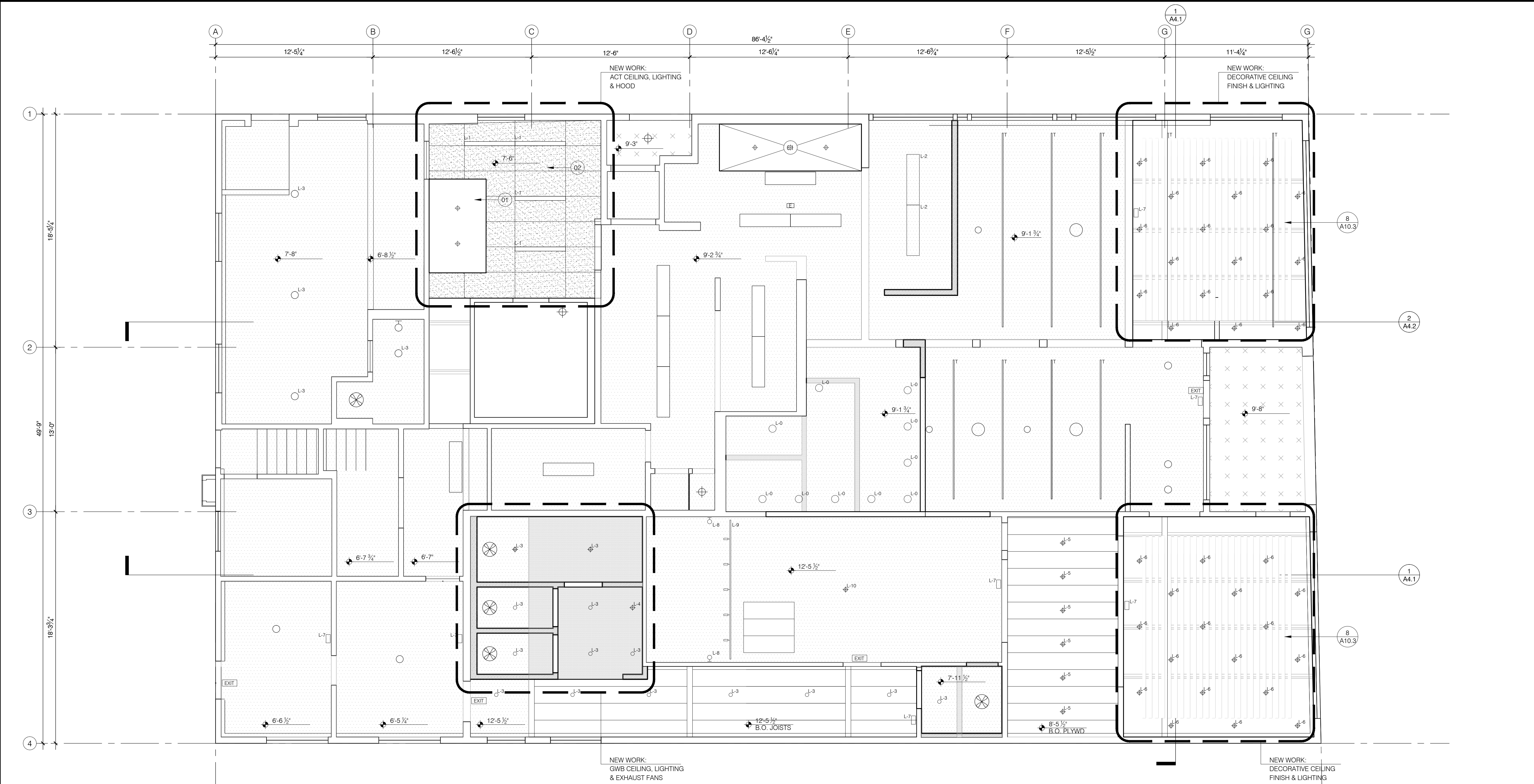
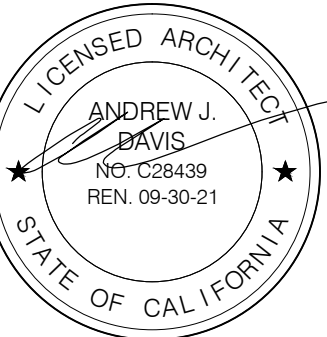
5% (.05 * 82 = 4.1) TO BE ADA ACCESSIBLE PER 11B-226.1, WITH DINING SURFACE COMPLYING WITH 11B-902 AND CLEAR FLOOR SPACE FOR FORWARD APPROACH COMPLYING WITH 11B-305 (30"x48") & KNEE & TOE CLEARANCE PER 11B-306



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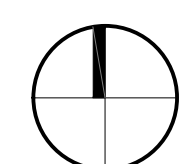
TENANT
IMPROVEMENTS

NOT FOR CONSTRUCTION

SCALE: 1/4" = 1'-0" SHEET

L1 PROPOSED RCP

DATE: 2021.04.16
JOB NUMBER: 2027



A2.6

ELECTRICAL & POWER LEGEND

- S SWITCH
- S₃ SWITCH, MULTI-POLE
- ⊕ RECEPTACLE
- ⊕ QUAD RECEPTACLE
- ⊕_E EQUIPMENT RECEPTACLE
- ▼ DATA/TEL
- TV DATA & POWER
- JUNCTION BOX
- JUNCTION BOX
- ⊙ SMOKE DETECTOR
- ⊙ SMOKE CO DETECTOR
- ⊙ DEHUMIDISTAT SWITCH
- ⊙ FAN

- RECESSED DOWNLIGHT
- WALL SCONCE
- PENDANT
- ⊕ EMERGENCY LIGHT
- TRACK LIGHT
- UTILITY FLUORESCENT

LEGEND

- | MARK | DESCRIPTION |
|------|---|
| (E) | PAINTED GYP BOARD CEILING TO REMAIN/PROTECT - FOR REFERENCE / NO WORK |
| (E) | SUSPENDED 2x4 ACOUSTIC CEILING TILE SYSTEM, COMMERCIAL-KITCHEN RATED |
| (N) | PAINTED 5/8" TYPE X GYP BOARD CEILING O/ (E) JOISTS |
| (N) | DECORATIVE SUSPENDED WOOD SLAT CEILING FEATURE |

GENERAL NOTES

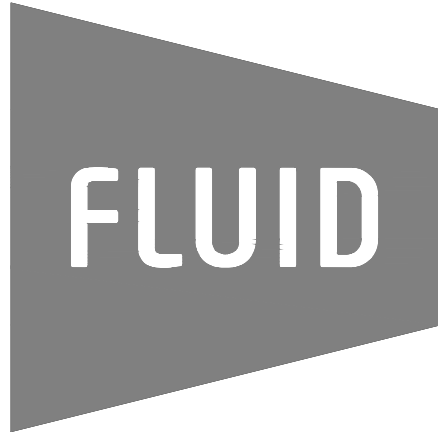
- POWER RECEPTACLES TO REMAIN WHEREVER POSSIBLE. UPGRADE RECEPTACLE TO TYPE REQUIRED BY CURRENT CODE FOR LOCATION (AFCI, GFCI, ETC).
- EXISTING AND NEW LIGHTING FIXTURES SHOWN FOR REFERENCE. NEW FIXTURES ARE TAGGED WITH A FIXTURE SCHEDULE CALL-OUT. EXISTING FIXTURES NOT TAGGED ARE TO REMAIN OPERATIONAL.
- ALL (N) LIGHTING TO BE LED.
- AREAS WITH NEW CEILING TREATMENT ARE CIRCLED WITH A HEAVY DASHED LINE IN ADDITION TO THE PATTERN ON THE LEGEND. ADDITIONAL RCP SCOPE IS NOT IDENTIFIED IN THE SAME WAY AND CONSISTS OF INSTALLATION OF NEW LIGHTING, FANS, OR PATCH/REPAIR OF CEILING WHERE REQUIRED DUE TO DEMO.
- NEW ELECTRICAL IN ALL KITCHEN AREAS IS TO BE ROUTED SO IT IS CONCEALED BEHIND THE FINISHED WALL OR CEILING SURFACE, PER EHS REQUIREMENTS. IN OTHER LOCATIONS, RUN ELECTRICAL CONCEALED TO THE GREATEST EXTENT POSSIBLE.
- FIXTURE TYPE L6 IS A TRACK LIGHT FIXTURE, TO BE MOUNTED TO EXISTING STRUCTURES.

KEYNOTES

-

NOTES
1. -

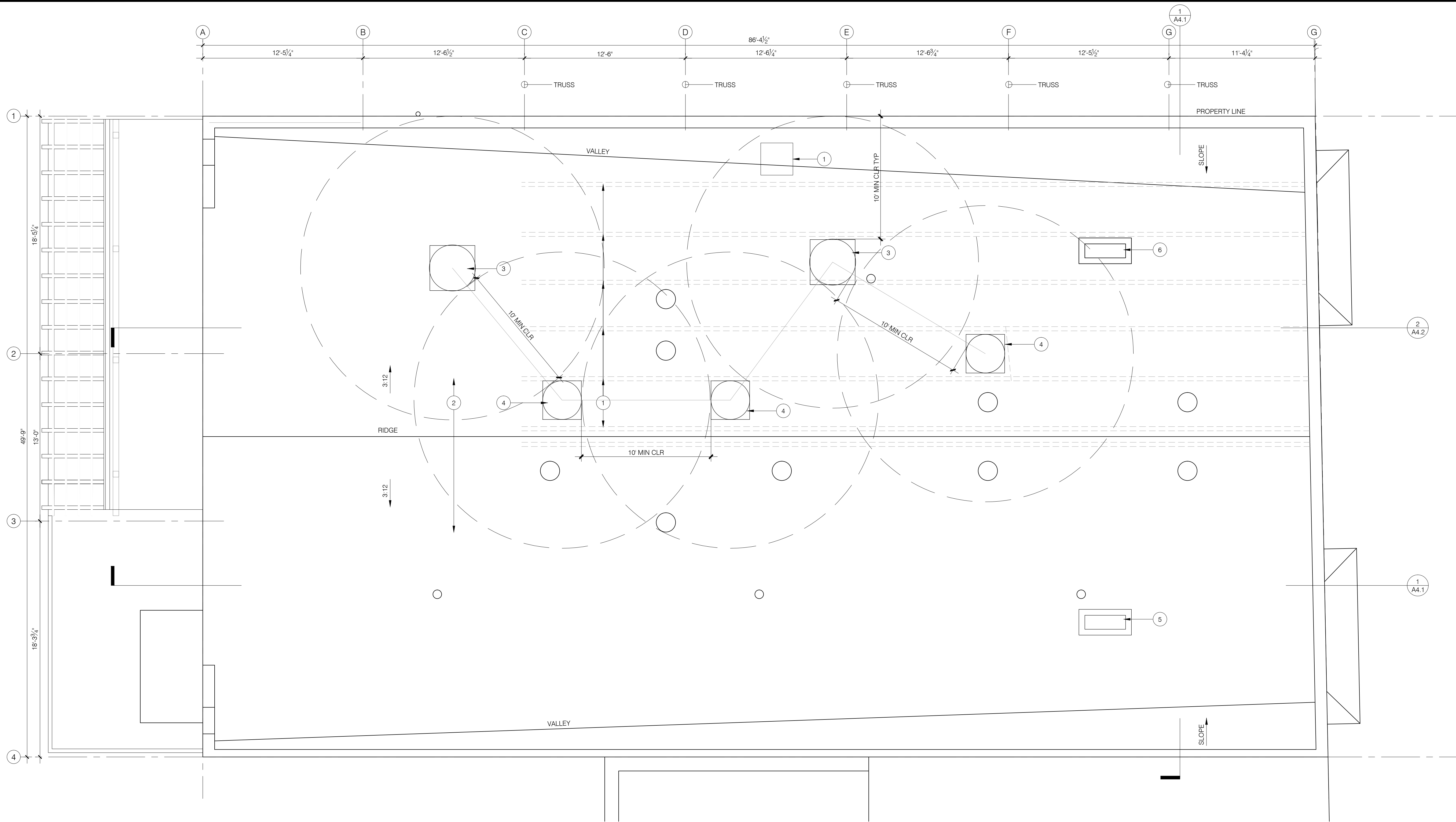
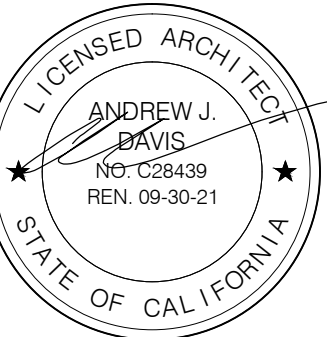
NOTES
1. -



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LEGEND

MARK	DESCRIPTION
1	ROOF SCOPE CONSISTS OF INSTALLATION OF NEW ROOF-MOUNTED EQUIPMENT
2	ALL CONDITIONS TO BE VIF BY CONTRACTOR
3	TRUSSES MARKED ON GRID LINES & ROOF PURLINS INDICATED FOR REFERENCE. DO NOT ALTER STRUCTURAL MEMBERS FOR ANY WORK, INCLUDING INSTALLATION OF MECHANICAL UNITS
4	ROOF MEMBRANE REPAIR SHALL BE PERFORMED BY ORIGINAL ROOF INSTALLER OR CONTRACTOR APPROVED OR CERTIFIED FOR INSTALLATION OF MEMBRANE ROOF SYSTEM
5	ENSURE 10' MINIMUM CLEARANCE BETWEEN ALL AIR INLETS AND EXHAUST LOCATIONS/PLUMBING VENT STACKS, AND BETWEEN ALL EXHAUST LOCATIONS AND THE PROPERTY LINE.

GENERAL NOTES

1. ROOF SCOPE CONSISTS OF INSTALLATION OF NEW ROOF-MOUNTED EQUIPMENT
2. ALL CONDITIONS TO BE VIF BY CONTRACTOR
3. TRUSSES MARKED ON GRID LINES & ROOF PURLINS INDICATED FOR REFERENCE. DO NOT ALTER STRUCTURAL MEMBERS FOR ANY WORK, INCLUDING INSTALLATION OF MECHANICAL UNITS
4. ROOF MEMBRANE REPAIR SHALL BE PERFORMED BY ORIGINAL ROOF INSTALLER OR CONTRACTOR APPROVED OR CERTIFIED FOR INSTALLATION OF MEMBRANE ROOF SYSTEM
5. ENSURE 10' MINIMUM CLEARANCE BETWEEN ALL AIR INLETS AND EXHAUST LOCATIONS/PLUMBING VENT STACKS, AND BETWEEN ALL EXHAUST LOCATIONS AND THE PROPERTY LINE.

KEYNOTES

1. (E) PURLIN LOCATION, FOR REFERENCE VIF
2. INSTALL (N) SHEATHG & ROOF MEMBRANE SYSTEMS @ DEMO'D EQUIPMENT LOCATION
3. (N) EXHAUST FAN & ROOF CURB, SMD FOR EQUIPMENT SPECS.
4. (N) INTAKE FAN & ROOF CURB, SMD FOR EQUIPMENT SPECS.
5. (N) CURB-MTD CONDENSER, +/- 38"L x 13"D x 42"H
6. (E) OR REPLACEMENT CURB-MTD CONDENSER, +/- 38"L x 13"D x 42"H

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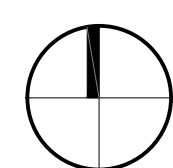
TENANT
IMPROVEMENTS

NOT FOR CONSTRUCTION

SCALE: 1/4" = 1'-0"

SHEET

NEW ROOF PLAN



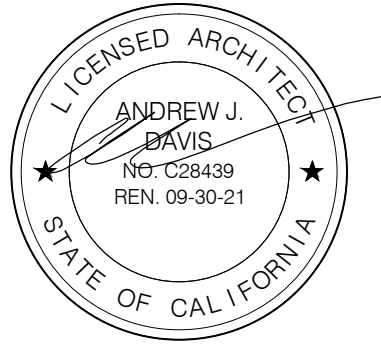
A2.7



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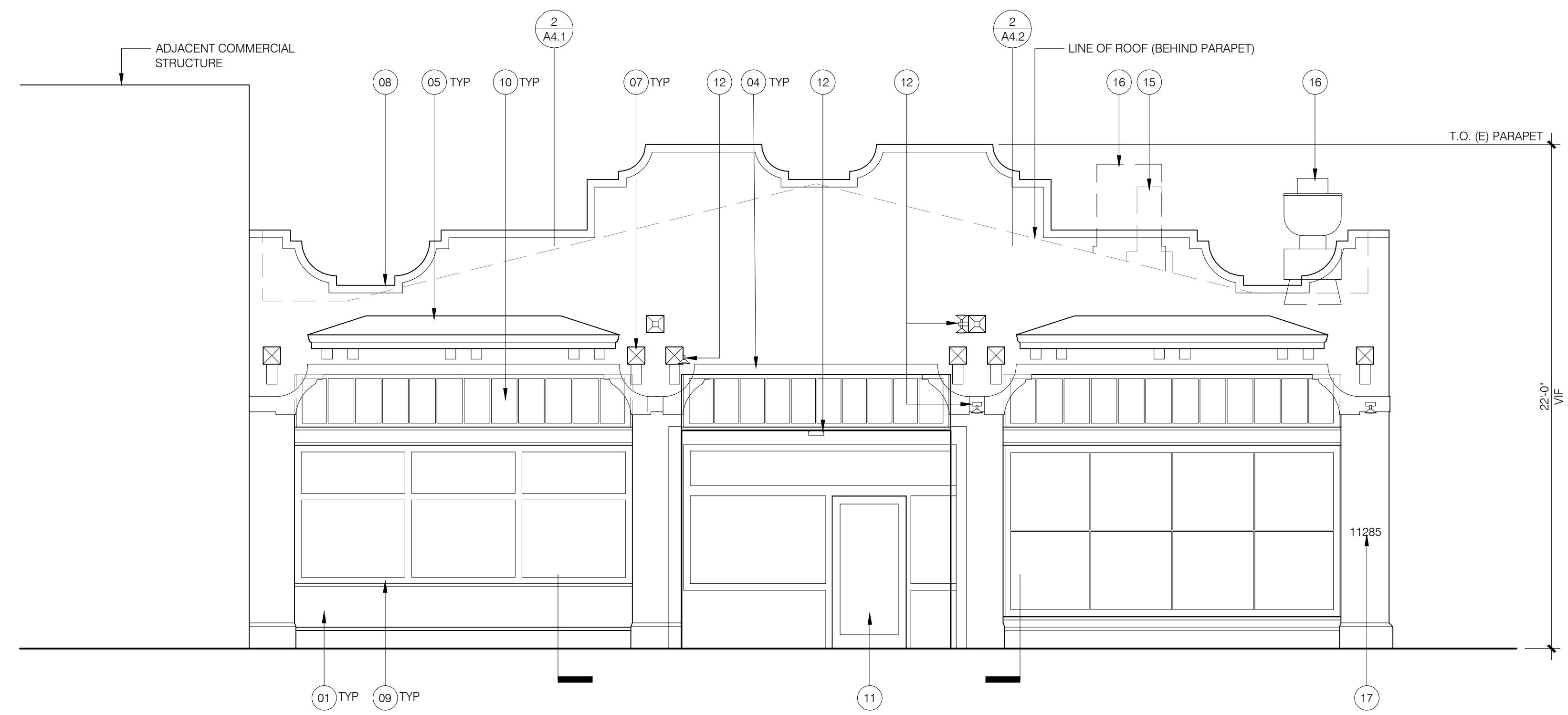


GENERAL NOTES

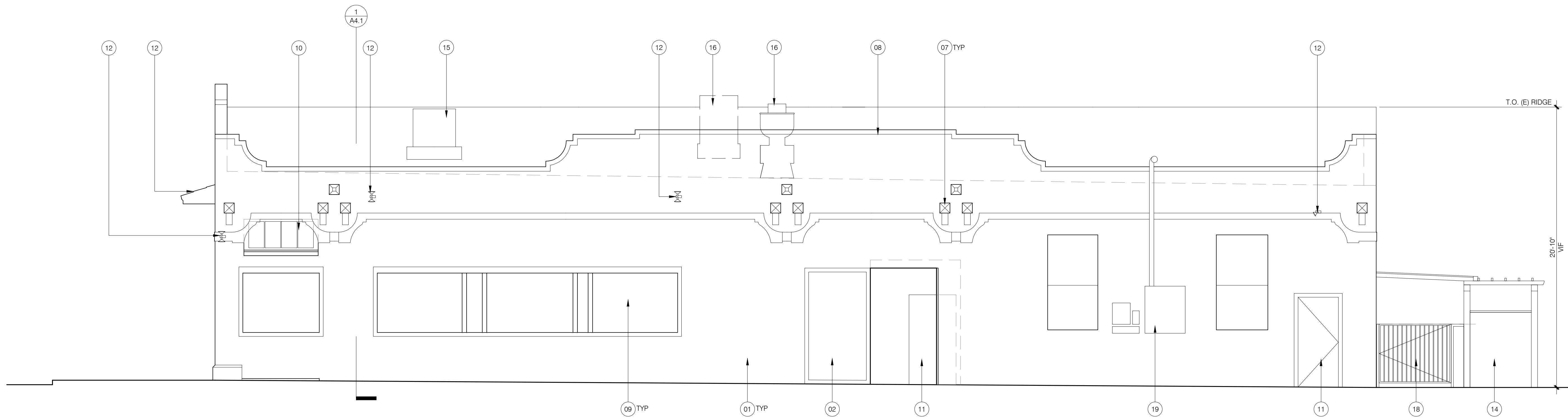
1. KEYED NOTES APPLY TO EXTERIOR ELEVATION SHEETS
2. NO CHANGES PROPOSED TO EXISTING EXTERIOR, EXCEPT FOR ROOF-MOUNTED EQUIPMENT & SIGNAGE

KEYNOTES

1. (E) STUCCO, PAINTED, TO REMAIN/PROTECT
2. (E) WD SIDG, PAINTED, TO REMAIN/PROTECT
3. (E) ALUMINUM SIDG, PAINTED, TO REMAIN/PROTECT
4. (E) WD TRIM, PAINTED, TO REMAIN/PROTECT
5. (E) CLAY TILE ROOF, TO REMAIN/PROTECT
6. (E) MEMBRANE ROOF, WHITE, TO REMAIN/PROTECT
7. (E) WD DECORATIVE OUTRIGGER, PAINTED, TO REMAIN/PROTECT
8. (E) MTL COPING, PAINTED, TO REMAIN/PROTECT
9. (E) GLAZING/WINDOW UNIT, PAINTED WD OR ALUMINUM TO REMAIN/PROTECT
10. (E) CLERESTORY WINDOW UNIT, PAINTED WD, TO REMAIN/PROTECT
11. (E) DOOR, PAINTED, TO REMAIN/PROTECT
12. (E) EXTERIOR LIGHT, TO REMAIN/PROTECT
13. (E) DECK STRUCTURE W/ FIBERGLASS ROOF TO REMAIN/PROTECT
14. (E) WD COVERED PERGOLA UTILITY/TRASH SCREEN/STRUCTURE TO REMAIN/PROTECT
15. (E) ROOF-MTD EQUIPMENT TO REMAIN/PROTECT
16. (E) ROOF-MTD EQUIPMENT TO BE REMOVED/REPLACED
17. (E) ADDRESS NUMERALS, 4" MIN HEIGHT
18. (E) MTL GATE, TO REMAIN/PROTECT
19. (E) MAIN ELECTRICAL SERVICE TO REMAIN/PROTECT
20. (E) GAS METER UTILITY ENCLOSURE, TO REMAIN/PROTECT



01 EAST / CA-1 ELEVATION



02 NORTH / 3RD STREET ELEVATION

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TENANT IMPROVEMENTS

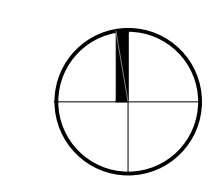
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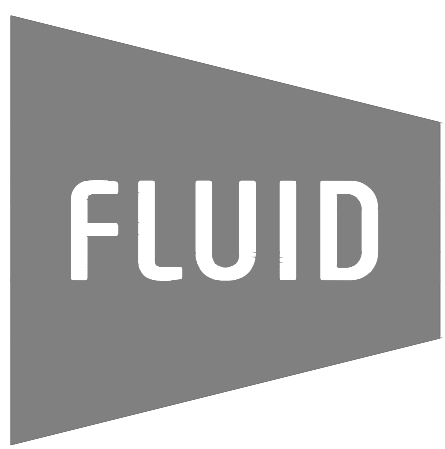
SCALE: 1/4" = 1'-0" SHEET

EXISTING EXTERIOR ELEVATIONS

A3.1

DATE: 2021.04.16
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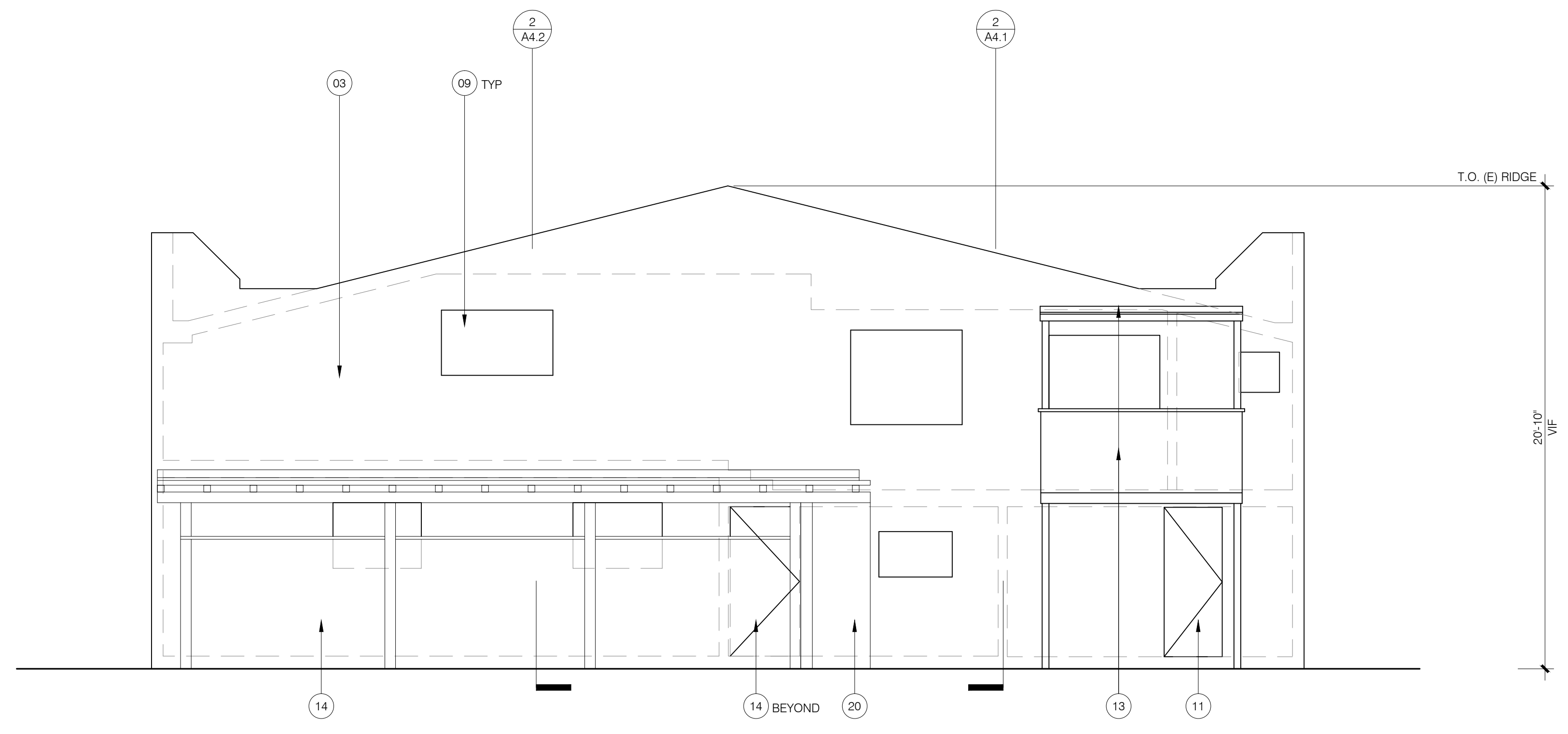
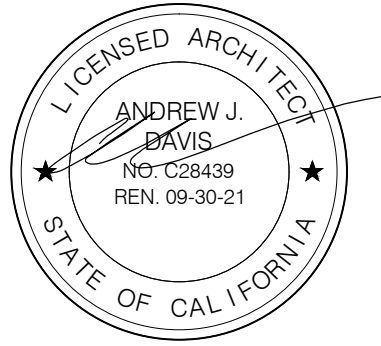




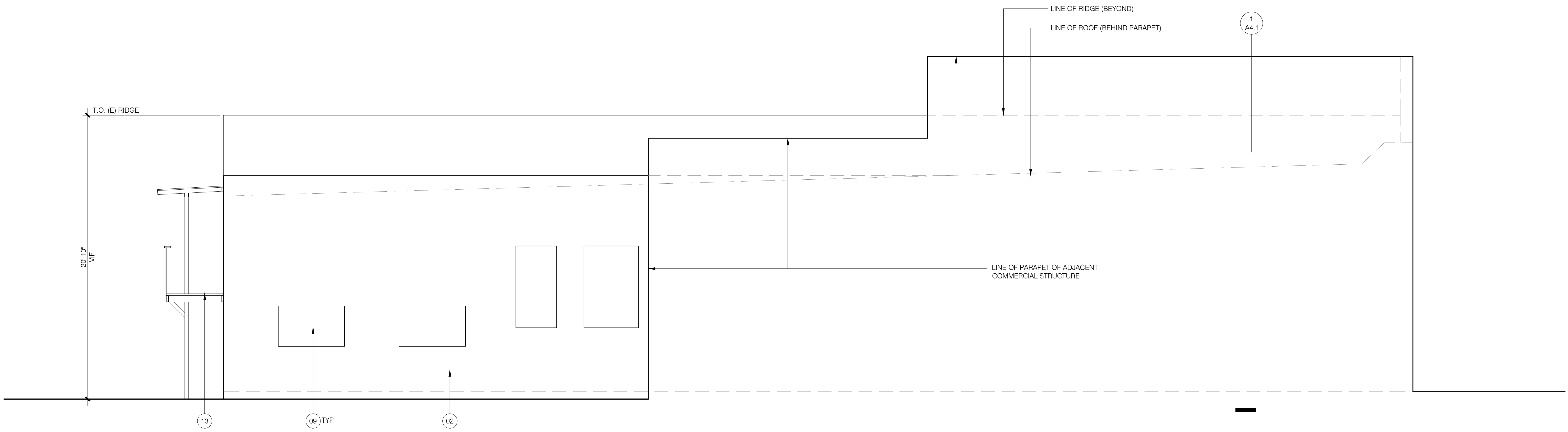
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01 WEST ELEVATION



02 SOUTH ELEVATION

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APN 119-226-01**

**TENANT
IMPROVEMENTS**

NOT FOR CONSTRUCTION

SCALE: 1/4" = 1'-0" SHEET

EXISTING EXTERIOR
ELEVATIONS

A3.2

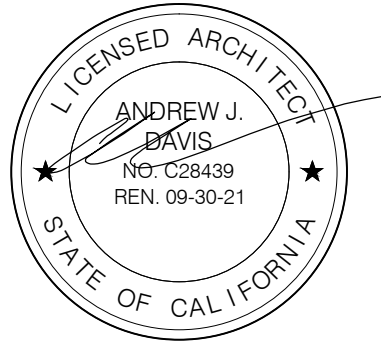
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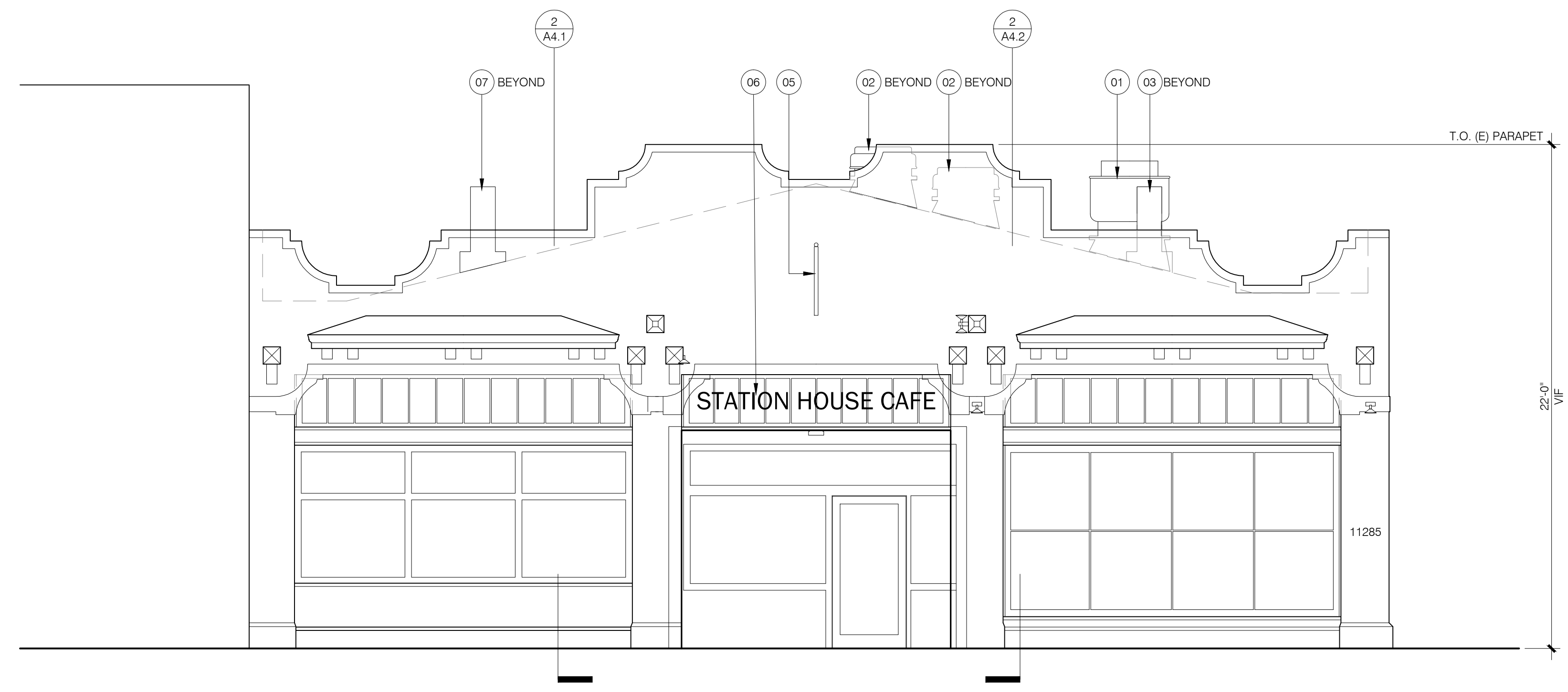


GENERAL NOTES

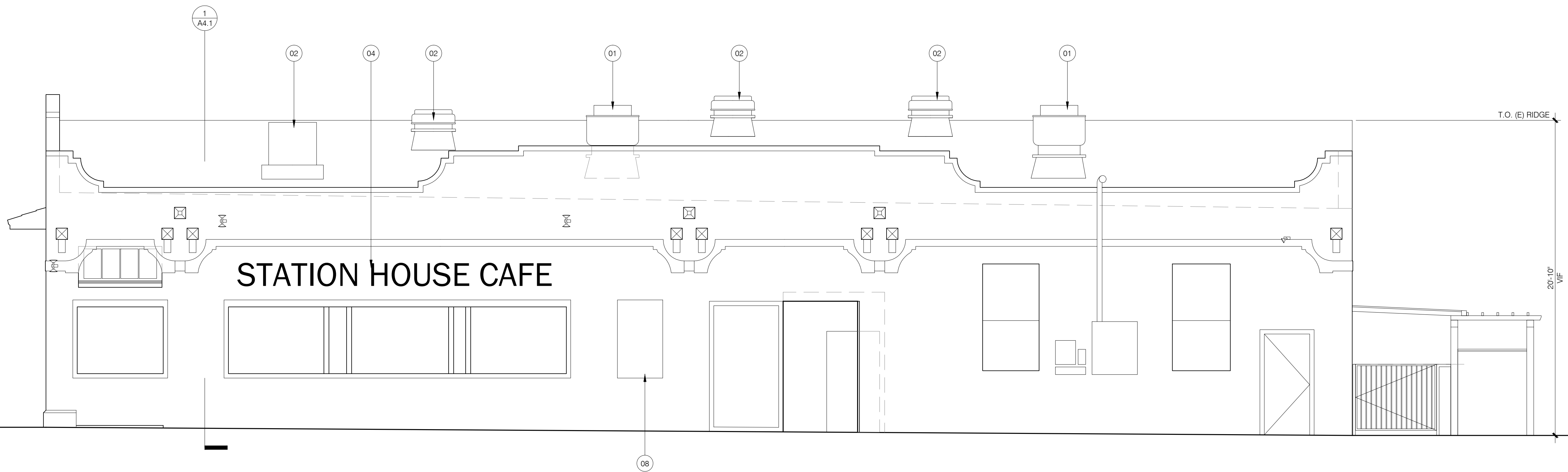
- 1. NO CHANGES PROPOSED TO EXISTING EXTERIOR, EXCEPT FOR ROOF-MOUNTED EQUIPMENT

KEYNOTES

- 1. NEW EXHAUST FAN, SMD
- 2. NEW RETURN AIR FAN, SMD
- 3. (E) OR REPLACEMENT CURB-MTD CONDENSER
- 4. (N) SIGNAGE, 18"H LETTERS x 20', STEEL, RAISED LETTERS
- 5. (N) BLADE SIGN, +/- 2' W x 3' H
- 6. (N) SIGNAGE, BEHIND CLERESTORY WINDOW (IN ATTIC), 8"H x 10'L
- 7. (N) CURB MTD CONDENSER
- 8. (N) WAYFINDING SIGN/MAP, W/ DIRECTIONS TO REMOTE PARKING



01 NEW EAST / CA-1 ELEVATION



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TENANT IMPROVEMENTS

NOT FOR CONSTRUCTION

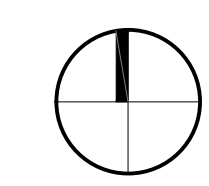
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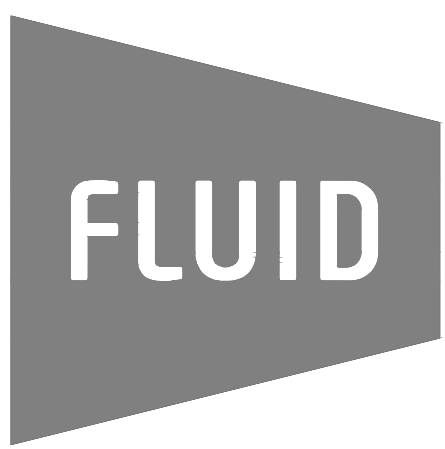
NEW EXTERIOR ELEVATIONS

A3.3

DATE: 2021.04.16
JOB NUMBER: 2027

02 NEW NORTH / 3RD STREET ELEVATION

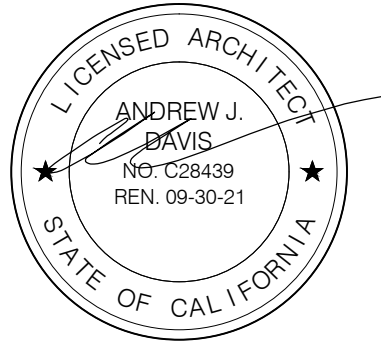




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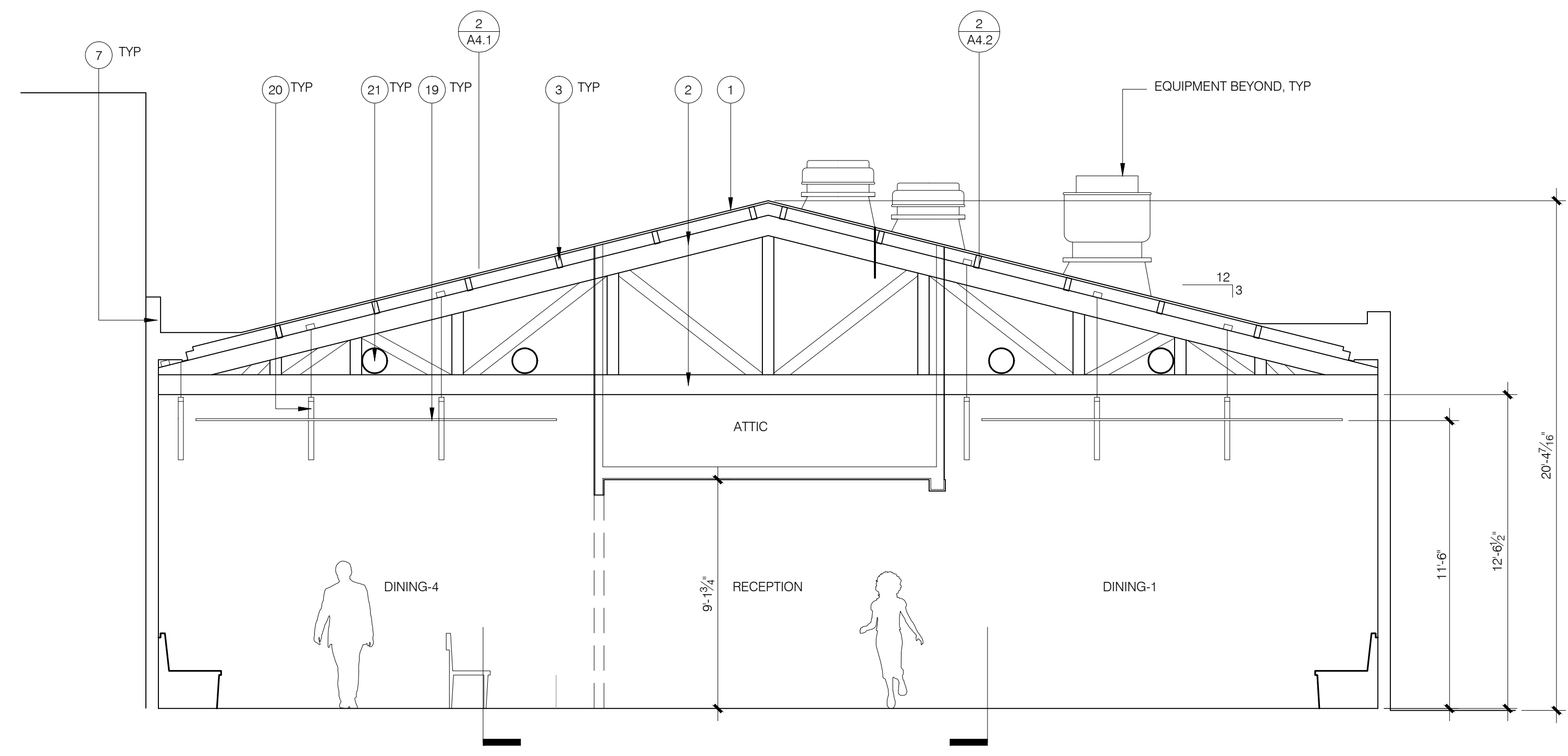


GENERAL NOTES

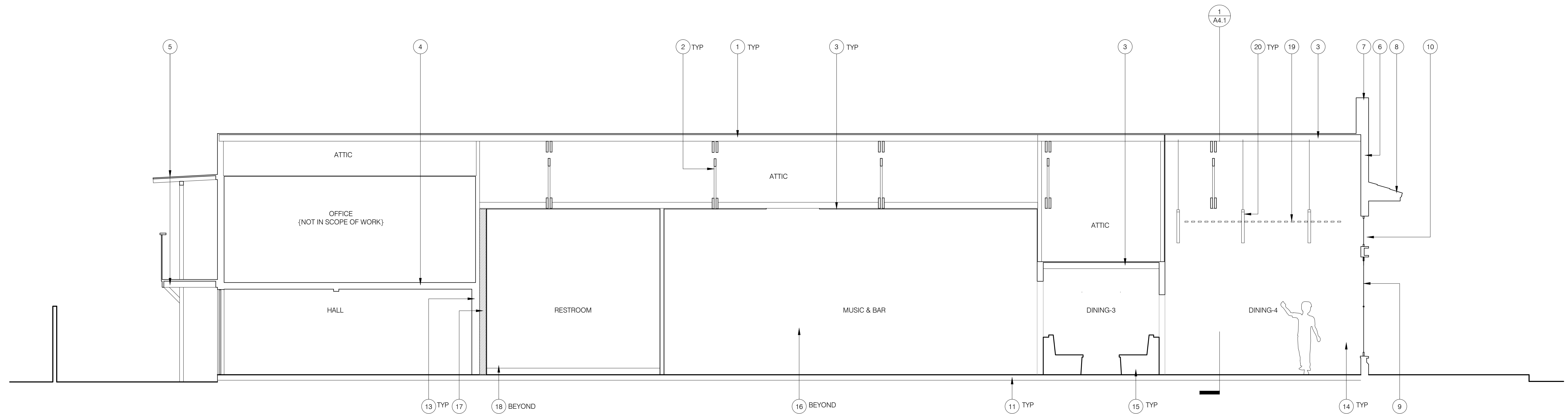
1. NO CHANGES PROPOSED TO EXISTING STRUCTURE.
2. KEYED NOTES APPLY TO SHEETS A4.1 & A4.2

KEYNOTES

1. (E) MEMBRANE ROOF O/ ROOF PURLINS @ +/- 4' O.C. TO REMAIN/PROTECT
2. (E) TRUSS TO REMAIN/PROTECT
3. (E) CEILING JOIST & CEILING FINISH TO REMAIN/PROTECT REFER TO RCP
4. (E) FLOOR/CEILING STRUCTURE TO REMAIN/PROTECT
5. (E) ROOFED DECK STRUCTURE, WD GUARDAIL, FIBERGLASS ROOF, TO REMAIN/PROTECT
6. (E) EXTERIOR WALL TO REMAIN/PROTECT
7. (E) PARAPET, HEIGHT VARIES, TO REMAIN/PROTECT
8. (E) DECORATIVE TERRA-COTTA ROOFED AWNING TO REMAIN/PROTECT
9. (E) STOREFRONT GLAZING TO REMIAN/PROTECT
10. (E) CLERESTORY WINDOW TO REMAIN/PROTECT
11. (E) SLAB ON GRADE, POLISH
12. (E) SANITARY QUARRY TILE FLOOR TO REMAIN/REPAIR
13. (E) INTERIOR WALL TO REMAIN/PROTECT
14. FURNITURE, SHOWN FOR REFERENCE
15. BANQUETTE SEATING
16. BAR BEYOND
17. NEW WALL, PER PLAN
18. NEW PLUMBING FIXTURE, PER PLAN
19. NEW SUSPENDED WD SLAT DECORATIVE CEILING FINISH, PER RCP
20. NEW LIGHT FIXTURE, PER RCP
21. NEW HVAC DUCT
22. (E) WD TILE FLOOR



01 CROSS SECTION



02 LONG SECTION

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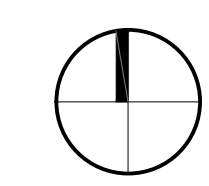
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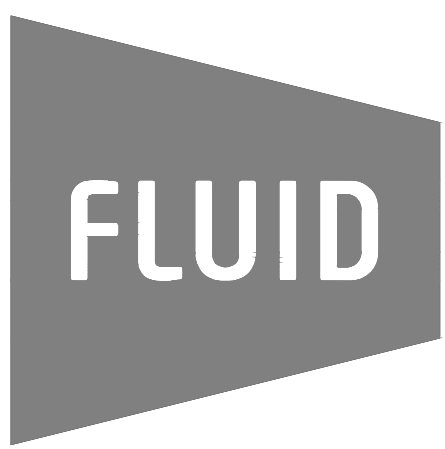
SCALE: 1/4" = 1'-0" SHEET

BUILDING SECTIONS



A4.1

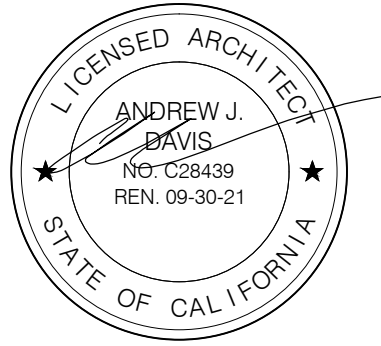
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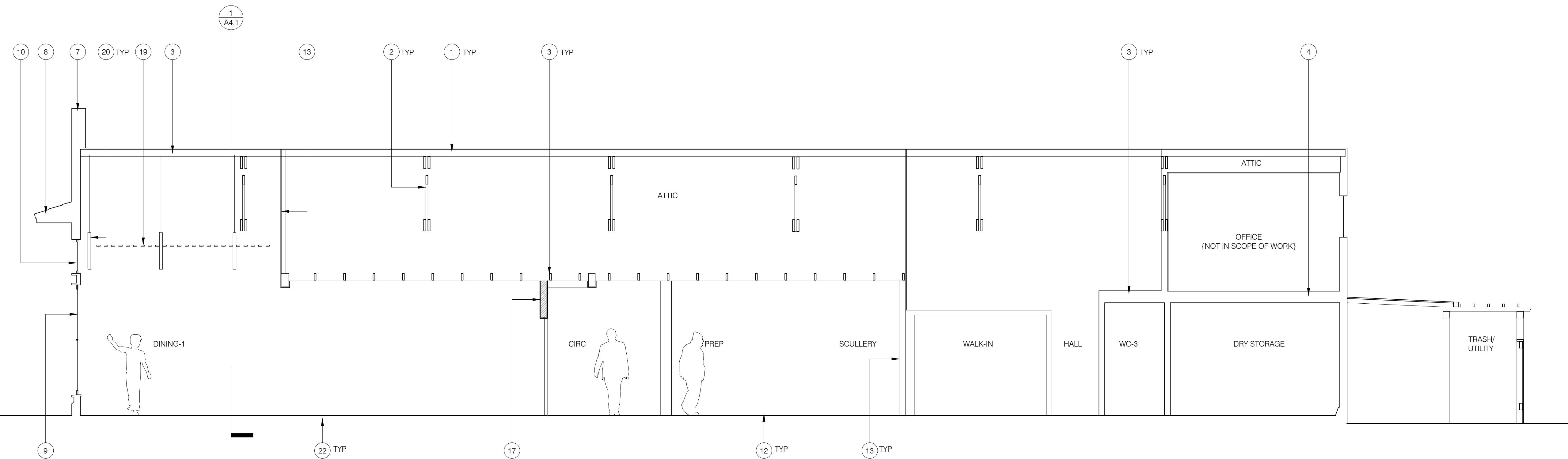
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01 -



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TENANT
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SCALE: 1/4" = 1'-0" SHEET

BUILDING SECTIONS

A4.2

02 LONG SECTION

DATE: 2021.04.16
JOB NUMBER: 2027