

ABBREVIATIONS

ADJ	ADJUSTABLE	HB	HOSE BIB	SAD	SEE ARCHITECTURAL
AFF	ABOVE FINISH FLOOR	HC	HOLLOW CORE	SED	SEE ELECTRICAL
ALUM	ALUMINUM	HDR	HEADER	SED	SEE ELECTRICAL
ARCH	ARCHITECTURE	HR STL	HOT-ROLLED STEEL	SF	SUBFLOOR
ASPH	ASPHALT	HVAC	HEATING, VENTILATION AND AIR CONDITIONING	SHT	SHEET
BD	BOARD	HWH	HOT WATER HEATER	SHTG	SHEATHING
BLDG	BUILDING	ICPV	INTEGRAL COLOR	SPSD	SEE FOOD SERVICE DRAWINGS
BLK	BLOCK	INS	INSULATION	SKD	SEE KITCHEN DRAWINGS
BLKG	BLOCKING	INT	INTERIOR	SLD	SEE LIGHTING DRAWINGS
BM	BEAM	LAM	LAMINATE	SMD	SEE MECHANICAL DRAWINGS
BO	BOTTOM OF	LT	LIGHT	SP	SINGLE POLE
BU	BUILT-UP	MFR	MANUFACTURER	SPD	SEE PLUMBING DRAWINGS
CAB	CABINET	MAX	MAXIMUM	SQ	SQUARE
CLG	CEILING	MECH	MECHANICAL	SS	STAINLESS STEEL
CLR	CLEAR	MBR	MEMBRANE	SSD	SEE STRUCTURAL DRAWINGS
CTRL	CONTROL	MIN	MINIMUM	STD	STANDARD
CONC	CONCRETE	MTL	METAL	T&G	TONGUE & GROOVE
CONT	CONTINUOUS	(N)	NEW	TO	TOP OF
CTR	CENTER	NIC	NOT IN CONTRACT	TOFF	TOP OF FINISH FLOOR
DBL	DOUBLE	NO OR (#)	NUMBER	TOS	TOP OF SLAB
DF	DOUGLAS FIR	O'	OVER	TOW	TOP OF WALL
DIA	DIAMETER	OC	ON CENTER	TP	TOILET PAPER
DIM	DIMENSION	OD	OUTER DIAMETER	TYP	TYPICAL
DN	DOWN	OF	OWNER FURNISHED, CONTRACTOR INSTALLED	UON	UNLESS OTHERWISE NOTED
DS	DOWNSPOUT	OFOI	OWNER FURNISHED, OWNER INSTALLED	VERT	VERTICAL
DTL	DETAIL	OPNG	OPENING	VIF	VERIFY IN FIELD
DWG	DRAWING	PC	POURED CONCRETE	VNR	VENEER
(E)	EXISTING	PL	PLATE	W	WEST
E	EAST	PNL	PANEL	W/	WITH
EA	EACH	PLYWD	PLYWOOD	W/O	WITHOUT
ELEC	ELECTRICAL	PT	PRESSURE TREATED	WC	WATER CLOSET
ELEV	ELEVATION	PTD	PAINTED	WD	WOOD
EQ	EQUAL	R	RADIUS	WIND	WINDOW
EXP	EXPOSED	RA	RETURN AIR	WP	WATERPROOF
EXT	EXTERIOR	REF	REFERENCE		
FDN	FOUNDATION	REG	REGISTER		
FF	FINISH FLOOR	REINF	REINFORCED		
FIN	FINISH	REQ	REQUIRED		
FLR	FLOOR	RET	RETURN		
FOC	FACE OF CONCRETE	RDWD	REDWOOD		
FOF	FACE OF FINISH	RM	ROOM		
FOS	FACE OF STUD	RVL	REVEAL		
FOP	FACE OF PLYWOOD	SA	SOUTH		
FP	FIRE PROOF		SUPPLY AIR		
FR	FIRE RESISTANT				
FURN	FURNACE				
GA	GAUGE				
GALV	GALVANIZED				
GND	GROUND				
GWB	GYPSUM WALL BOARD				

CONDITIONS OF APPROVAL

CONSTRUCTION NOTES

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE NATIONAL BOARD OF UNDERWRITERS, THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, THE NATIONAL PLUMBING AND MECHANICAL CODE, AND ALL APPLICABLE LOCAL AND STATE LAWS AND ORDINANCES. NOTHING ON THE DRAWINGS SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES. ALL CONDITIONS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE SIMILAR TO THOSE SHOWN OR IMPLIED OR SHALL MATCH EXISTING CONDITIONS.
- ALL WORK AND MATERIALS SHALL BE IN CONFORMANCE TO ALL REQUIREMENTS OF WILD AND URBAN INTERFACE (WUI) CODES AND STANDARDS
- ALL WORK SHALL BE PERFORMED IN CONFORMANCE TO ALL REQUIREMENTS OF THE STATE OF CALIFORNIA ENERGY COMMISSION (TITLE 24) ENERGY EFFICIENCY STANDARDS FOR NEW OR EXISTING BUILDINGS
- THE CONTRACTOR SHALL COMPLETE AND PERFORM ALL WORK IN A GOOD, PROFESSIONAL MANNER AT A LEVEL, QUALITY, AND TOLERANCE CONSISTENT WITH THE STANDARDS OF THE CONSTRUCTION INDUSTRY. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL INTENT OF CONSTRUCTION DESIRED AND IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT
- ALL PLAN NOTES IMPLY THE WORDS "THE CONTRACTOR SHALL..." OR "THE CONTRACTOR SHALL INSTALL..." WHICH EVER IS APPLICABLE. ITEMS LABELED "EXISTING," "EXTG.," OR "(E)" ARE EXISTING AND SHALL REMAIN. ALL OTHER ITEMS AND NOTES NOT LABELED OR IDENTIFIED AS EXISTING SHALL BE CONSIDERED NEW AND SHALL BE PROVIDED BY THE CONTRACTOR.
- ALL DIMENSIONS TAKE PRECEDENT OVER SCALE. THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS WITH THE INTENT OF DETERMINING EXACT PLACEMENT OR LOCATION OF PARTICULAR ASSEMBLIES.
- VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. REPORT ANY DISCREPANCIES TO ARCHITECT FOR RESOLUTION. DISCREPANCIES BETWEEN ARCHITECT'S, ENGINEER'S OR MANUFACTURER'S CONSTRUCTION DETAILS SHALL BE RESOLVED TO SATISFY THE MOST STRINGENT REQUIREMENT.
- CONTRACTOR TO MAINTAIN ALL PROPER WORKER'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT DURATION OF CONSTRUCTION.
- A SPECIAL INSPECTION IS REQUIRED FOR ALL CONCRETE, EPOXY, AND WELDING WORK. CONTRACTOR TO PROVIDE NAME OF QUALIFIED PERSON(S) WHEN SELECTED.
- GC TO FOLLOW LOCAL WASTE MANAGEMENT REQUIREMENTS PRIOR TO DEMOLITION BEGIN - FORM A AND B OF ZERO WASTE MARIN DOCUMENT

DEMOLITION NOTES

- CONTRACTOR SHALL DEMOLISH ALL ITEMS REQUIRED TO COMPLETE THE PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR LEGALLY DISPOSING OF ALL DEBRIS, SURPLUS MATERIALS AND RUBBISH RESULTING FROM DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF LAW RELATING TO LEAD AND ASBESTOS
- CONTRACTOR MUST EXERCISE EXTREME CAUTION DURING DEMOLITION PROCEDURES, AND IS RESPONSIBLE FOR PROVIDING ANY BRACING, SHORING, ETC. NECESSARY TO PREVENT DAMAGE TO THE BUILDING.

SYMBOLS

	1HR RATED FULL HEIGHT WALL		DETAIL, SECTION, ELEVATION MARKER
	2HR RATED FULL HEIGHT WALL		INTERIOR ELEVATION MARKER
	(N) INTERIOR PARTITION WALL		INTERIOR ELEVATION MARKER
	LANDLORD PARTITION WALL		GRID LINE MARKER
	CLR. INDICATING CLEAR DIMENSION TO FINISHED FACE OF WALL INCLUDING MATERIALS.		ELEVATION POINT MARKER
	CLR. INDICATING CLEAR DIMENSION TO FINISHED FACE OF WALL INCLUDING MATERIALS.		DATUM POINT MARKER
	LINE BELOW OR HIDDEN LINE		DOOR TAG
	LINE ABOVE		WINDOW TAG
	CENTER LINE		ROOM ID TAG
	PROPERTY LINE		KEYNOTE TAG
	DIMENSION TO FACE OF STUD		REVISION NUMBER TAG
	ALL DIMENSIONS ARE TO FACE OF STUD U.O.N.		
	DIMENSION TO CENTERLINE		

SHEET INDEX

ARCHITECTURAL		SEPARATE PERMITS BY OTHERS	
COVER SHEET			
A0.00	PROJECT DATA	1.) POOL AND HOT TUB	
A0.01	SITE SURVEY	2.) SOLAR PANELS	
EX1.00	(E) SITE PLAN	3.) LANDSCAPING	
EX1.50	(E) SITE PHOTOS		
A1.00	PROPOSED SITE PLAN		
A1.01	STORY POLE STAKING PLAN		
A1.50	PROPOSED 3D VIEWS		
EX2.00	(E) MAIN HOUSE PLAN		
EX2.10	(E) GARAGE GROUND & SECOND FLOOR PLANS		
EX4.00	(E) MAIN HOUSE ELEVATIONS		
EX4.10	(E) MAIN HOUSE ELEVATIONS		
EX4.20	(E) GARAGE ELEVATIONS		
A2.00	MAIN HOUSE & POOL GROUND FLOOR PLAN		
A2.01	MAIN HOUSE & POOL ROOF PLAN		
A2.10	GARAGE GROUND & SECOND FLOOR PLANS		
A4.00	MAIN HOUSE ELEVATIONS		
A4.01	MAIN HOUSE ELEVATIONS		
A4.10	MAIN HOUSE SECTIONS		
A4.11	MAIN HOUSE SECTIONS		
A4.20	GARAGE ELEVATIONS		
A4.30	GARAGE SECTIONS		
A4.70	MATERIALS AND FIXTURES		

FEMA FIRM MAPS



PANEL 0275D

FIRM
FLOOD INSURANCE RATE MAP

MARIN COUNTY, CALIFORNIA AND INCORPORATED AREAS

PANEL 275 OF 531
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
MARIN COUNTY	060173	0275	D

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
06041C0275D

EFFECTIVE DATE
MAY 4, 2009

Federal Emergency Management Agency

10 LAFRANCHI LANE

10 LAFRANCHI LANE
NICASIO, CA 94946

CASS CALDER SMITH
ARCHITECTURE
INTERIORS
44 MCLEA COURT
SAN FRANCISCO CA 94103
415.884.2800
CASSCALDERSMITH.COM

PROJECT DIRECTORY

OWNER	GREG DALTON AND LUCIA CHOI-DALTON 3059 CALIFORNIA STREET SAN FRANCISCO, CA 94115
ARCHITECT	CCS ARCHITECTURE 44 MCLEA COURT SAN FRANCISCO, CA, 94103 212.274.1121 X314 CONTACT: BJORN STEUDE

PROJECT INFORMATION

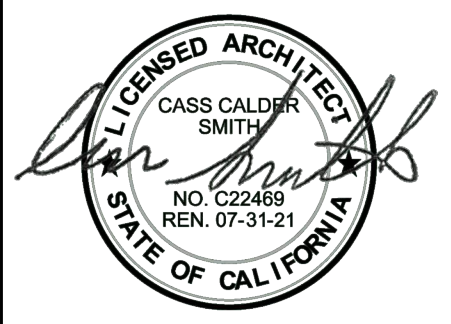
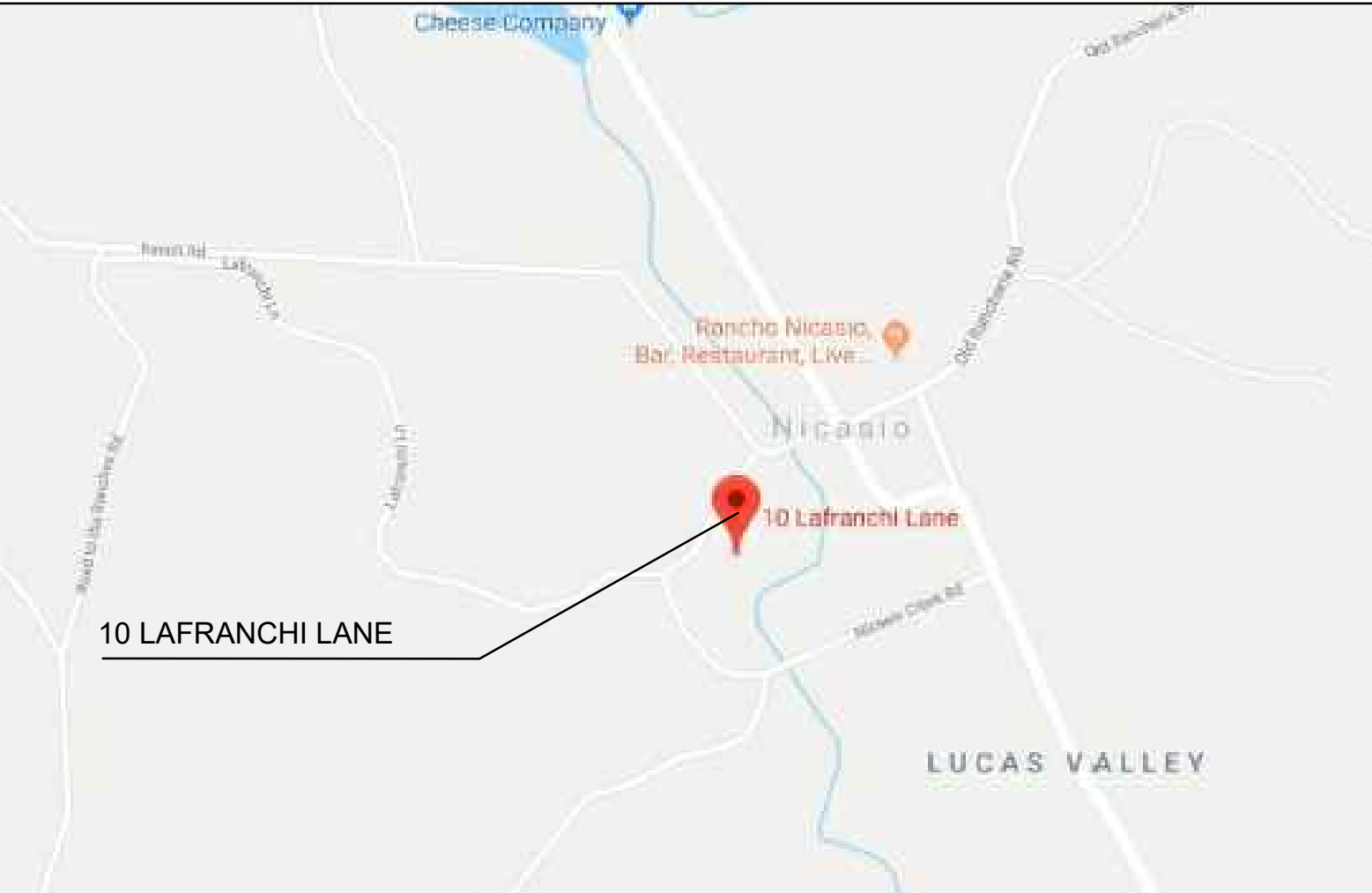
COMMUNITY PANEL NUMBER	121-310-31
PROJECT LOCATION	N38.0603205 W122.702744
PROJECT ADDRESS:	10 LAFRANCHI LANE, NICASIO, CA 94946
FEMA FIRM	ZONE X, FIMA FIRM MAP PANEL 06041C0275D
COUNTY PLAN AND USE:	ARP-7
ZONING	R-3
NUMBER OF STORIES	2
NUMBER OF BASEMENTS	0
NUMBER OF DWELLING UNITS	2
TYPE OF CONSTRUCTION	V-N; RAISED FLOOR HOUSE, SLAB ON GRADE GARAGE
OCCUPANCY TYPE	R-3
SPRINKLER	EXISTING: YES AT HOUSE, NO AT GARAGE
PROJECT DESCRIPTION	REMOVE (E) SUNROOM AT MAIN HOUSE AND EXTEND (E) DECK AND (E) PORCH ROOF. REPLACE PLUMBING FIXTURES & HVAC APPLIANCES AT MAIN HOUSE AND GARAGE. REPLACE (E) ROOF W/ MTL. ROOF AT MAIN HOUSE AND GARAGE. ADD POOL DECK, HARDSCAPE, AND TRELLIS STRUCTURES. INTERIOR REMODEL OF GARAGE. REPLACE GARAGE WINDOWS & DOORS. ADD TRELLIS AND DORMER. NEW SWIMMING POOL AND SURROUNDING LANDSCAPE DESIGN UNDER SEPARATE APPLICATION.

LOT AREA	102,366 SQFT
FRONT YARD SETBACK	80'-0" (20'-0 ROAD EASEMENT + 60' SETBACK)
REAR YARD SETBACK	WATER EASEMENT EDGE
SIDE YARD SETBACK	20'-0"
MAX BUILDING HEIGHT	NO CHANGE TO EXISTING

BUILDING INFORMATION	EXISTING	PROPOSED	CHANGES
MAIN HOUSE CONDITIONED AREA	2,755	2,755	0
GROSS MAIN HOUSE UNCONDITIONED AREA	744	1,512	+768
MAIN HOUSE FOOTPRINT (INCL. EX. PORCH)	2,306	3,074	+768
GARAGE CONDITIONED AREA	344	344	
GROSS GARAGE UNCONDITIONED AREA	1,137	1,294	+157
GARAGE FOOT PRINT	1,137	1,137	0
TOTAL UNCONDITIONED SQ.FT.	3,099	3,099	0
TOTAL UNCONDITIONED SQ.FT.	1,881	2,806	+925
TOTAL FOOTPRINT SQ.FT.	3,443	4,211	+768
BUILDING HEIGHT	30'-0" HOUSE / 17'-3" GARAGE	30'-0" HOUSE / 17'-3" GARAGE	0
TOTAL DEMO, LINEAR FT.	/	/	-1,080
FAR	3.8%	4.0%	+0.2%
LOT COVERAGE	3.4%	4.1%	+0.7%

PROJECT CODES
2019 CALIFORNIA BUILDING, PLUMBING, ELECTRICAL, MECHANICAL, ENERGY CODES
2019 CALIFORNIA RESIDENTIAL CODE

VICINITY MAP



PROJECT NAME
10 LAFRANCHI LANE
NICASIO, CA 94946
APN : 121-310-31

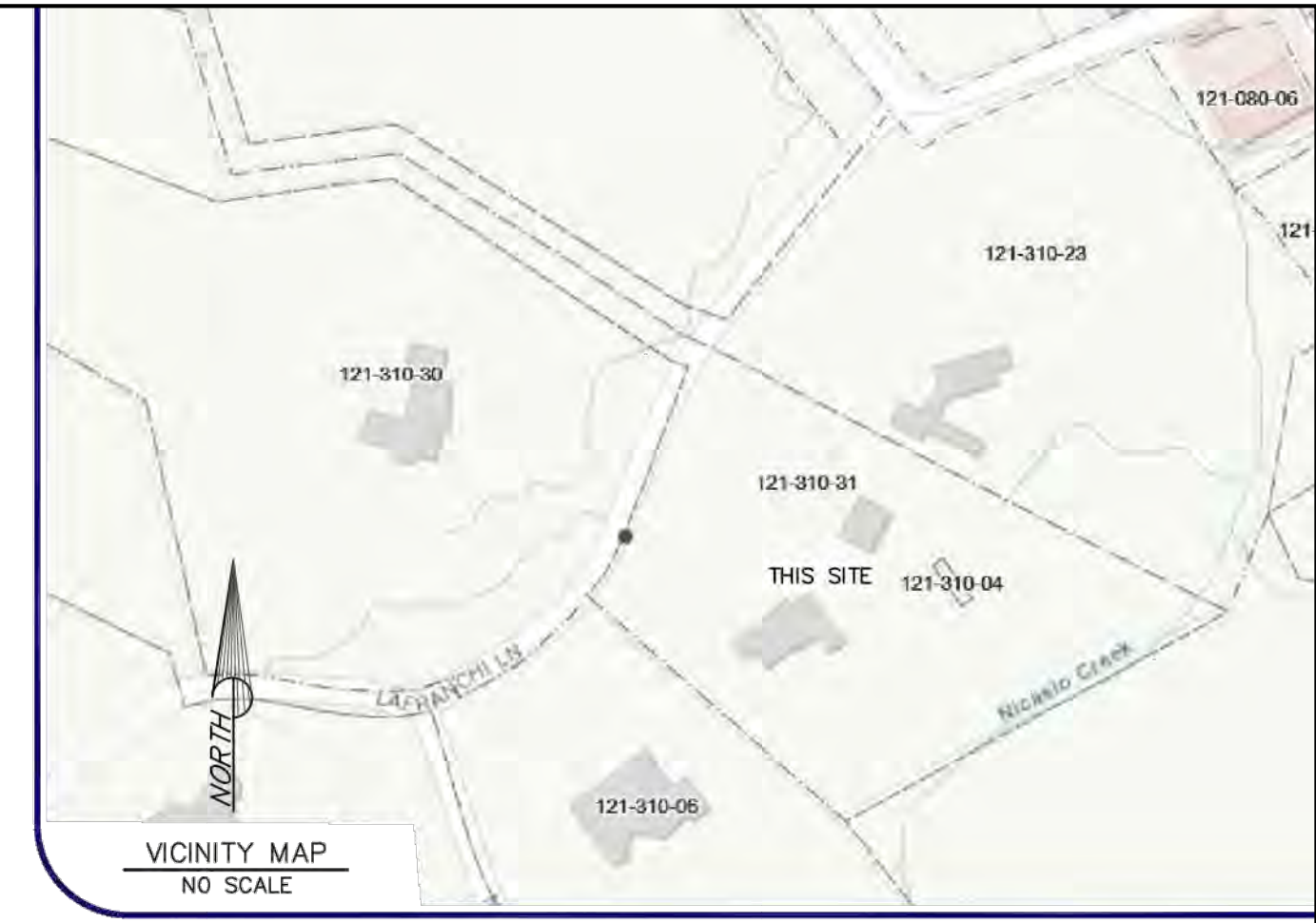
OWNER:
GREG DALTON & LUCIA CHOI-DALTON

ISSUED	DESCRIPTION
20.11.20	HOA PACKAGE
21.02.05	DESIGN REVIEW
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SHEET TITLE
INFO SHEET

FILE	1.19395 - A0.00
BY	CCS
SCALE	NA
SHEET	

A0.00



LEGEND

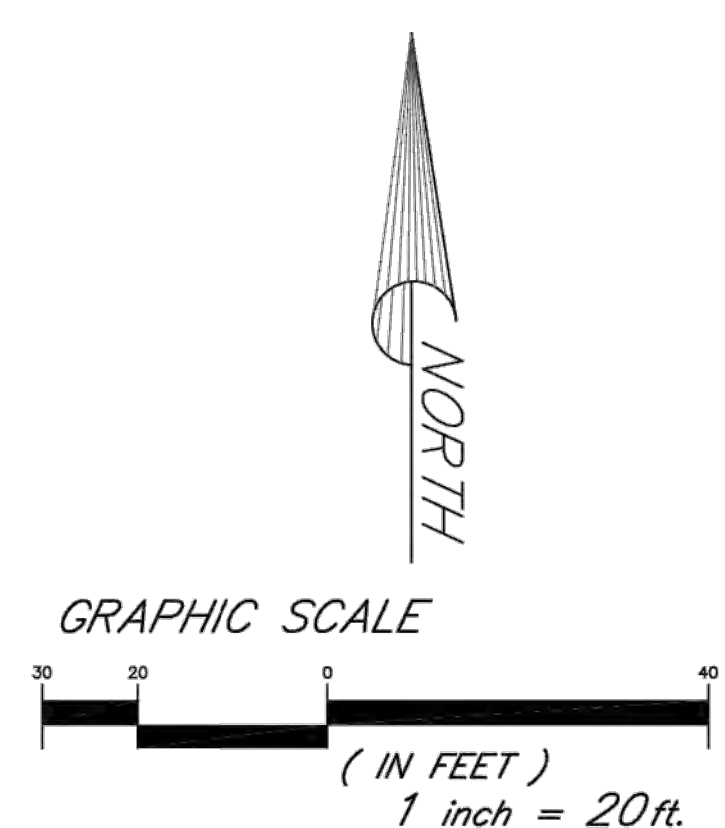
(---)	FLOWLINE
(——)	EDGE OF CONCRETE
(-/-/-)	EDGE OF ASPHALT CONCRETE
(---)	EDGE OF ROAD
(---)	EDGE OF FLOOD HAZARD
(——)	TOP OF BANK
(-/-/-)	EDGE OF BUILDING
(——)	DECK
(——)	BUILDING OVERHANG
(——)	WOOD FENCE
(—x—)	WIRE FENCE
(~)	MINOR CONTOUR
(~)	MAJOR CONTOUR
(——)	LANDSCAPE EXTENTS
(——)	ASPHALT CONCRETE SURFACE
(——)	GRAVEL SURFACE
(——)	CONCRETE SURFACE
(——)	DECKING
(——)	SLATE/PAVERS SURFACE
(——)	GRASS
(——)	BRICK SURFACE
(——)	WOODEN BEAM

SYMBOLS

(●)	WATER VALVE
(▲)	IRRIGATION VALVE
(T)	HOSE BIB
(V)	GAS VALVE
(LPG)	LIQUID PROPANE GAS TANK
(E)	ELECTRIC METER
(V)	ELECTRIC VAULT
(S)	SEPTIC RISER LID
(AD)	AREA DRAIN
(●)	BOLLARD
(H)	BIRD HOUSE
(W)	WELL
(△)	RANDOM CONTROL POINT W/#
(●)	FOUND 1/2" IRON PIPE TAGGED L.S. 4206
(●)	FOUND 2" BRASS DISK W/PUNCH IN MONUMENT WELL
(x143.2)	SPOT ELEVATION
(BO 24")	TREE TYPE & DIA.

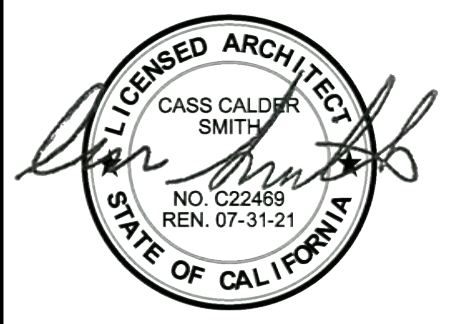
ABBREVIATIONS

OK/OAK	OAK TREE
LO	LIVE OAK TREE
RD/RW	REDWOOD TREE
BAY	BAY TREE
WO	WILLOW TREE
BE	BUCK EYE
FRT	FRUIT TREE
LDS	LANDSCAPE TREE
FF	FINISH FLOOR
DI	DROP INLET
AD	AREA DRAIN



NOTES:

- 1) THE PURPOSE OF THIS MAP IS FOR TOPOGRAPHIC MAPPING AND THE CONTENT IS RELATIVE TO THE INTENDED USE. UNAUTHORIZED CHANGES OR ADDITIONS TO THE EXISTING DATA SHOWN ON THIS MAP IS STRICTLY PROHIBITED. ANY USES OF THIS MAP BEYOND THE STATED PURPOSE REQUIRES THE AUTHORIZATION OF HOGAN LAND SERVICES.
- 2) THIS MAP DOES NOT CONSTITUTE A BOUNDARY DETERMINATION BY THIS SURVEYOR. BOUNDARY INFORMATION IS SHOWN PER BOOK 31 OF MAPS, PAGE 58 OF MARIN COUNTY RECORDS
- 3) HORIZONTAL CONTROL:
IRON PIPES FOUND ALONG THE NORTHERN SIDE OF LAFRANCONI LANE PER RECORD OF SURVEY FILED IN BOOK 31 OF MAPS, PAGE 58 OF MARIN COUNTY RECORDS (N28°42'31"E)
- 4) VERTICAL CONTROL:
ELEVATION DATUM IS DERIVED FROM AN OPUS SOLUTION OVER CP 1210 (194.00 FEET) NAVD 88



PROJECT NAME
**10 LAFRANCONI LANE
 NICASIO, CA 94946
 APN : 121-310-31**

OWNER:
 GREG DALTON & LUCIA
 CHOI-DALTON

ISSUED	DESCRIPTION
20.11.20	HOA PACKAGE
24.02.05	DESIGN REVIEW
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SHEET TITLE
SITE SURVEY

FILE	1.19395-A0.00.dwg
BY	CCS
SCALE	NA
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LEGEND	
	EXISTING STRUCTURE TO BE REMOVED
	EXISTING DEER FENCE
	EXISTING PERIMETER FENCE
	EXISTING TREES

CASS CALDER SMITH
 ARCHITECTURE
 INTERIORS
 44 MCLEA COURT
 SAN FRANCISCO CA 94103
 415.884.2800
 CASSCALDERSMITH.COM



PROJECT NAME
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24.02.05	DESIGN REVIEW
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SHEET TITLE
 EXISTING SITE
 PLAN

FILE	1.19395-A1.00.dwg
BY	CCS
SCALE	1/16" = 1'-0"
SHEET	

NOTE:
 1. ALL METES AND BOUNDERS INFORMATION ARE PROVIDED BY HOGAN LAND SERVICES, (707)544-2104, 1702 4TH STREET, SANTA ROSA, CA 95404. TEL. SEE SURVEY PLAN.
 2. ALL ELEVATIONS BASED ON NAVD.
 3. THE FEMA FLOOD ZONE BOUNDARIES IS SHOWN FROM GIS DATA PROVIDED BY MARIN COUNTY (GIS.MARIN.PUBLIC.COM)
 4. THE BUILDING ENVELOPE AREA REFLECTS THE STREAM CONSERVATION AREA BOUNDARY AS DEFINED IN THE MASTER PLAN.



01 SITE PLAN - EXISTING
 E1.00 1/16"=1'-0"

EX1.00



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ISSUED	DESCRIPTION
20.11.20	HOA PACKAGE
21.02.05	DESIGN REVIEW
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SHEET TITLE
EXISTING SITE PHOTOS

FILE	1.19395-A0.00.dwg
BY	CCS
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LEGEND	
	EXISTING STRUCTURE TO BE REMOVED
	EXISTING DEER FENCE
	EXISTING PERIMETER FENCE
	EXISTING TREES
	PROPOSED STONE POOL DECK

- GENERAL NOTES**
- GC TO PROVIDE LIGHTING AND IRRIGATION SYSTEM FOR DROUGHT-TOLERANT PLANTS/VEGETATIONS.
 - SEE LANDSCAPE DRAWINGS FOR ADDITIONAL SITE AND PLANTING INFORMATION.
 - ALL POOL EQUIPMENT TO BE COMPLETELY ENCLOSED TO MUTE NOISE OF OPERATING EQUIPMENT.
 - GC TO CONFIRM NO DISTURBANCE TO EXISTING WATERLINES NEAR EXISTING WELL AND WATER EASEMENT.
 - ALL (E) BOLLARD LIGHTING TO BE REPLACED WITH BOLLARD F1 - SEE SHEET A4.70C
 - GC TO STORE CONSTRUCTION MATERIAL AND EQUIPMENT AS FAR AS POSSIBLE FROM NICASIO CREEK.
 - ALL NEW ROOFING MATERIALS TO BE CLASS A FIRE RESISTANCE
 - ALL METES AND BOUNDSES INFORMATION ARE PROVIDED BY HOGAN LAND SERVICES, (707)544-2104, 1702 4TH STREET, SANTA ROSA, CA 95404. TEL. SEE SURVEY PLAN.
 - ALL ELEVATIONS BASED ON NAVD.
 - THE FEMA FLOOD ZONE BOUNDARY IS SHOWN FROM GIS DATA PROVIDED BY MARIN COUNTY (GIS.MARIN.PUBLIC.COM)
 - THE BUILDING ENVELOPE AREA REFLECTS THE STREAM CONSERVATION AREA BOUNDARY AS DEFINED IN THE MASTER PLAN

- GRADING NOTES:**
- NO OFF HAIL WILL BE NEEDED. ANY EXCAVATED SOIL WILL BE DISTRIBUTED ON SITE.
 - NO MAJOR CUT AND FILL WILL OCCUR AT SITE.

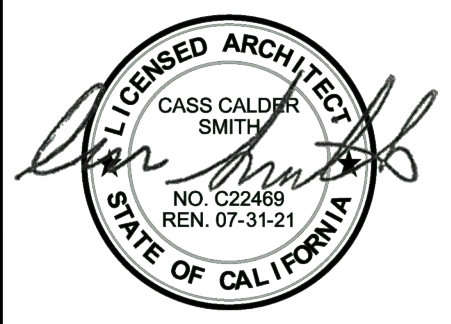
- DRAINAGE AND EROSION CONTROL NOTES:**
- ALL RUNOFF TO DRAIN AWAY FROM STRUCTURE, AND COMPLY WITH A 3% TO 5% SLOPE FOR A MINIMUM OF 10' OR TO EXISTING AND PROPOSED COLLECTION BASINS TO DISPERSE AND PROPOSED DISPERSION FLUMES. DRAINAGE SHALL ALSO CONFORM WITH 119.4. WHERE DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING.
 - ALL SURFACE DRAINAGE IMMEDIATELY PERCOLATES INTO GRAVEL AND SAND.
 - ALL ROOF DRAINAGE COLLECTS IN ROOF DRAINS. DAYLIGHTS AT DOWNSPOUT NOZZLE ONTO SPLASH BLOCK, AND PERCOLATES INTO SAND.
 - SPLASH BLOCK SURROUNDED BY 1'-0" DEPTH OF 3" ROCK.
- DURING CONSTRUCTION:**
- A SEDIMENT FENCE WILL BE CONSTRUCTED AROUND ANY TEMPORARY SOIL STOCKPILING AS A RESULT OF EXCAVATION AS WELL AS ALONG THE CLOSEST PROPERTY LINE TO PREVENT SEDIMENT DEPOSITS ON ADJACENT PROPERTY.
 - DIVERSION CHANNELS WILL BE CONSTRUCTED ALONG PROPERTY LINES TO PREVENT RUNOFF ONTO ADJACENT PROPERTY, AND ALONG SCA.

- SEPARATE PERMITS:**
- POOL AND HOT TUB TO BE FILED UNDER SEPARATE PERMIT.
 - SOLAR PANELS TO BE FILED UNDER SEPARATE PERMIT.

STAKING PLAN:
 SEE NEXT SHEET A1.01 FOR STAKING / STORY POLE PLAN

FAR & LOT COVERAGE

PROPOSED FLOOR AREA RATIO CALCULATION =	
NET CONDITION SF / PROPERTY SF	
(E) 3,892sf / 102,366	= 0.038
(N) 4,049 / 102,366	= 0.040
PROPOSED LOT COVERAGE CALCULATION =	
NET FOOT PRINT / PROPERTY SF	
(E) 3,443 / 102,366	= 0.034
(N) 4,211 / 102,366	= 0.041



PROJECT NAME
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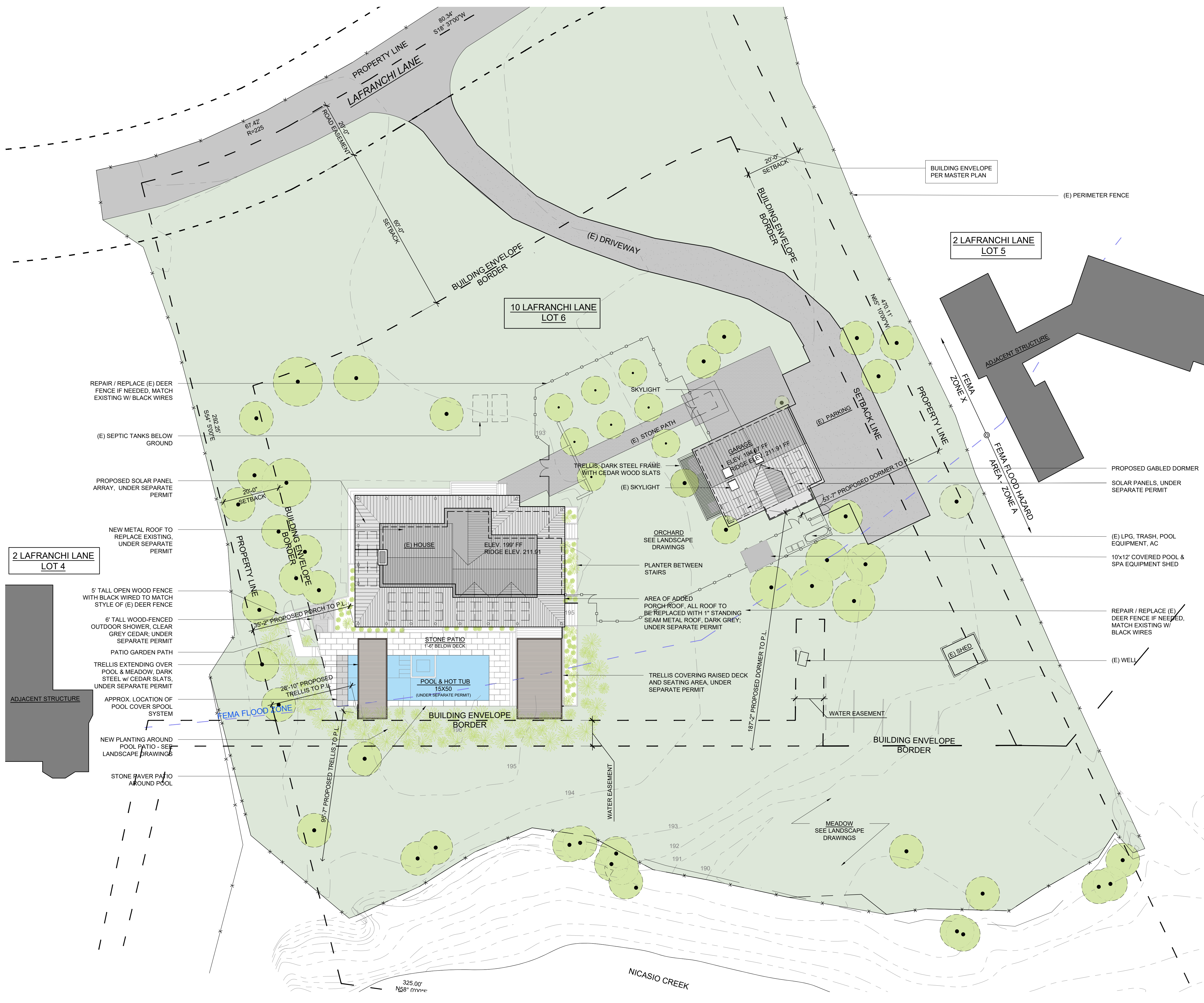
ISSUED	DESCRIPTION
20.11.20	HOA PACKAGE
21.02.05	DESIGN REVIEW

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SHEET TITLE
PROPOSED SITE PLAN

FILE	1.19395-A1.00.dwg
BY	CCS
SCALE	1/16" = 1'-0"
SHEET	

A1.00



2 LAFRANCHI LANE
 LOT 4

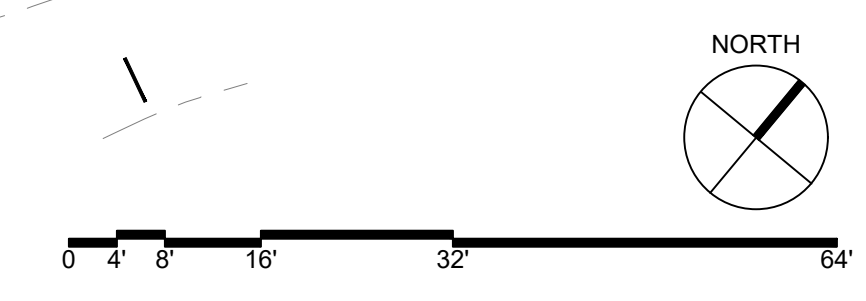
10 LAFRANCHI LANE
 LOT 6

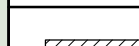
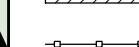
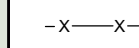


2 LAFRANCHI LANE
 LOT 5

- REPAIR / REPLACE (E) DEER FENCE IF NEEDED, MATCH EXISTING W/ BLACK WIRES
- (E) SEPTIC TANKS BELOW GROUND
- PROPOSED SOLAR PANEL ARRAY, UNDER SEPARATE PERMIT
- NEW METAL ROOF TO REPLACE EXISTING, UNDER SEPARATE PERMIT
- 5' TALL OPEN WOOD FENCE WITH BLACK WIRED TO MATCH STYLE OF (E) DEER FENCE
- 6' TALL WOOD-FENCED OUTDOOR SHOWER, CLEAR GREY CEDAR, UNDER SEPARATE PERMIT
- PATIO GARDEN PATH
- TRELLIS EXTENDING OVER POOL & MEADOW, DARK STEEL W/ CEDAR SLATS, UNDER SEPARATE PERMIT
- APPROX. LOCATION OF POOL COVER SPOOL SYSTEM
- NEW PLANTING AROUND POOL PATIO - SEE LANDSCAPE DRAWINGS
- STONE PAVER PATIO AROUND POOL

- SKYLIGHT
- (E) SKYLIGHT
- ORCHARD SEE LANDSCAPE DRAWINGS
- PLANTER BETWEEN STAIRS
- AREA OF ADDED PORCH ROOF, ALL ROOF TO BE REPLACED WITH 1" STANDING SEAM METAL ROOF, DARK GREY, UNDER SEPARATE PERMIT
- TRELLIS COVERING RAISED DECK AND SEATING AREA, UNDER SEPARATE PERMIT
- WATER EASEMENT
- MEADOW SEE LANDSCAPE DRAWINGS

- PROPOSED GABLED DORMER
- SOLAR PANELS, UNDER SEPARATE PERMIT
- (E) LPG, TRASH, POOL EQUIPMENT, AC
- 10'x12' COVERED POOL & SPA EQUIPMENT SHED
- REPAIR / REPLACE (E) DEER FENCE IF NEEDED, MATCH EXISTING W/ BLACK WIRES
- (E) WELL



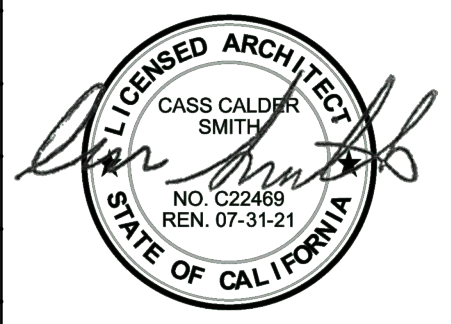
- LEGEND**
-  EXISTING STRUCTURE TO BE REMOVED
 -  EXISTING DEER FENCE
 -  EXISTING PERIMETER FENCE
 -  EXISTING TREES
 -  PROPOSED STONE POOL DECK

- DRAINAGE AND EROSION CONTROL NOTES:**
1. ALL RUNOFF TO DRAIN AWAY FROM STRUCTURE, AND COMPLY WITH A CBC 1804, PROVIDING A MIN. OF 5% SLOPE FOR A MINIMUM OF 10' OR TO EXISTING AND PROPOSED COLLECTION BASINS TO DISPERSE AND PROPOSED DISPERSION FLUMES. DRAINAGE SHALL ALSO CONFORM WITH 119.4, WHERE DRAINAGE ACROSS PROPERTY LINES SHALL NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING.
 2. ALL SURFACE DRAINAGE IMMEDIATELY PERCOLATES INTO GRAVEL AND SAND.
 3. ALL ROOF DRAINAGE COLLECTS IN ROOF DRAINS, DAYLIGHTS AT DOWNSPOUT NOZZLE ONTO SPLASH BLOCK, AND PERCOLATES INTO SAND.
 4. SPLASH BLOCK SURROUNDED BY 1'-0" DEPTH OF 3" ROCK.

- DURING CONSTRUCTION:**
2. A SEDIMENT FENCE WILL BE CONSTRUCTED AROUND ANY TEMPORARY SOIL STOCKPILING AS A RESULT OF EXCAVATION AS WELL AS ALONG THE CLOSEST PROPERTY LINE TO PREVENT SEDIMENT DEPOSITS ON ADJACENT PROPERTY.
 3. DIVERSION CHANNELS WILL BE CONSTRUCTED ALONG PROPERTY LINES TO PREVENT RUNOFF ONTO ADJACENT PROPERTY, AND ALONG SCA.

BUILDING CORNER AND STORY POLE LEGEND

#	BASE ELEVATION @ (E) GRADE	TOP OF BUILDING CORNER	HEIGHT ABOVE REFERENCE BASE ELEVATION
PORCH			
01	195.0'	211.383'	16.350'
02	195.0'	207.42'	12.42'
03	195.0'	211.383'	16.350'
04	195.0'	207.42'	12.42'
POOL ARBORS			
10	195.0'	207.0'	12.0'
11	195.0'	207.0'	12.0'
12	195.0'	207.0'	12.0'
13	195.5'	207.0'	11.5'
14	195.0'	207.0'	12.0'
15	195.0'	207.0'	12.0'
16	195.5'	207.0'	11.5'
17	194.75'	207.0'	12.25'
GARAGE TRELLIS			
20	194.3'	203.0'	8.66'
21	194.3'	203.0'	8.66'
GARAGE DORMER			
31	194.3'	206.8'	12.5'
32	194.3'	206.8'	12.5'
33	194.3'	206.8'	12.5'
34	194.3'	206.8'	12.5'
35	194.3'	211.8'	17.5'



PROJECT NAME
**10 LAFRANCHI LANE
 NICASIO, CA 94946
 APN : 121-310-31**

OWNER:
 GREG DALTON & LUCIA
 CHOI-DALTON

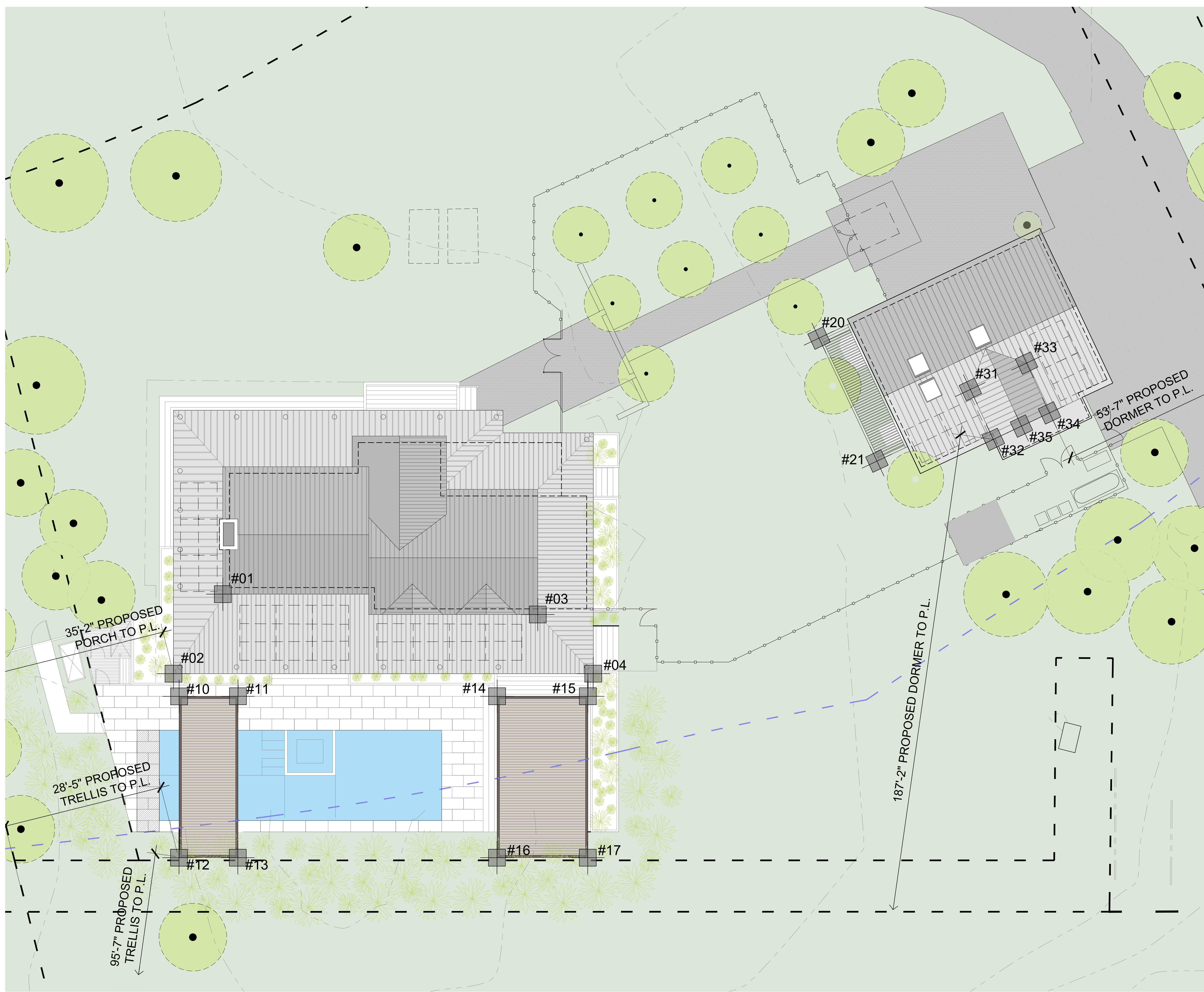
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20.11.20	HOA PACKAGE
21.02.05	DESIGN REVIEW

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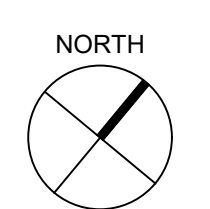
SHEET TITLE
PROPOSED STORY POLE PLAN

FILE 1.19395-A1.00.dwg
 BY CCS
 SCALE 1/16" = 1'-0"
 SHEET

A1.01



01 STORY POLE PLAN
 A1.01 1/8" = 1'-0"

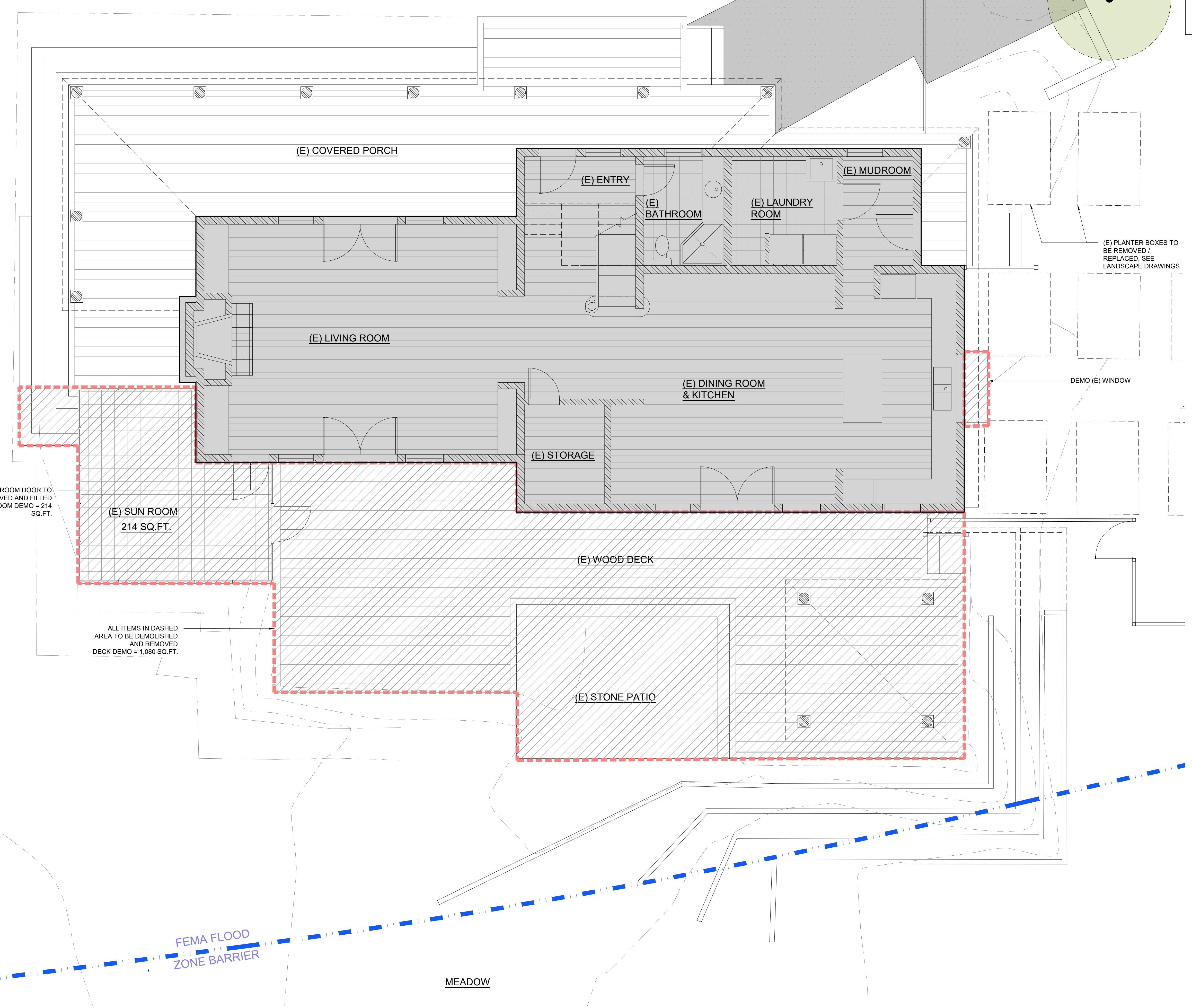


(E) LAUNDRY ROOM

LEGEND

- [Hatched Box] EXISTING STRUCTURE TO BE REMOVED
- [Dashed Line] EXISTING DEER FENCE
- [X-X] EXISTING PERIMETER FENCE
- [Green Circle] EXISTING TREES

CASS CALDER SMITH
 ARCHITECTURE
 INTERIORS
 44 MCLEA COURT
 SAN FRANCISCO CA 94103
 415.864.2800
 CASSCALDERSMITH.COM



(E) COVERED PORCH

(E) ENTRY

(E) BATHROOM

(E) LAUNDRY ROOM

(E) MUDROOM

(E) LIVING ROOM

(E) DINING ROOM & KITCHEN

(E) STORAGE

(E) SUN ROOM
214 SQ.FT.

(E) WOOD DECK

(E) STONE PATIO

(E) SUNROOM DOOR TO BE REMOVED AND FILLED
SUN ROOM DEMO = 214 SQ.FT.

ALL ITEMS IN DASHED AREA TO BE DEMOLISHED AND REMOVED
DECK DEMO = 1,080 SQ.FT.

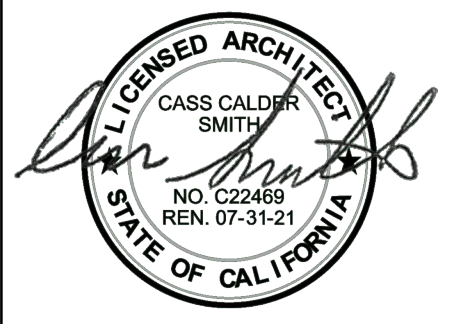
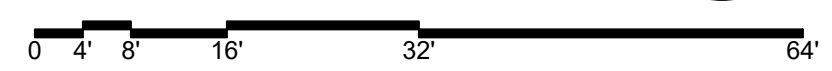
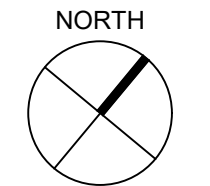
(E) PLANTER BOXES TO BE REMOVED / REPLACED. SEE LANDSCAPE DRAWINGS

DEMO (E) WINDOW

BUILDING ENVELOPE

FEMA FLOOD ZONE BARRIER

MEADOW



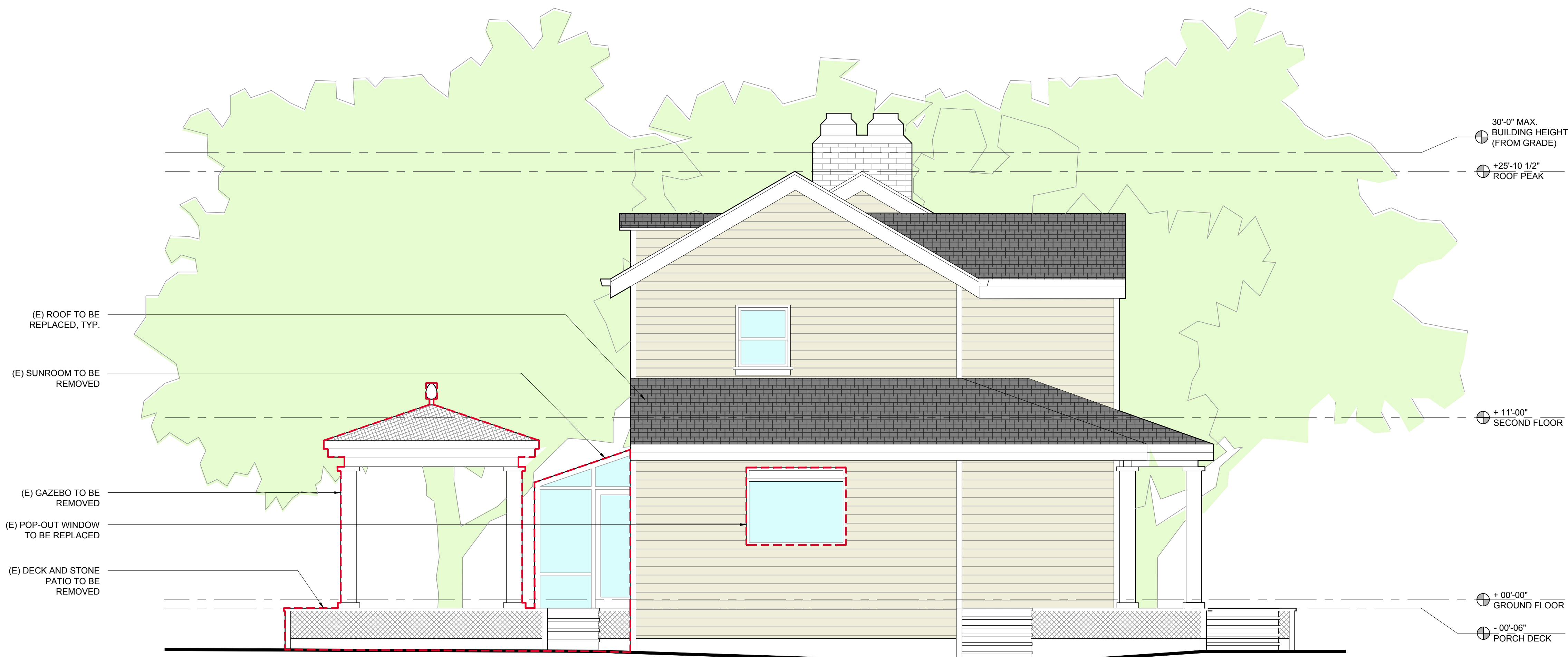
PROJECT NAME
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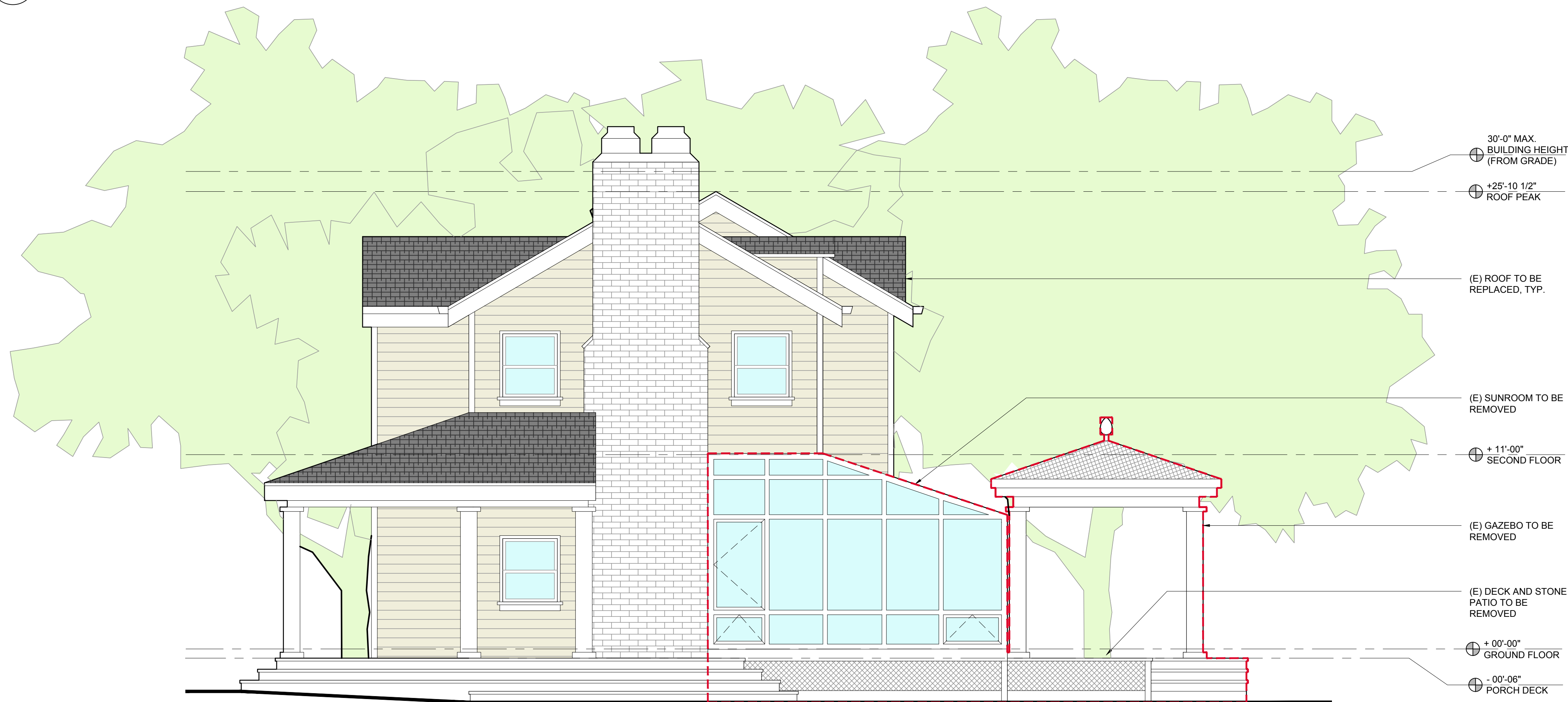
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21.02.05	DESIGN REVIEW
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SHEET TITLE
 EXISTING MAIN HOUSE
 GROUND FLOOR PLAN

FILE 1.19395-A1.00.dwg
 BY CCS
 SCALE 1/4" = 1'-0"
 SHEET



02 (E) EXTERIOR ELEVATION - MAIN HOUSE, NORTH
EX4.00 1/4" = 1'-0"



01 (E) EXTERIOR ELEVATION - MAIN HOUSE, SOUTH
EX4.00 1/4" = 1'-0"



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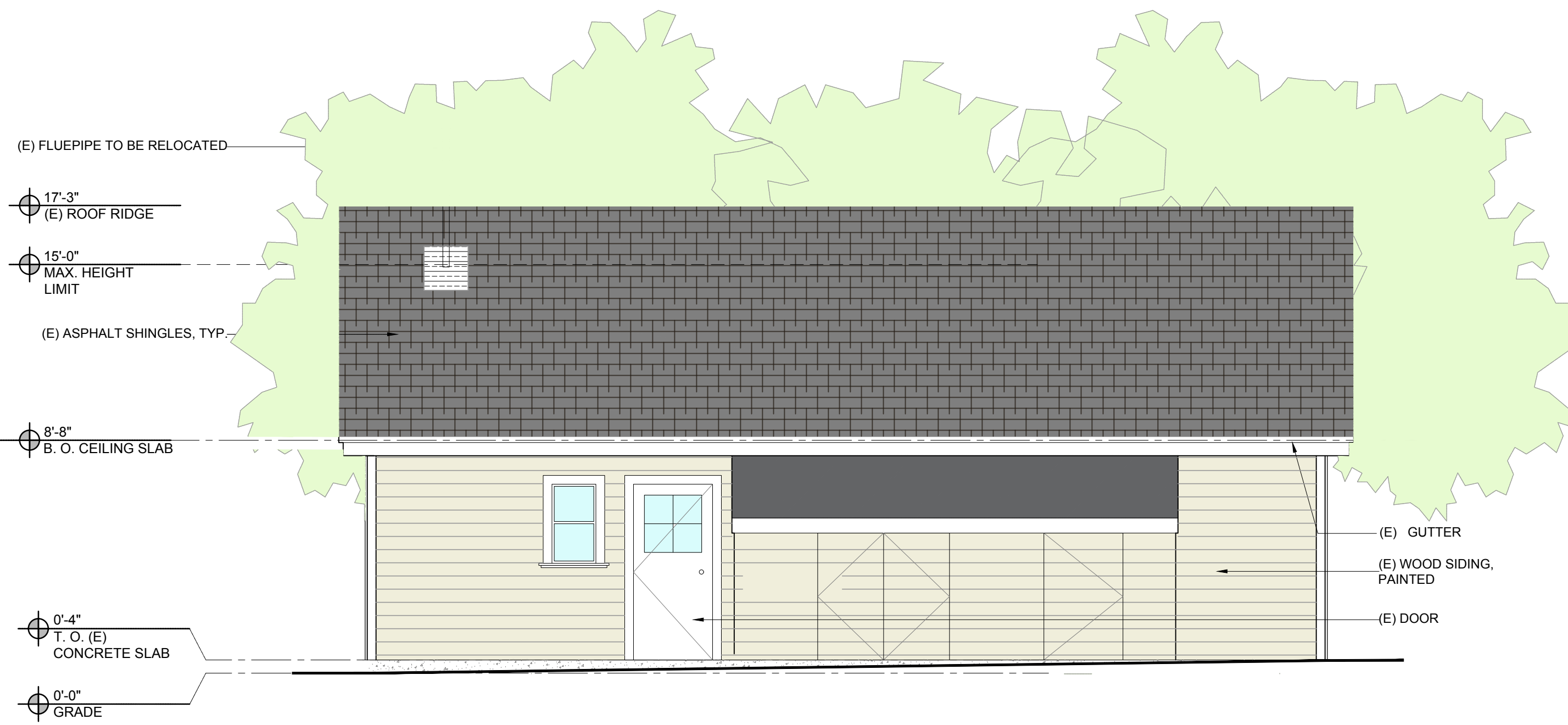
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21.02.05	DESIGN REVIEW
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SHEET TITLE
EXISTING MAIN HOUSE
ELEVATIONS

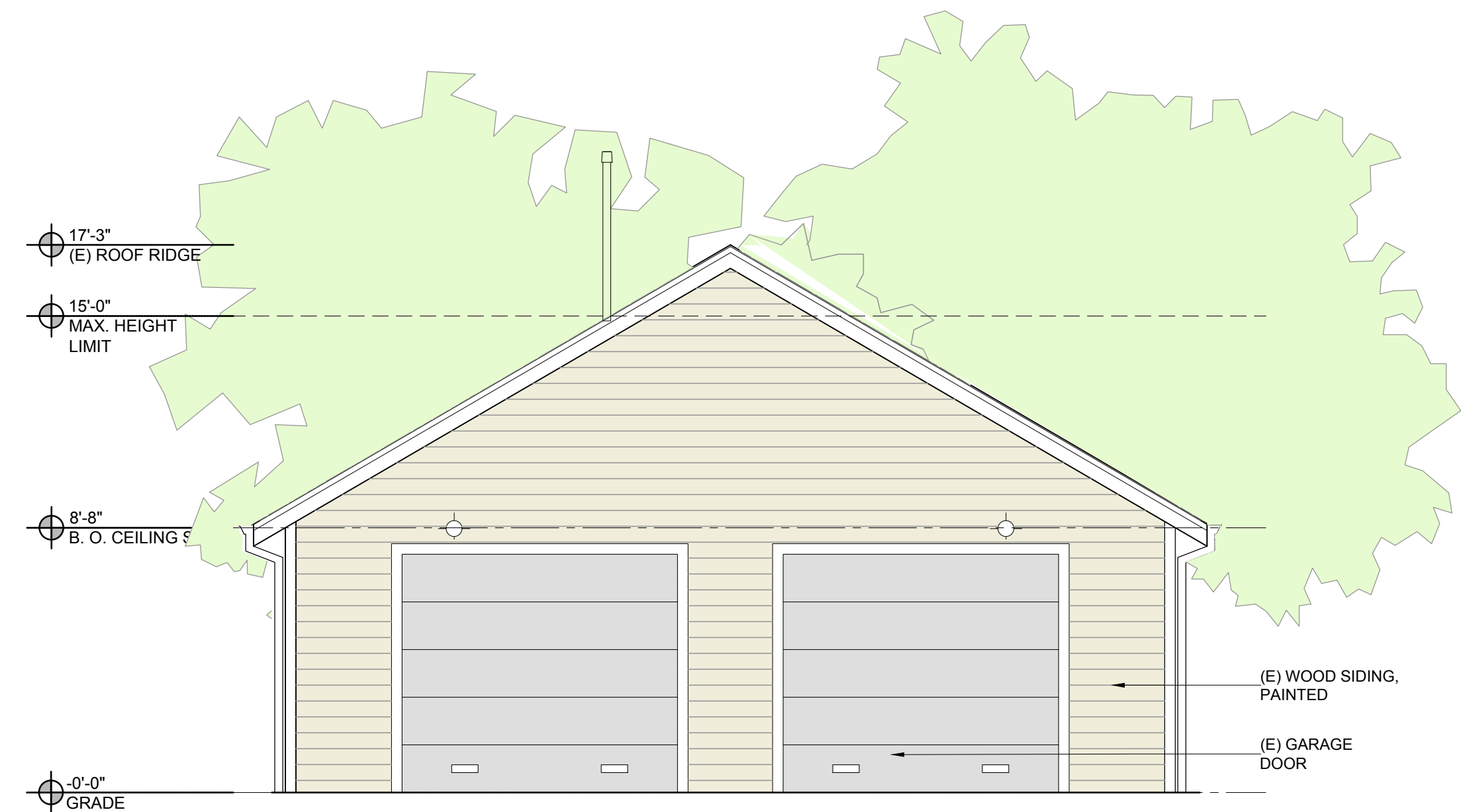
FILE 1.19395-A4.00.dwg
BY CCS
SCALE 1/4" = 1'-0"
SHEET



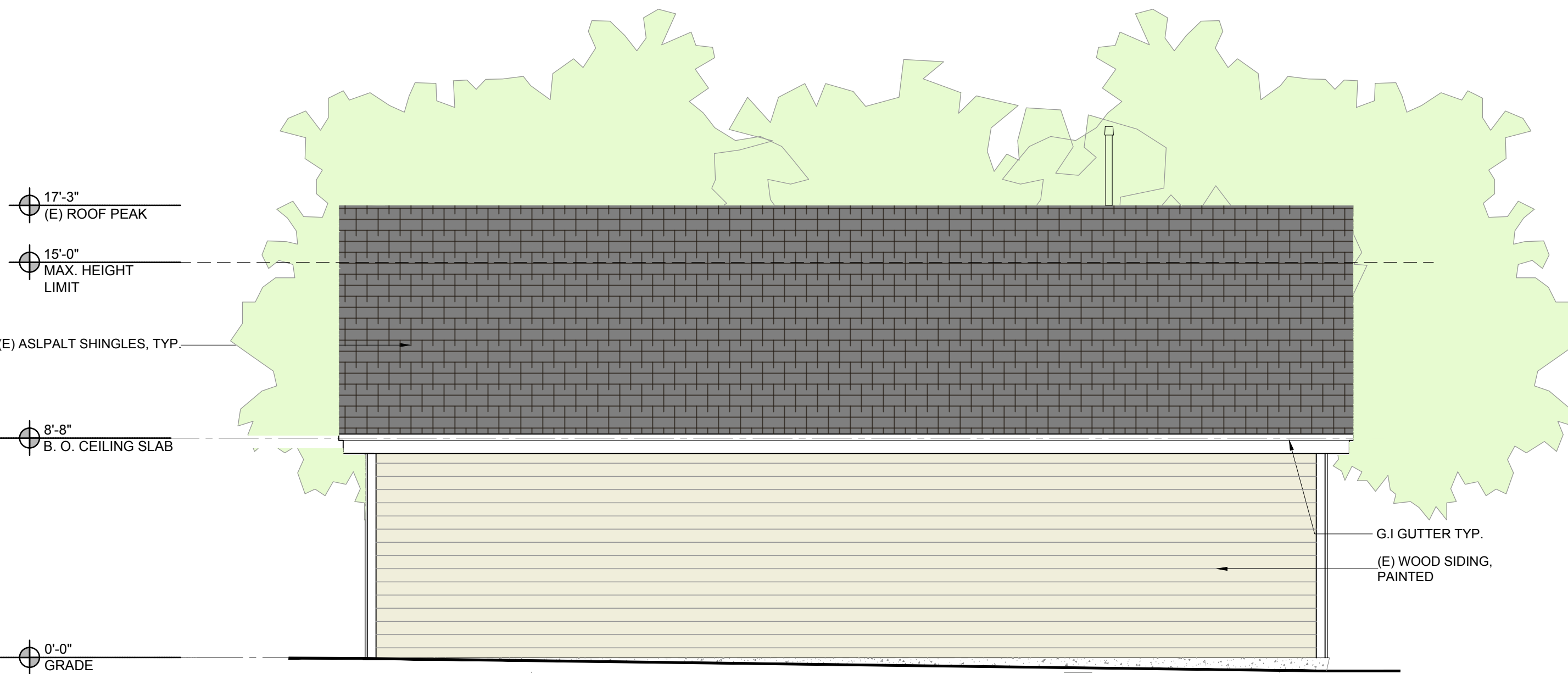
04 EXTERIOR ELEVATION - GARAGE SOUTH
EX4.20 1/4" = 1'-0"



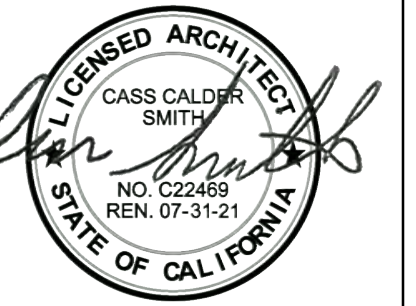
03 EXTERIOR ELEVATION - GARAGE EAST
EX4.20 1/4" = 1'-0"



02 EXTERIOR ELEVATION - GARAGE NORTH
EX4.20 1/4" = 1'-0"



01 EXTERIOR ELEVATION - GARAGE WEST
EX4.20 1/4" = 1'-0"



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CHOI-DALTON

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20.11.20	HOA PACKAGE
21.02.05	DESIGN REVIEW
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SHEET TITLE
EXISTING GARAGE
ELEVATIONS

FILE	1.19395-A4.00.dwg
BY	CCS
SCALE	1/4" = 1'-0"
SHEET	



PROJECT NAME
10 LAFRANCHI LANE
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APN : 121-310-31

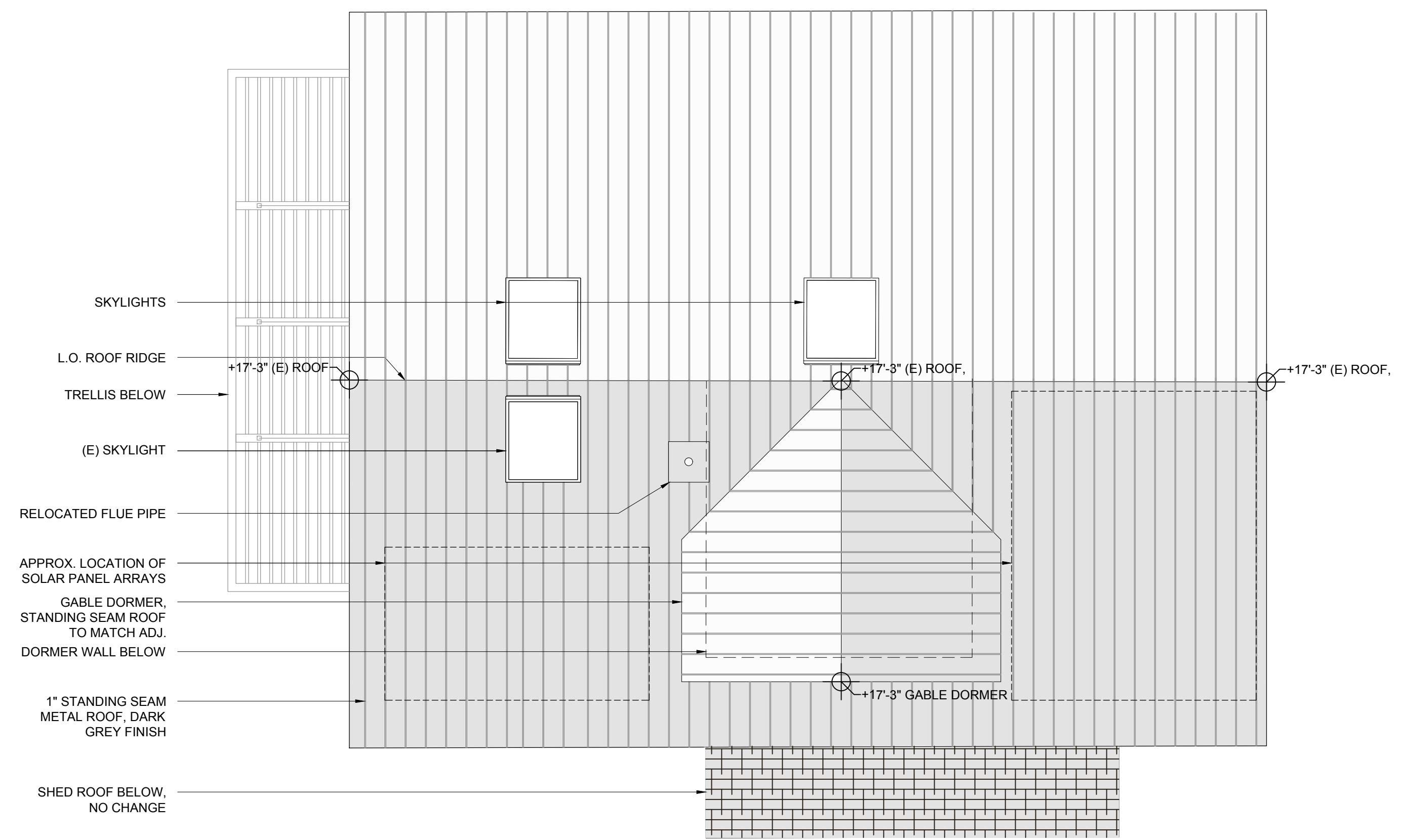
OWNER:
 GREG DALTON & LUCIA
 CHOI-DALTON

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20.11.20	HOA PACKAGE
21.02.05	DESIGN REVIEW
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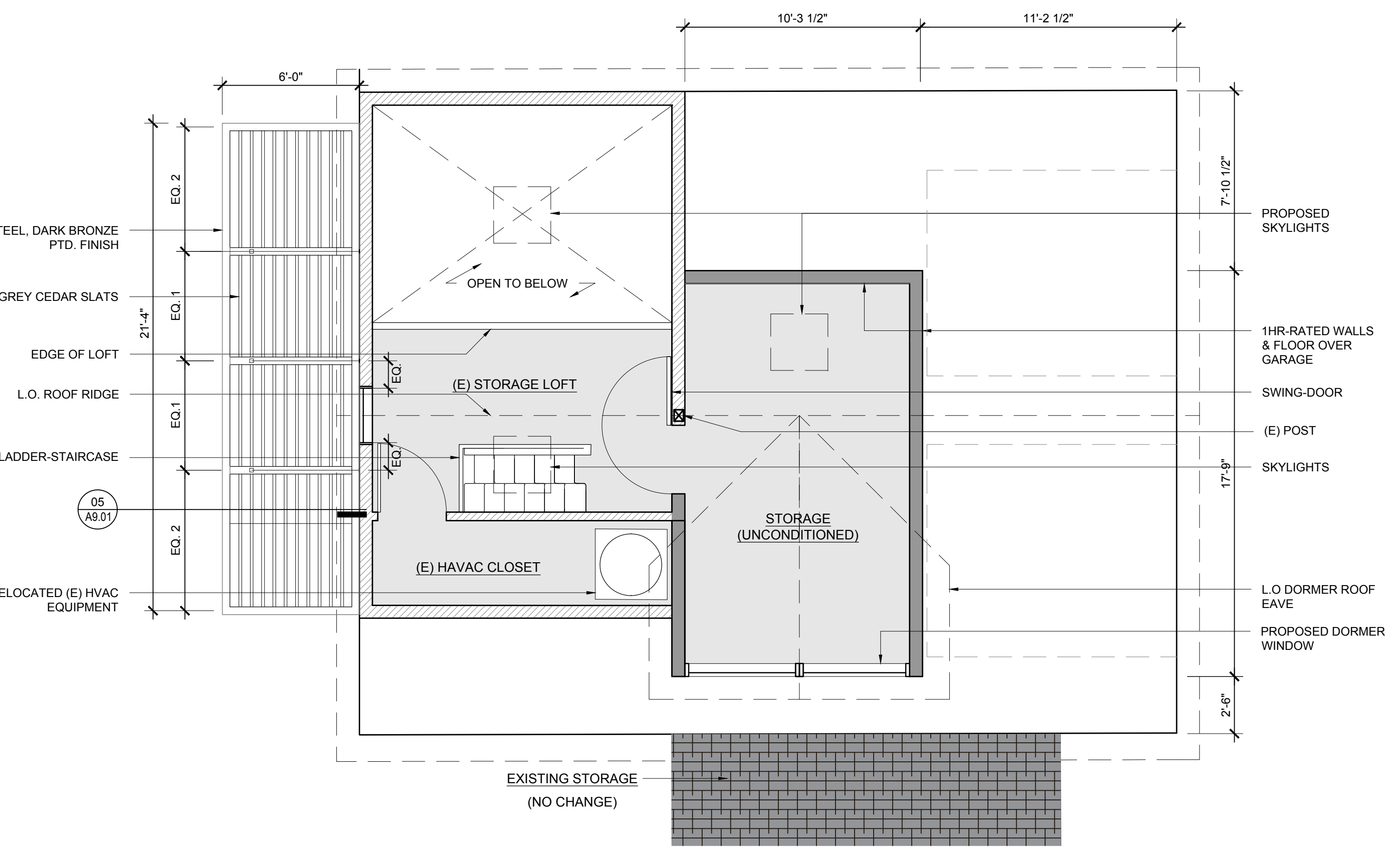
SHEET TITLE
**PROPOSED GARAGE
 FLOOR 01 & ATTIC
 PLANS**

FILE	1.19395-A2.00.dwg
BY	CCS
SCALE	1/4" = 1'-0"
SHEET	

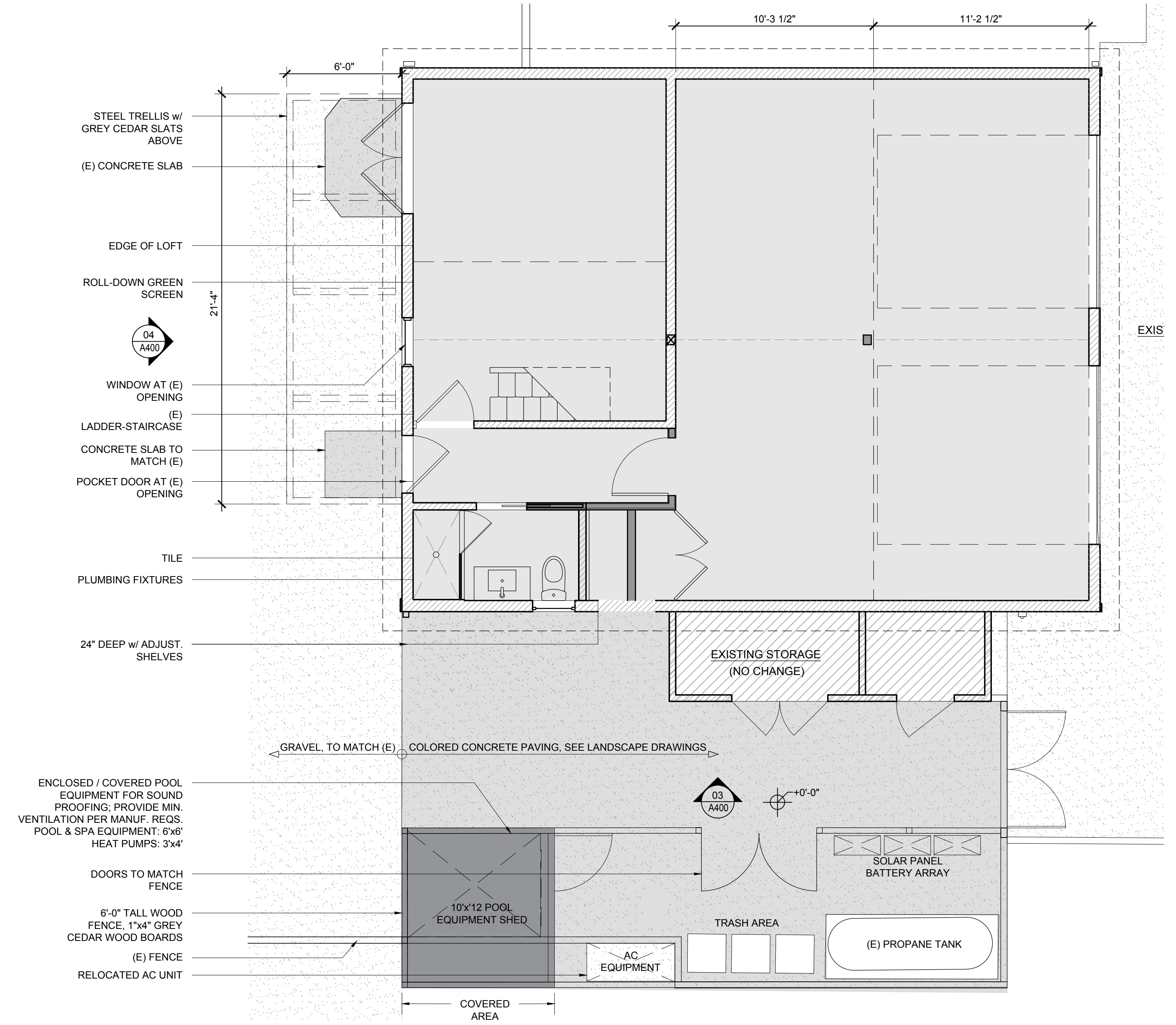
LEGEND
 (E) WALL TO REMAIN
 (E) STRUCTURE TO BE REMOVED



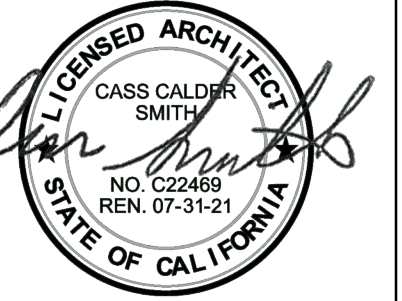
03
A2.10
 PROPOSED GARAGE PLAN - ROOF
 1/4" = 1'-0"



01
A2.10
 PROPOSED PLAN - ATTIC
 1/4" = 1'-0"



02
A2.10
 PROPOSED GARAGE PLAN - FLOOR 01
 1/4" = 1'-0"



PROJECT NAME

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ISSUED	DESCRIPTION
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SHEET TITLE

PROPOSED MAIN HOUSE
ELEVATIONS

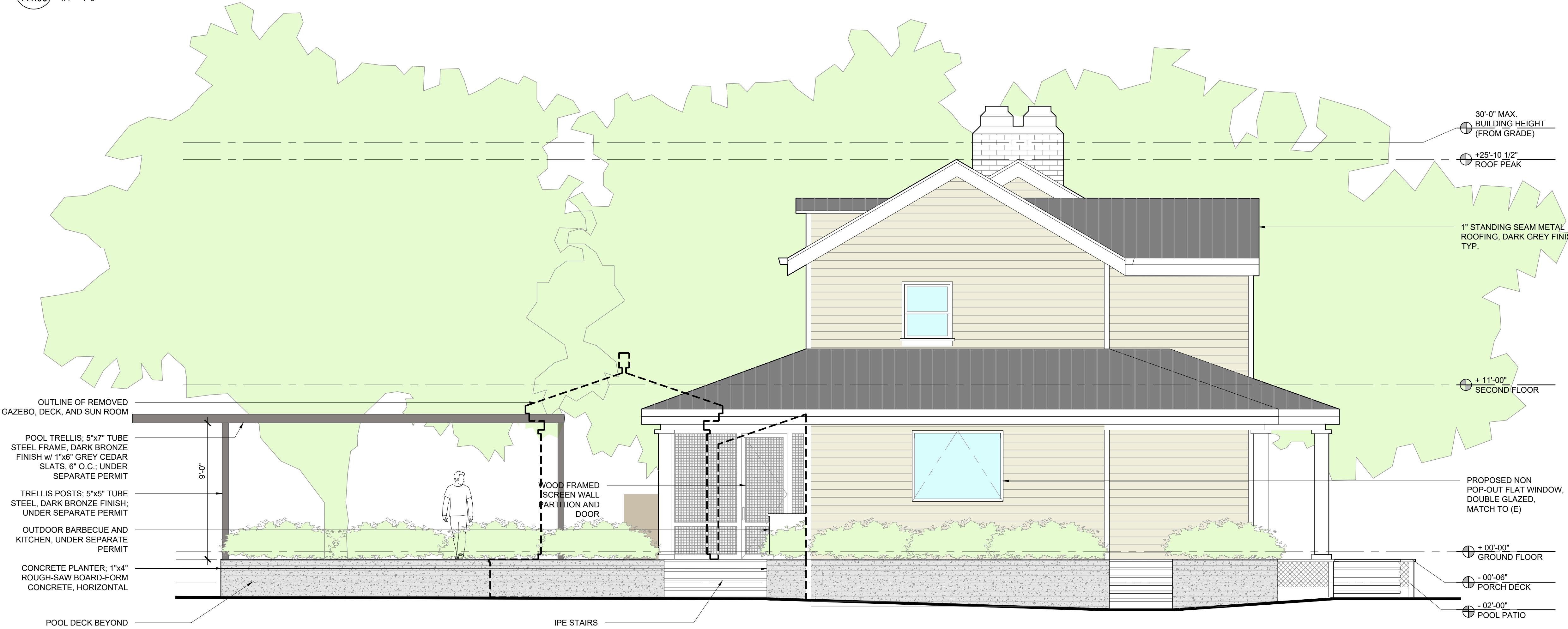
FILE	1.19395-A4.00.dwg
BY	CCS
SCALE	1/4" = 1'-0"
SHEET	

1" STANDING SEAM METAL
ROOFING, DARK GREY FINISH,
TYP.
UNDER SEPARATE PERMIT

SOLAR PANEL ARRAY,
BY SEPARATE PERMIT
EXTERIOR MILLWORK
CABINETRY, BUILD AGAINST (E)
FIREPLACE EXTERIOR
WOOD FRAMED SCREEN WALL
PARTITION AND DOOR, UNDER
SEPARATE PERMIT
6" CEDAR FENCE / OUTDOOR
SHOWER ENCLOSURE

CONCRETE PLANTER, 1"x4"
ROUGH-SAW BOARD-FORM
CONCRETE, HORIZONTAL

02 EXTERIOR ELEVATION - MAIN HOUSE, SOUTH
1/4" = 1'-0"



01 EXTERIOR ELEVATION - MAIN HOUSE, NORTH
1/4" = 1'-0"



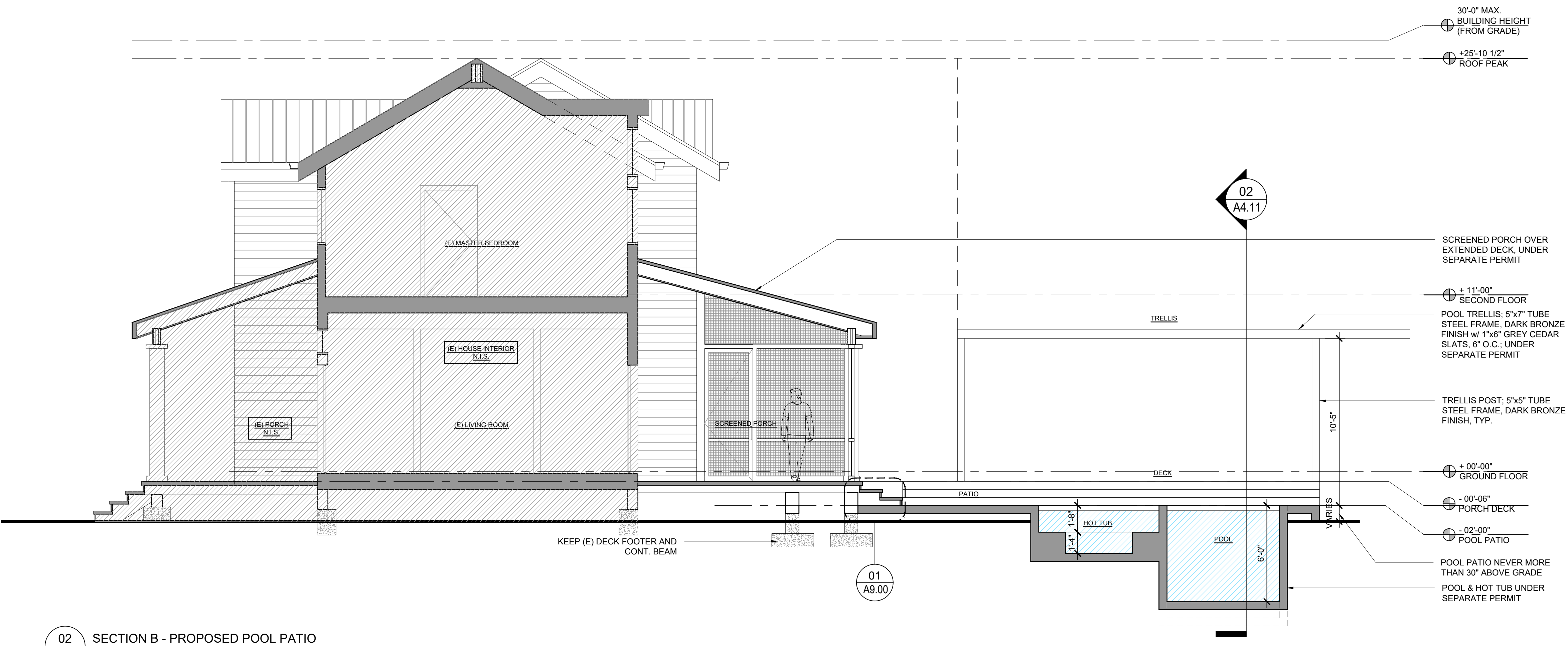
PROJECT NAME
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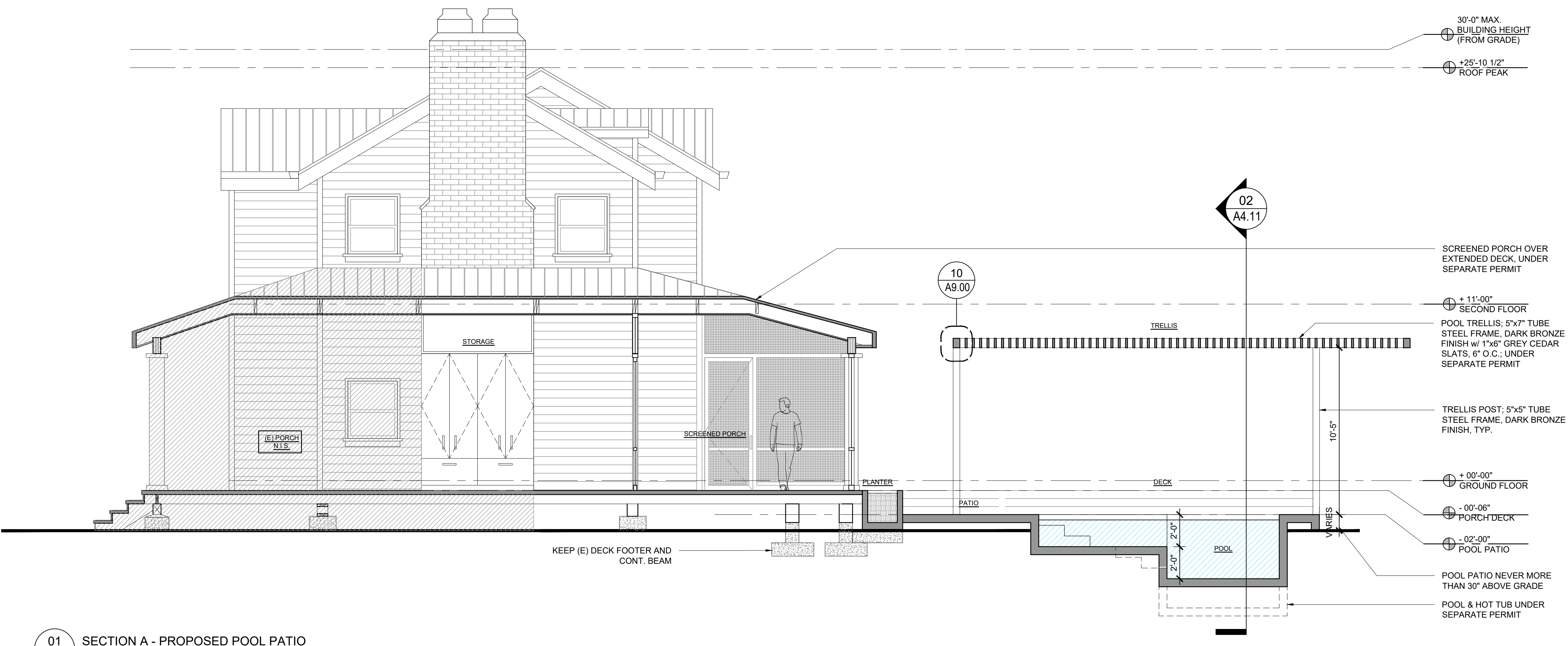
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SHEET TITLE
PROPOSED SECTIONS

FILE 1.19395-A4.00.dwg
BY CCS
SCALE 1/4" = 1'-0"
SHEET



02 SECTION B - PROPOSED POOL PATIO
A4.10 1/4" = 1'-0"



01 SECTION A - PROPOSED POOL PATIO
A4.10 1/4" = 1'-0"



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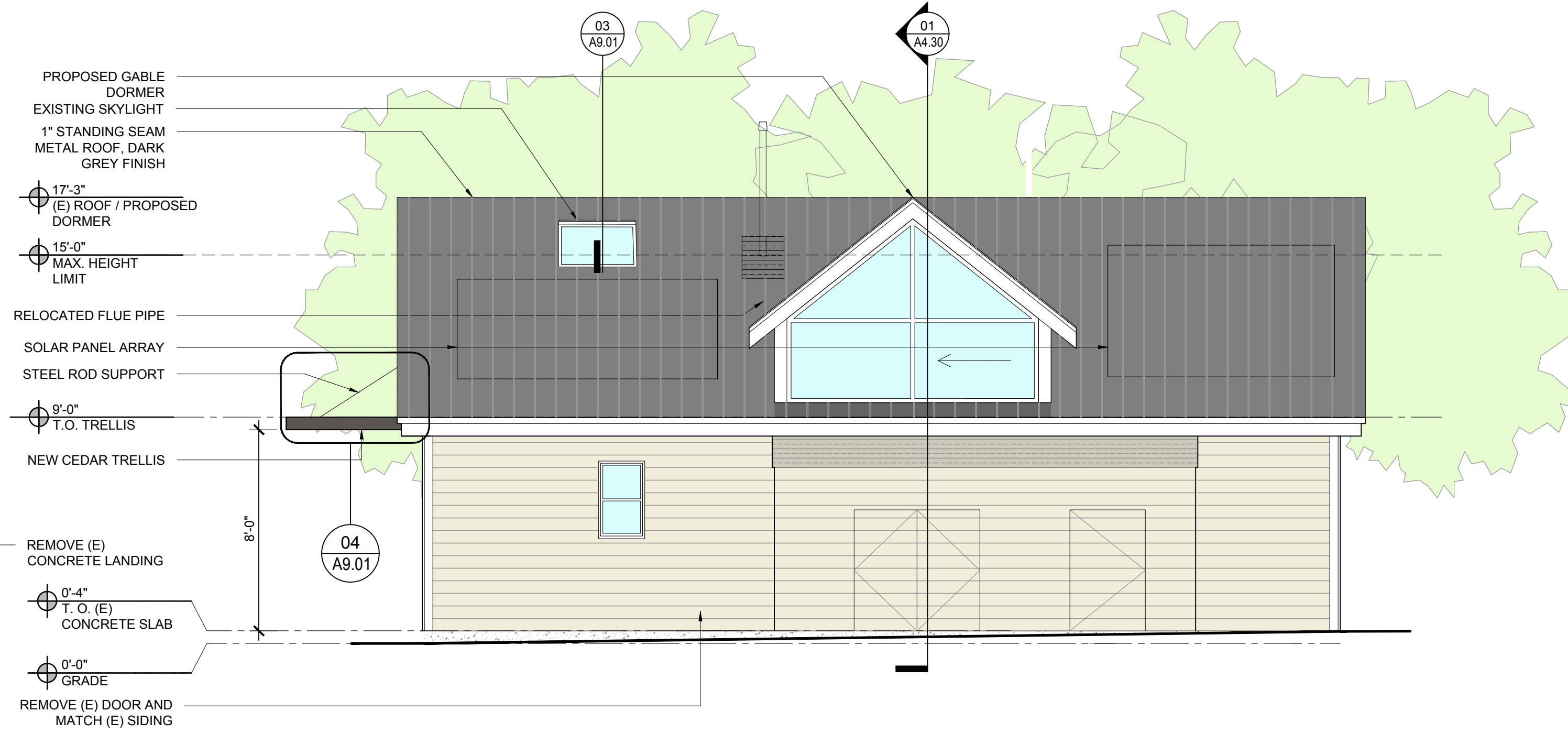
SHEET TITLE
PROPOSED GARAGE ELEVATIONS

FILE 1.19395-A4.00.dwg
BY CCS
SCALE 1/4" = 1'-0"
SHEET



KEEP
(E) TREE

04
A4.20 EXISTING EXTERIOR ELEVATION - GARAGE FRONT
1/4" = 1'-0"

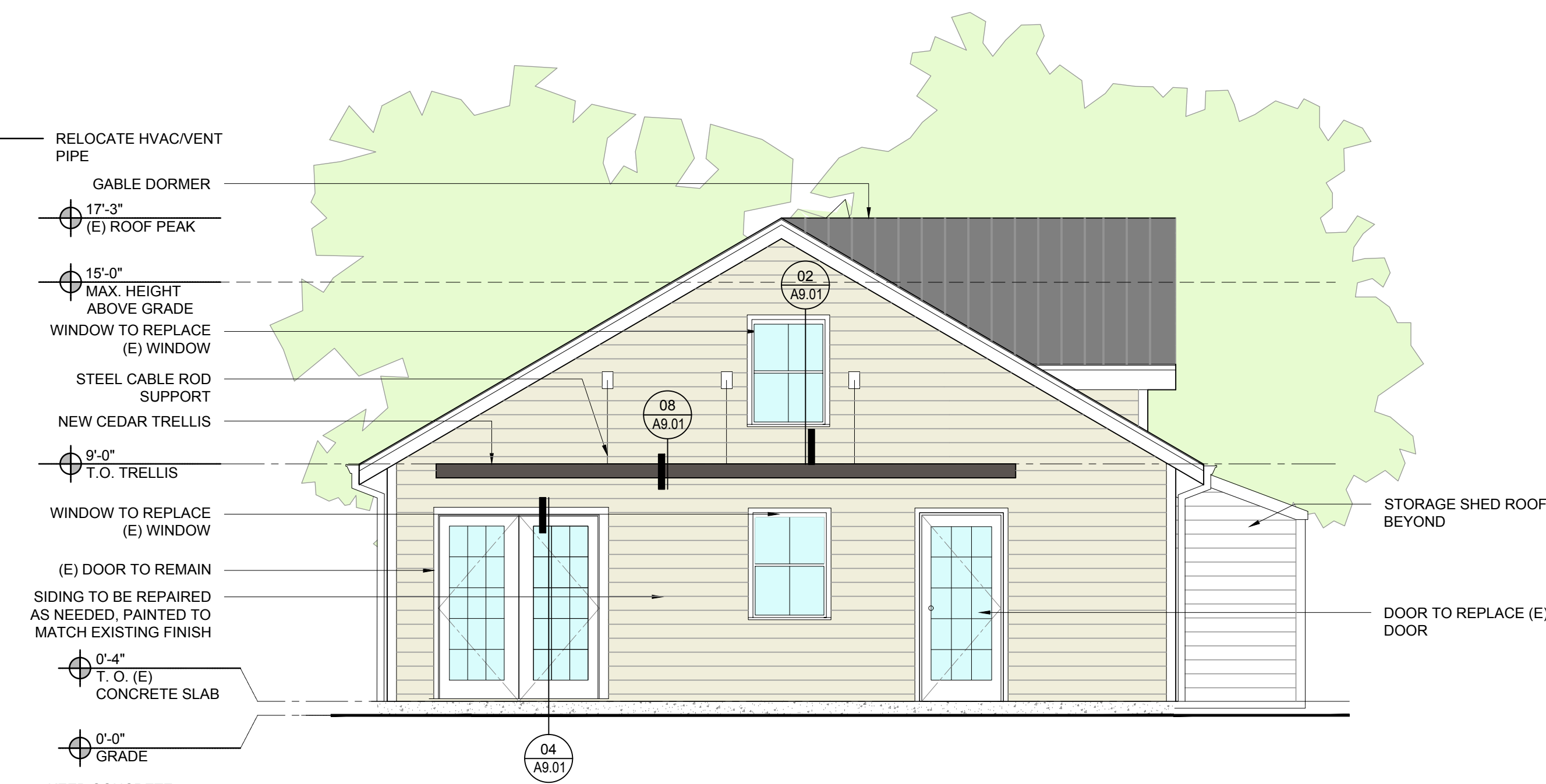


03
A4.20 EXTERIOR ELEVATION - GARAGE SIDE
1/4" = 1'-0"

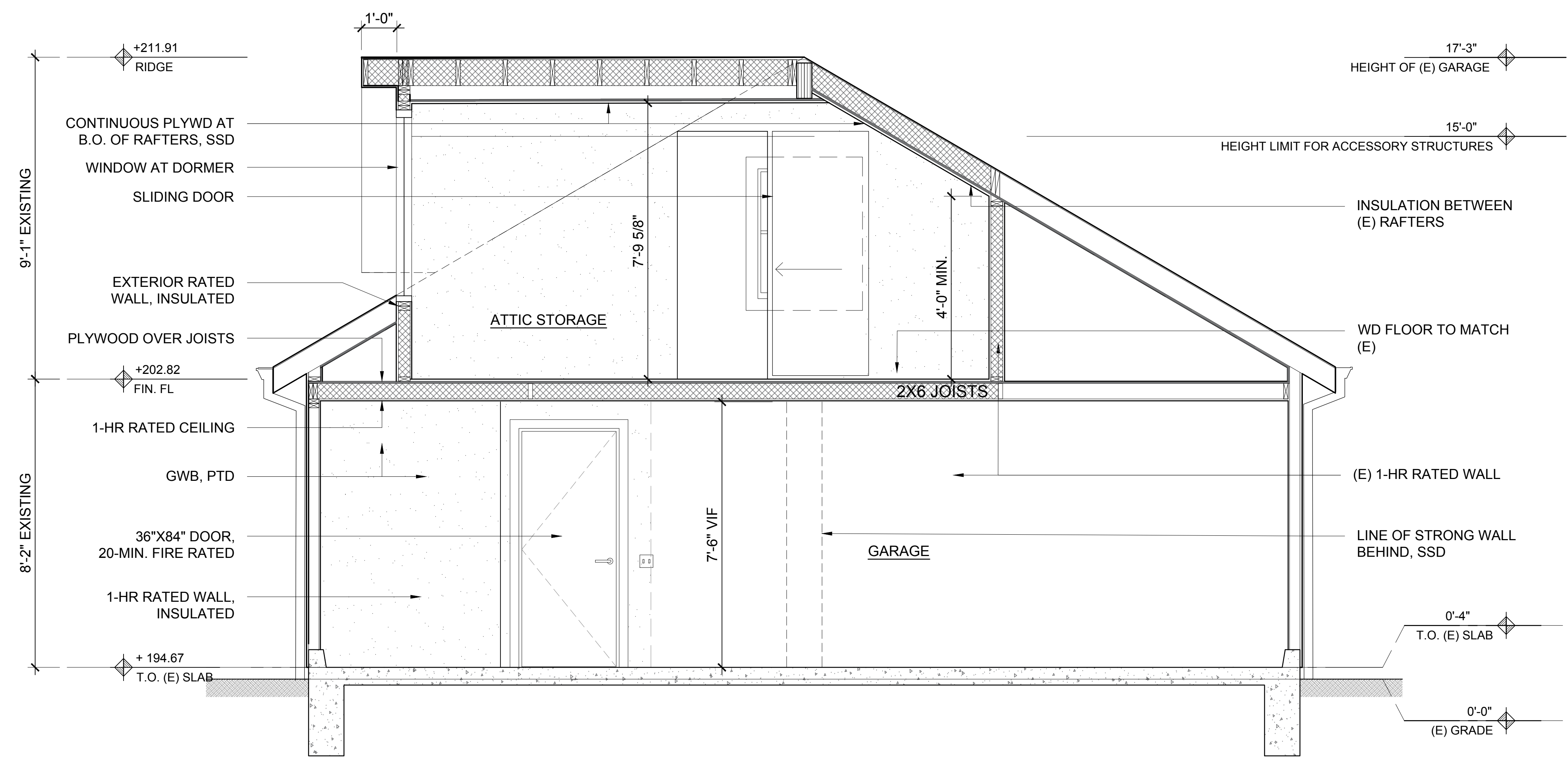


REMOVE PIPE
RELOCATE HVAC UNIT

02
A4.20 EXISTING EXTERIOR ELEVATION - GARAGE FRONT
1/4" = 1'-0"



01
A4.20 EXTERIOR ELEVATION - GARAGE FRONT
1/4" = 1'-0"



01 PROPOSED SECTION - GARAGE
A4.30 1/2" = 1'-0"



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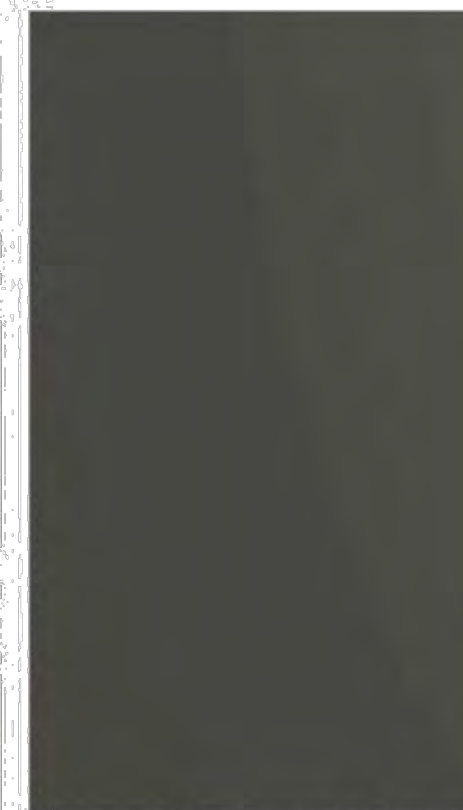
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SHEET TITLE
PROPOSED GARAGE
SECTIONS

FILE	1.19395-A4.00.dwg
BY	CCS
SCALE	1/2" = 1'-0"
SHEET	



CLEAR CEDAR SLATS AT POOL ARBOR AND GARAGE TRELLIS - WEATHERED GREY



STEEL FRAME FINISH AT POOL ARBOR - PAINTED DARK MATT



BAR B Q AREA COUNTERTOP



BBQ AREA APPLIANCES AND DOORS - STAINLESS STEEL

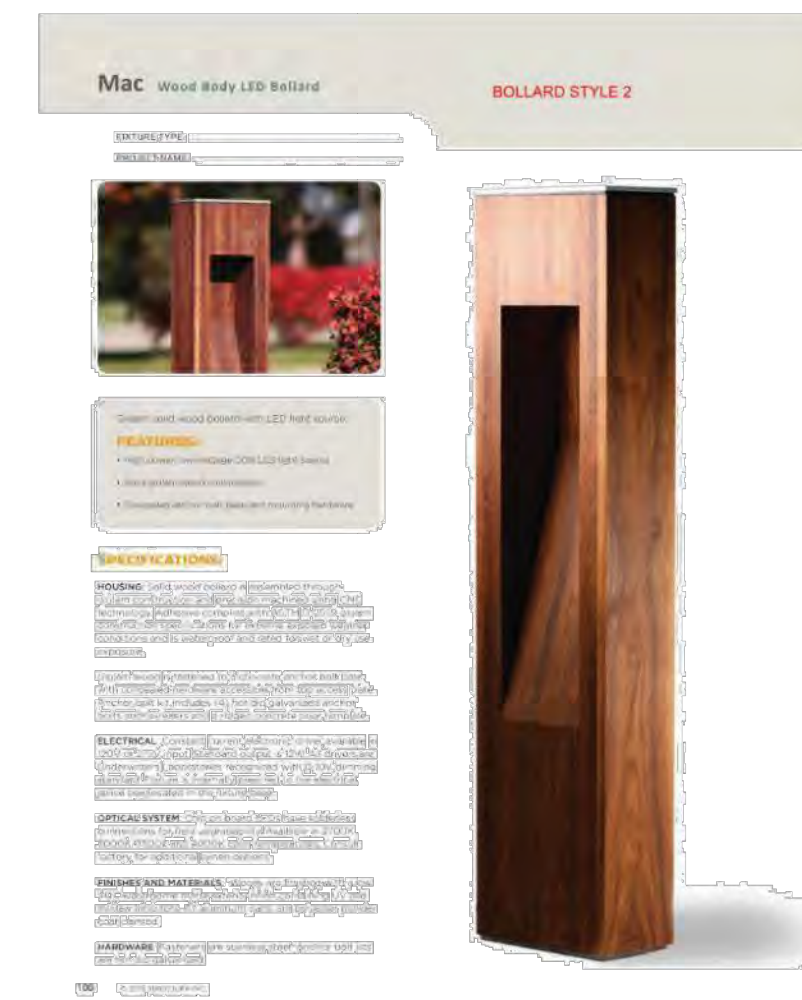


FLINT HILLS GREY- VERIGLASS FINISH

03 PROPOSED FINISHES
A4.70 N/A



02 PROPOSED STANDING SEAM ROOFING
A4.70 N/A



F1: TYPICAL BOLLARD - REPLACE EXISTING BOLLARDS



F2: TYPICAL WALL SCONCE - MAIN HOUSE AND GARAGE

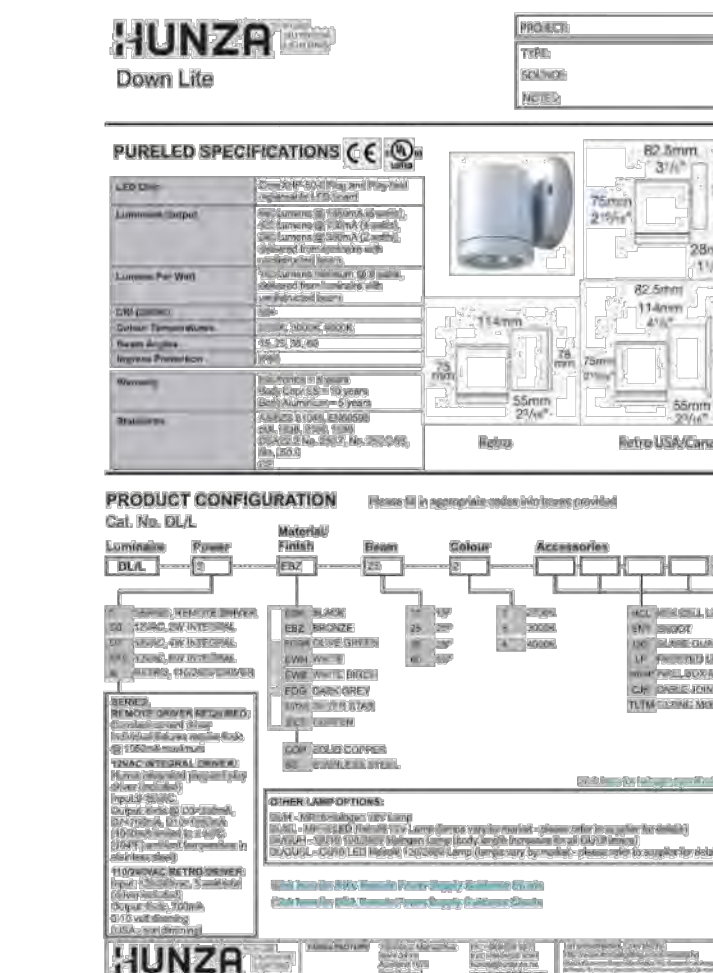
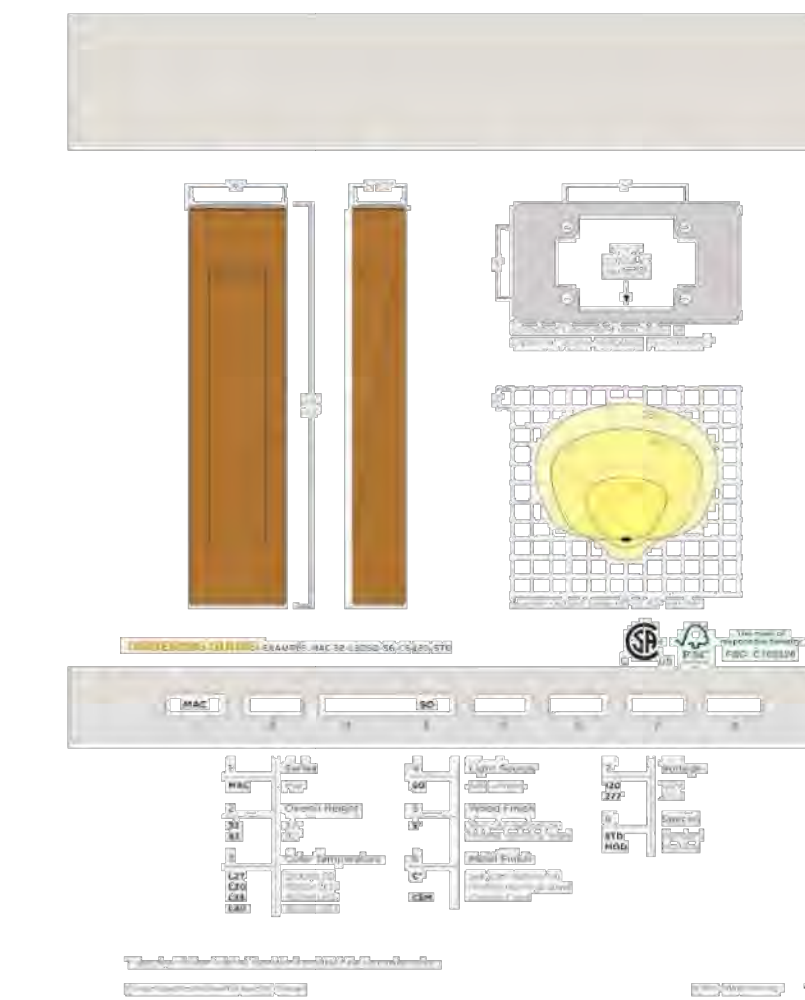


F3: POOL ARBOR SCONCE - AT POOL ARBOR



F3: TYPICAL STEP LIGHT - AT STAIRS

01 PROPOSED LIGHTING FIXTURES
A4.70 N/A



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SHEET TITLE
PROPOSED SECTIONS

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BY CCS
SCALE 1/4" = 1'-0"
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A4.70