



**LOT 1
PLAN 1**
Elevation 'B' Craftsman
Color Scheme #5

**LOT 2
PLAN 2**
Elevation 'C' Prairie
Color Scheme #7

**LOT 3
PLAN 1**
Elevation 'A' Farmhouse
Color Scheme #1

**LOT 4
PLAN 2**
Elevation 'B' Craftsman
Color Scheme #6

Housing Compliance Review Package - 1501 Lucas Valley Road

San Rafael, Marin County, California

March 14, 2024

Sheet Index

CS	Cover Sheet	A13	Plan 2 Elevation B - Craftsman	A29	Building Height & Roof Cross Sections	C6.0	Grading & Drainage Plan
SP1	Conceptual Site Plan	A14	Plan 2 Elevation B - Craftsman (Enhanced)	A30	Building Height & Roof Cross Sections	C6.1	Grading Sections
Architecture		A15	Plan 2 Elevation C - Prairie	A31	Building Height & Roof Cross Sections	C7.0	Utility Plan
A1	Plan 1 / JADU Floor Plans	A16	Plan 2 Elevation C - Prairie (Enhanced)	A32	Building Height & Roof Cross Sections	C8.0	Stormwater Control Plan
A2	Plan 1 Roof Plans	A17	Plan 3 Floor Plans	A33	Building Height & Roof Cross Sections	C9.0	Fire Access Plan
A3	Plan 1 Front Elevations	A18	Plan 3 Roof Plans	A34	Building Height & Roof Cross Sections	Landscape	
A4	Plan 1 Elevation A - Farmhouse	A19	Plan 3 Front Elevations	A35	Exterior Lighting Fixtures	L-1.0	Illustrative Site Plan'
A5	Plan 1 Elevation A - Farmhouse (Enhanced)	A20	Plan 3 Elevation A - Farmhouse	A36	Exterior Color and Materials	L-2.0	Character Images
A6	Plan 1 Elevation B - Craftsman	A21	Plan 3 Elevation A - Farmhouse (Enhanced)	A37	Exterior Color and Materials	L-3.0	Planting Diagram
A7	Plan 1 Elevation C - Prairie	A22	Plan 3 Elevation B - Craftsman	A38	Exterior Color and Materials	L-4.0	Site Wide Planting Palette
A8	Plan 1 Elevation C - Prairie (Enhanced)	A23	Building Height & Roof Cross Sections	Civil		L-4.1	Site Wide Planting Palette
A9	Plan 2 Floor Plans	A24	Building Height & Roof Cross Sections	C1.0	Title Sheet	L-4.2	Single Family Prototypical Lot Planting
A10	Plan 2 Roof Plans	A25	Building Height & Roof Cross Sections	C2.0	Existing Conditions	L-6.0	Street Lighting & Ammenities
A11	Plan 2 Front Elevations	A26	Building Height & Roof Cross Sections	C3.0	Vesting Tentative Map	L-6.1	Landscape Lighting Details
A12	Plan 2 Elevation A - Farmhouse	A27	Building Height & Roof Cross Sections	C4.0	Demolition Plan	L-7.0	Design Details
		A28	Building Height & Roof Cross Sections	C5.0	Site Plan		

Project Team:

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COMPANY, LLC**

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!ds
INTEGRATED
DESIGN
STUDIO
INC.

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CS

Elevation Assignments

	A - Farmhouse	B - Craftsman	C - Prairie	Total
Plan 1	2	8	5	15
Plan 2	5	3	8	16
Plan 3	3	2	--	5
Total	10	13	13	36



Conceptual Site Plan

HOUSING COMPLIANCE REVIEW PACKAGE- 1501 LUCAS VALLEY ROAD

330 LAND
COMPANY, LLC

Note: Artist's Conception; Colors,
Materials And Application May Vary.

SAN RAFAEL, MARIN COUNTY, CA

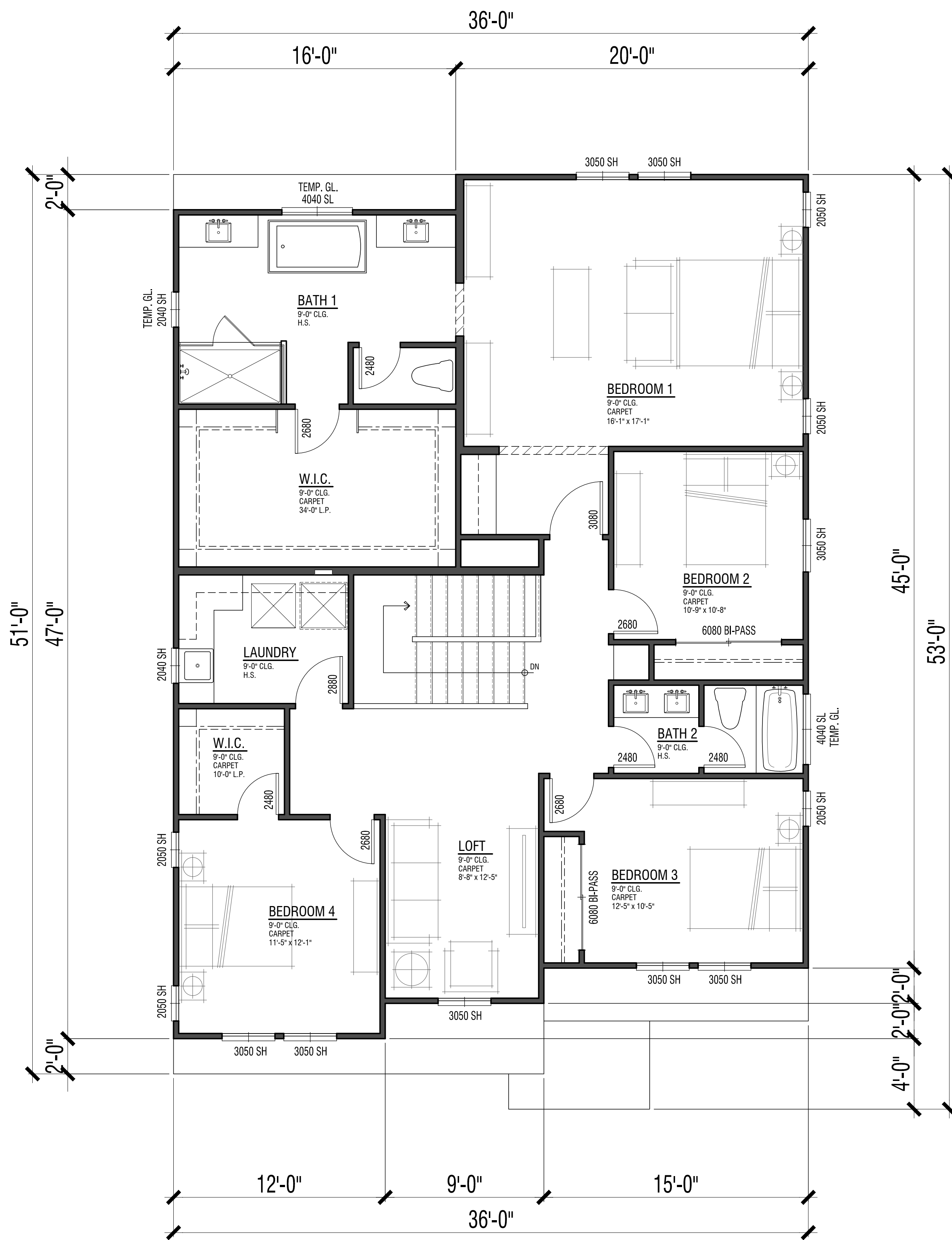
SP1

0 10 20 40

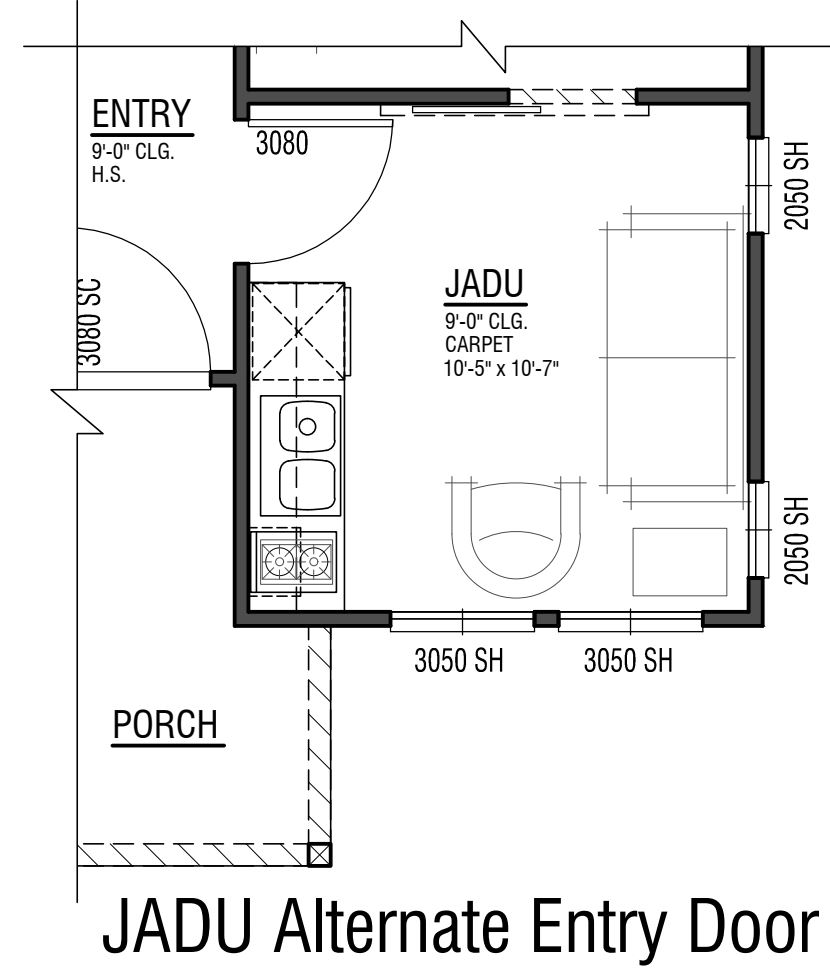
ARCHITECTS . PLANNERS . DESIGNERS



ORANGE COUNTY . LOS ANGELES . BAY AREA . SACRAMENTO

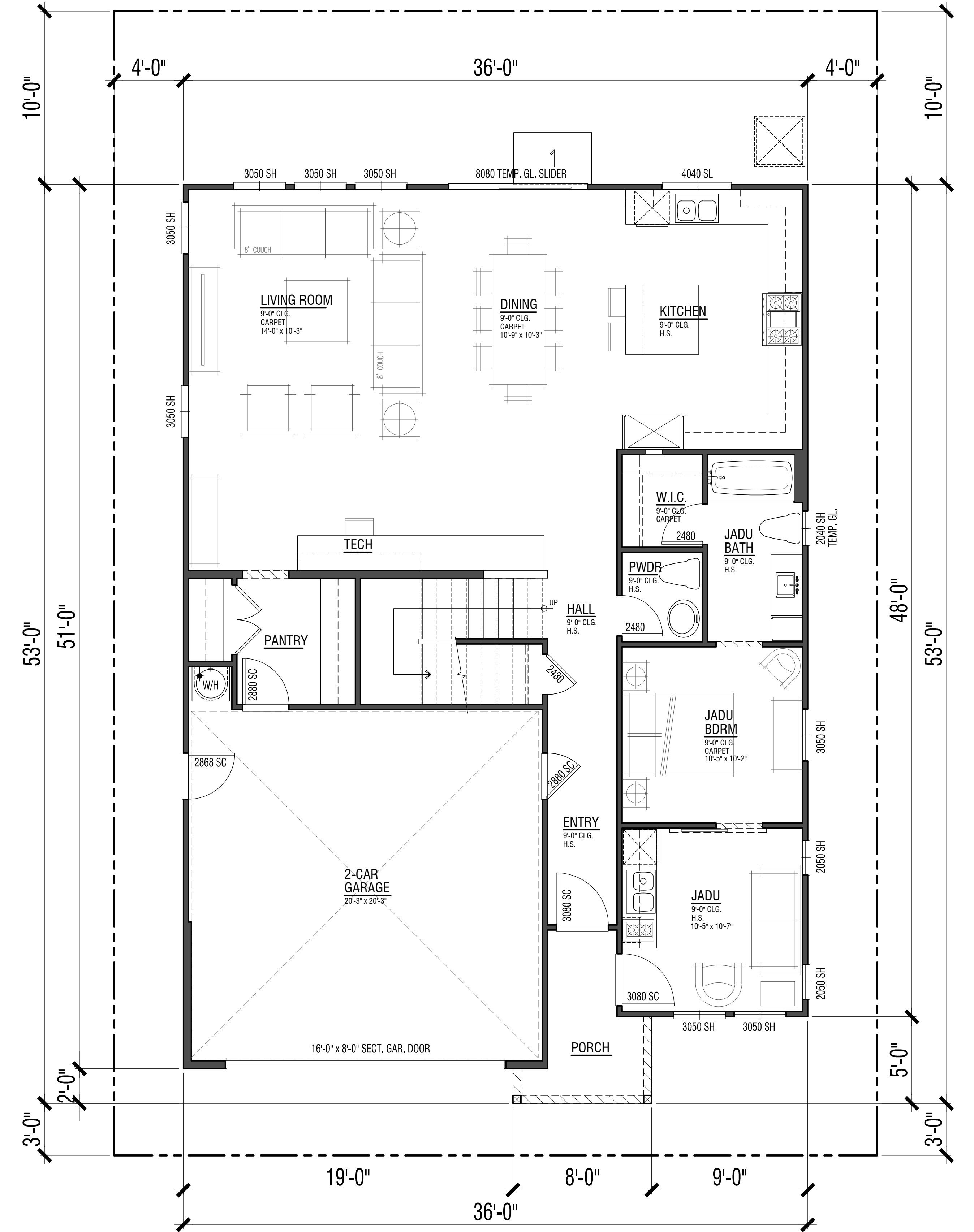


Second Floor 1,571 SF

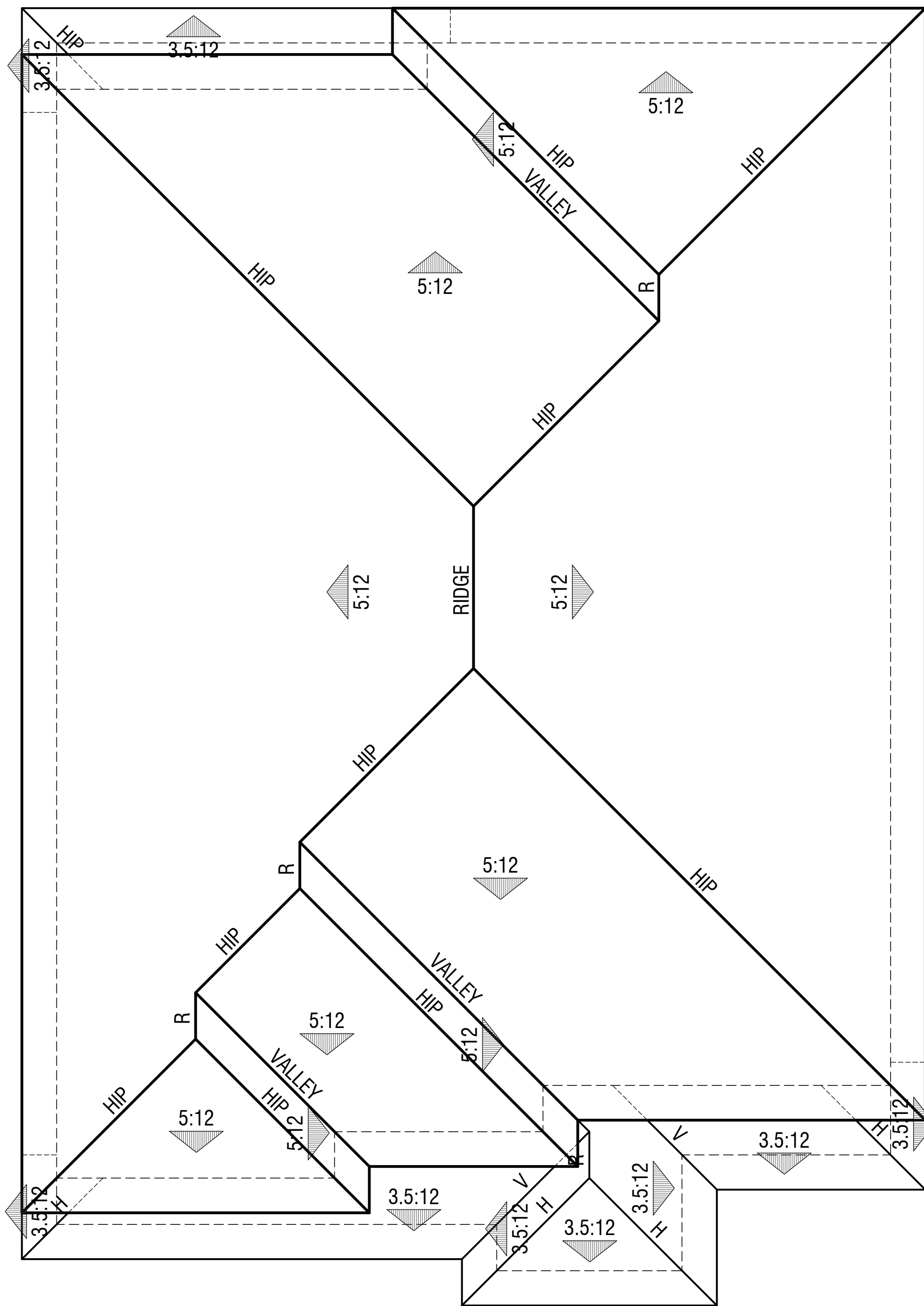


PLAN 1/JADU

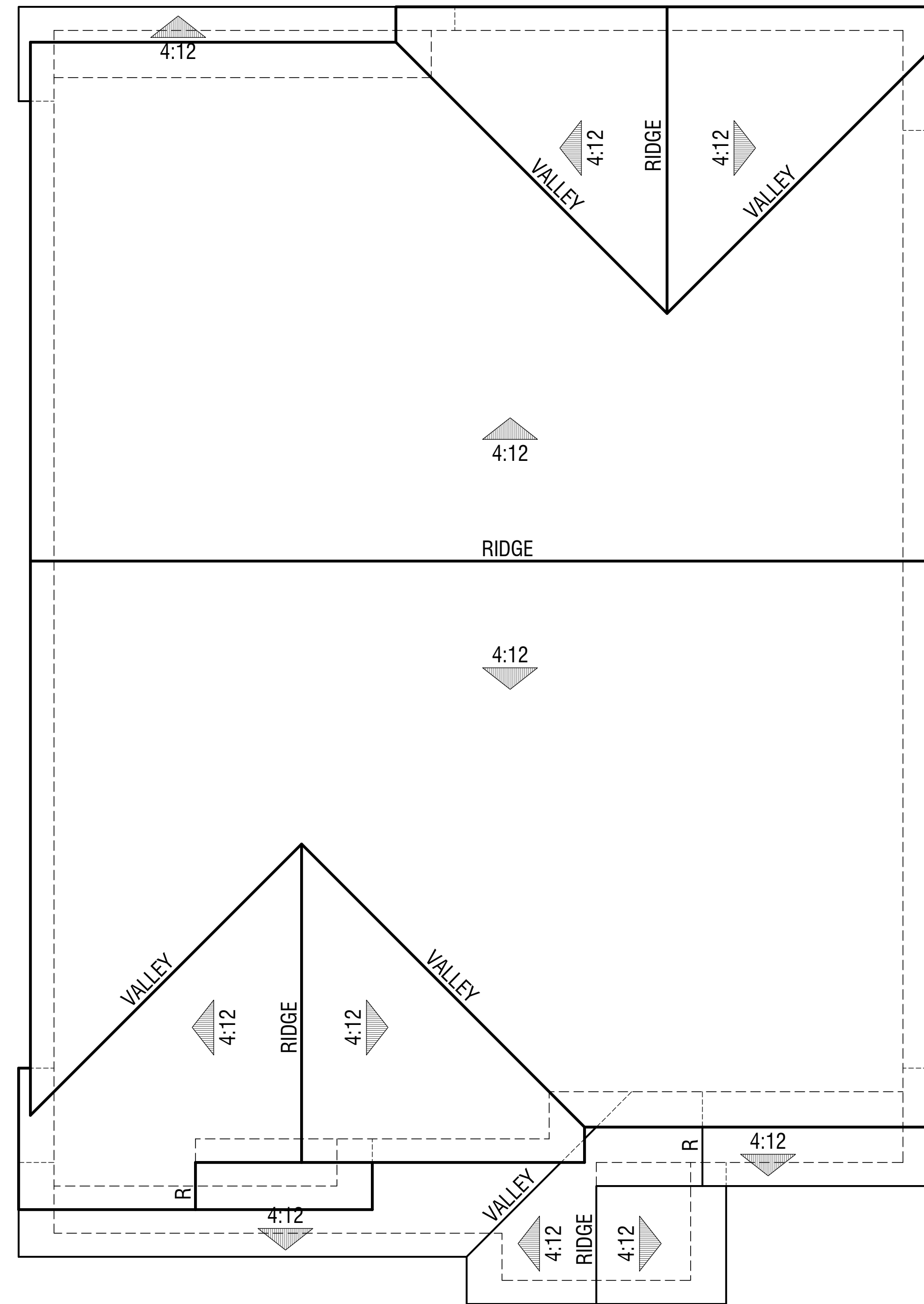
2,904 SF
 Main House: 4 Bdrm | 2.5 Bath | Loft
 2-Car Garage
 JADU: 1 Bdrm | 1 Bath
 (Floor Plan Matches Farmhouse Elevation Style)



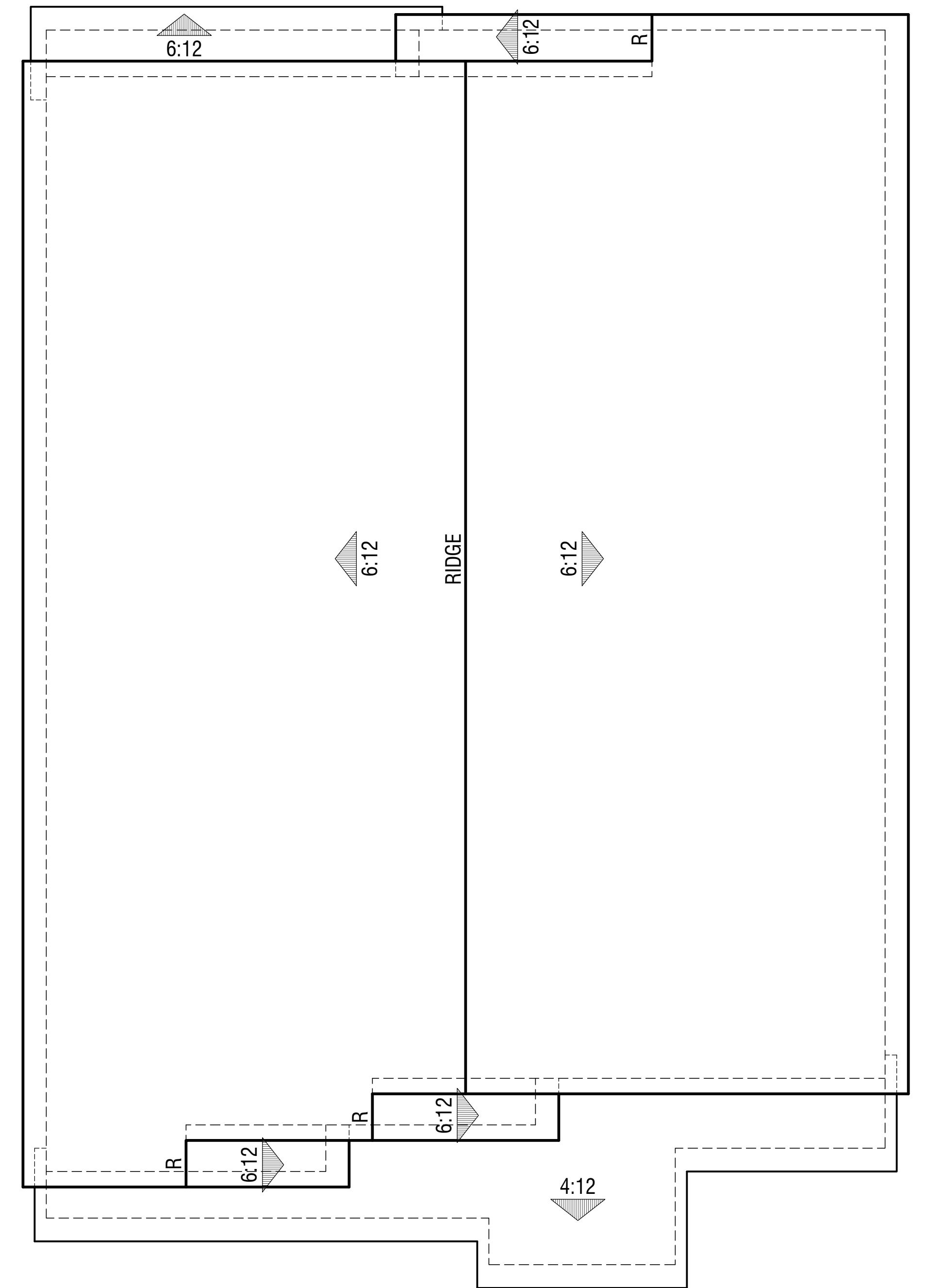
First Floor 1,333 SF
 (Includes JADU 332 SF)



Elevation C - Prairie



Elevation B - Craftsman



Elevation A - Farmhouse

PLAN 1

Roof Plans

Note: Mechanical equipment, vents, and ducts will be indicated at the construction document phase.

Note: A/C units shown on Floor Plan and Elevation sheets, typ.



Elevation A - Farmhouse
Color Scheme #1

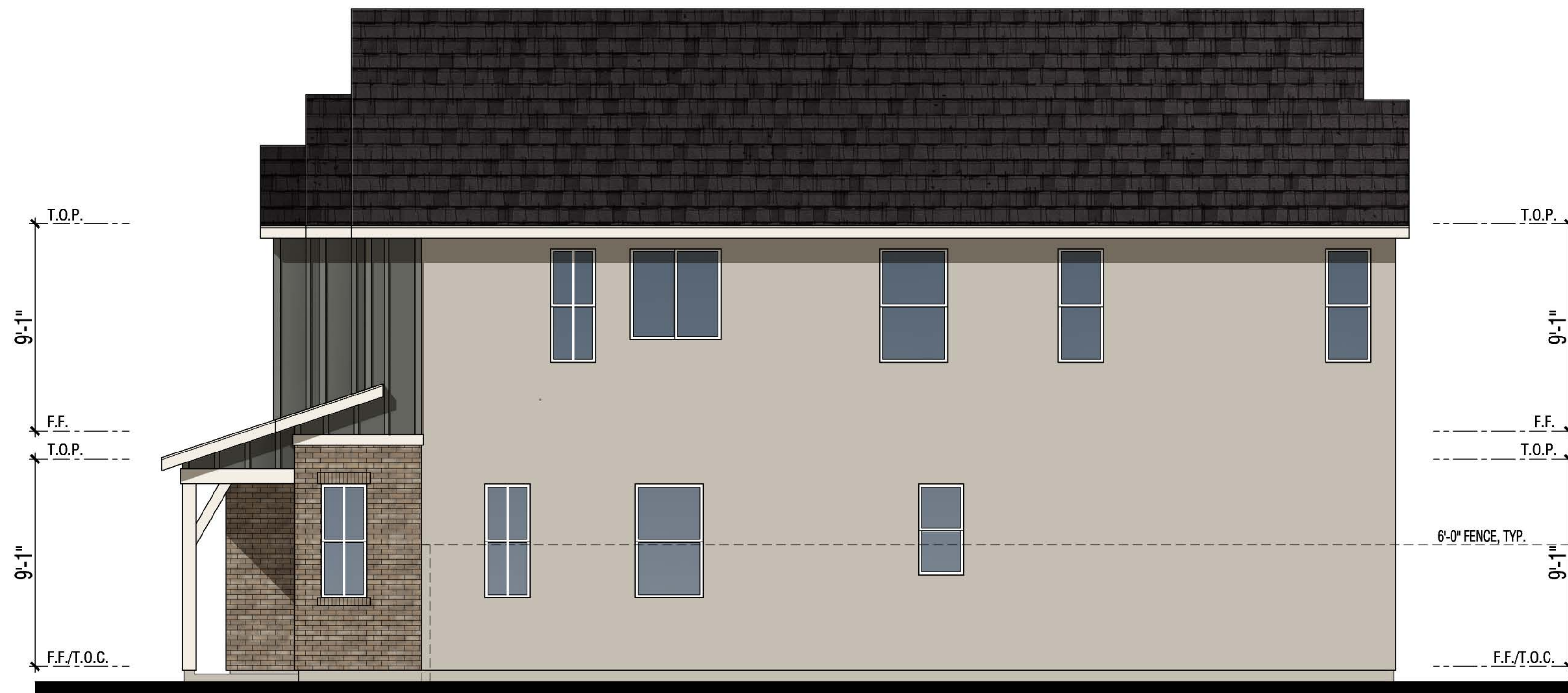


Elevation C - Prairie
Color Scheme #9



Elevation B - Craftsman
Color Scheme #5

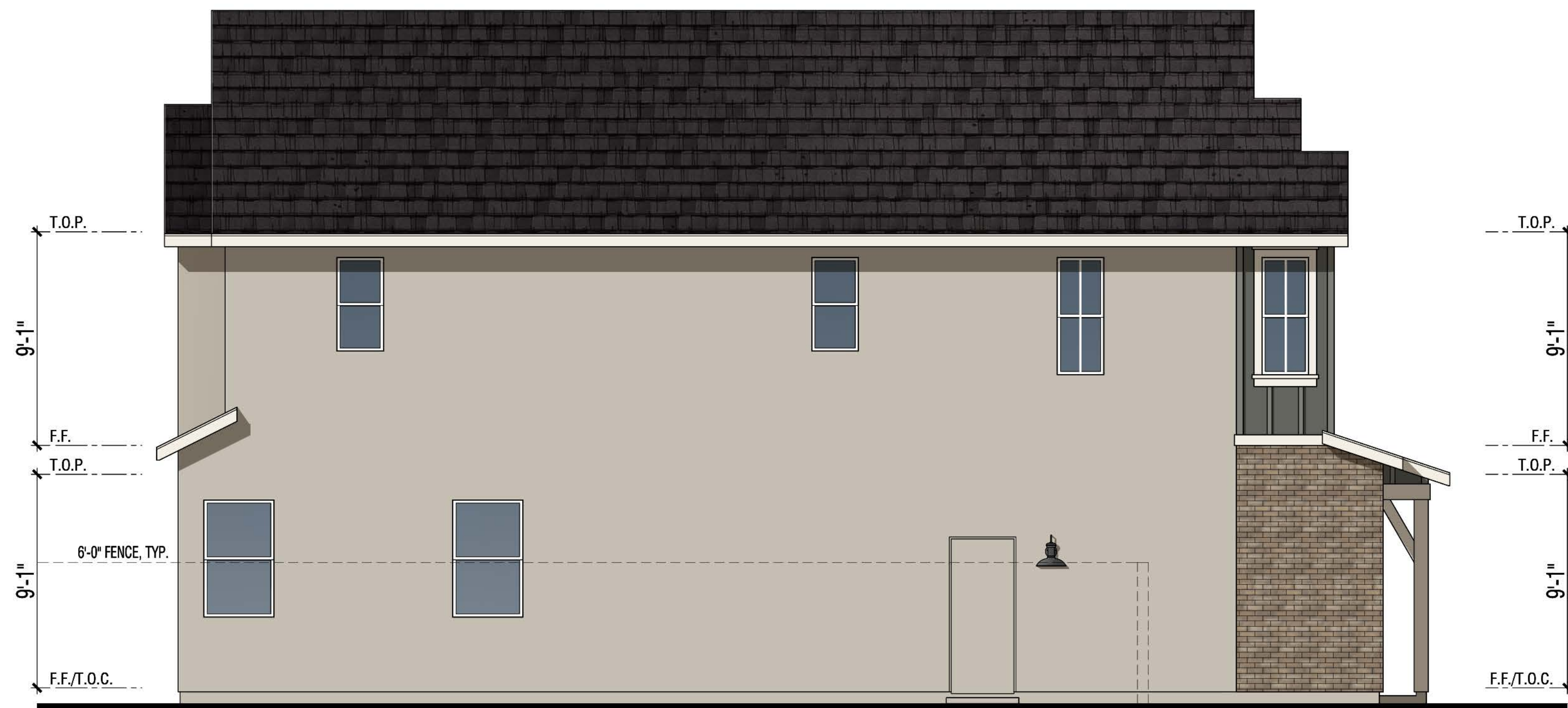
PLAN 1
Front Elevations



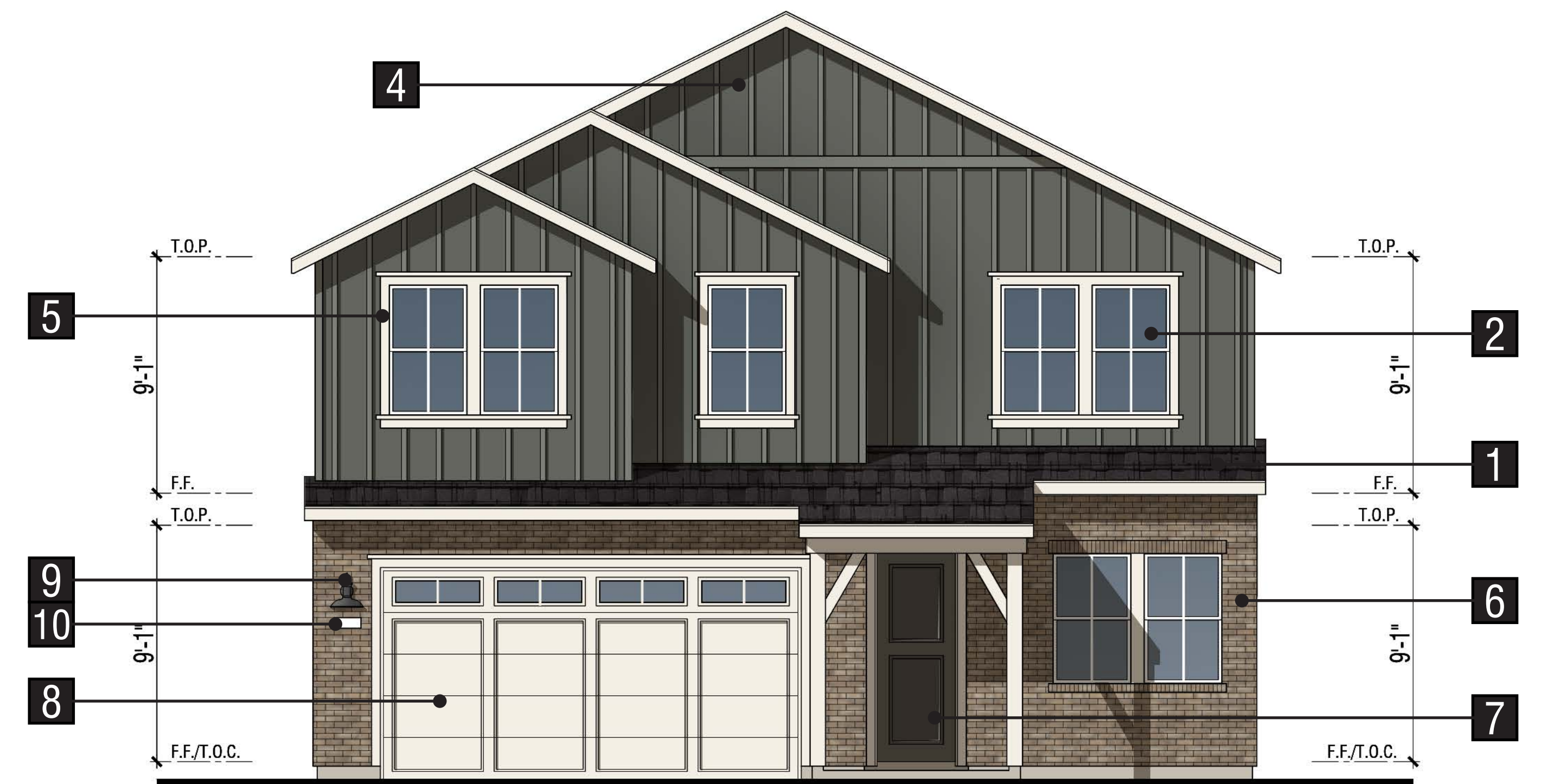
Right Elevation



Rear Elevation



Left Elevation



Front Elevation

Exterior Materials:

- 1** Composition shingle roofing
- 2** Insulated vinyl windows
- 3** Stucco
- 4** Board & battens
- 5** Fiber cement trim
- 6** Manufactured thin brick
- 7** Fiberglass entry door
- 8** Sectional roll-up garage door
- 9** Light Fixture
- 10** Address Light

PLAN 1

Elevation A - Farmhouse
Color Scheme #1

Note: Building Heights shown on this sheet are above proposed grade. See Sheets A23 - A34 for building height information above existing grade.



Right Elevation (Enhanced @ Lot 28)



Rear Elevation (Enhanced @ Lot 28)



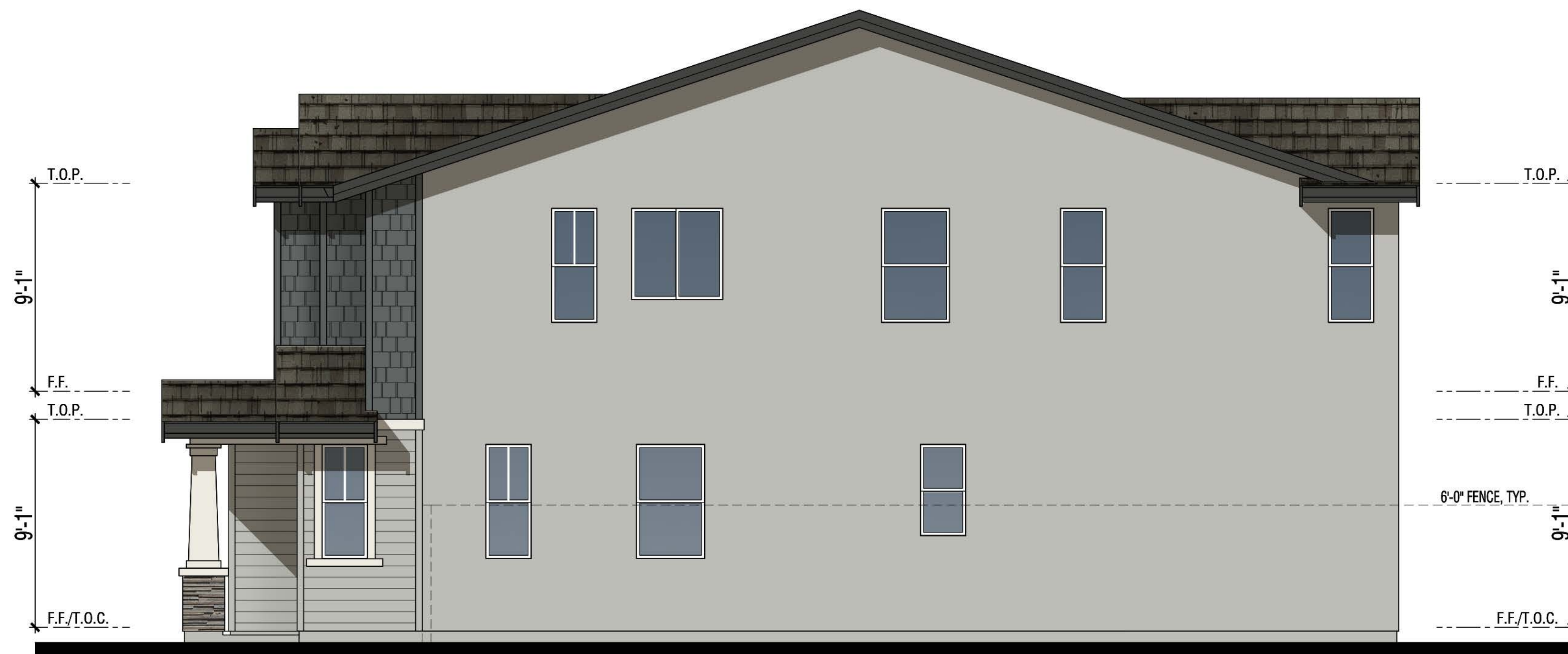
Left Elevation (Enhanced @ Lot 18)



Rear Elevation (Enhanced @ Lot 18)

PLAN 1
Elevation A - Farmhouse (Enhanced)
Color Scheme #1

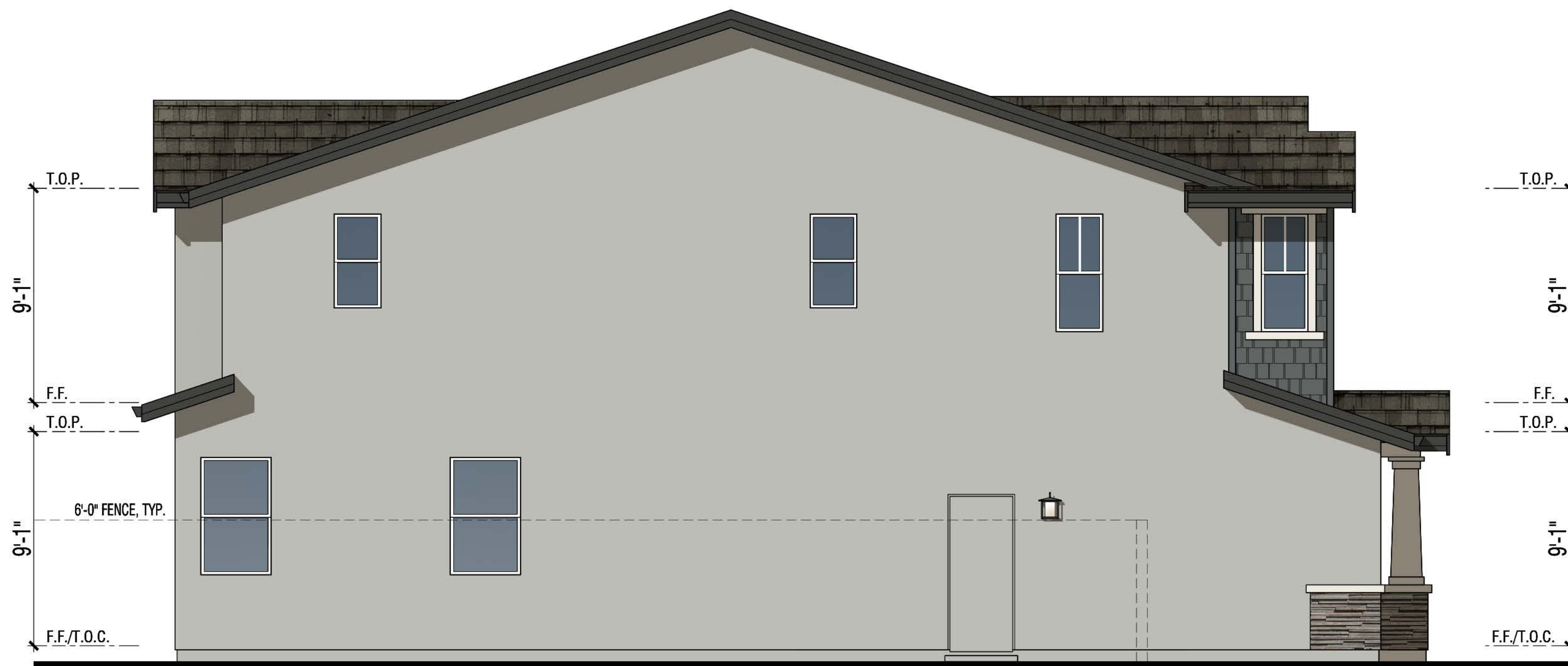
Note: Building Heights shown on this sheet are above proposed grade. See Sheets A23 - A34 for building height information above existing grade.



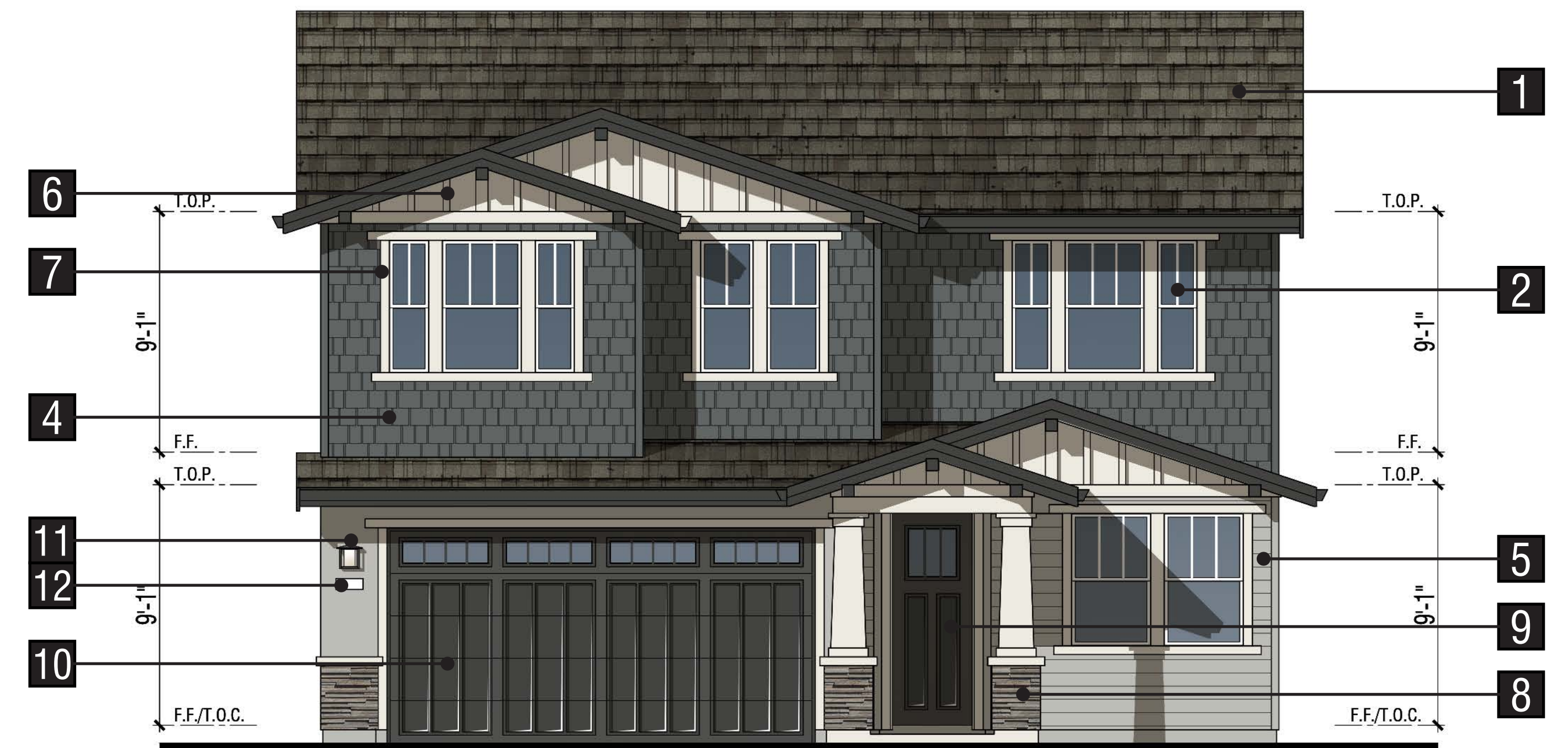
Right Elevation



Rear Elevation



Left Elevation



Front Elevation

Exterior Materials:

- | | | |
|--------------------------------------|---|-------------------------|
| 1 Composition shingle roofing | 6 Gable siding | 11 Light fixture |
| 2 Insulated vinyl windows | 7 Fiber cement trim | 12 Address light |
| 3 Stucco | 8 Manufactured stone | |
| 4 Shingle siding | 9 Fiberglass entry door | |
| 5 Lap siding | 10 Sectional roll-up garage door | |

PLAN 1
Elevation B - Craftsman
Color Scheme #5

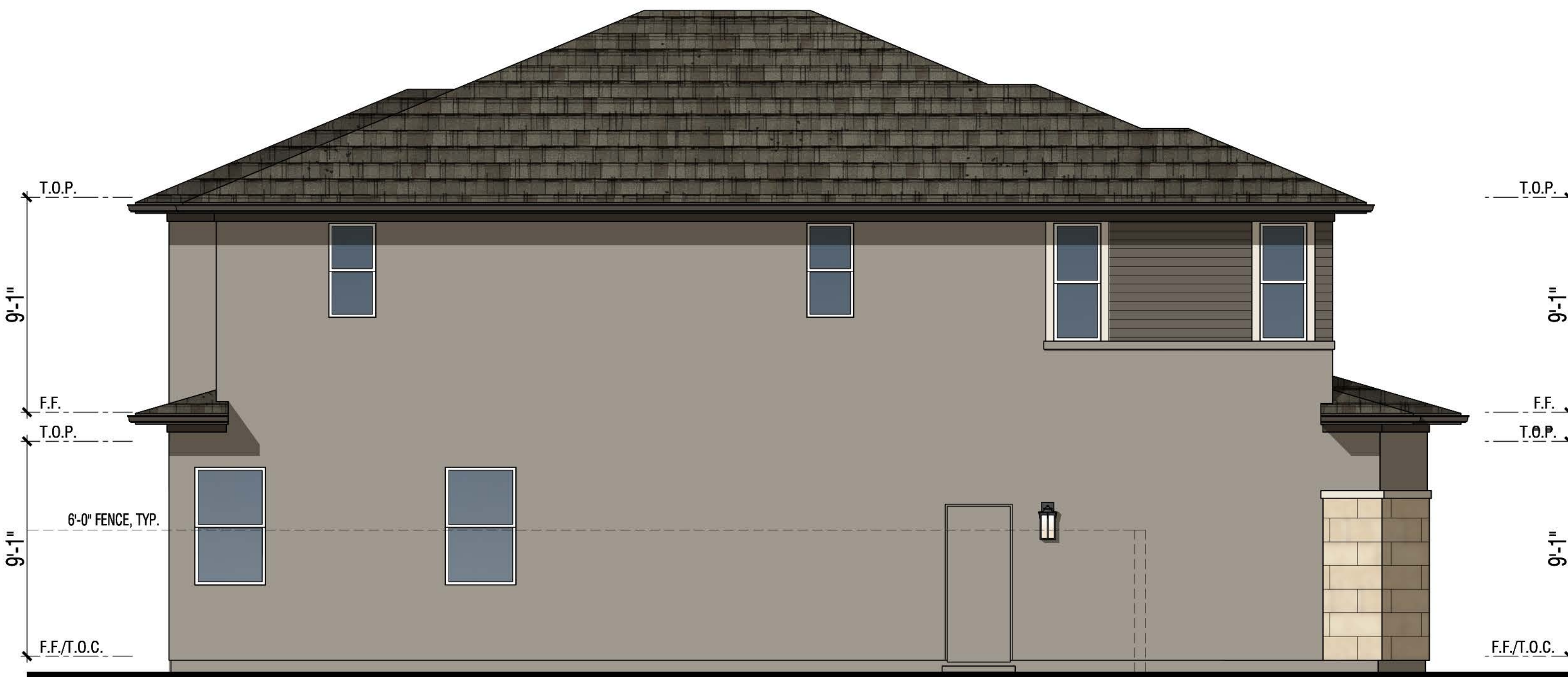
Note: Building Heights shown on this sheet are above proposed grade. See Sheets A23 - A34 for building height information above existing grade.



Right Elevation



Rear Elevation



Left Elevation



Front Elevation

Exterior Materials:

- 1** Composition shingle roofing
- 2** Insulated vinyl windows
- 3** Stucco
- 4** Stucco trim
- 5** Lap siding
- 6** Fiber cement trim
- 7** Manufactured stone
- 8** Fiberglass entry door
- 9** Sectional roll-up garage door
- 10** Light Fixture
- 11** Address Light

PLAN 1
Elevation C - Prairie
Color Scheme #9

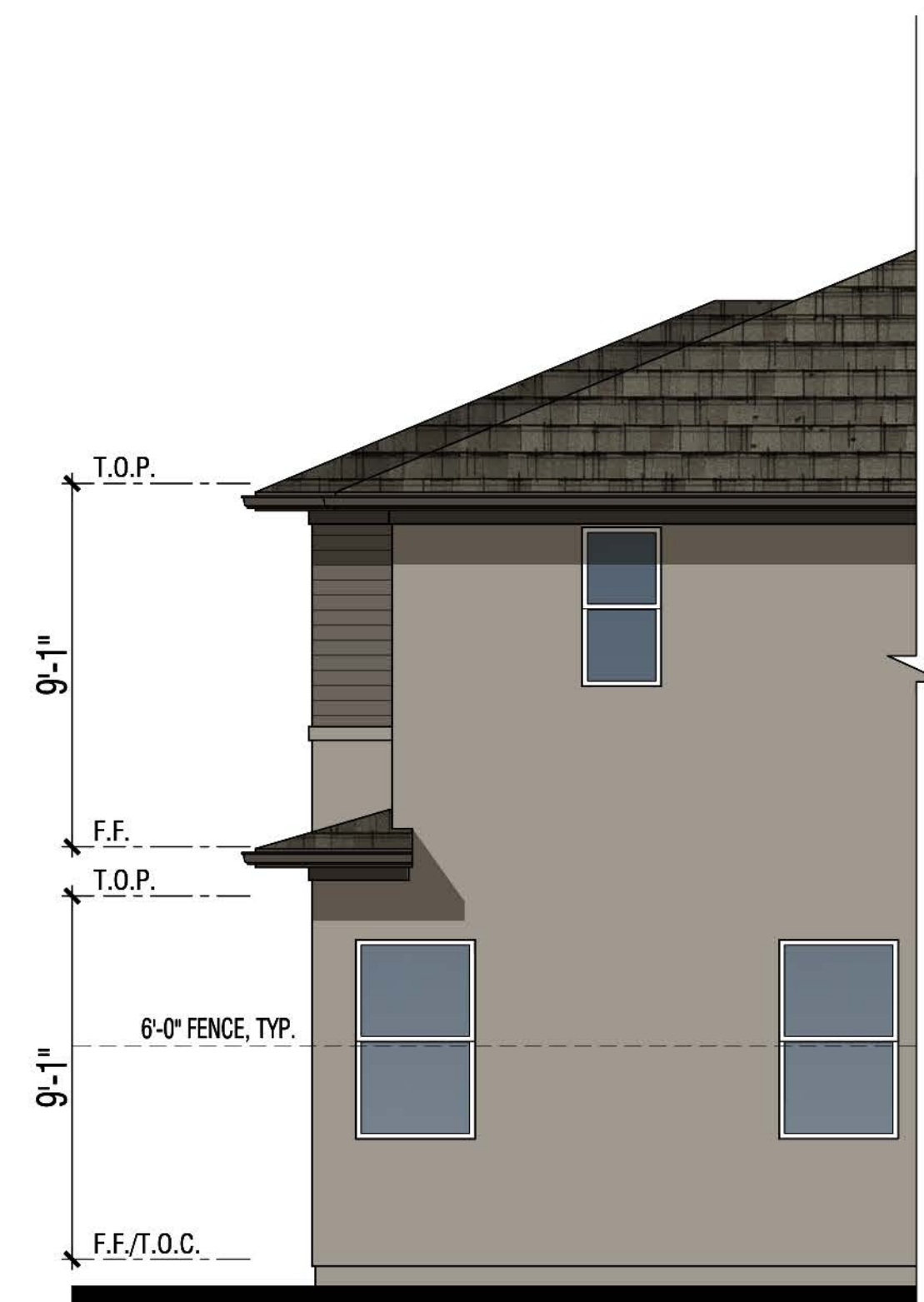
Note: Building Heights shown on this sheet are above proposed grade. See Sheets A23 - A34 for building height information above existing grade.



Right Elevation (Enhanced @ Lot 24)



Right Elevation (Enhanced @ Lot 24)



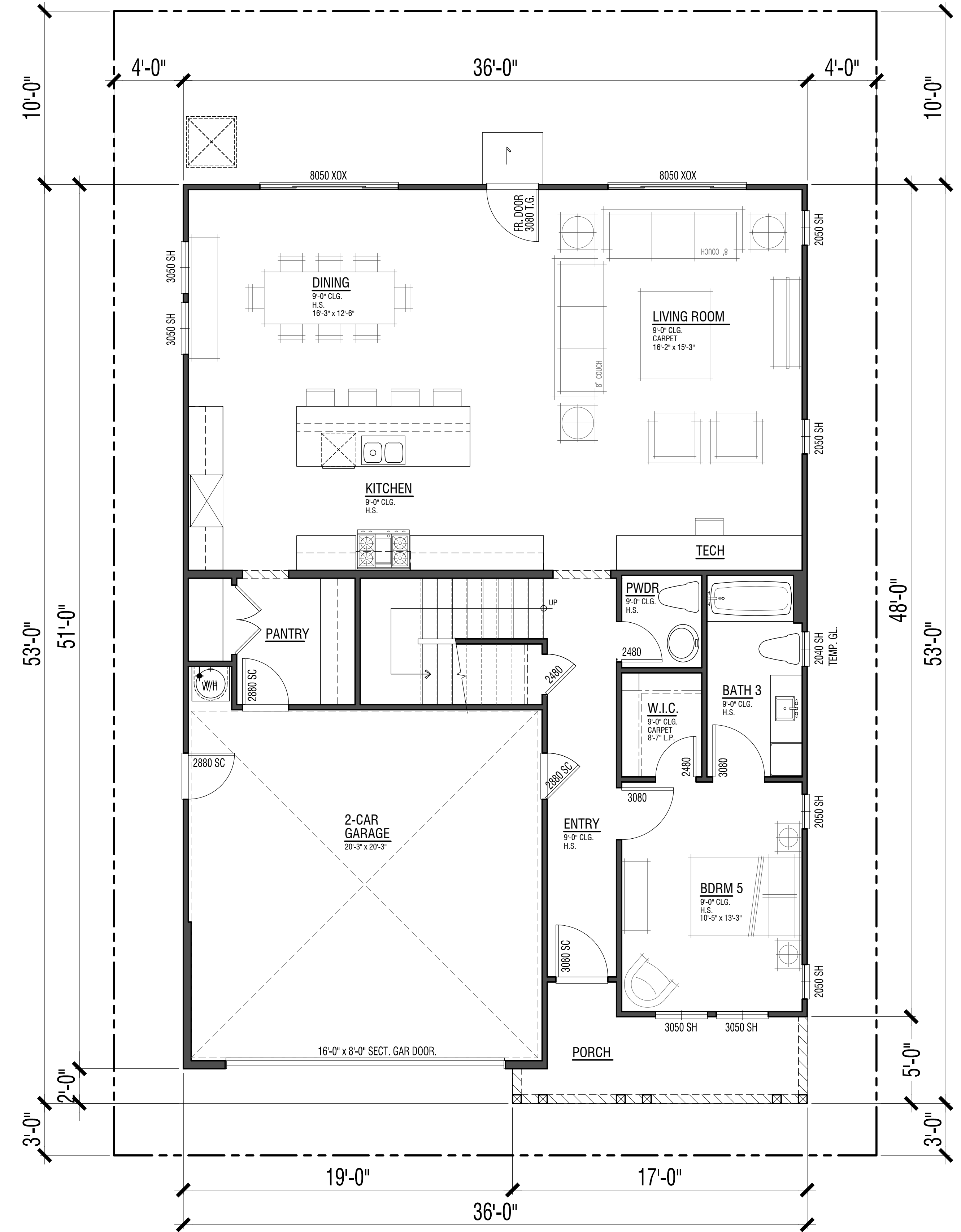
Right Elevation (Enhanced @ Lot 24)

PLAN 1
Elevation C - Prairie (Enhanced)
Color Scheme #9

Note: Building Heights shown on this sheet are above proposed grade. See Sheets A23 - A34 for building height information above existing grade.



Second Floor 1,646 SF



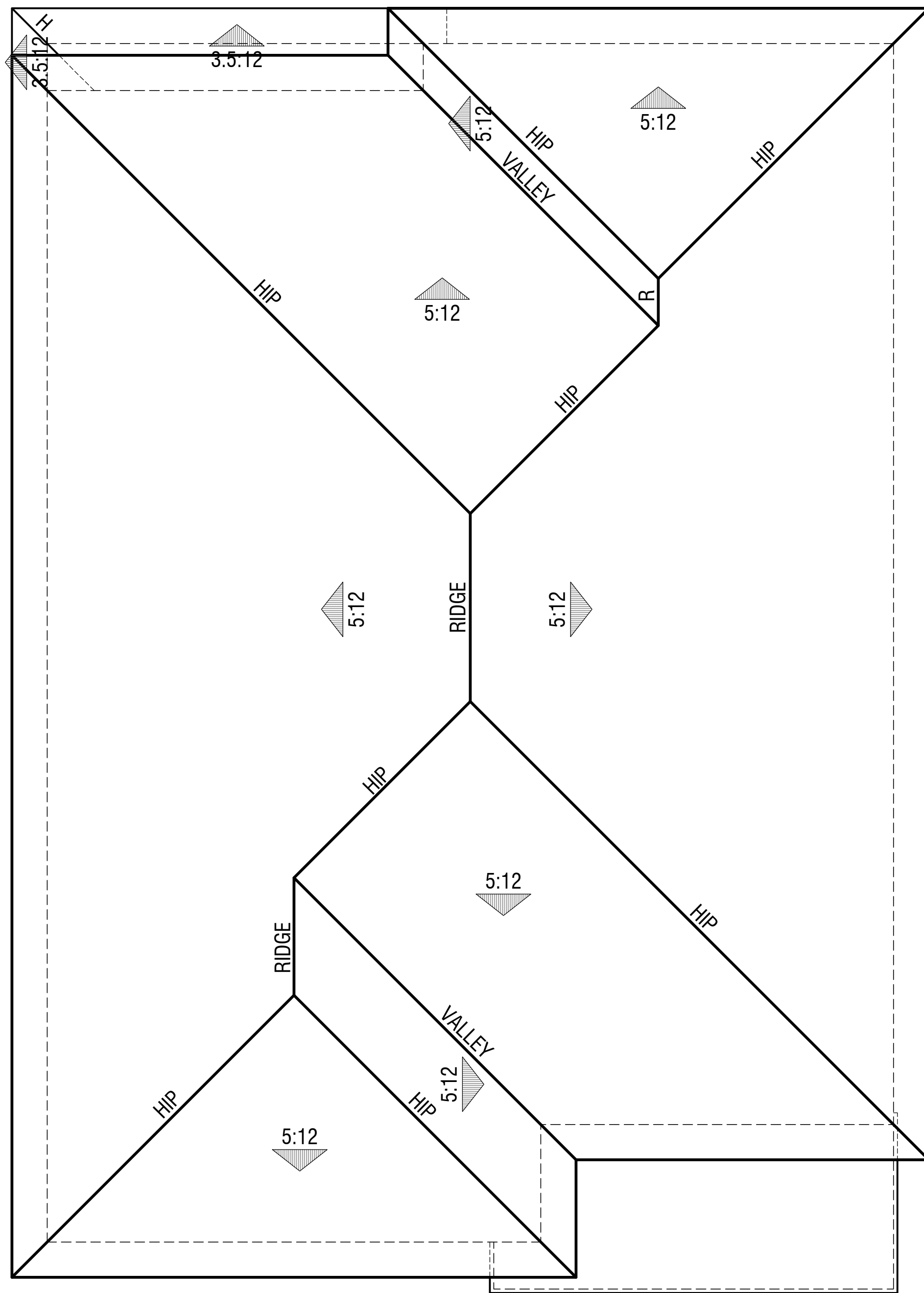
First Floor 1,347 SF

PLAN 2

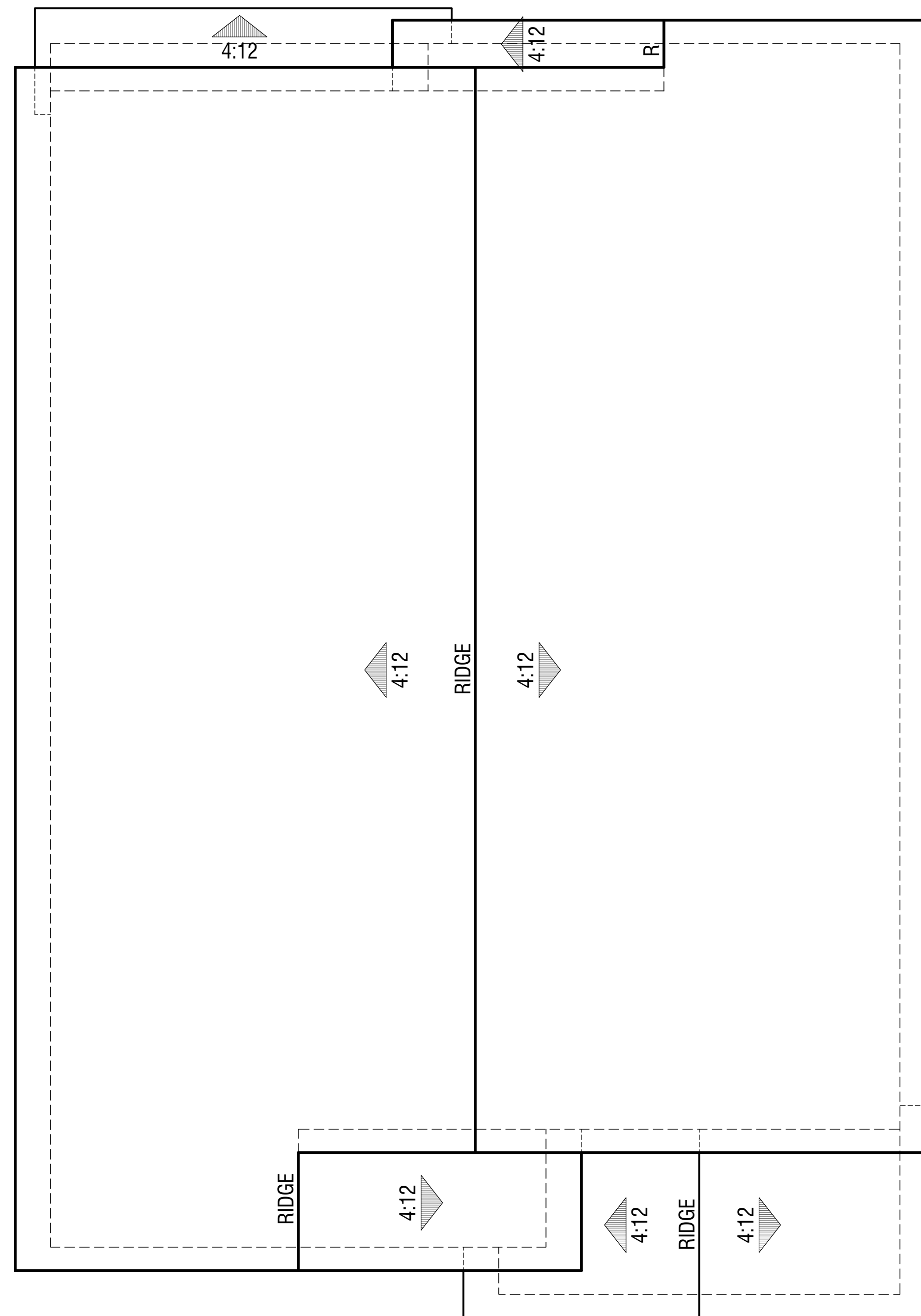
2,993 SF

5 Bdrm | 3.5 Bath | Loft
2-Car Garage

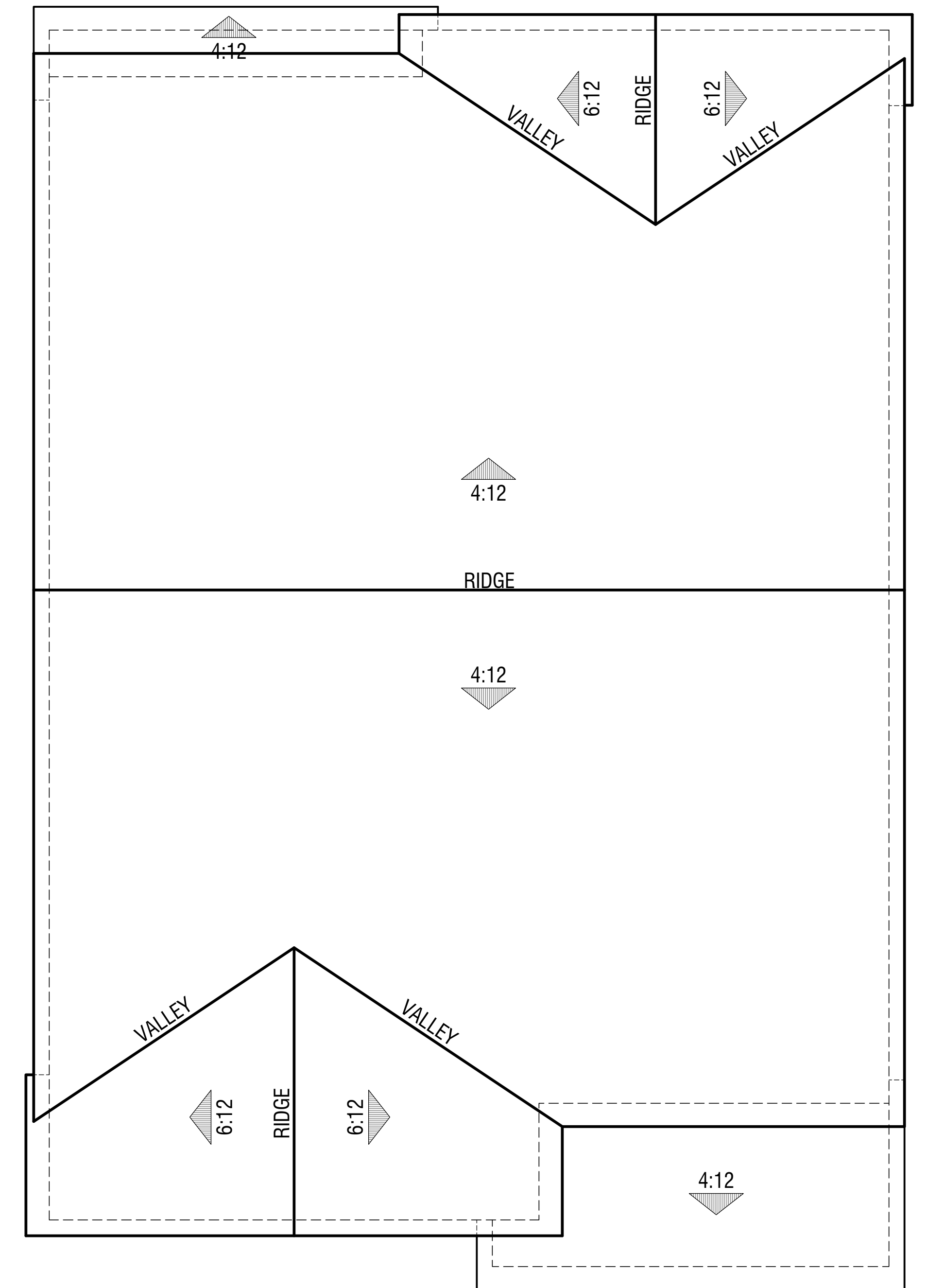
(Floor Plan Matches Farmhouse Elevation Style)



Elevation C - Prairie



Elevation B - Craftsman



Elevation A - Farmhouse

PLAN 2

Roof Plans

Note: Mechanical equipment, vents, and ducts will be indicated at the construction document phase.

Note: A/C units shown on Floor Plan and Elevation sheets, typ.



Elevation A - Farmhouse
Color Scheme #2



Elevation C - Prairie
Color Scheme #7



Elevation B - Craftsman
Color Scheme #6

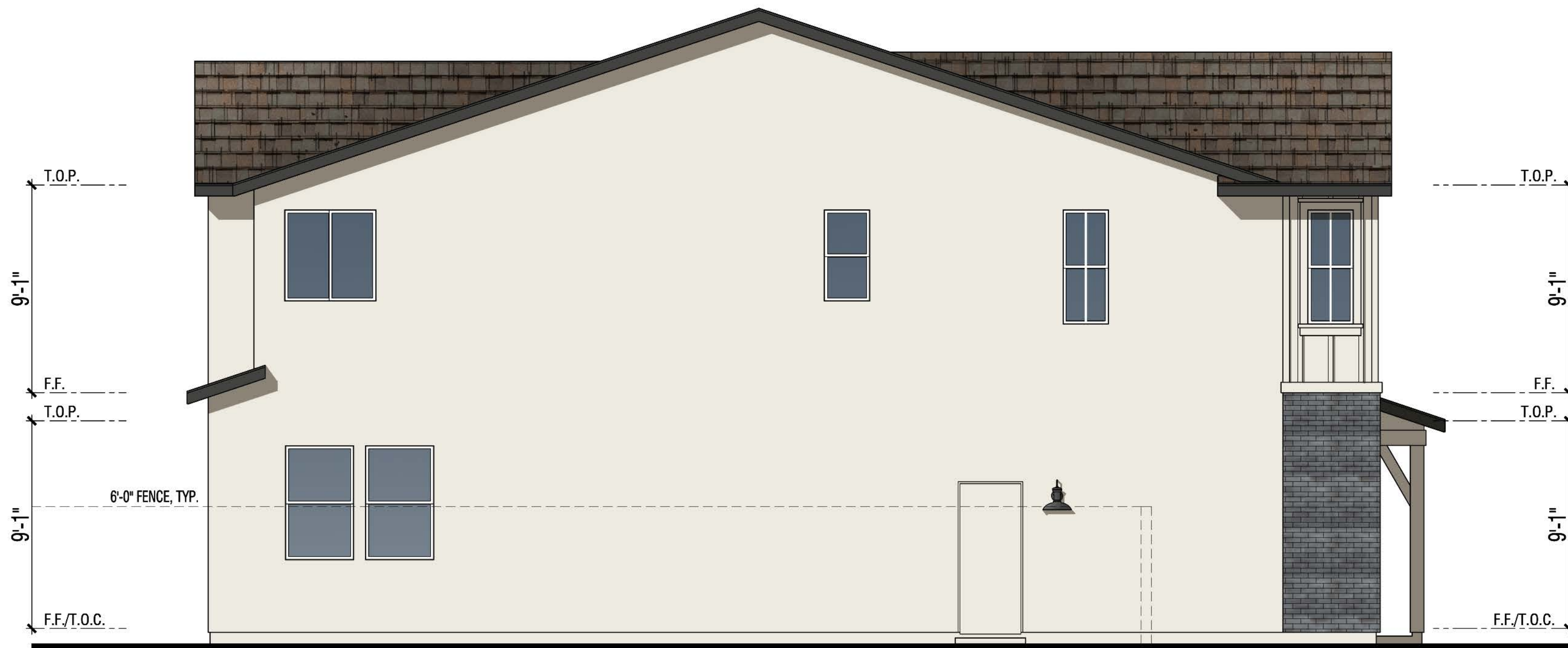
PLAN 2
Front Elevations



Right Elevation



Rear Elevation



Left Elevation



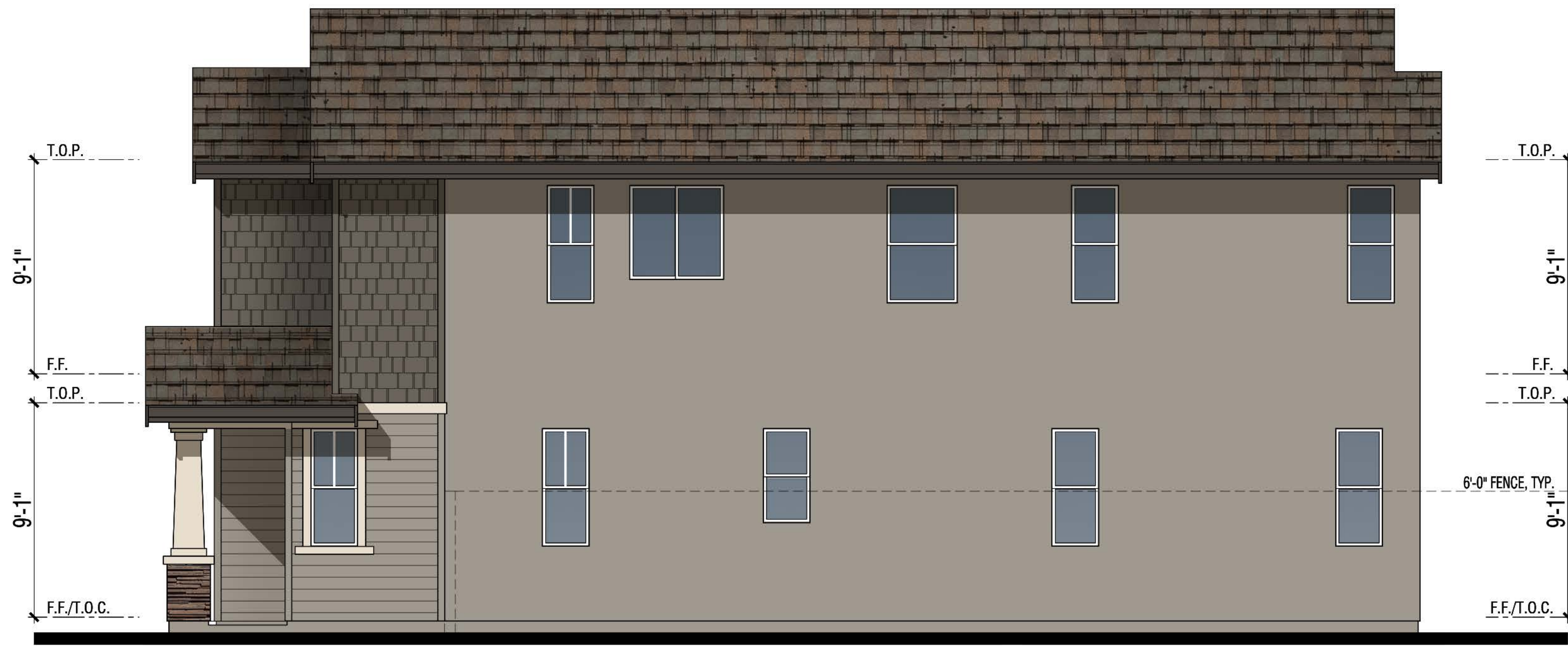
Front Elevation

Exterior Materials:

- 1** Composition shingle roofing
- 2** Insulated vinyl windows
- 3** Stucco
- 4** Board & battens
- 5** Fiber cement trim
- 6** Decorative foam shutters
- 7** Manufactured thin brick
- 8** Fiberglass entry door
- 9** Sectional roll-up garage door
- 10** Light Fixture
- 11** Address Light

PLAN 2
Elevation A - Farmhouse
Color Scheme #2

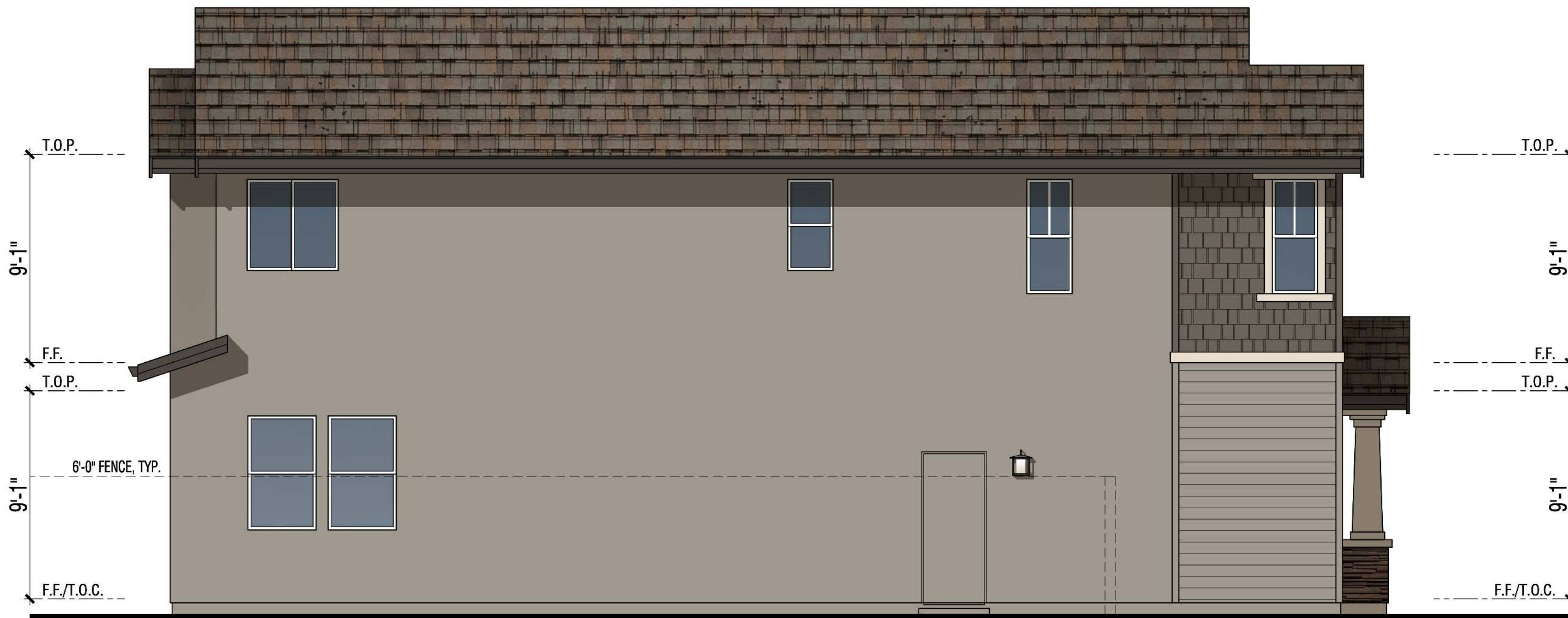
Note: Building Heights shown on this sheet are above proposed grade. See Sheets A23 - A34 for building height information above existing grade.



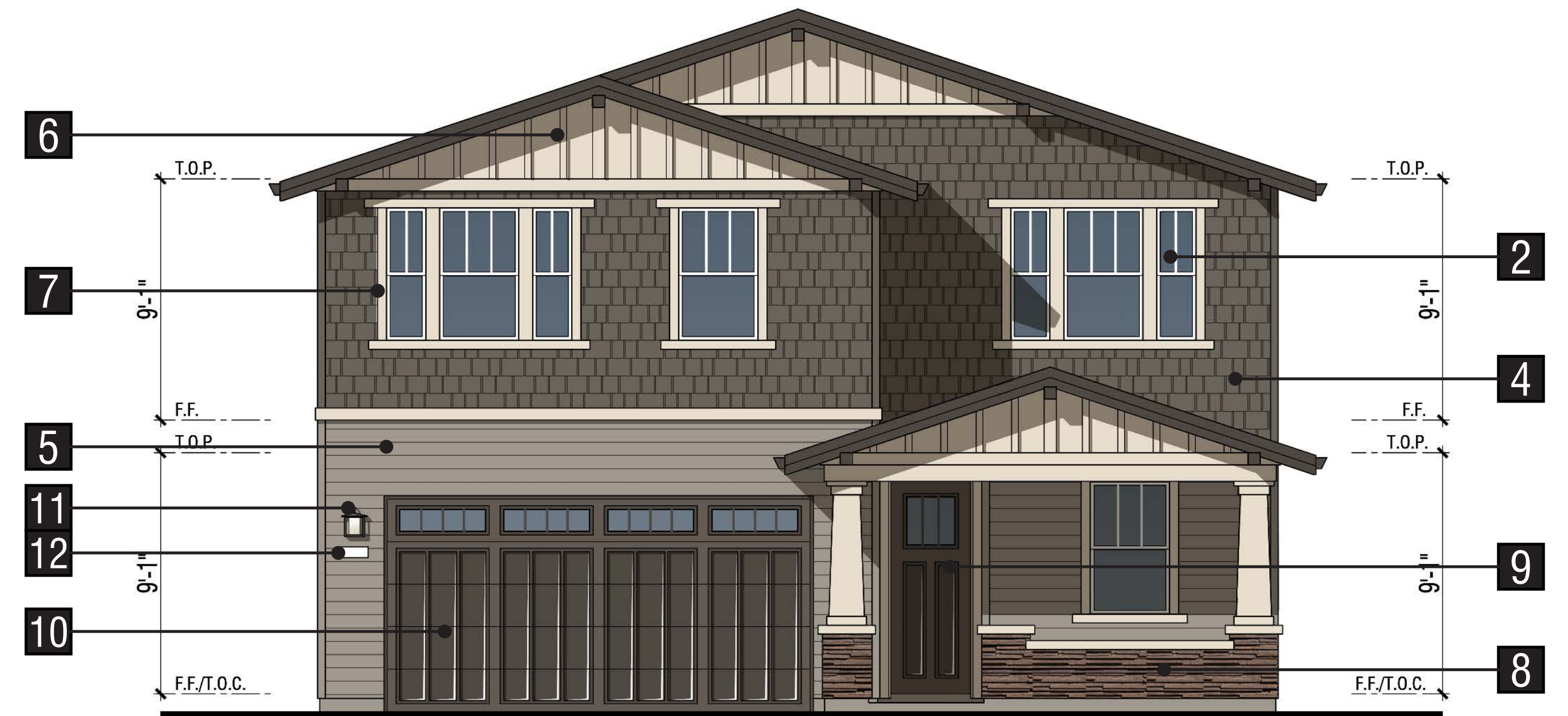
Right Elevation



Rear Elevation



Left Elevation



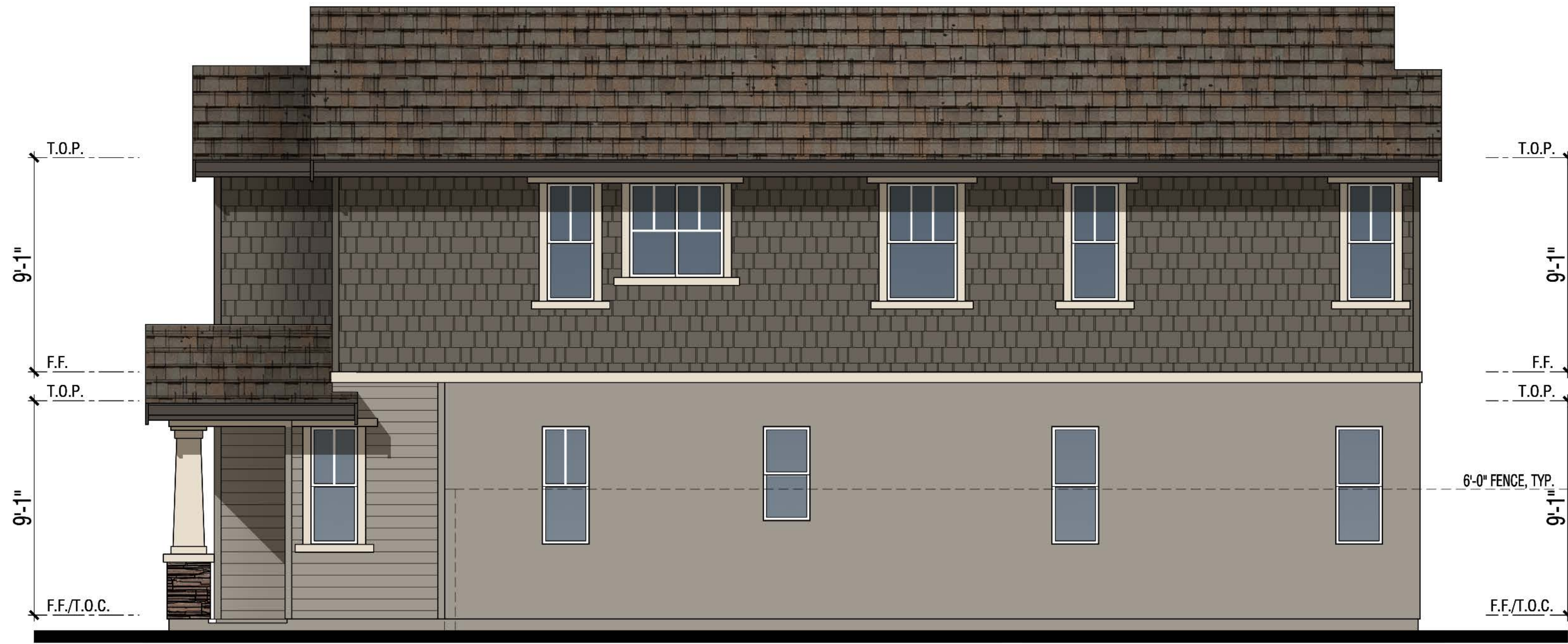
Front Elevation

Exterior Materials:

- | | | |
|--------------------------------------|---|-------------------------|
| 1 Composition shingle roofing | 6 Gable siding | 11 Light fixture |
| 2 Insulated vinyl windows | 7 Fiber cement trim | 12 Address light |
| 3 Stucco | 8 Manufactured stone | |
| 4 Shingle siding | 9 Fiberglass entry door | |
| 5 Lap siding | 10 Sectional roll-up garage door | |

PLAN 2
Elevation B - Craftsman
Color Scheme #6

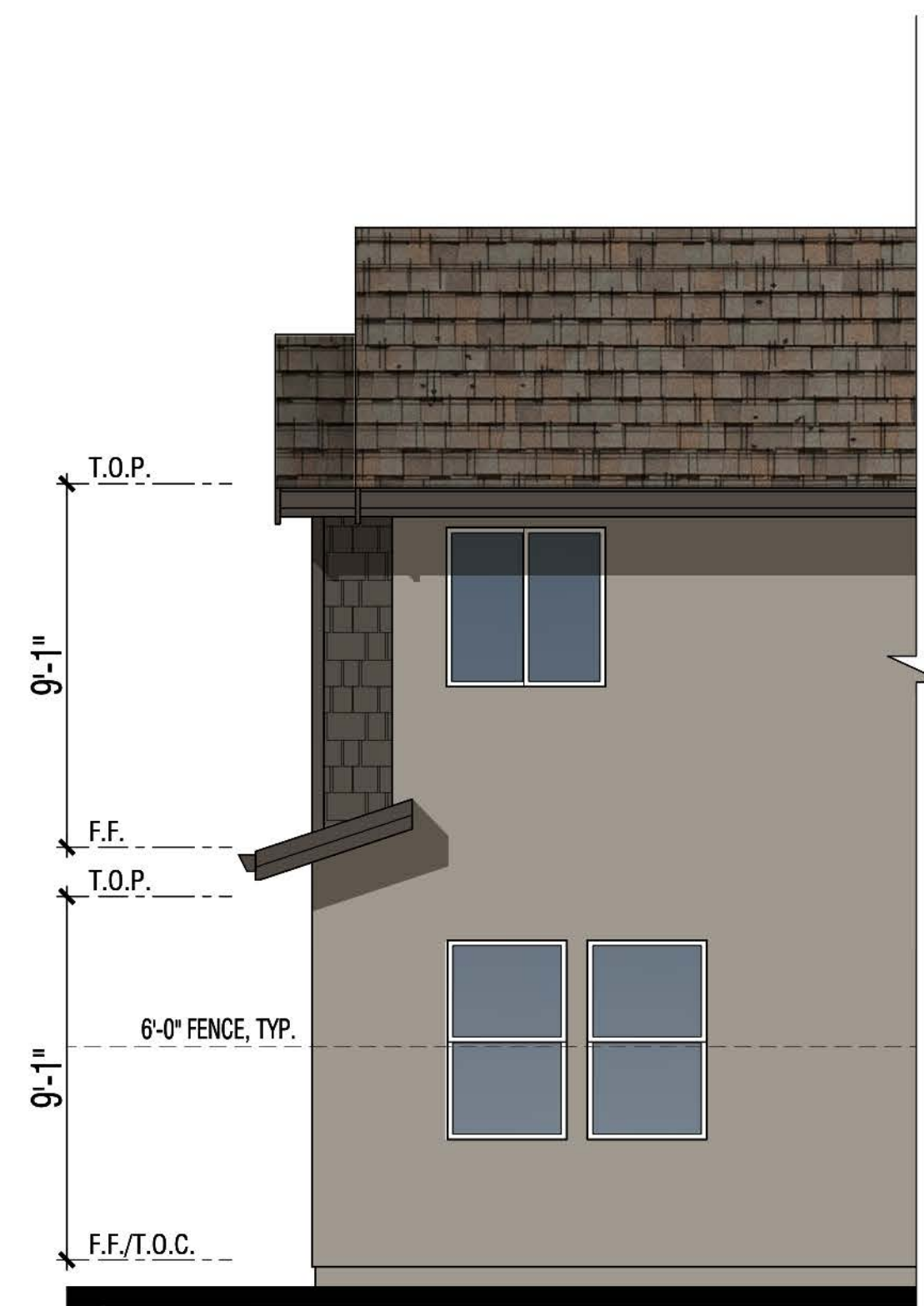
Note: Building Heights shown on this sheet are above proposed grade. See Sheets A23 - A34 for building height information above existing grade.



Right Elevation (Enhanced @ Lots 17 & 23)



Rear Elevation (Enhanced @ Lots 17 & 23)



Left Elevation (Enhanced @ Lots 17 & 23)

PLAN 2

Elevation B - Craftsman (Enhanced)
Color Scheme #6

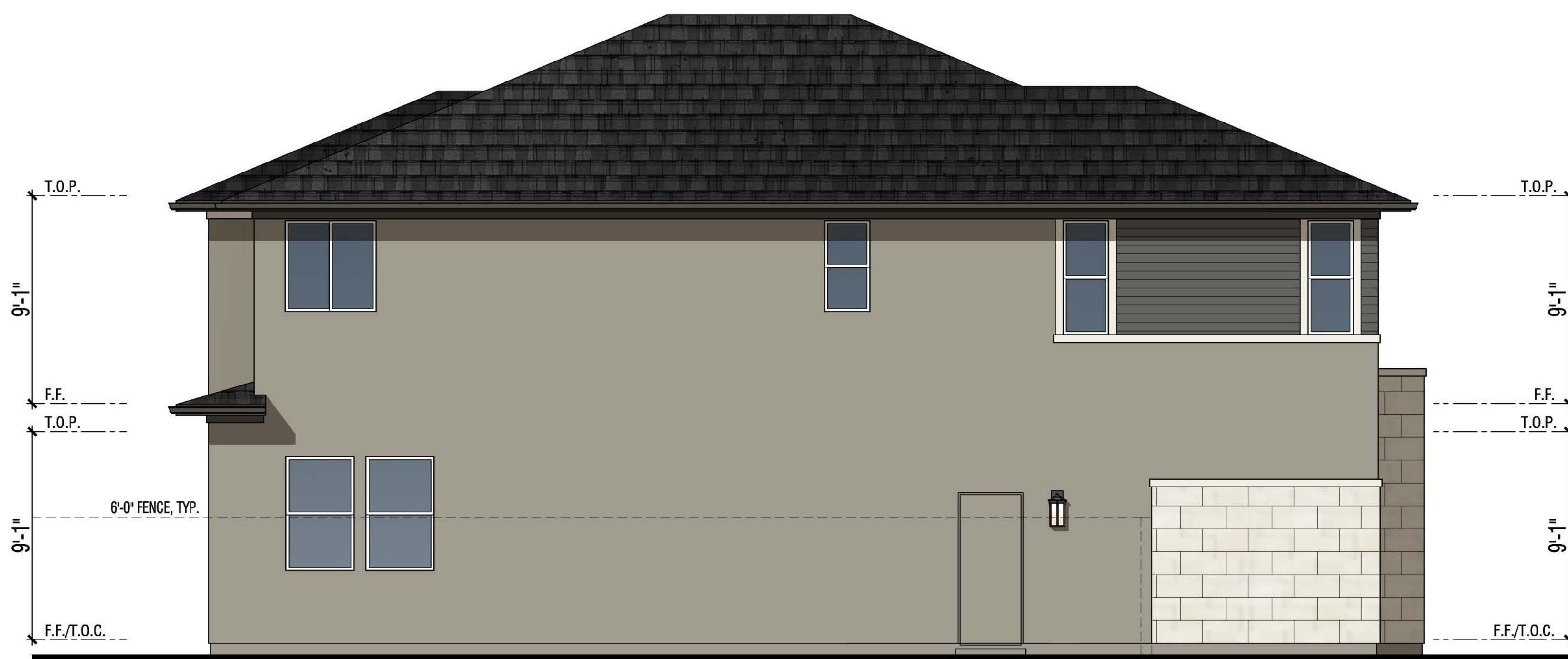
Note: Building Heights shown on this sheet are above proposed grade. See Sheets A23 - A34 for building height information above existing grade.



Right Elevation



Rear Elevation



Left Elevation



Front Elevation

Exterior Materials:

- 1** Composition shingle roofing
- 2** Insulated vinyl windows
- 3** Stucco
- 4** Stucco trim
- 5** Lap siding
- 6** Fiber cement trim
- 7** Manufactured stone
- 8** Fiberglass entry door
- 9** Sectional roll-up garage door
- 10** Light Fixture
- 11** Address Light

PLAN 2
Elevation C - Prairie
Color Scheme #7

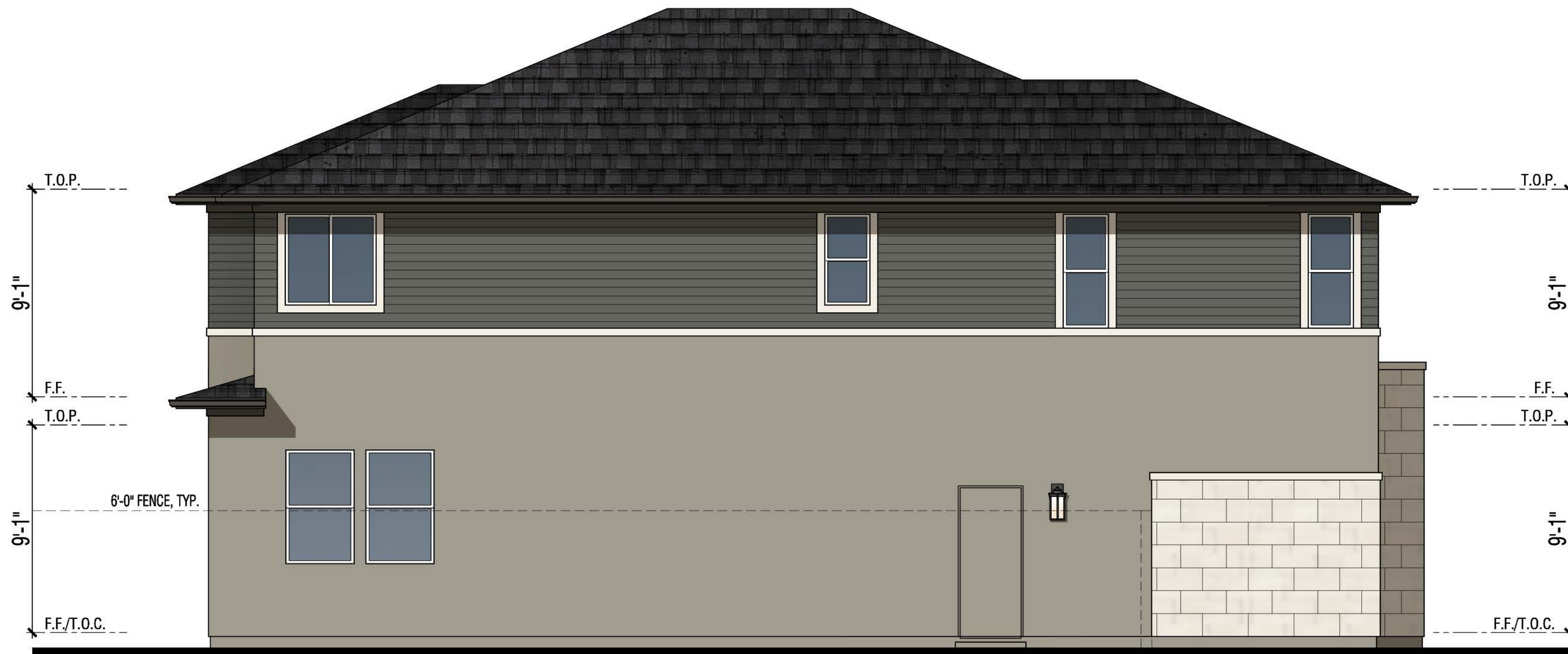
Note: Building Heights shown on this sheet are above proposed grade. See Sheets A23 - A34 for building height information above existing grade.



Right Elevation (Enhanced @ Lot 36)



Rear Elevation (Enhanced @ Lot 36)



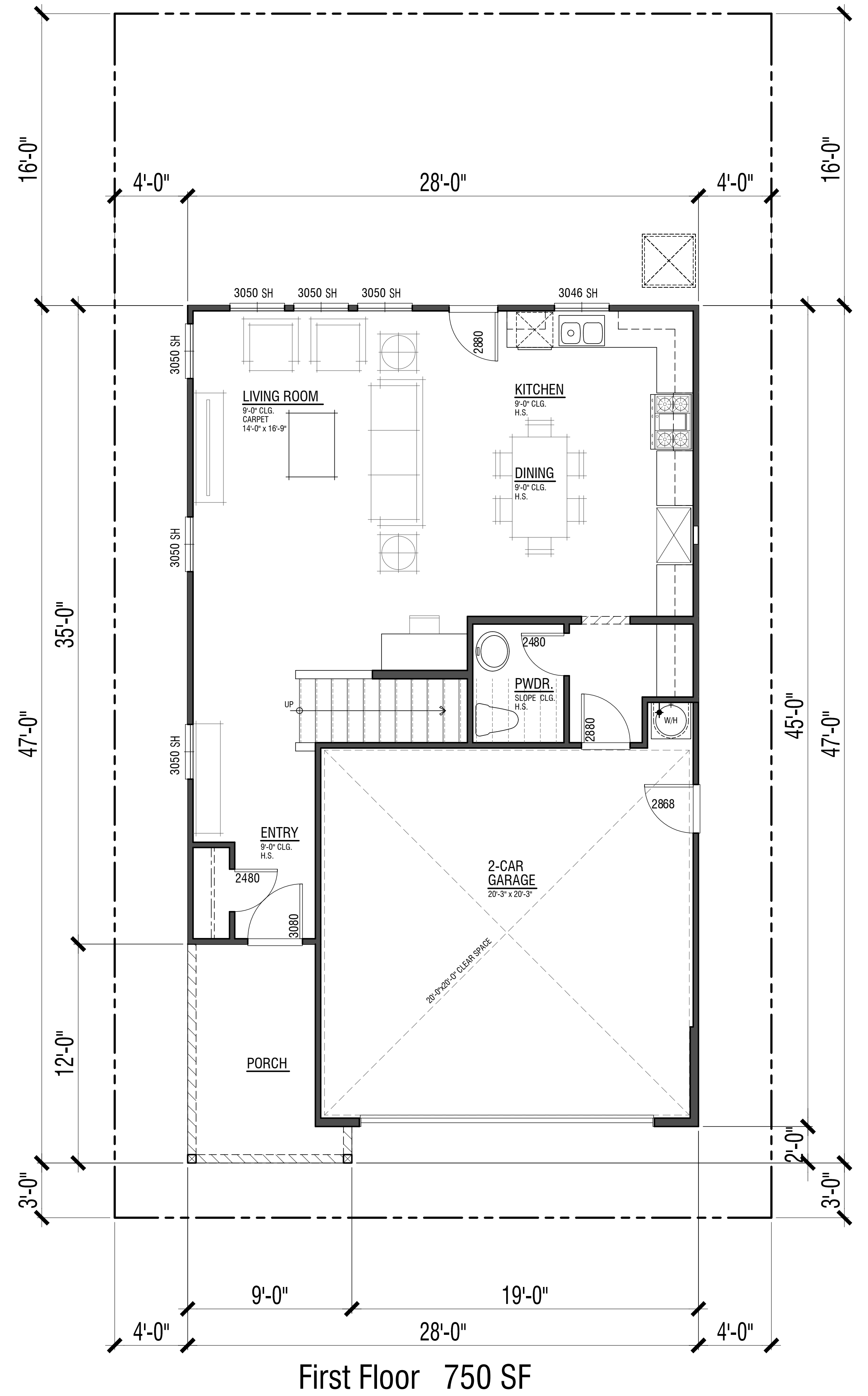
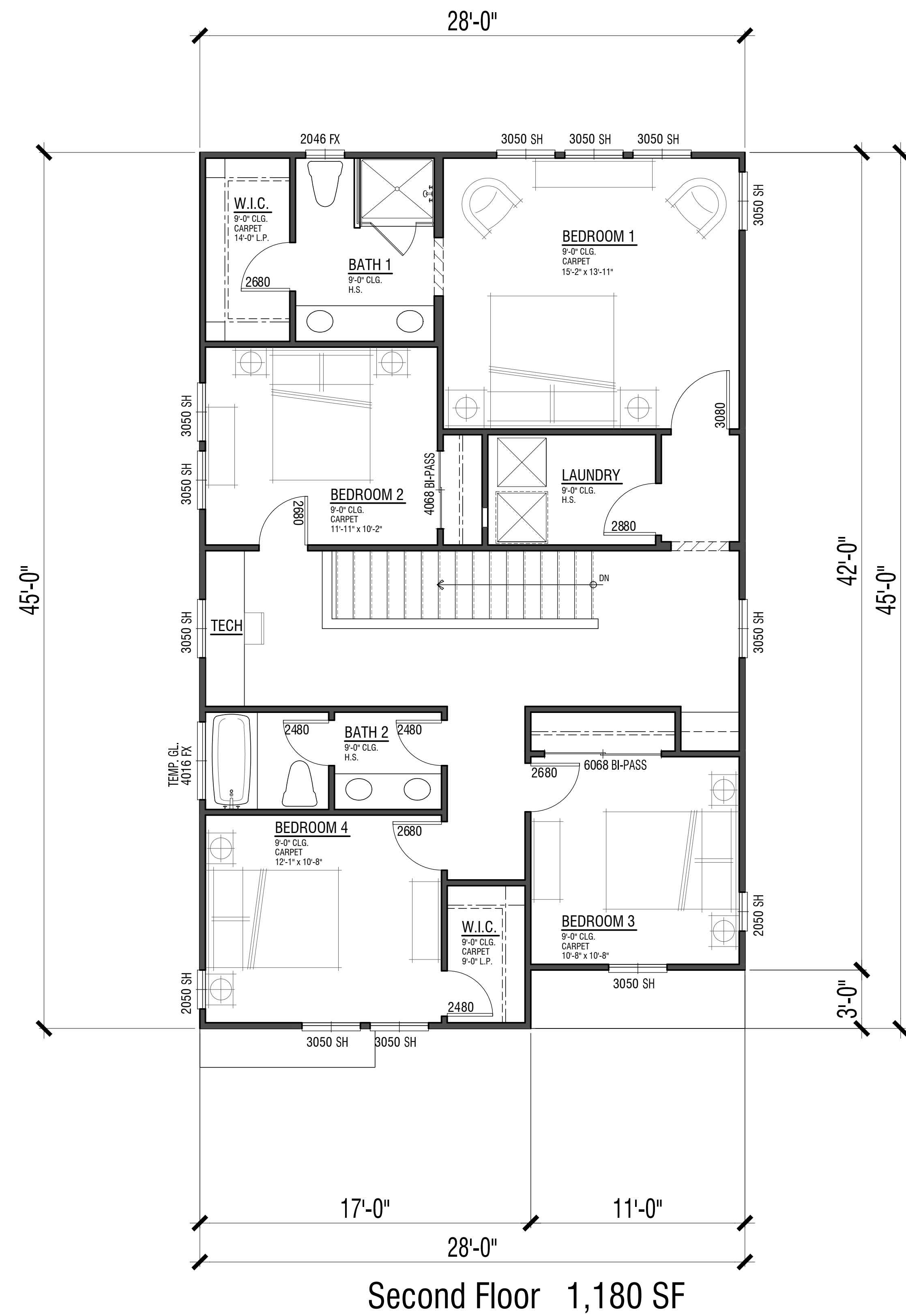
Left Elevation (Enhanced @ Lot 27)



Rear Elevation (Enhanced @ Lot 27)

PLAN 2
 Elevation C - Prairie (Enhanced)
 Color Scheme #7

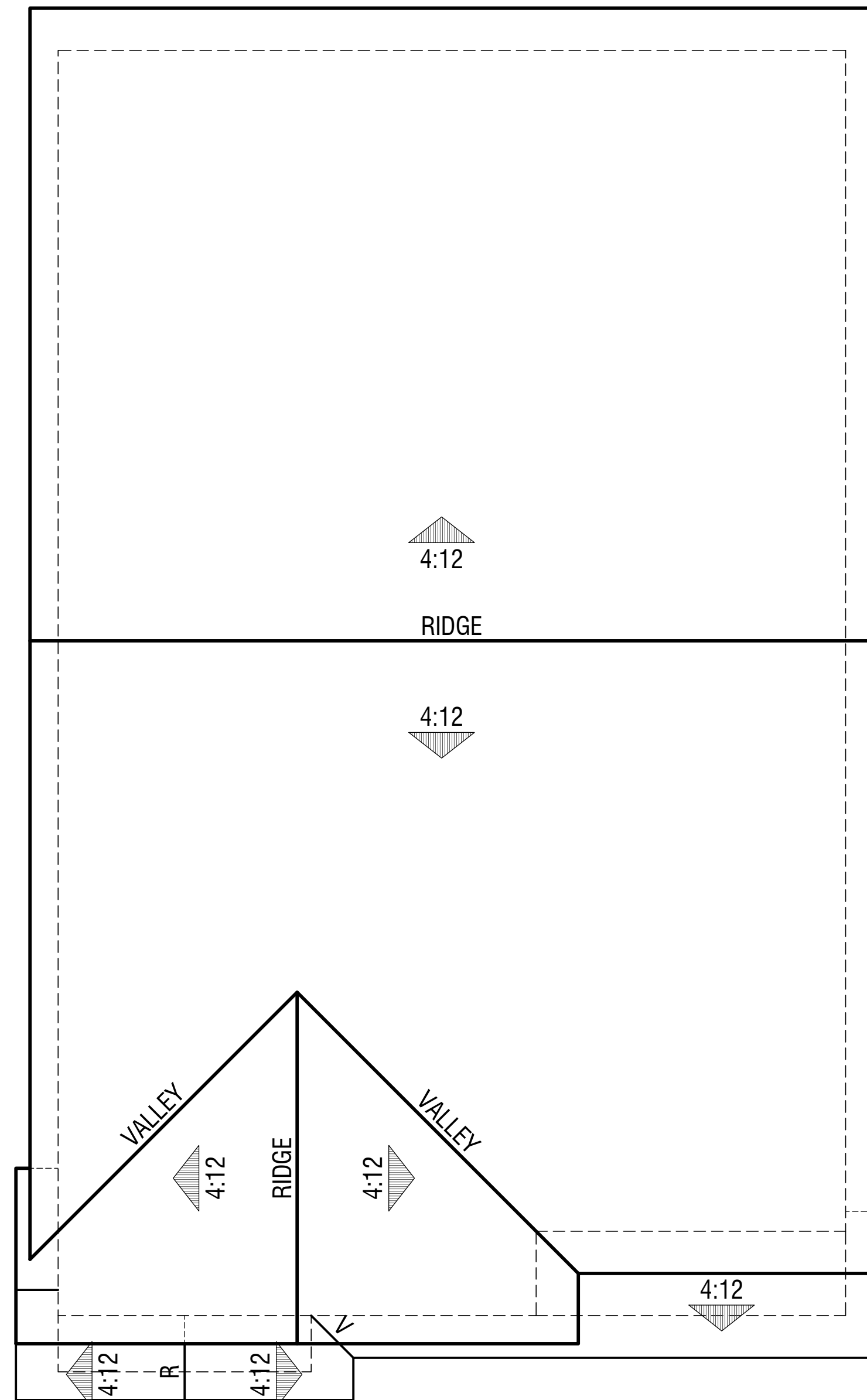
Note: Building Heights shown on this sheet are above proposed grade. See Sheets A23 - A34 for building height information above existing grade.



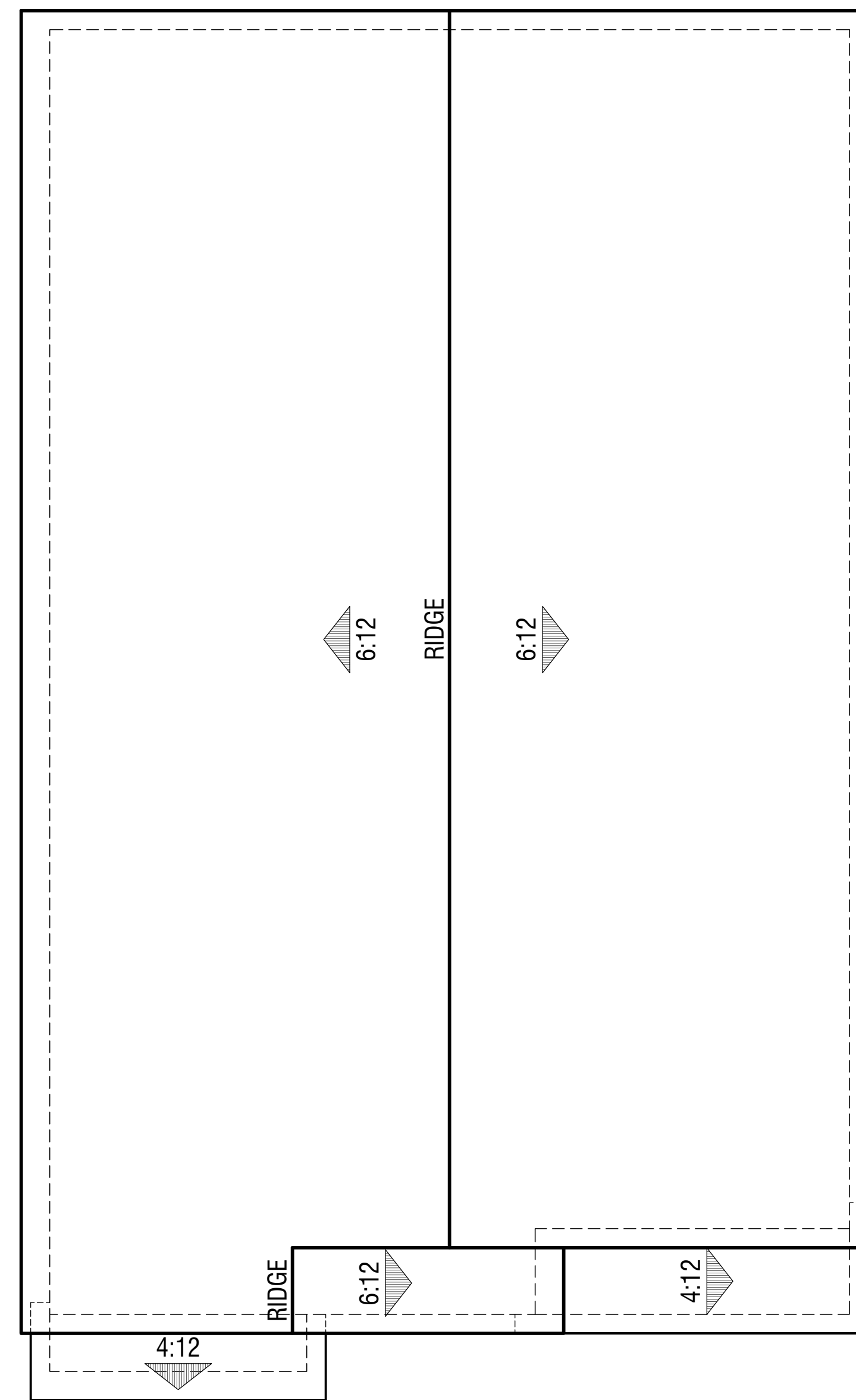
PLAN 3

1,930 SF
4 Bdrm | 2.5 Bath
2-Car Garage

(Floor Plan Matches Farmhouse Elevation Style)



Elevation B - Craftsman



Elevation A - Farmhouse

PLAN 3

Roof Plans

Note: Mechanical equipment, vents, and ducts will be indicated at the construction document phase.

Note: A/C units shown on Floor Plan and Elevation sheets, typ.

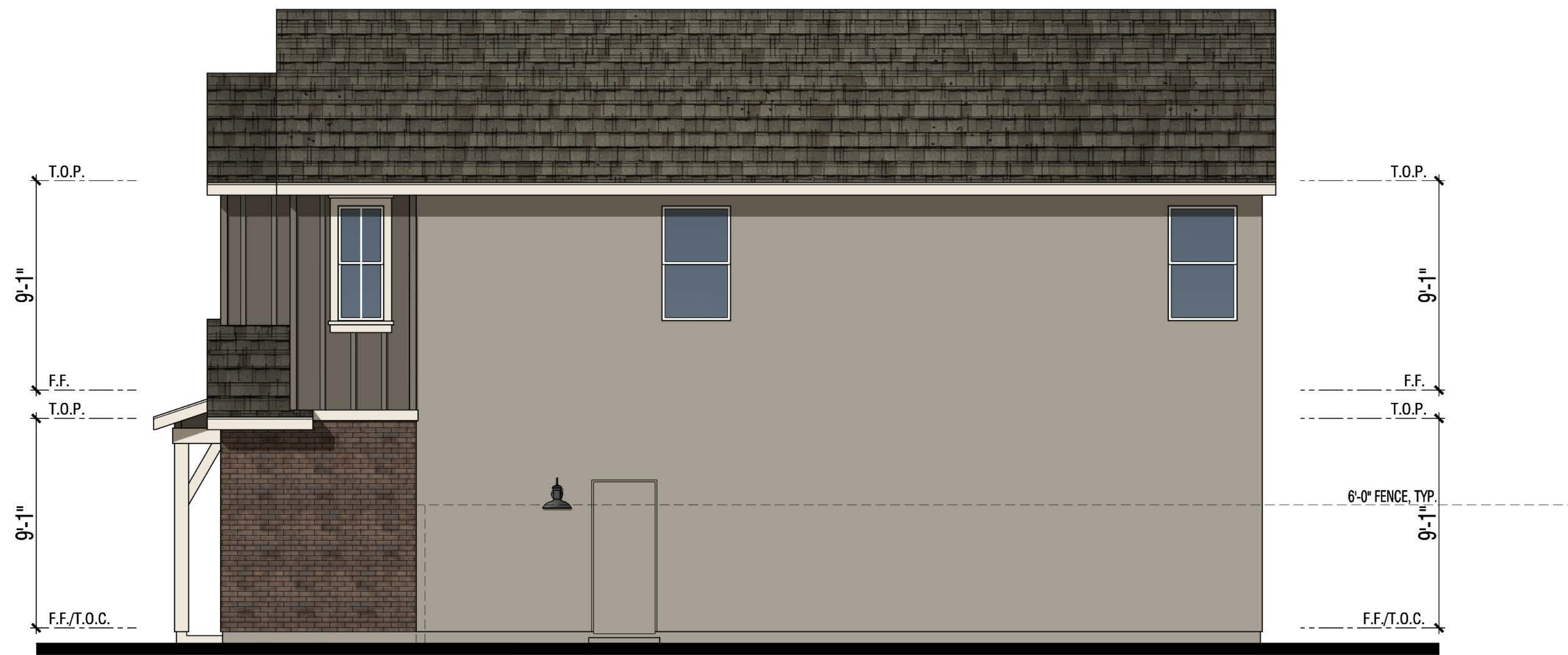


Elevation A - Farmhouse
Color Scheme #3



Elevation B - Craftsman
Color Scheme #5

PLAN 3
Front Elevations



Right Elevation



Rear Elevation



Left Elevation



Front Elevation

Exterior Materials:

- 1** Composition shingle roofing
- 2** Insulated vinyl windows
- 3** Stucco
- 4** Board & battens
- 5** Fiber cement trim
- 6** Decorative foam shutters
- 7** Manufactured thin brick
- 8** Fiberglass entry door
- 9** Sectional roll-up garage door
- 10** Light Fixture
- 11** Address Light

PLAN 3
Elevation A - Farmhouse
Color Scheme #3

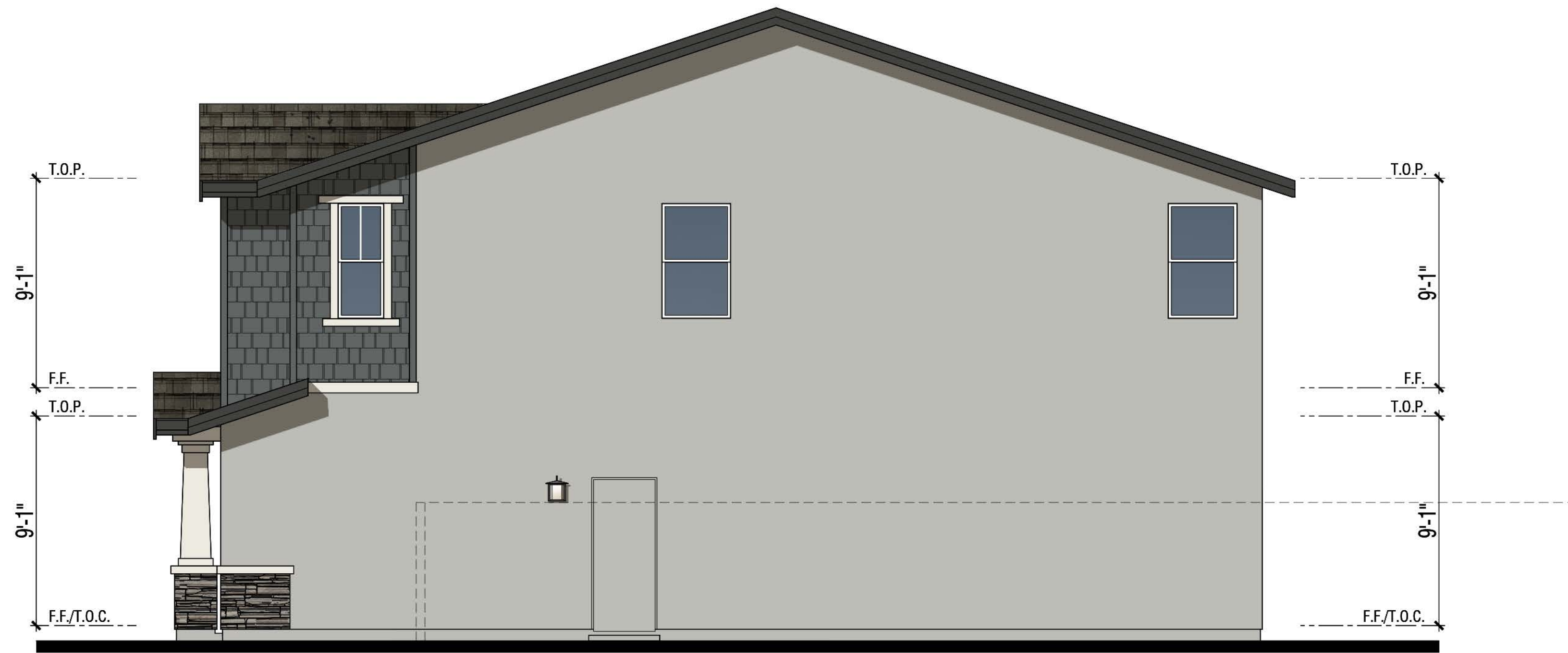
Note: Building Heights shown on this sheet are above proposed grade. See Sheets A23 - A34 for building height information above existing grade.



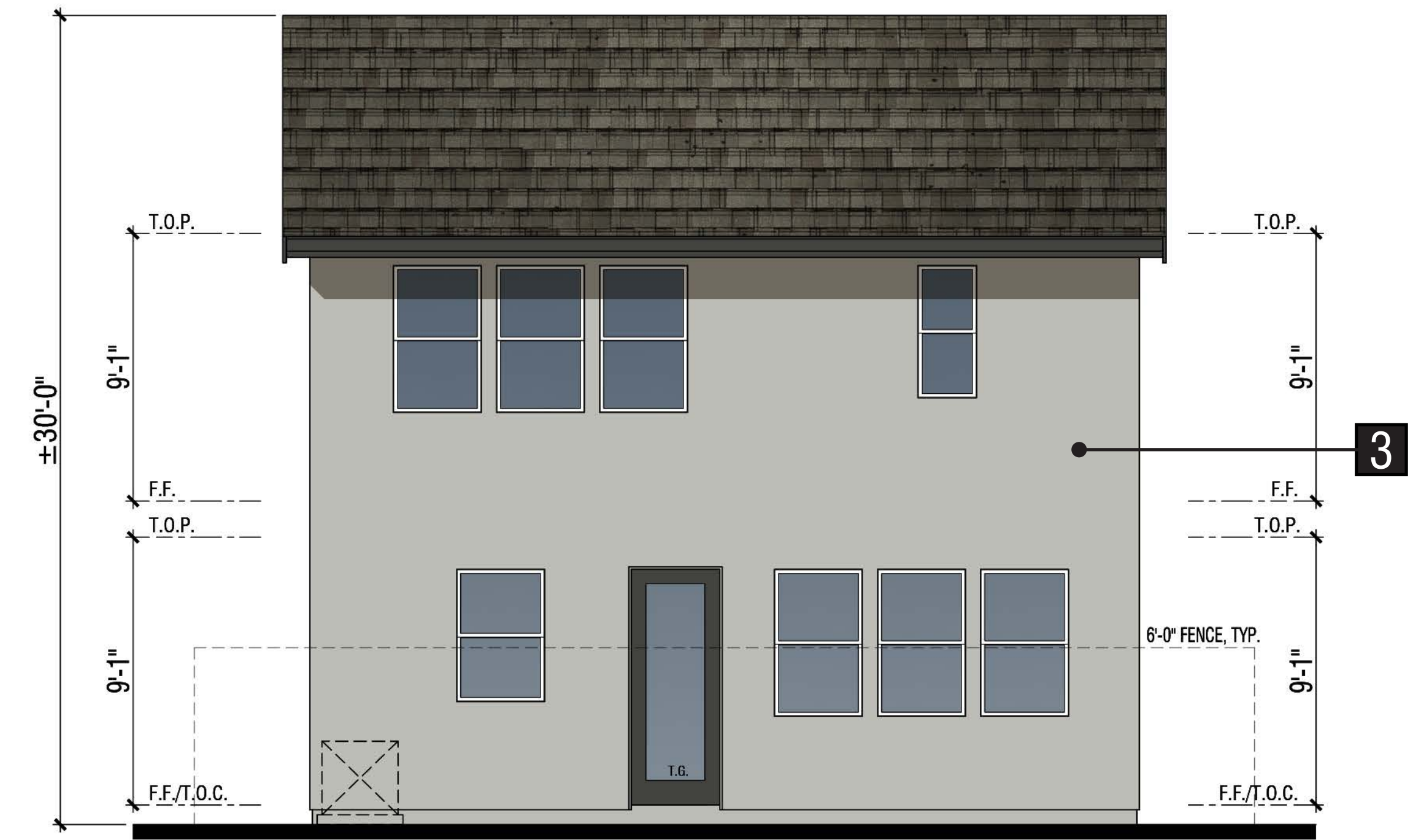
Left Elevation (Enhanced @ Lots 18 & 28)

PLAN 3
 Elevation A - Farmhouse (Enhanced)
 Color Scheme #3

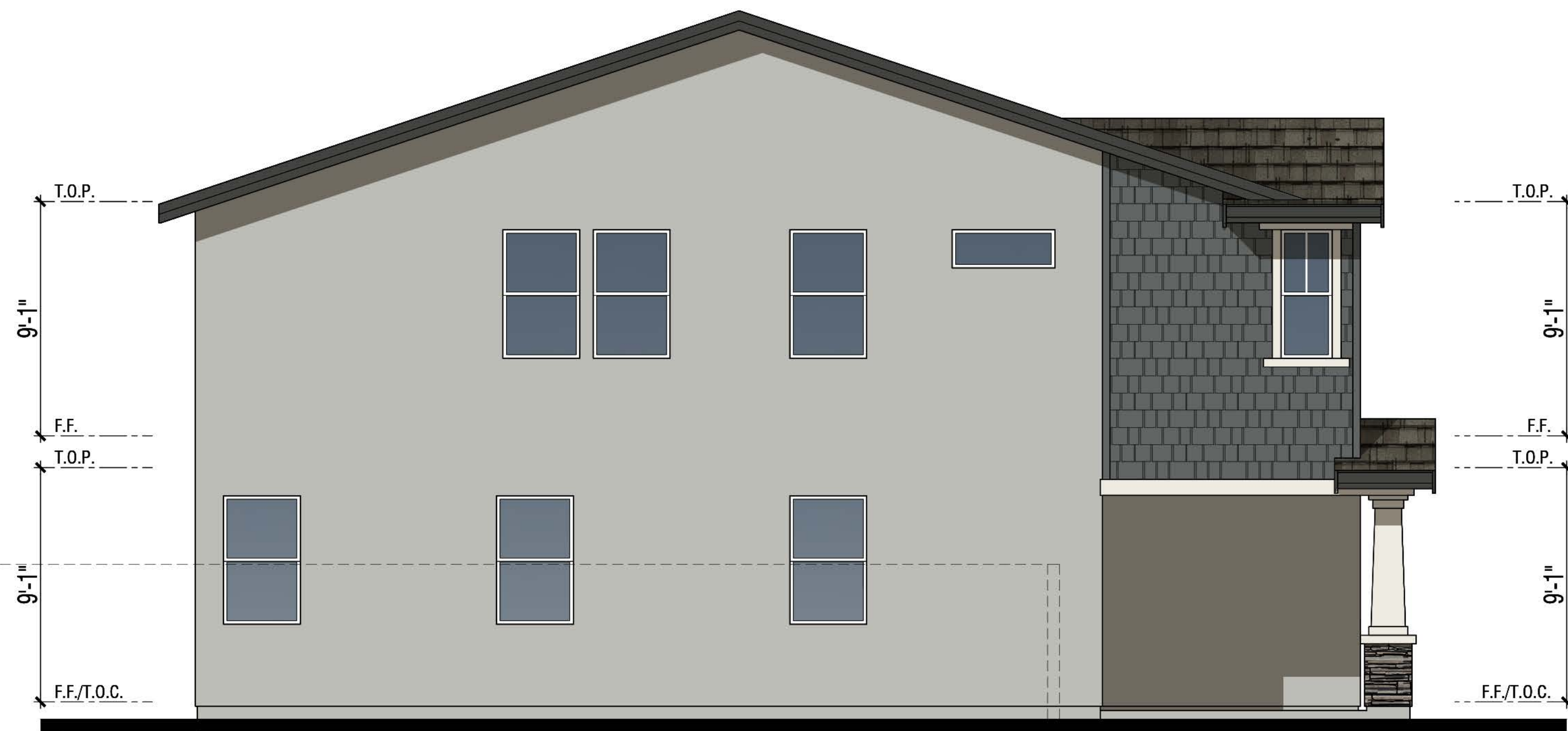
Note: Building Heights shown on this sheet are above proposed grade. See Sheets A23 - A34 for building height information above existing grade.



Right Elevation



Rear Elevation



Left Elevation



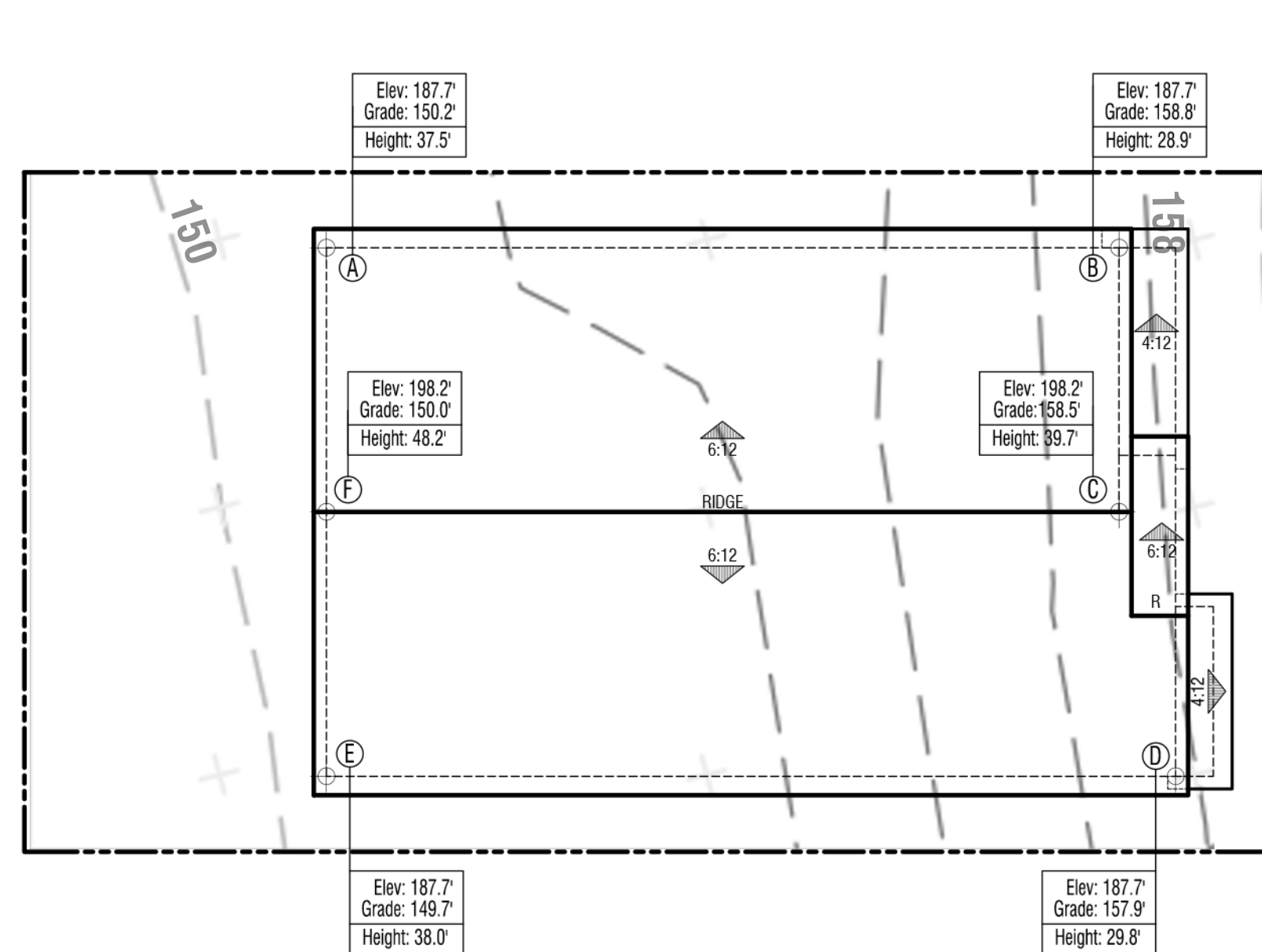
Front Elevation

Exterior Materials:

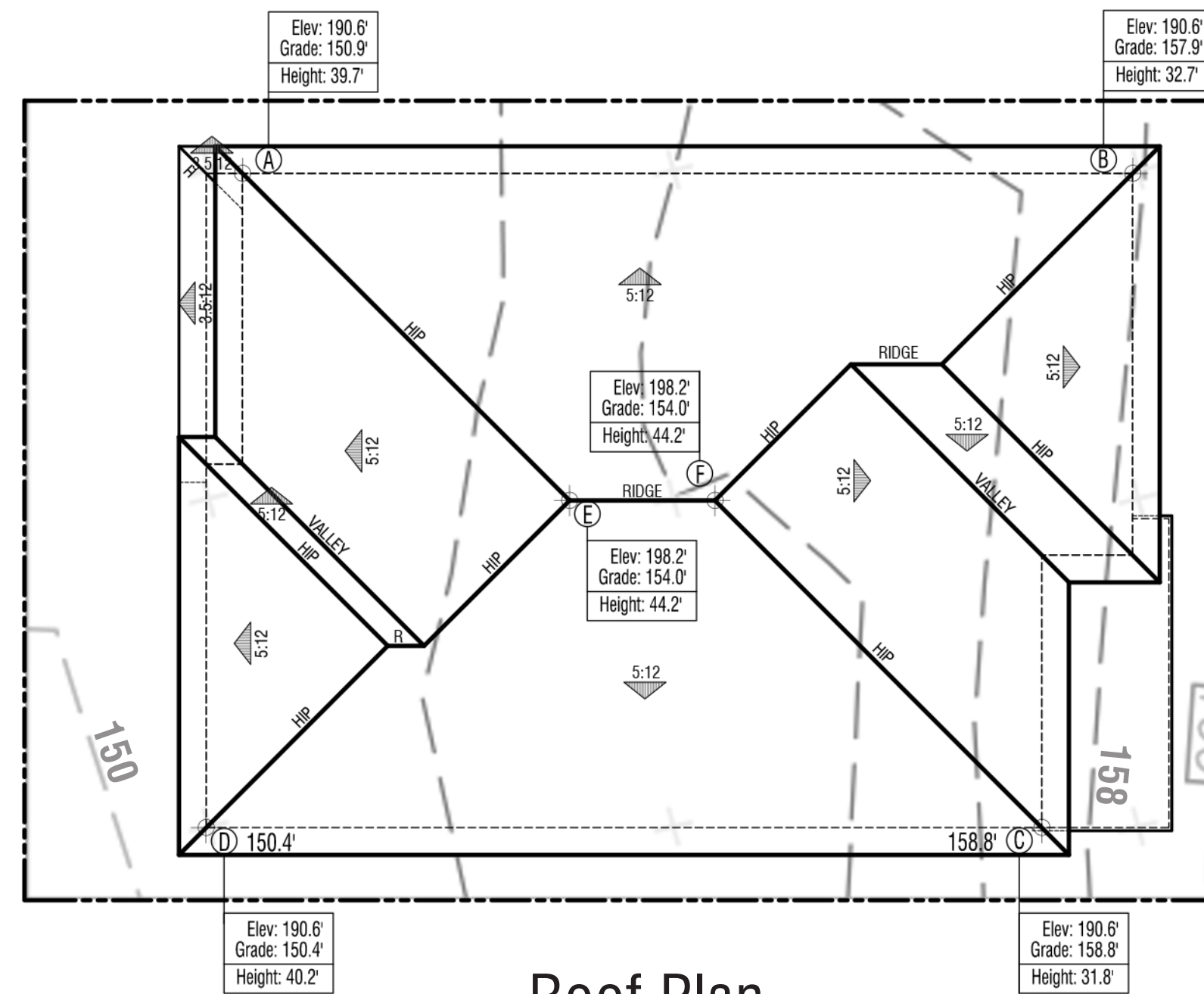
- | | | |
|--------------------------------------|--|-------------------------|
| 1 Composition shingle roofing | 6 Fiber cement trim | 11 Address light |
| 2 Insulated vinyl windows | 7 Manufactured stone | |
| 3 Stucco | 8 Fiberglass entry door | |
| 4 Shingle siding | 9 Sectional roll-up garage door | |
| 5 Gable siding | 10 Light Fixture | |

PLAN 3
Elevation B - Craftsman
Color Scheme #5

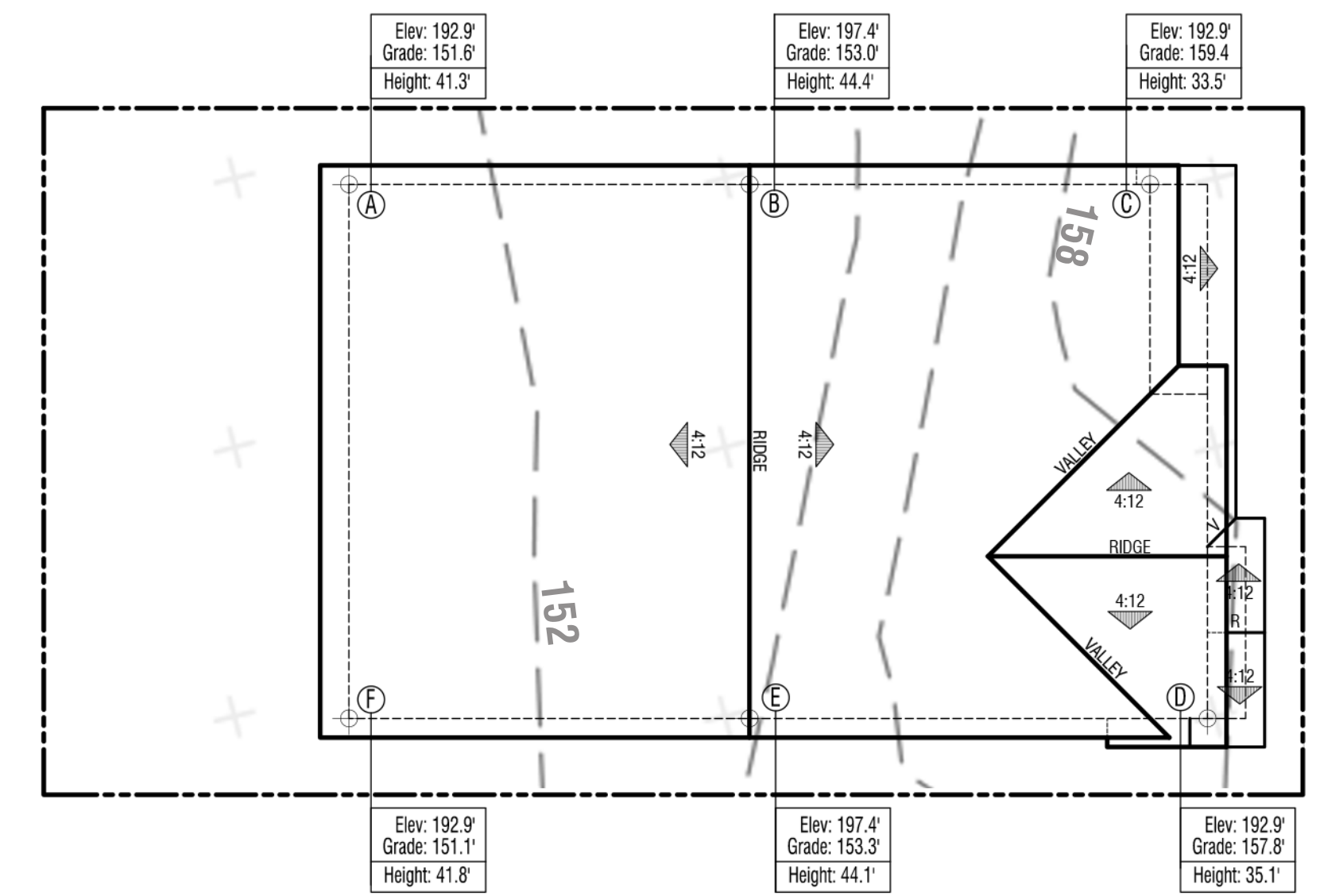
Note: Building Heights shown on this sheet are above proposed grade. See Sheets A23 - A34 for building height information above existing grade.



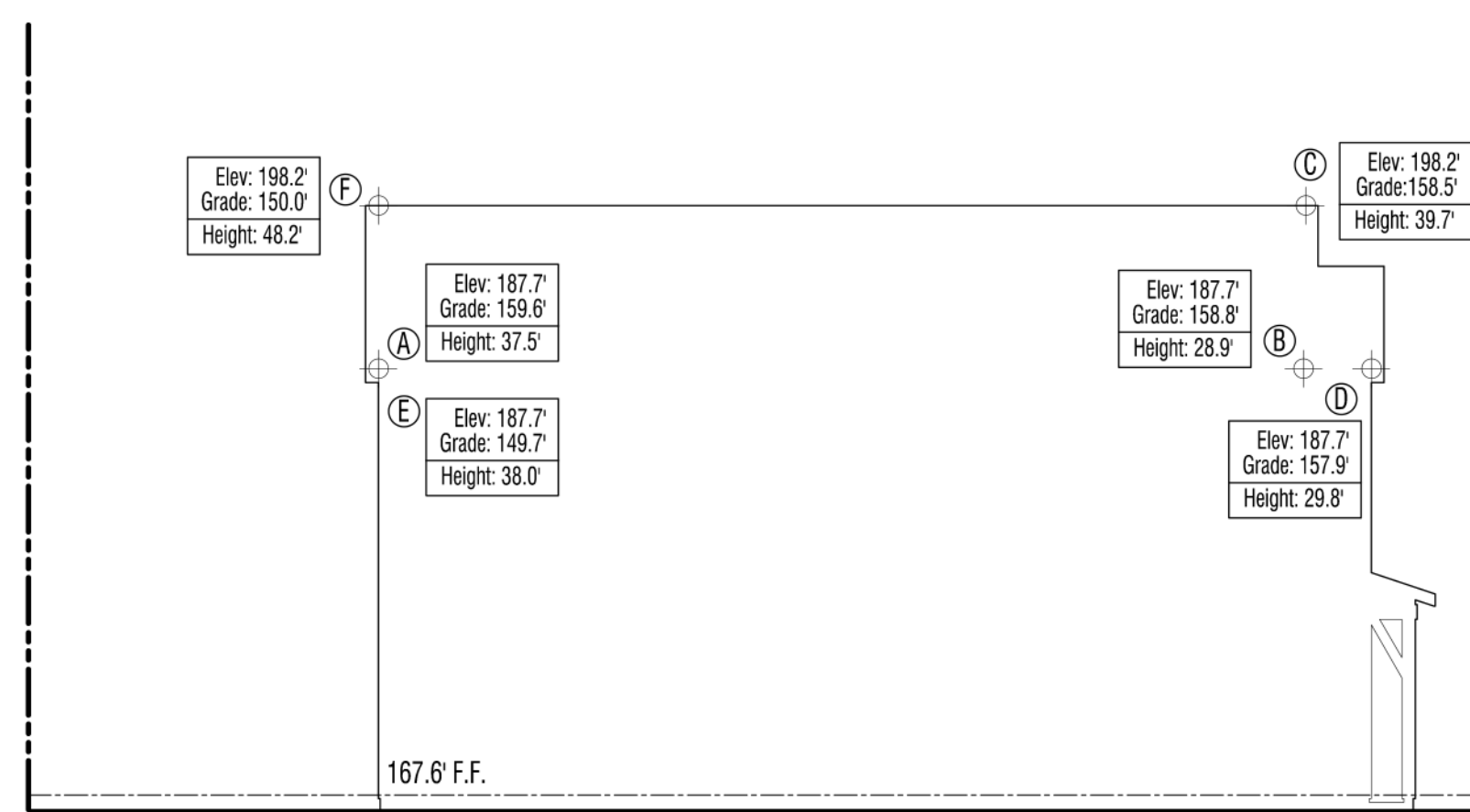
Roof Plan



Roof Plan

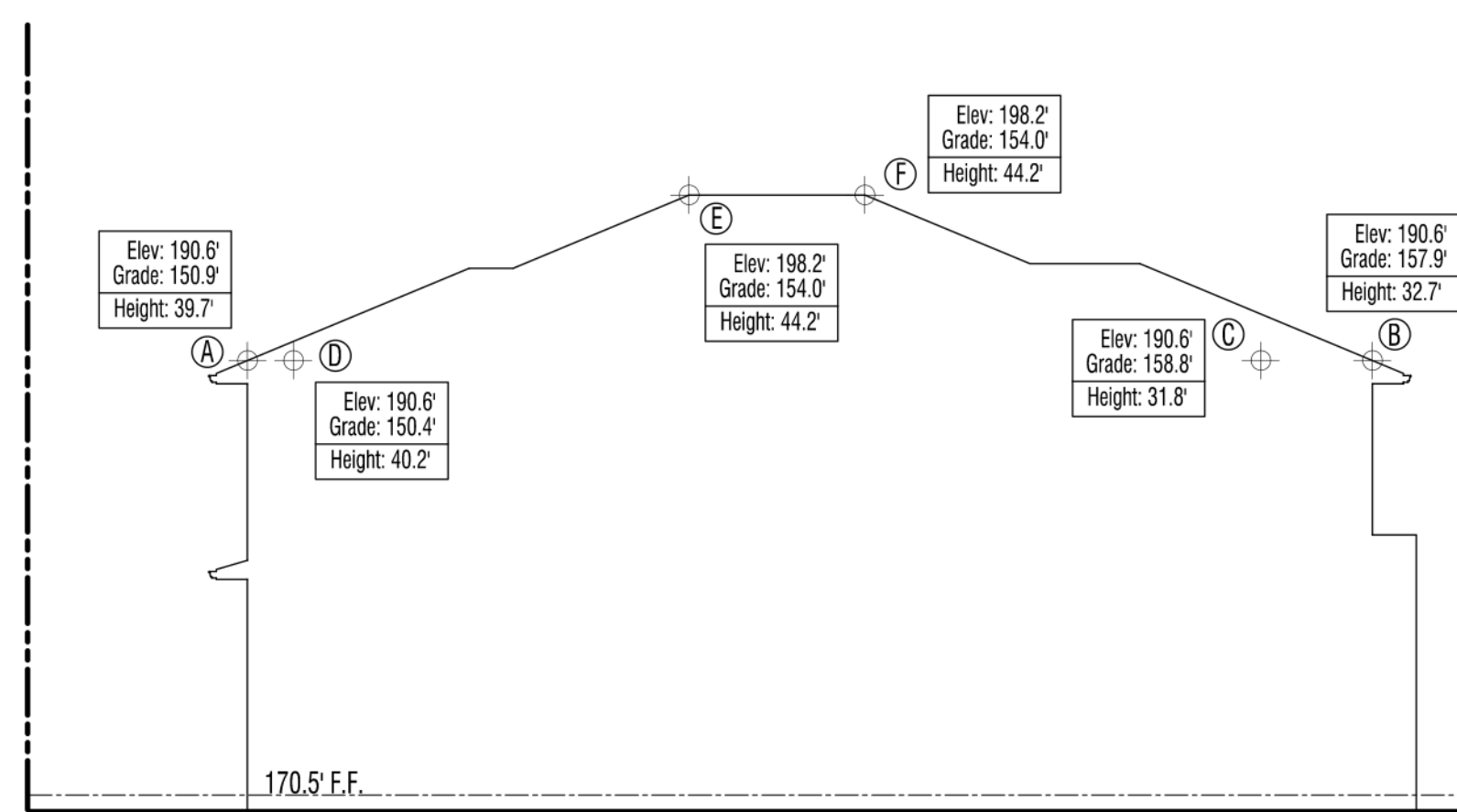


Roof Plan



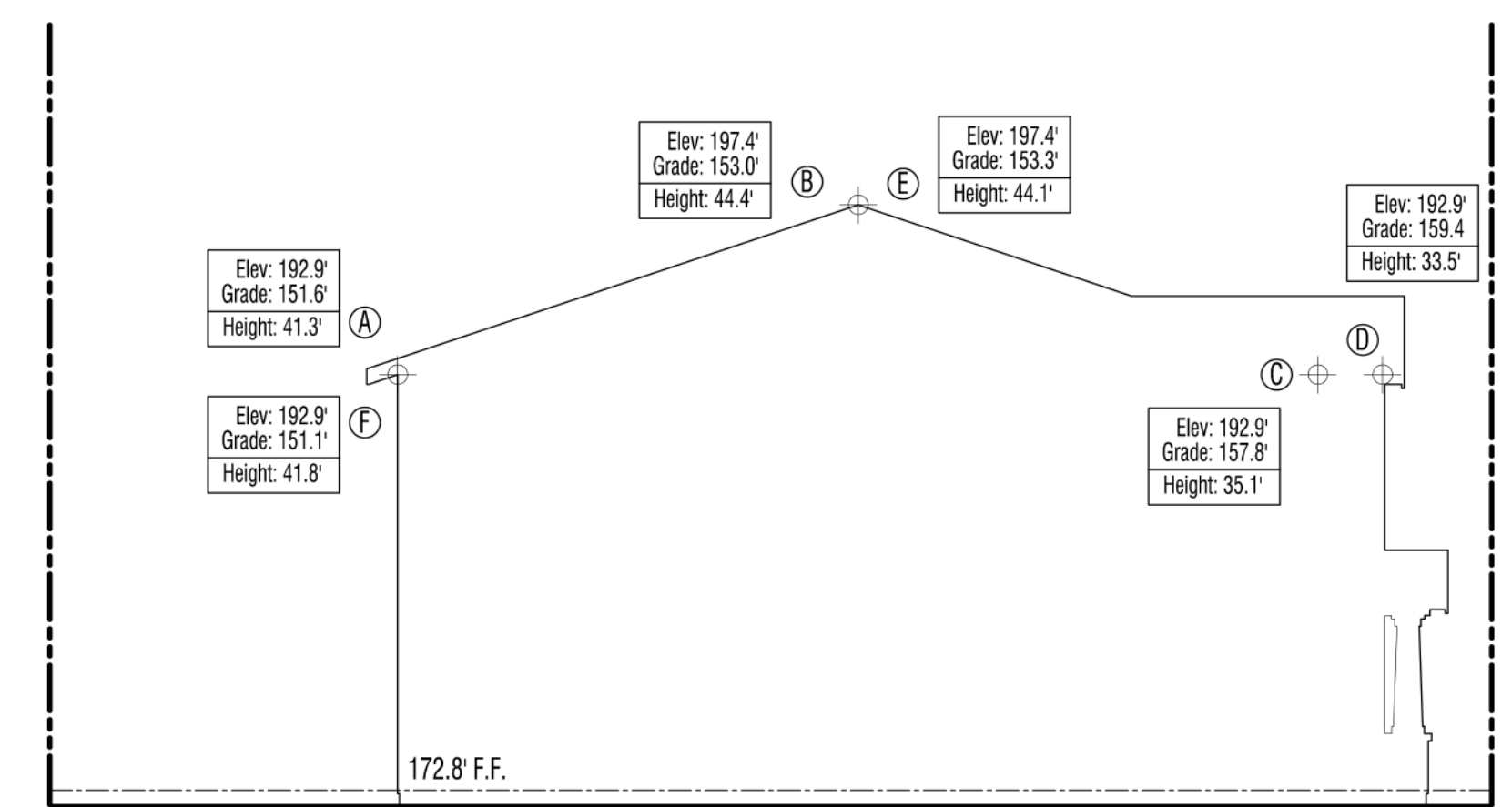
Section

Lot 1 - Plan 3
Elevation A - Farmhouse



Section

Lot 2 - Plan 2(R)
Elevation C - Prairie



Section

Lot 3 - Plan 3
Elevation B - Craftsman

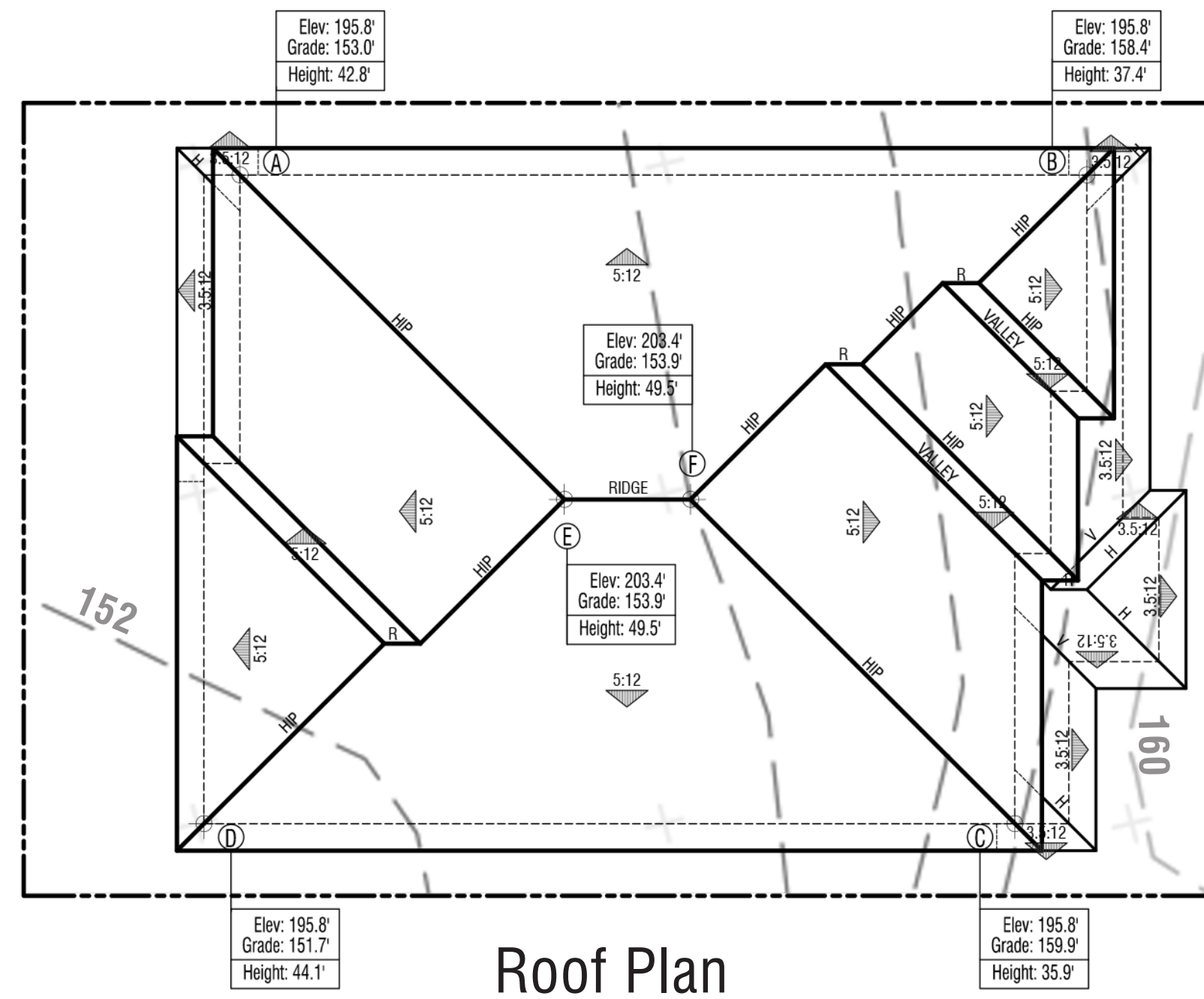
LEGEND

- ⊕ Elevation Height
- F.F. Finished Floor
- - - Existing Grade

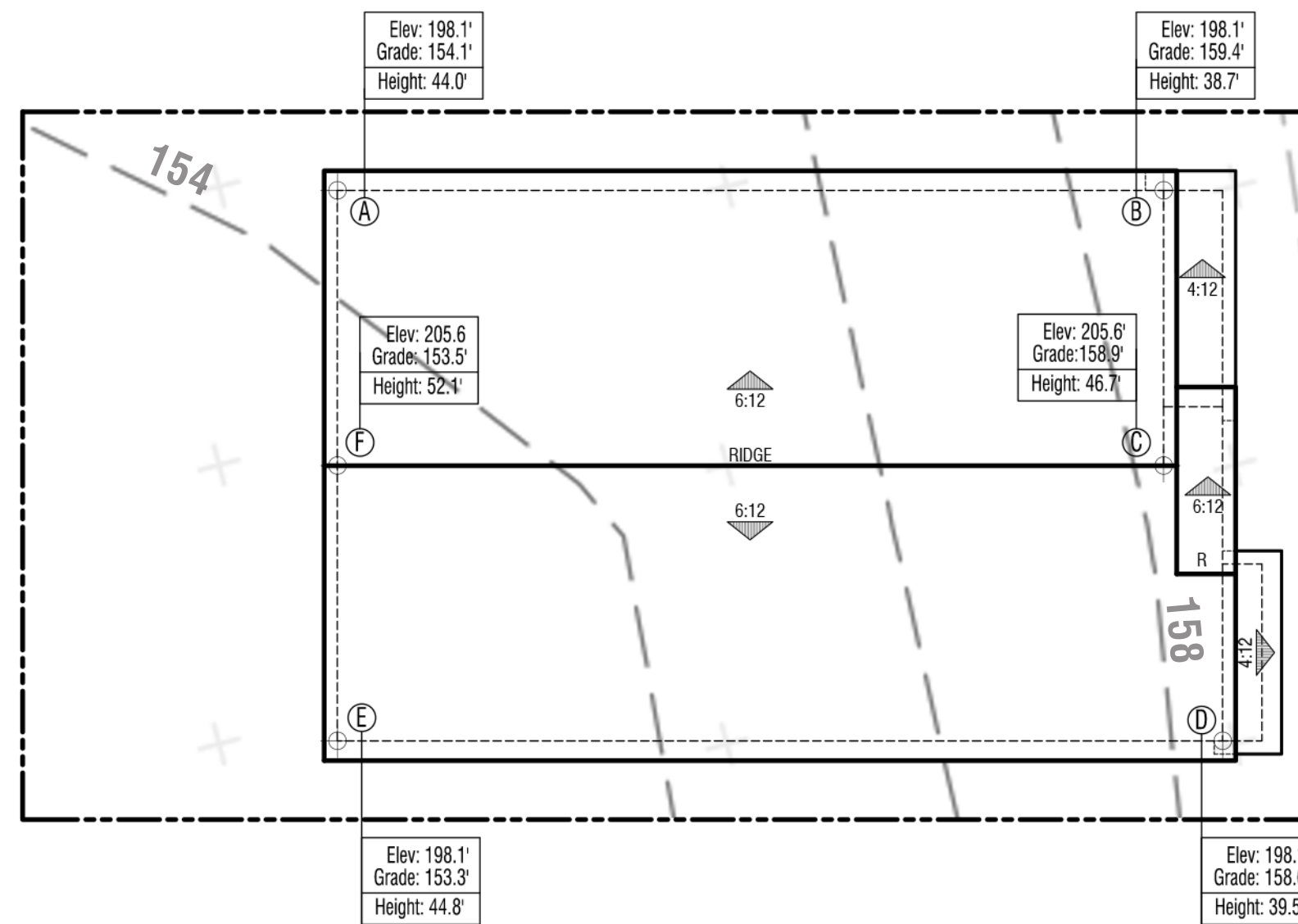
Building Height & Roof Cross Sections

Note: Mechanical equipment, vents, and ducts will be indicated at the construction document phase.

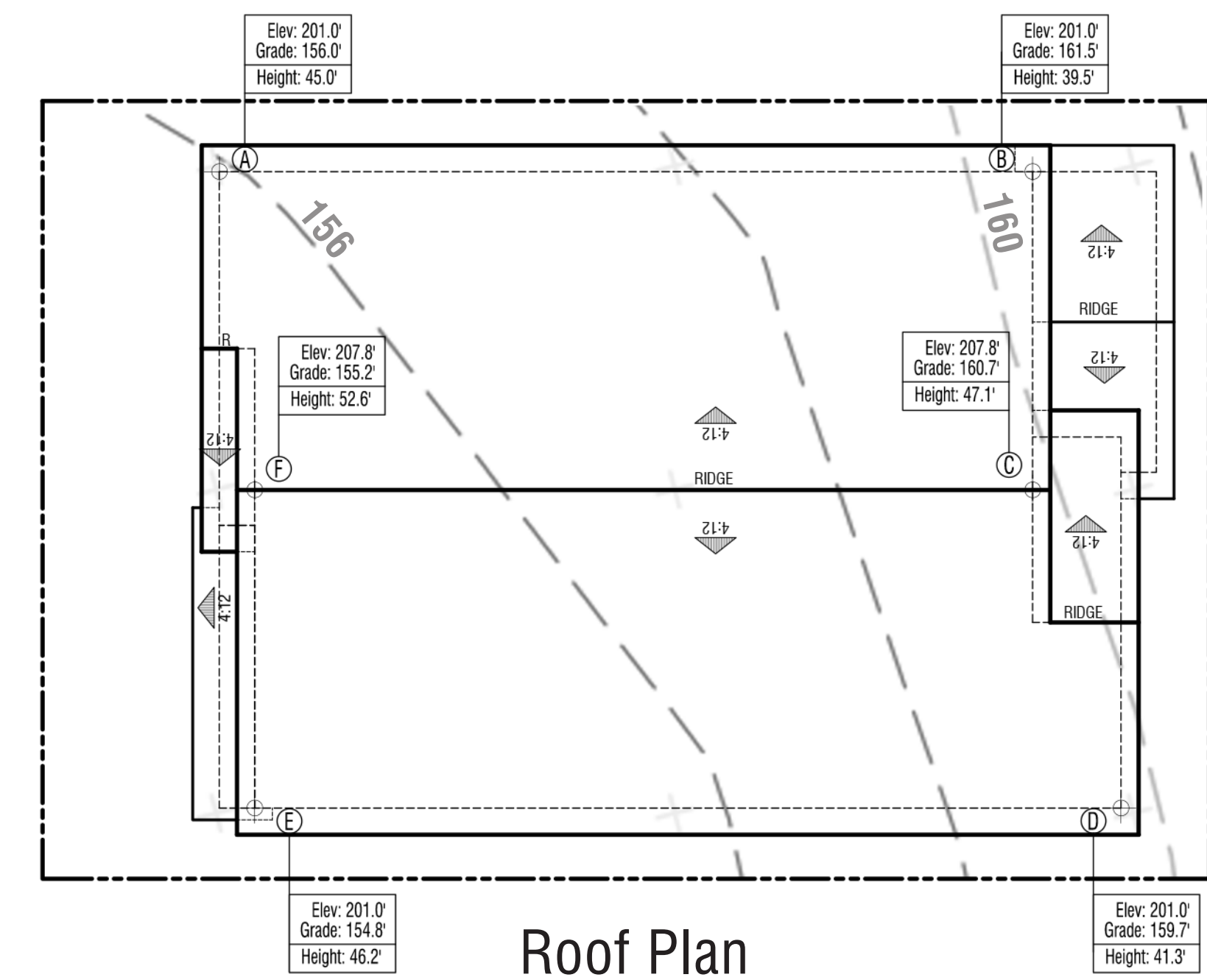
Note: A/C units shown on Floor Plan and Elevation sheets, typ.



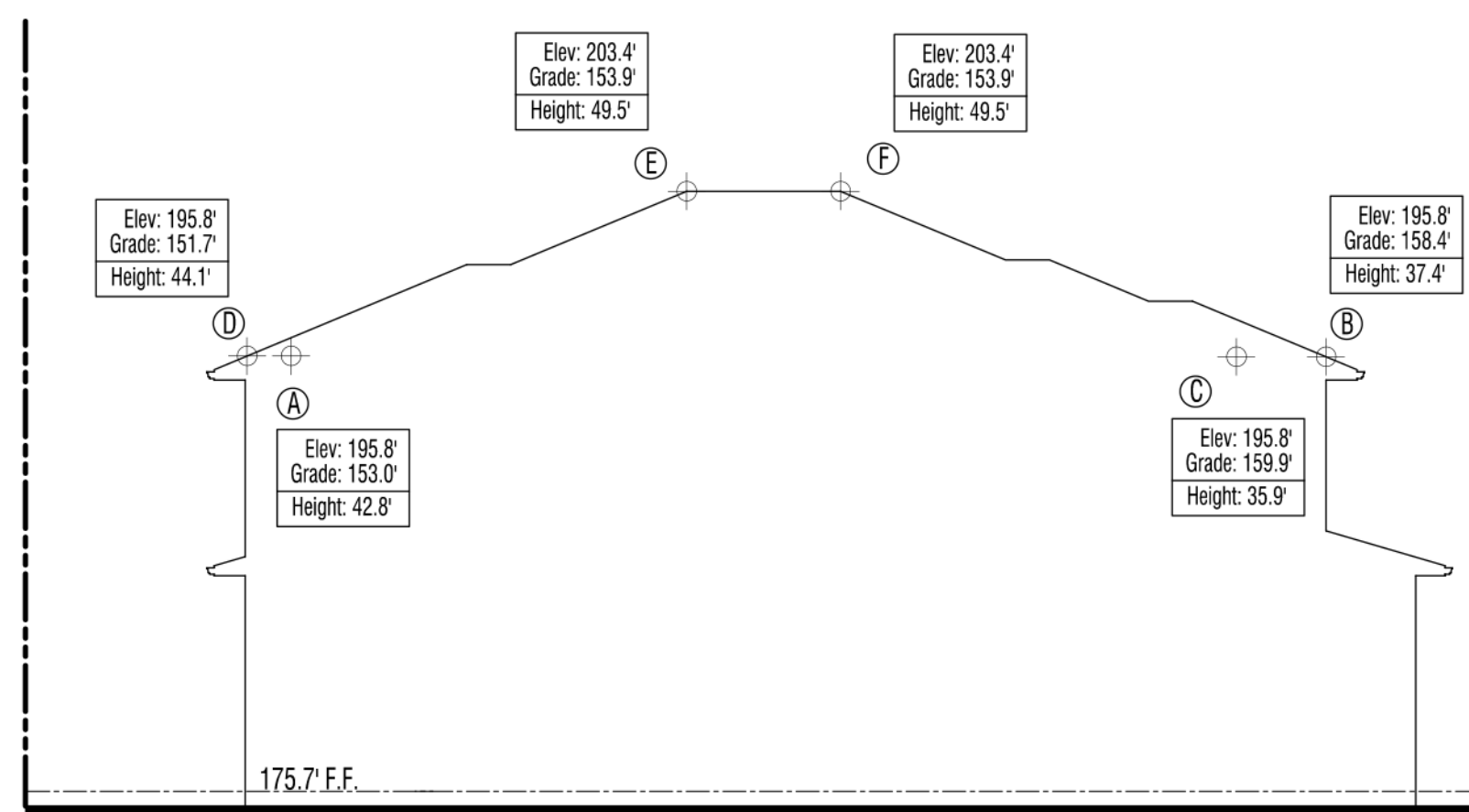
Roof Plan



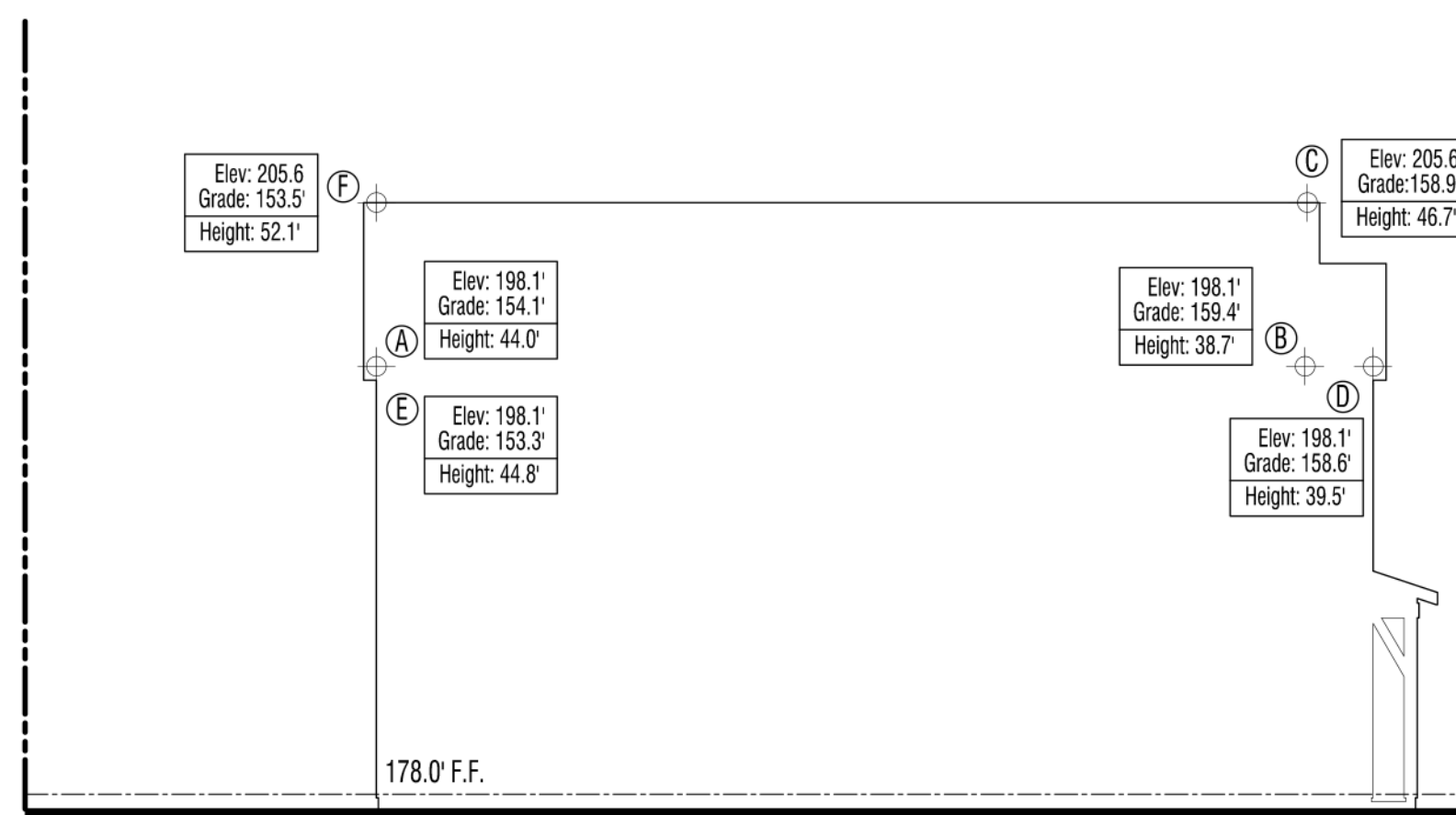
Roof Plan



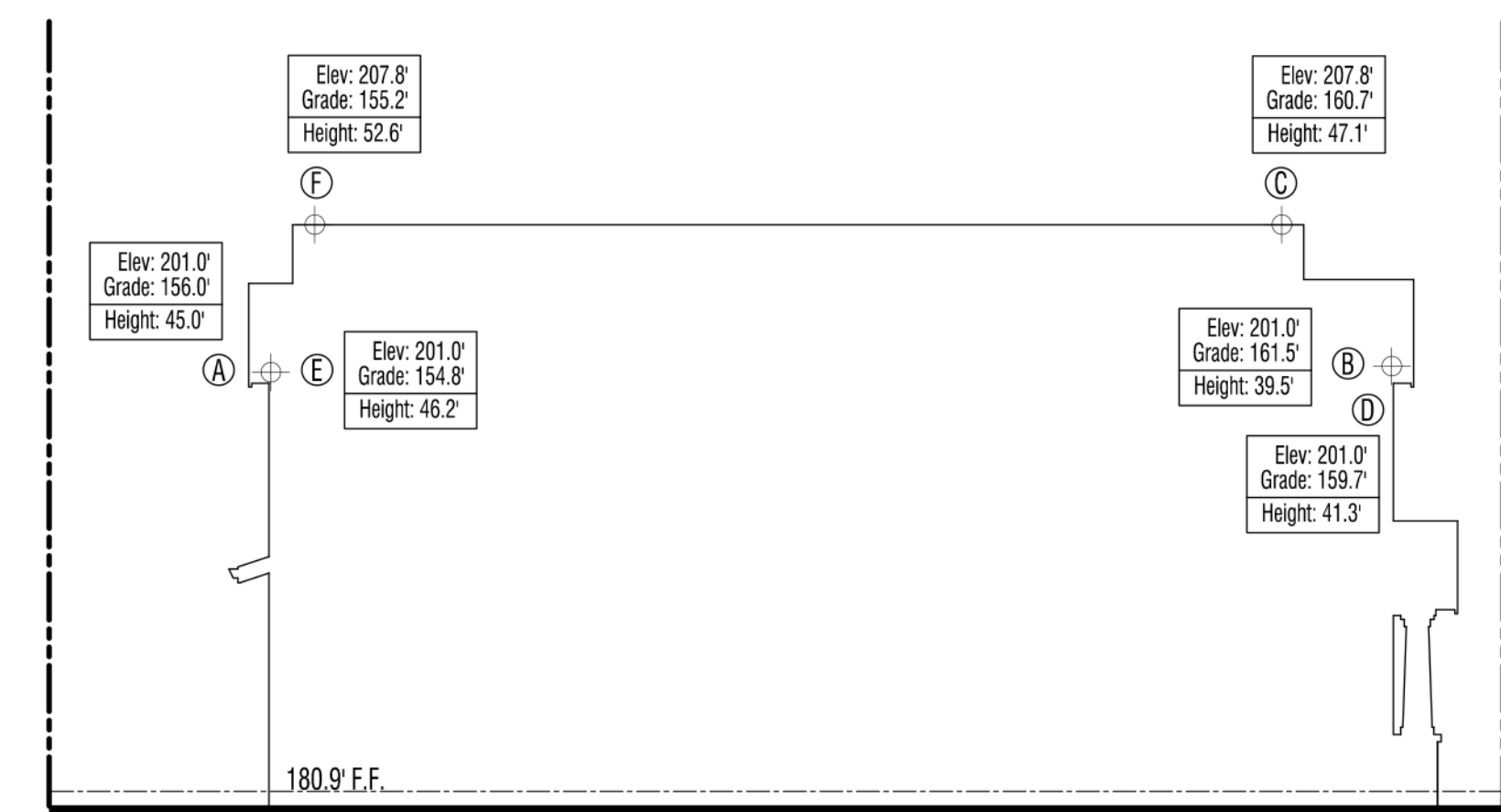
Roof Plan



Section
Lot 4 - Plan 1(R)
Elevation C - Prairie



Section
Lot 5 - Plan 3
Elevation A - Farmhouse



Section
Lot 6 - Plan 2(R)
Elevation B - Craftsman

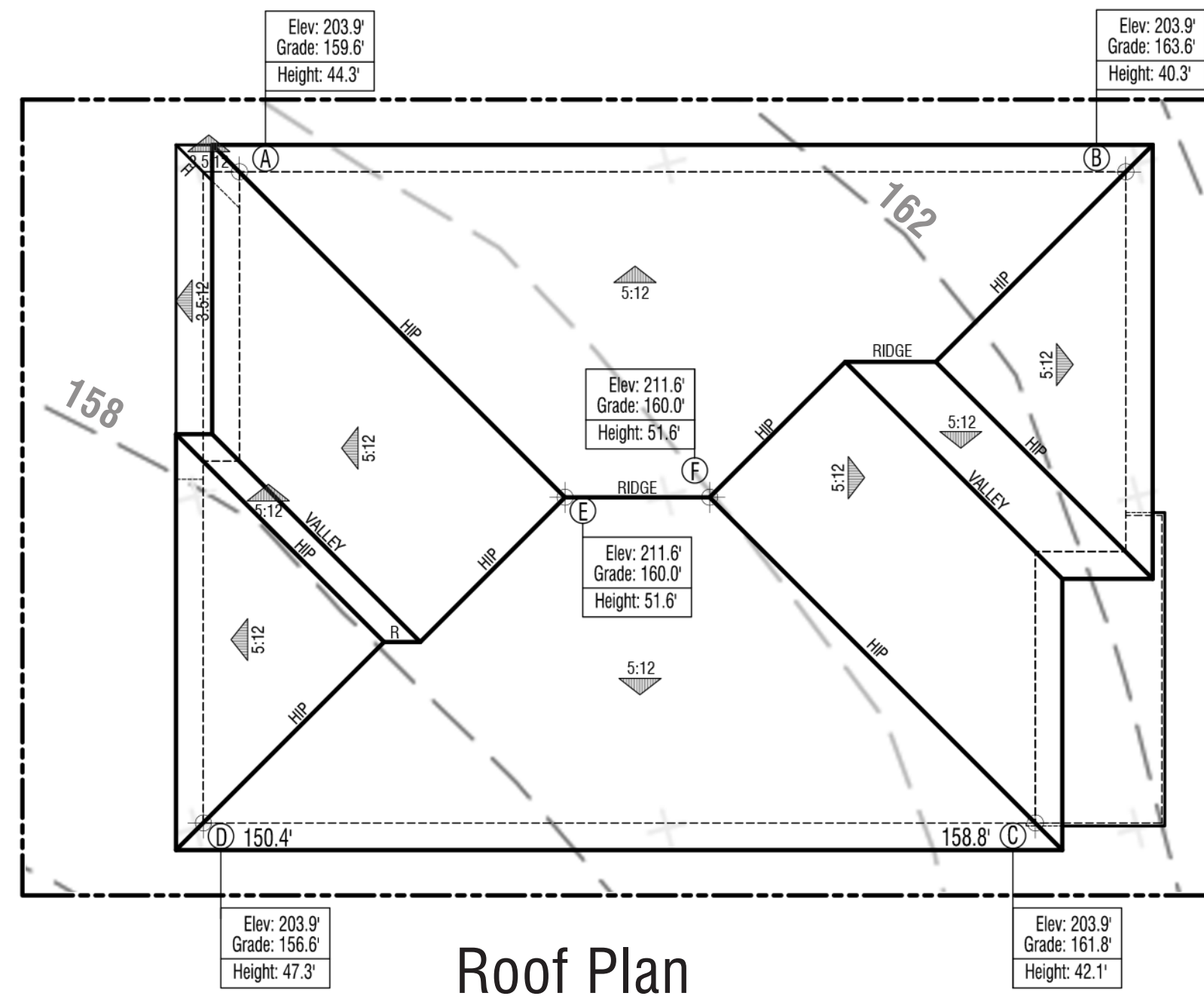
LEGEND

- ⊕ Elevation Height
- F.F. Finished Floor
- - - Existing Grade

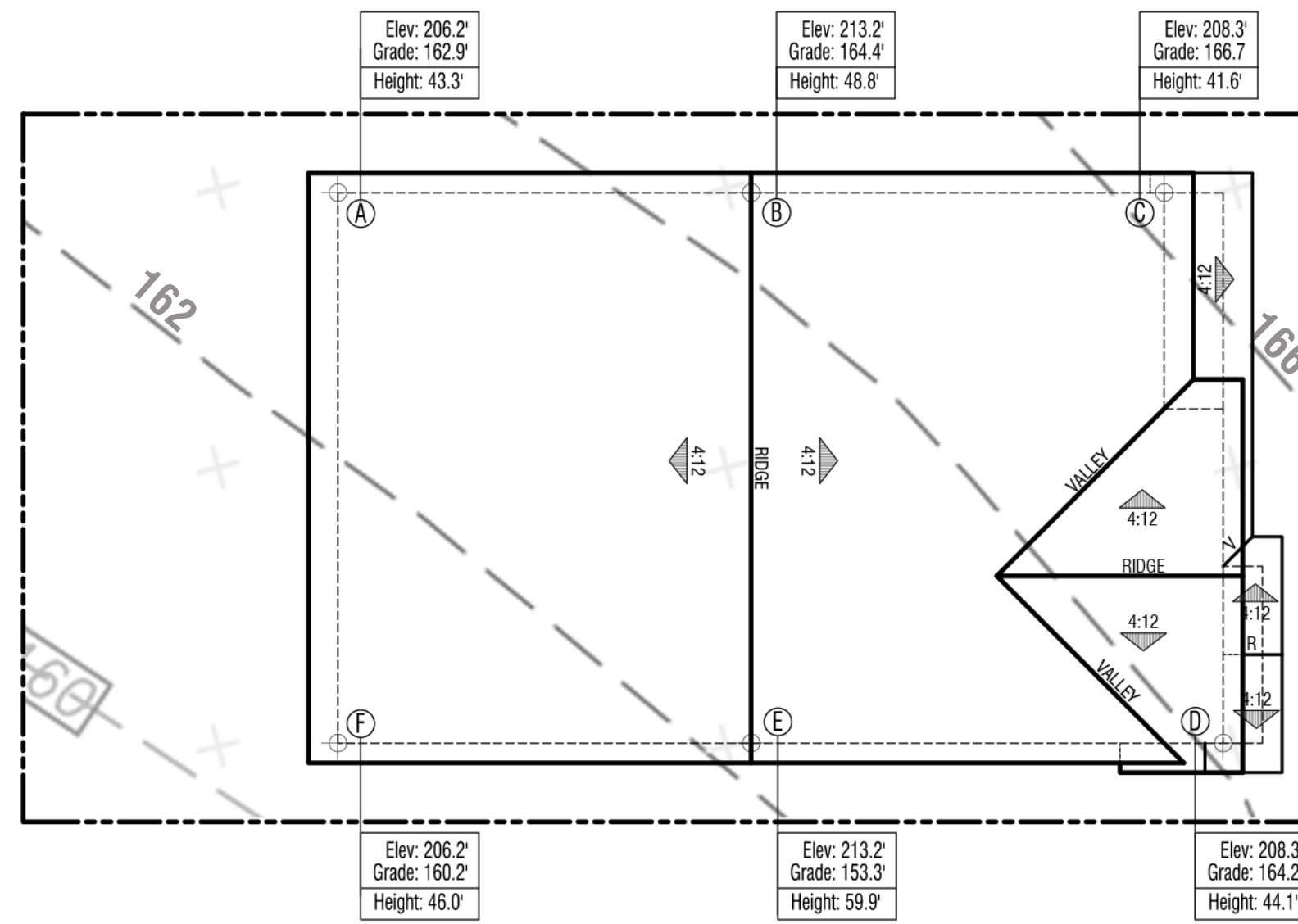
Building Height & Roof Cross Sections

Note: Mechanical equipment, vents, and ducts will be indicated at the construction document phase.

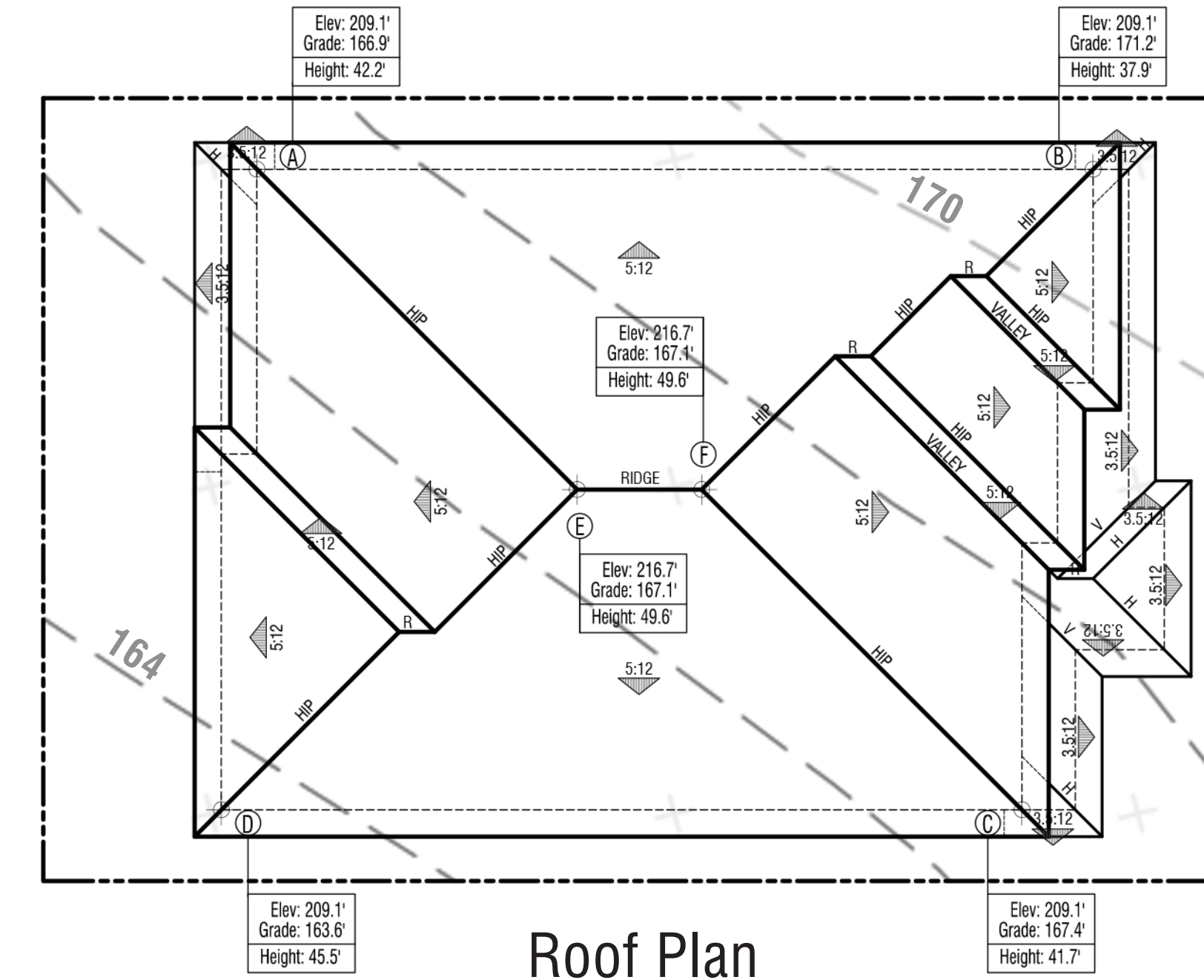
Note: A/C units shown on Floor Plan and Elevation sheets, typ.



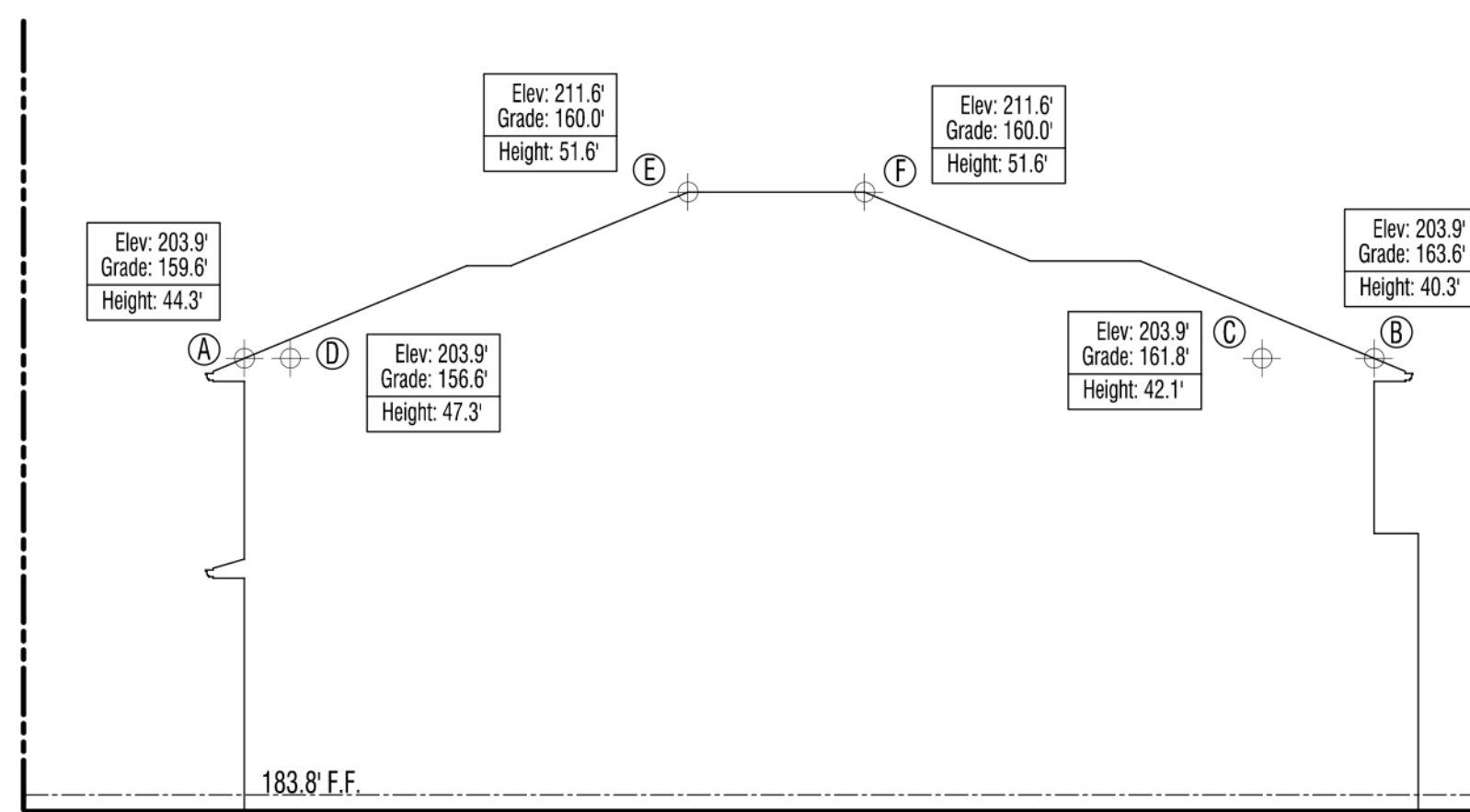
Roof Plan



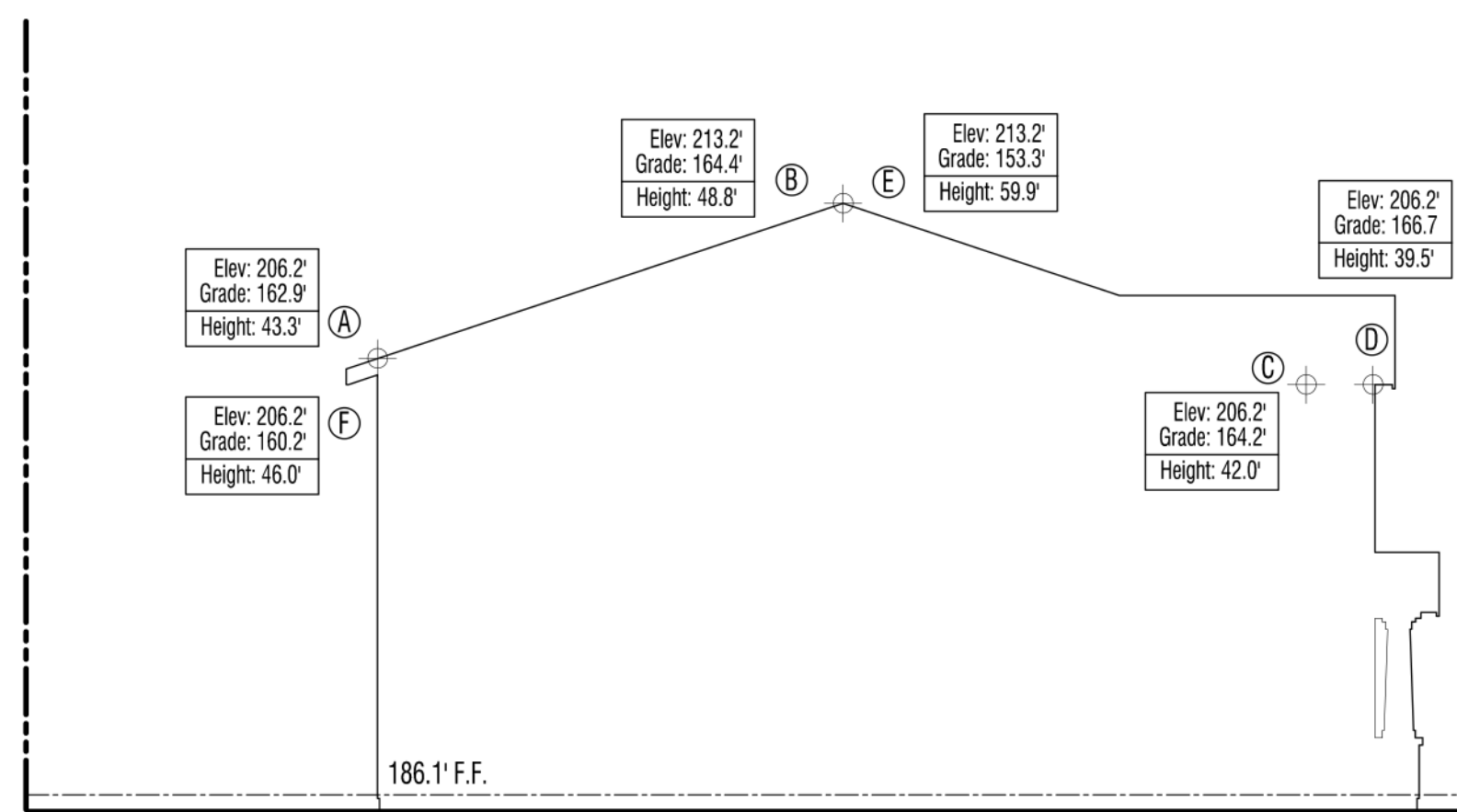
Roof Plan



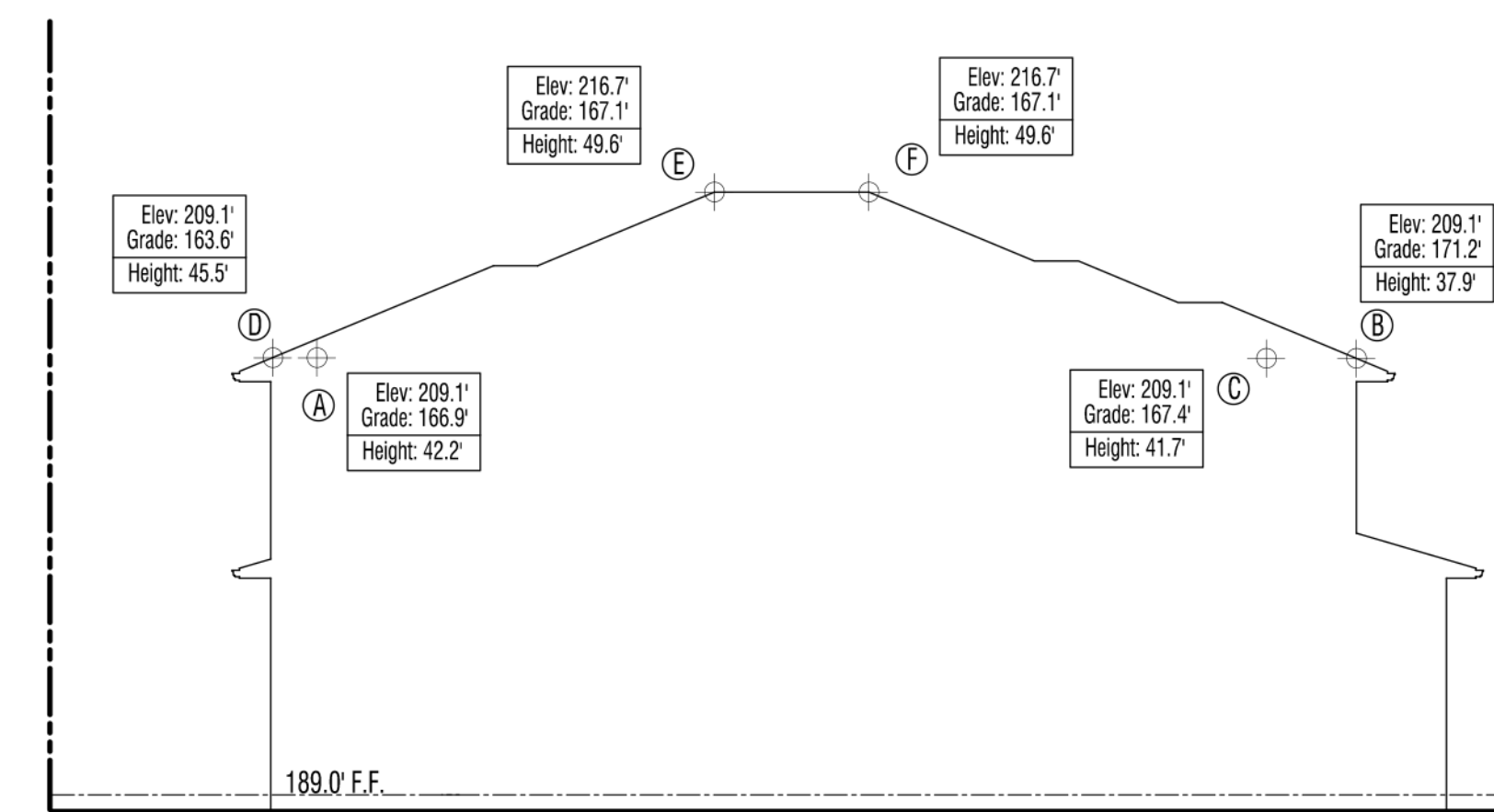
Roof Plan



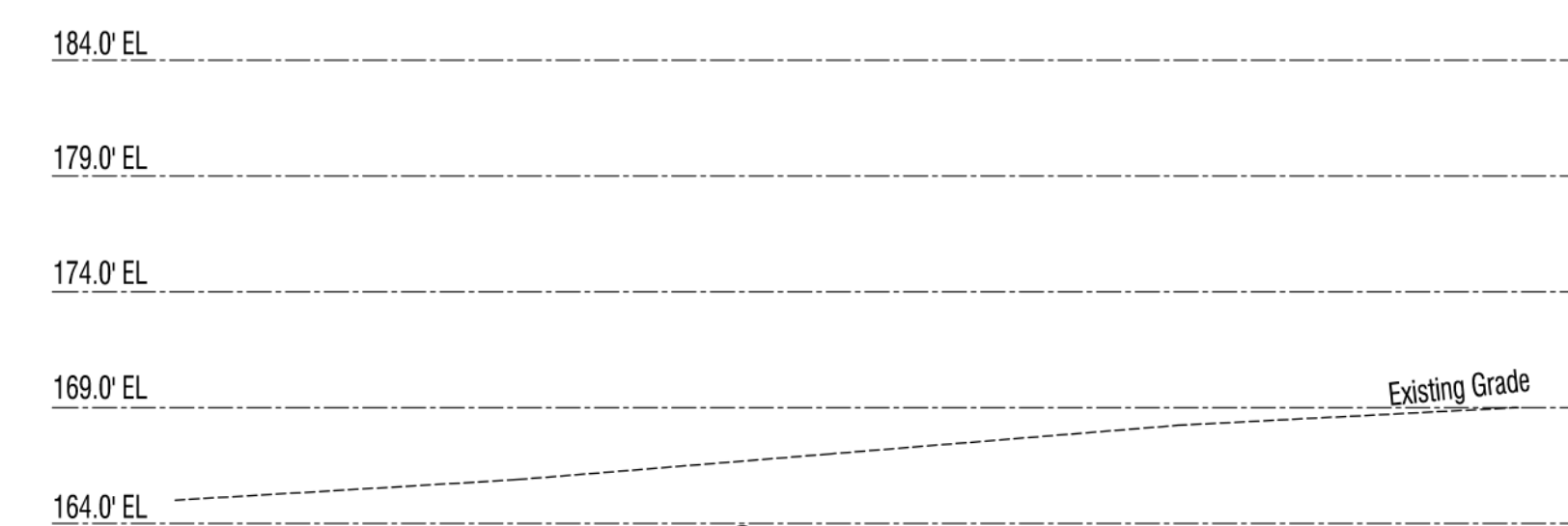
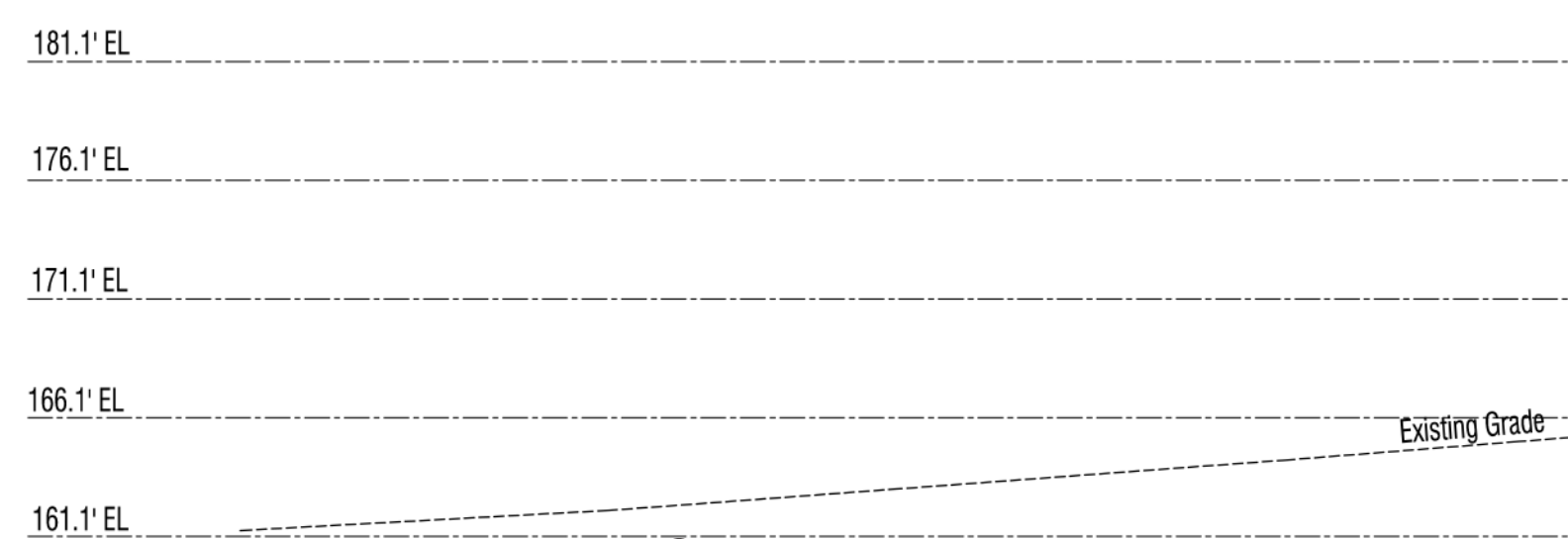
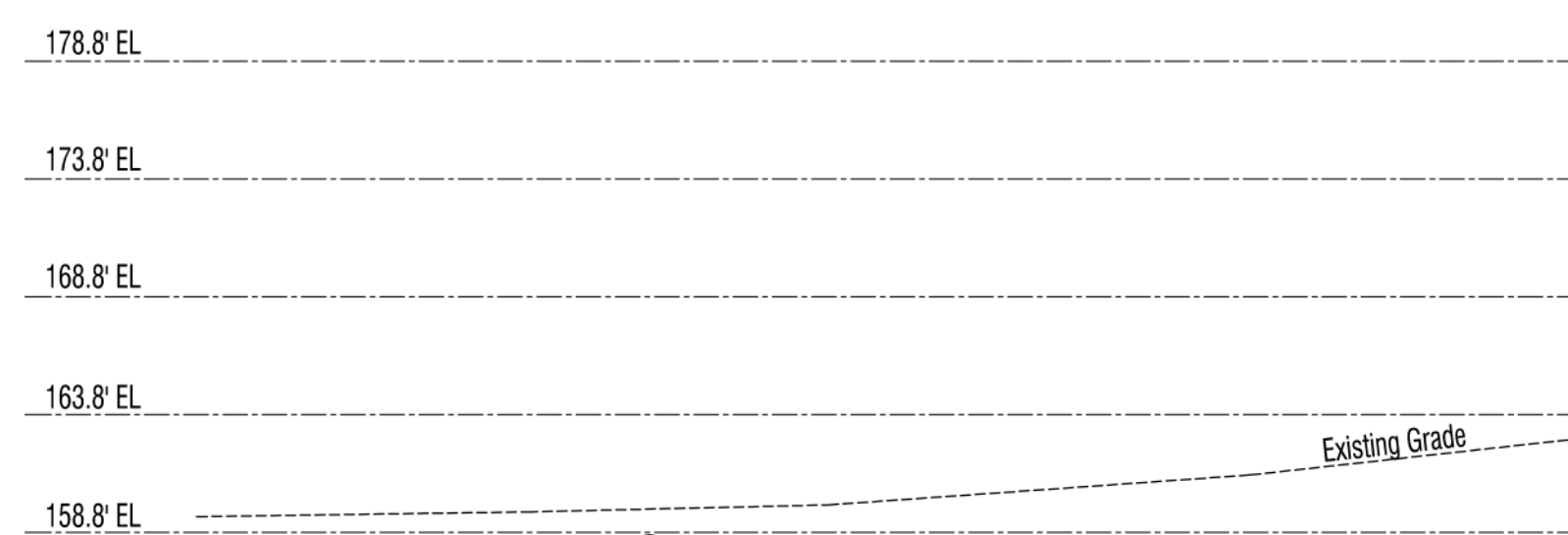
Section
Lot 7 - Plan 2(R)
Elevation C - Prairie



Section
Lot 8 - Plan 3
Elevation B - Craftsman



Section
Lot 9 - Plan 1(R)
Elevation C - Prairie



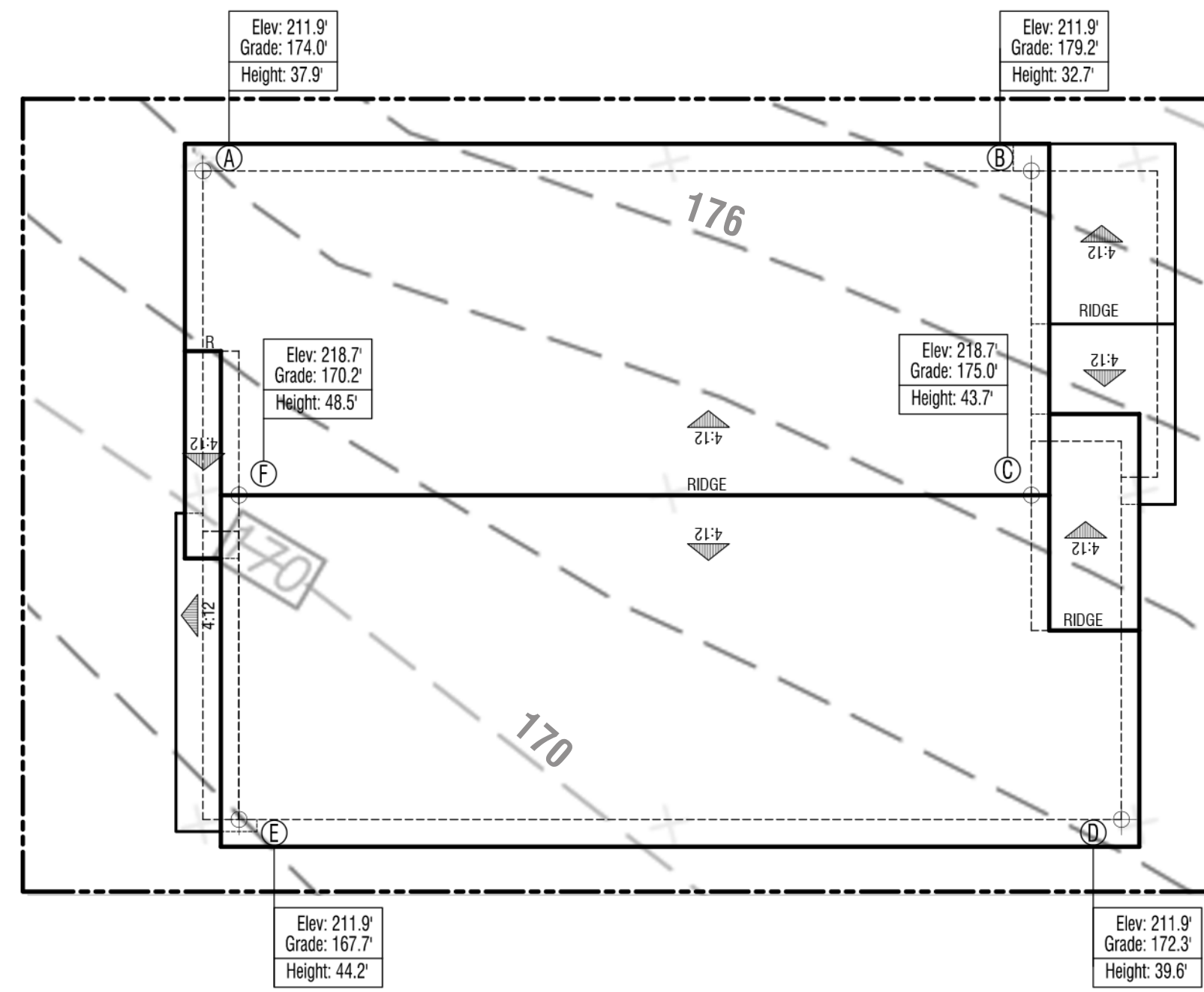
LEGEND

- ⊕ Elevation Height
- F.F. Finished Floor
- - - Existing Grade

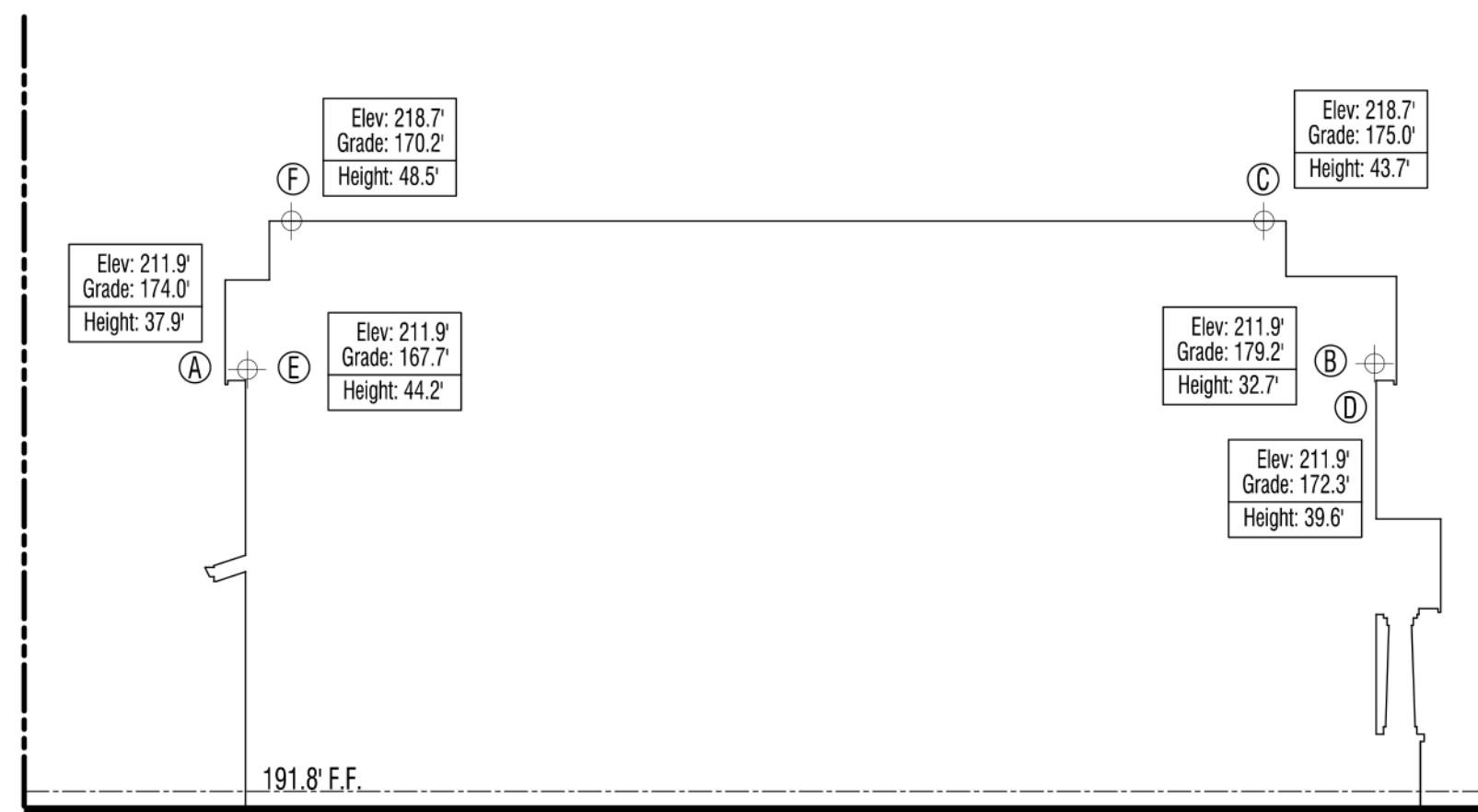
Building Height & Roof Cross Sections

Note: Mechanical equipment, vents, and ducts will be indicated at the construction document phase.

Note: A/C units shown on Floor Plan and Elevation sheets, typ.

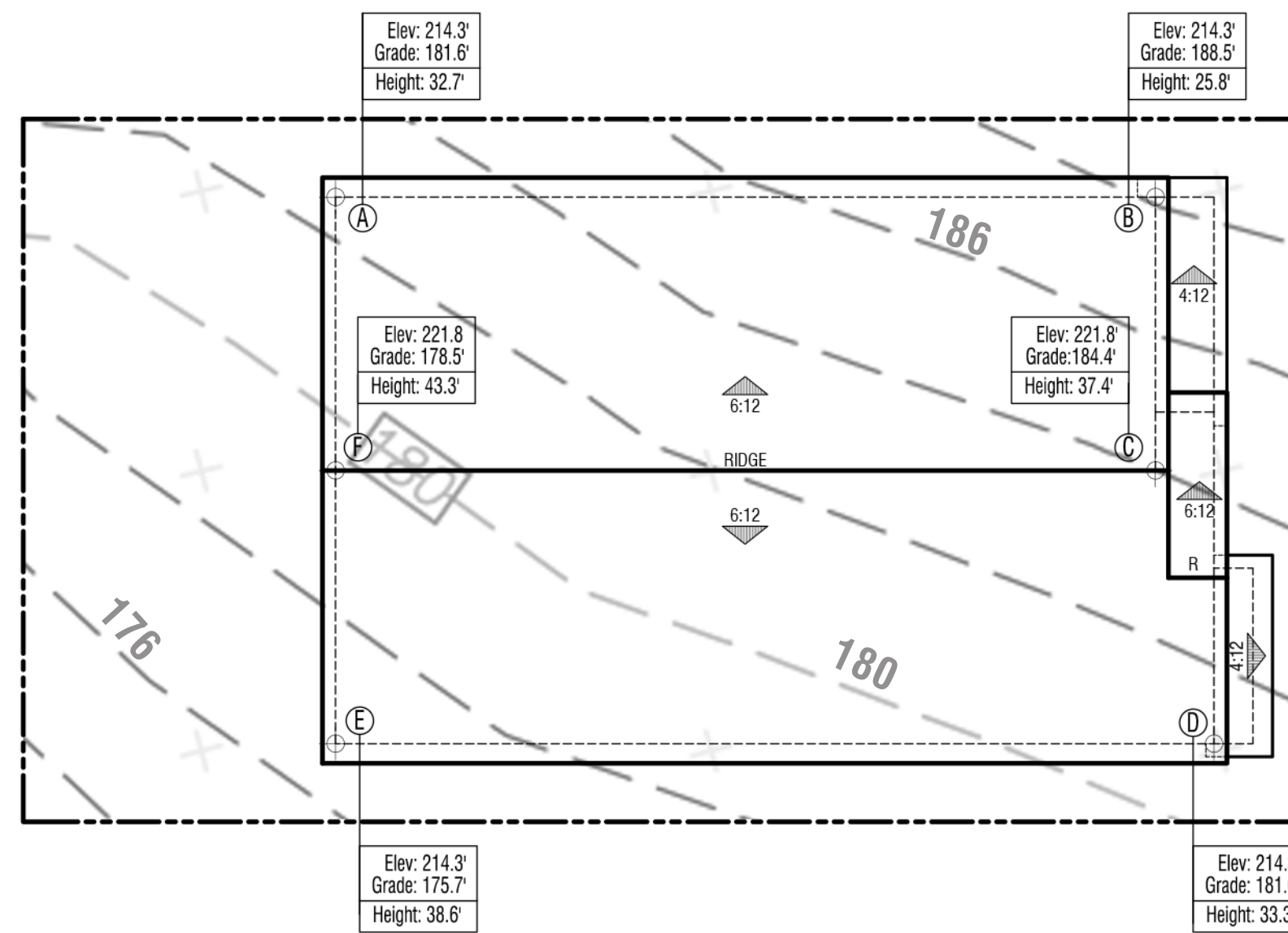


Roof Plan

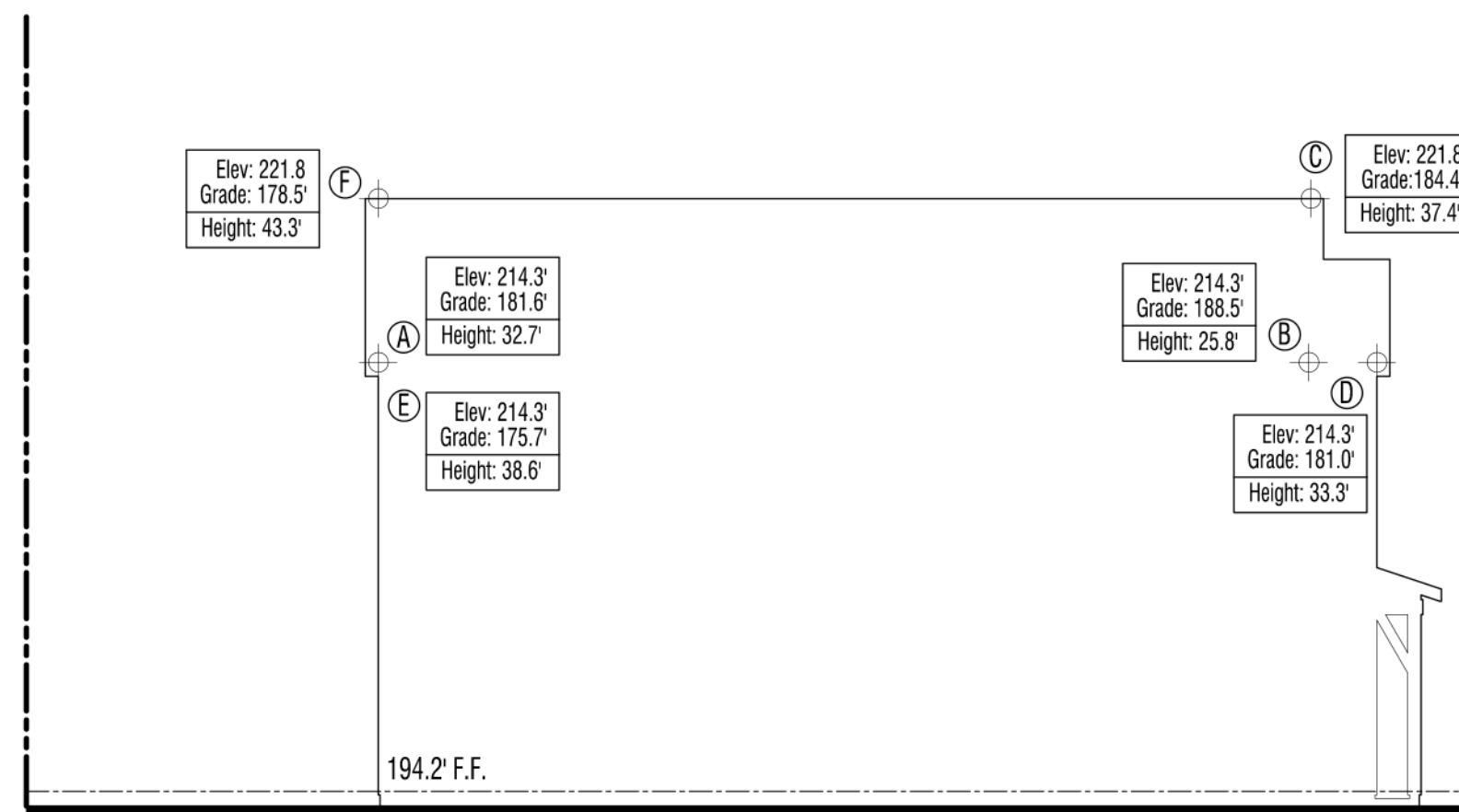


Section

Lot 10 - Plan 2(R)
Elevation B - Craftsman

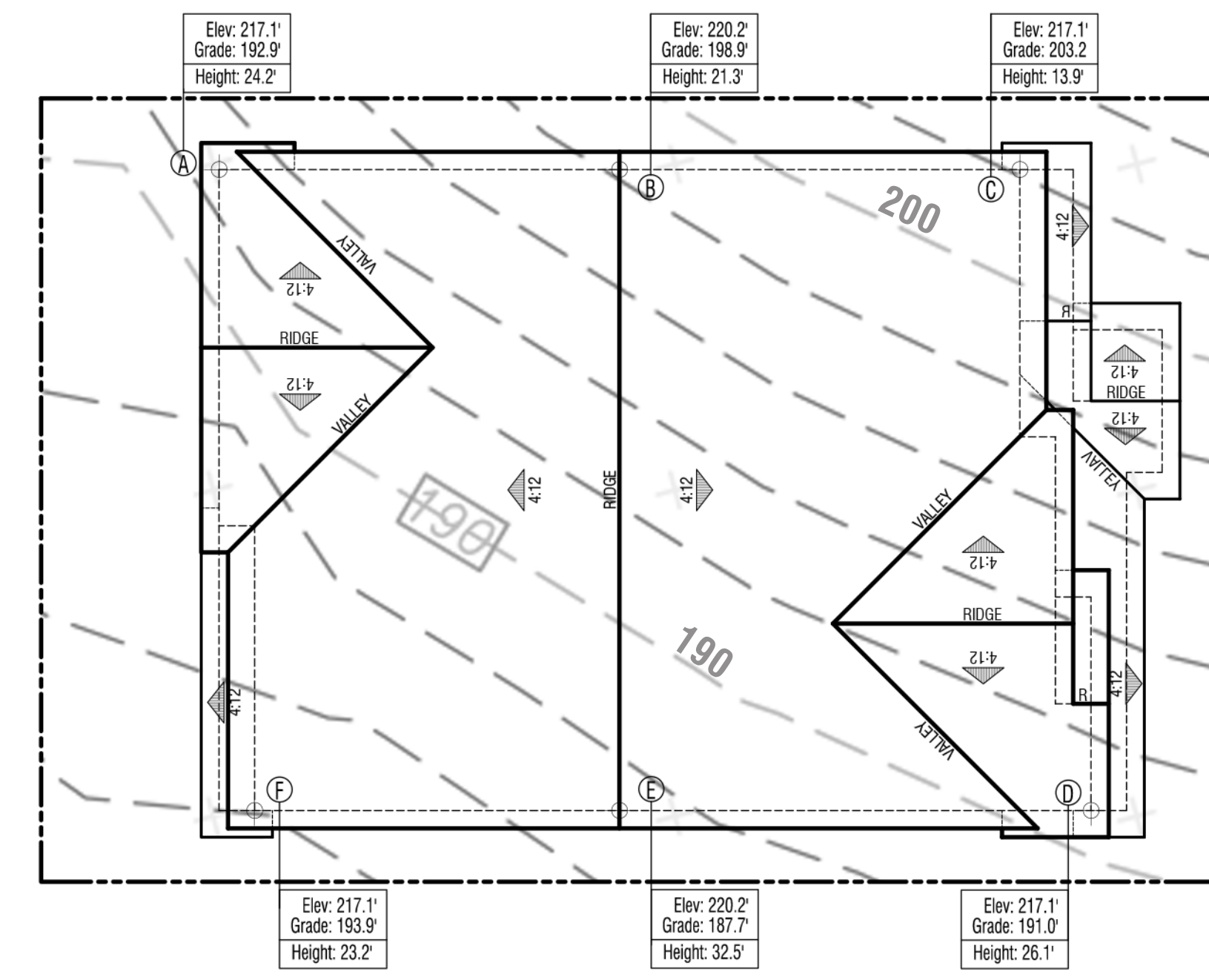


Roof Plan

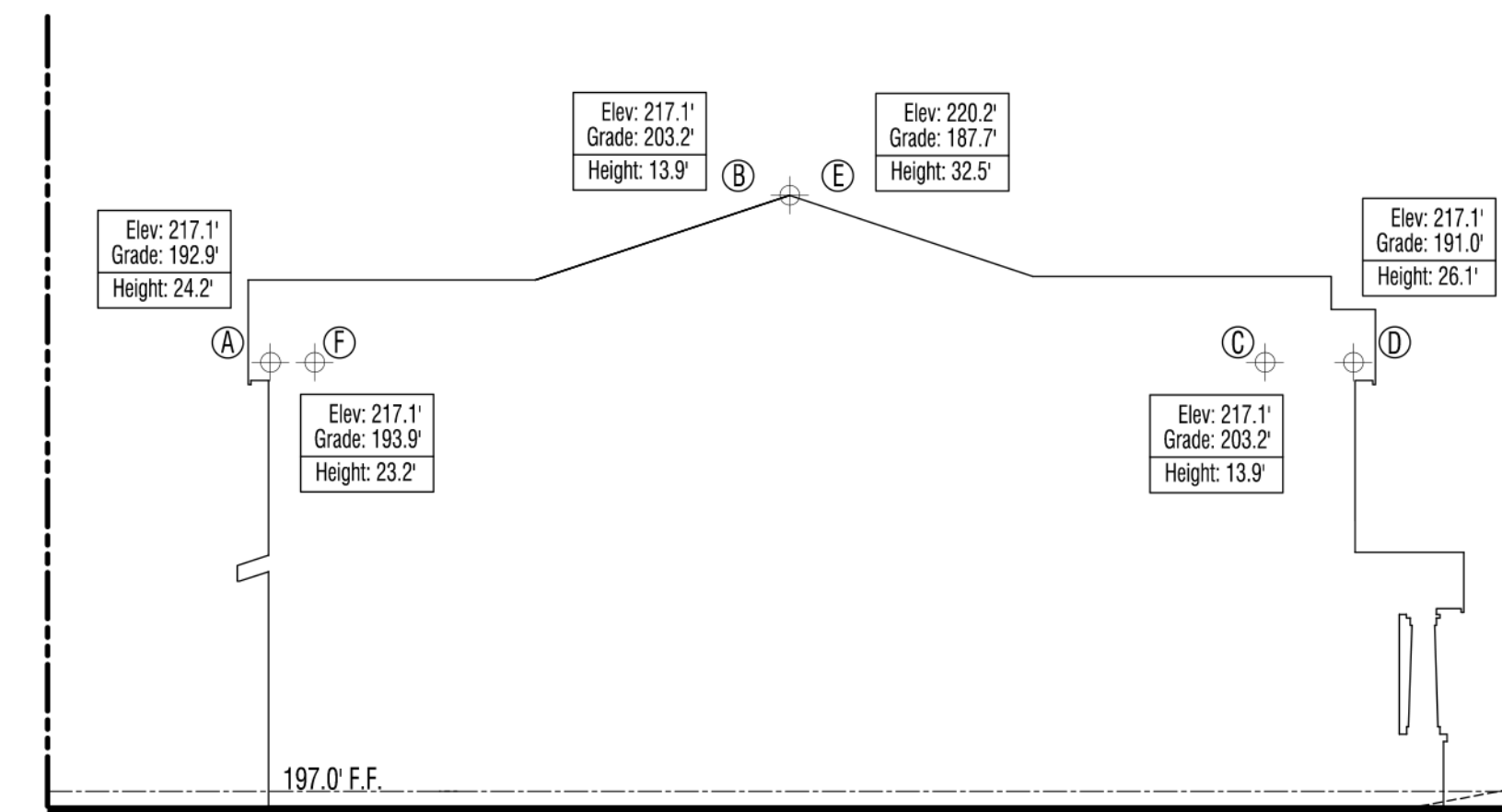


Section

Lot 11 - Plan 3
Elevation A - Farmhouse



Roof Plan



Section

Lot 12 - Plan 1(R)
Elevation B - Craftsman

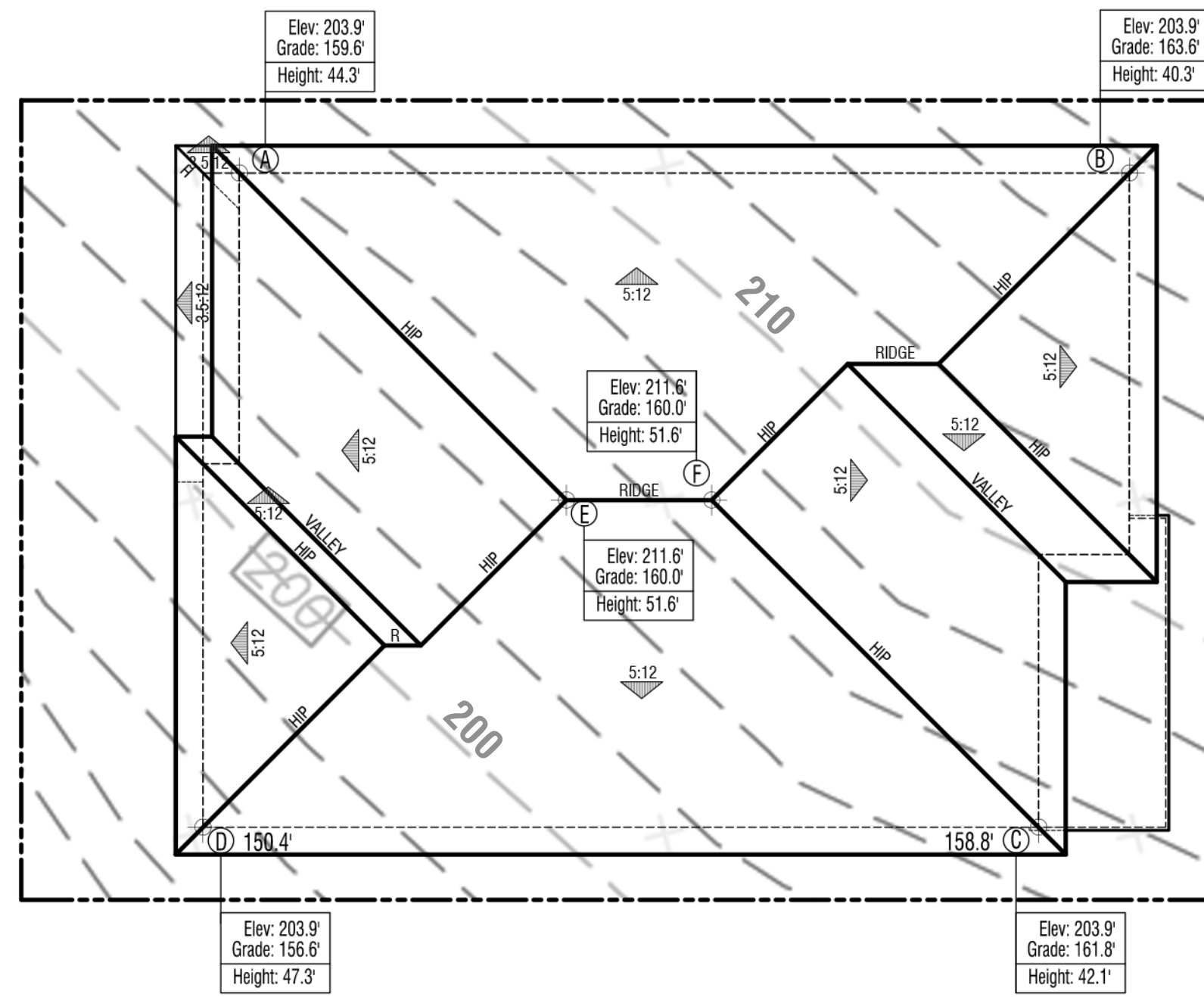
LEGEND

- ⊕ Elevation Height
- F.F. Finished Floor
- - - Existing Grade

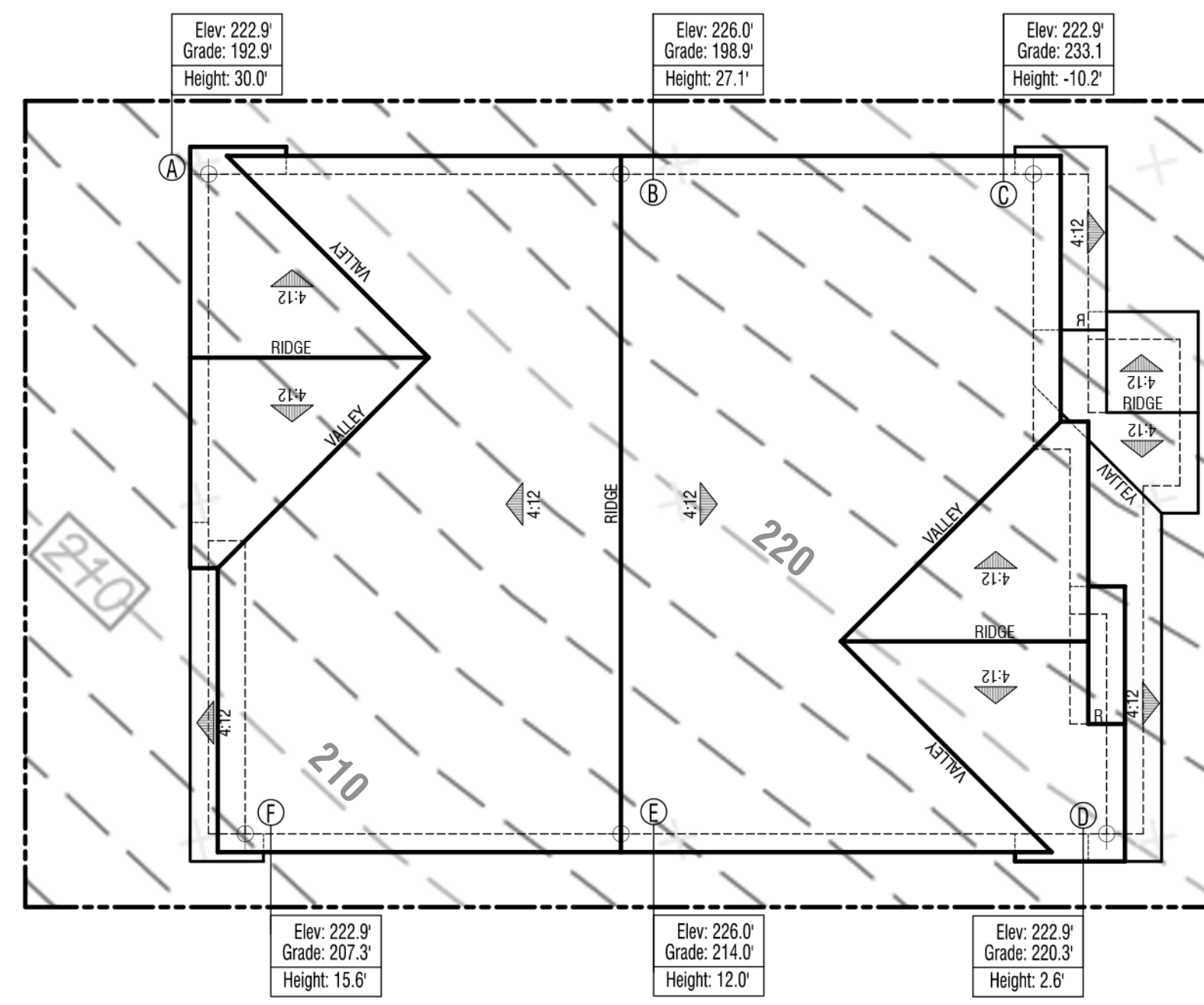
Building Height & Roof Cross Sections

Note: Mechanical equipment, vents, and ducts will be indicated at the construction document phase.

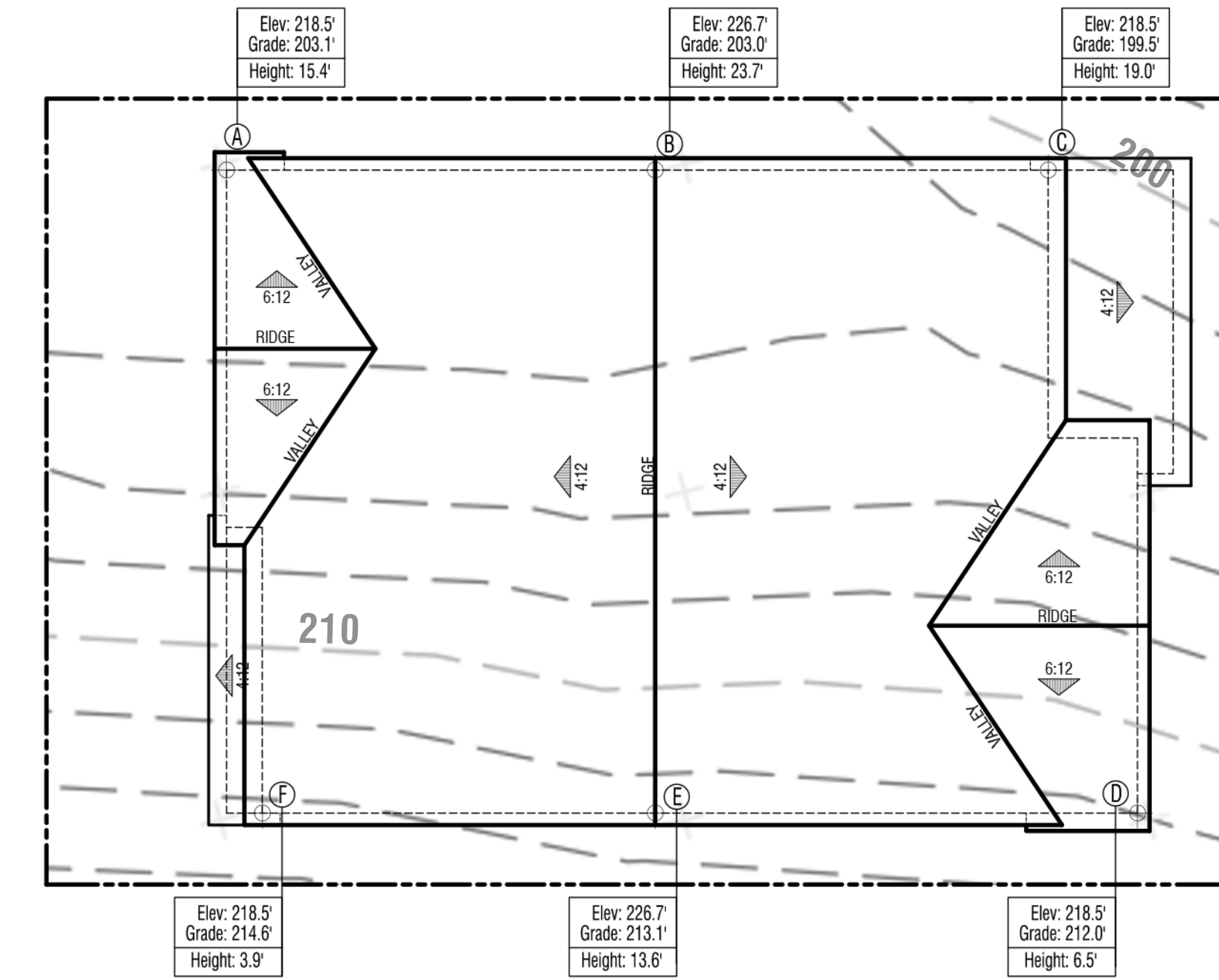
Note: A/C units shown on Floor Plan and Elevation sheets, typ.



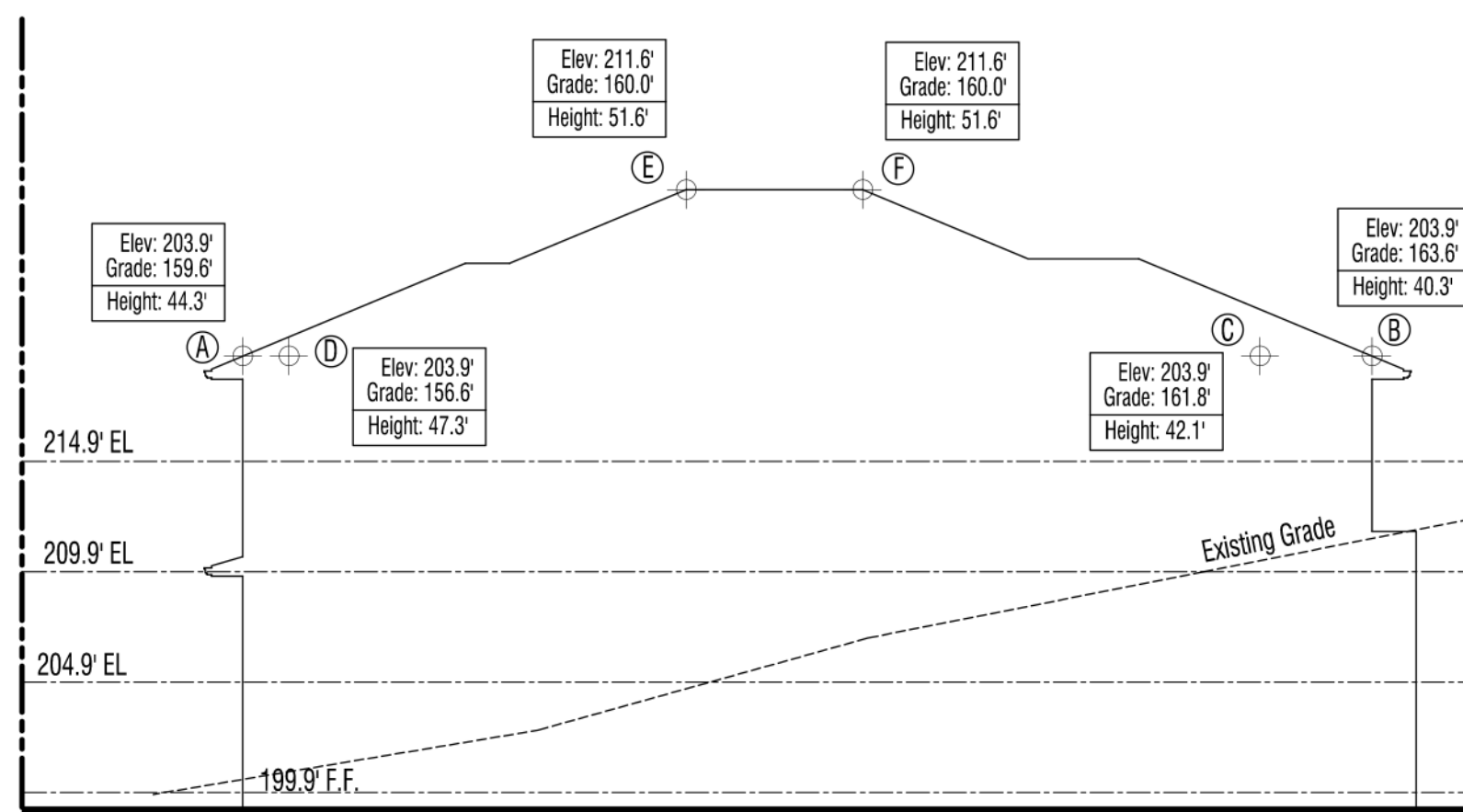
Roof Plan



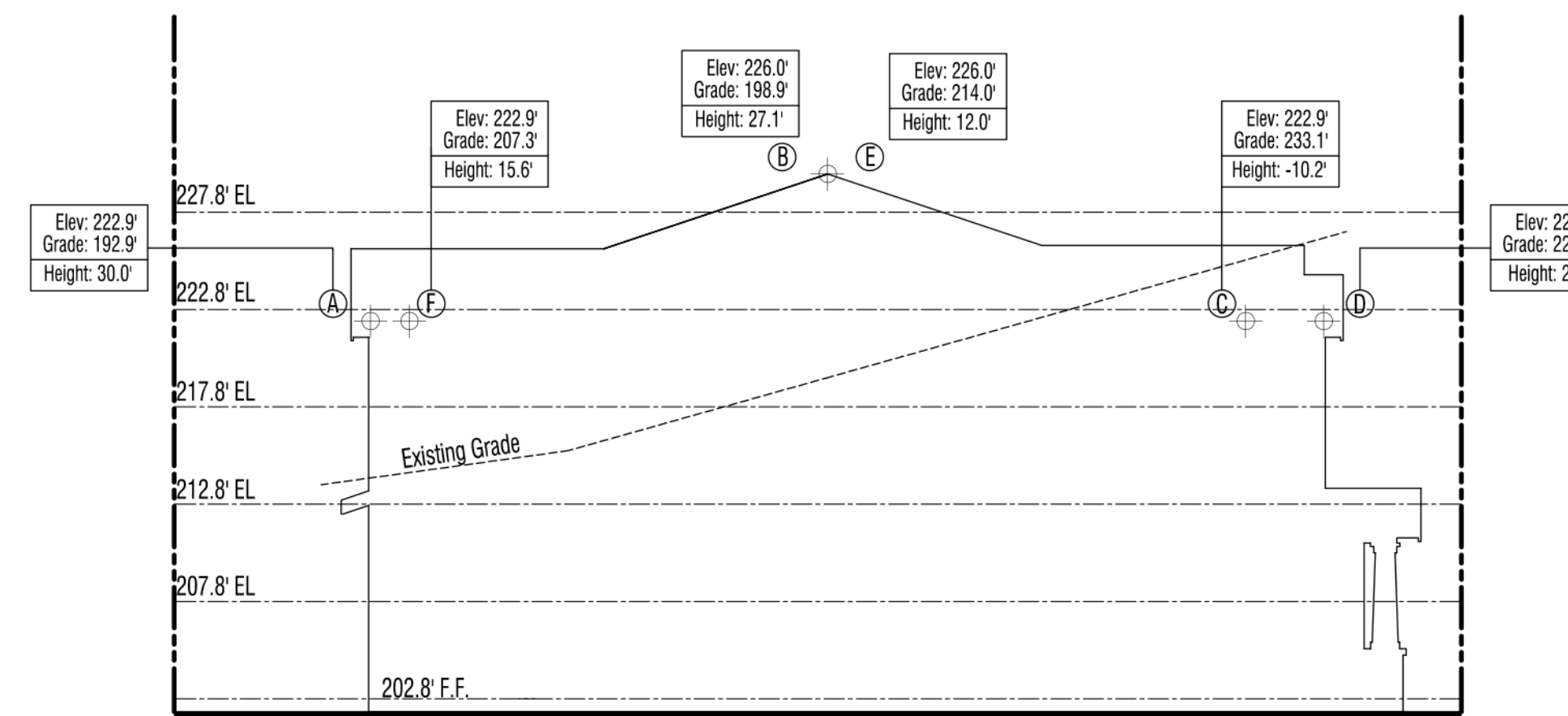
Roof Plan



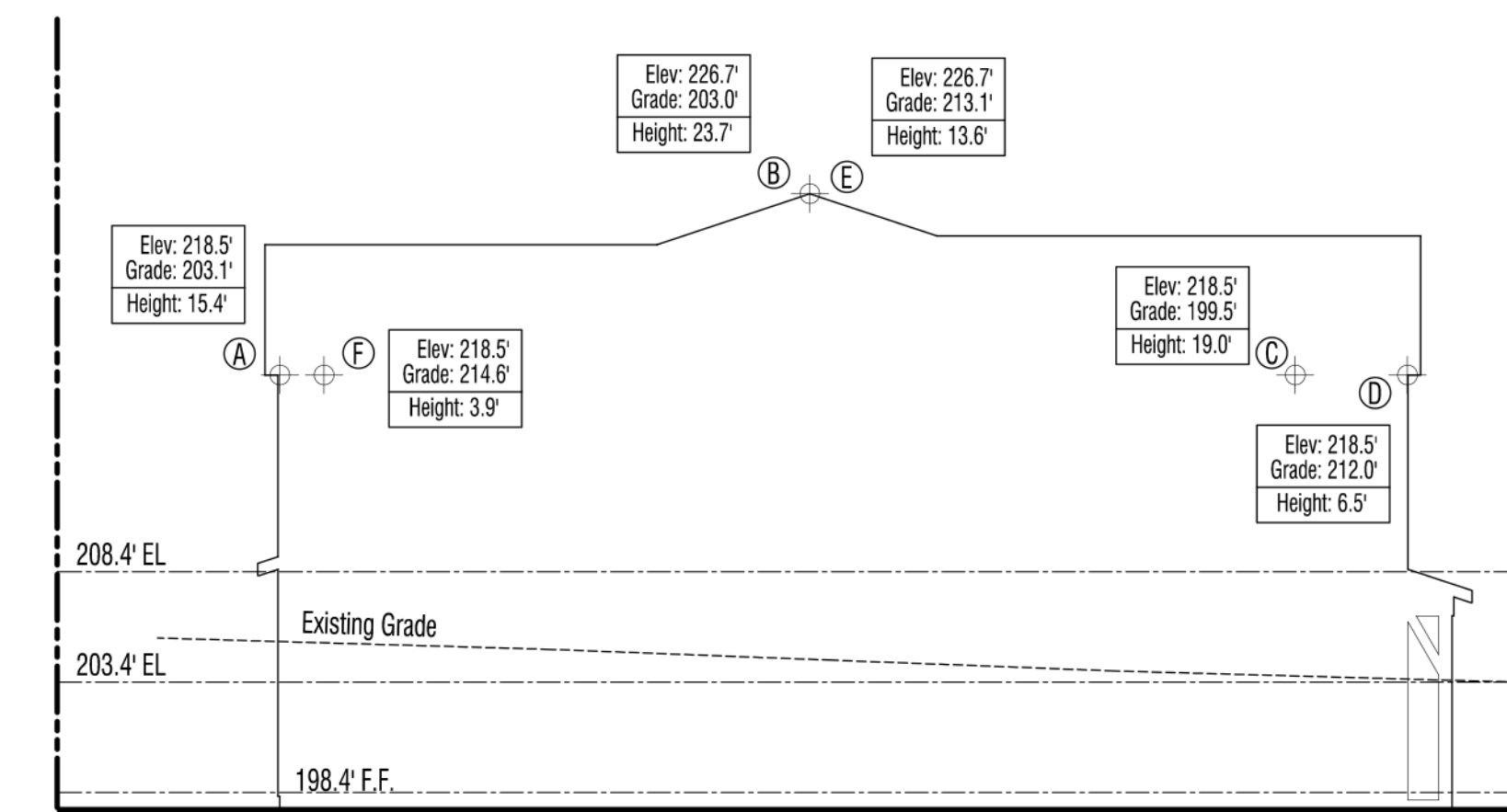
Roof Plan



Section



Section



Section

Lot 13 - Plan 2(R)
Elevation C - Prairie

Lot 14 - Plan 1(R)
Elevation B - Craftsman

Lot 15 - Plan 2
Elevation A - Farmhouse

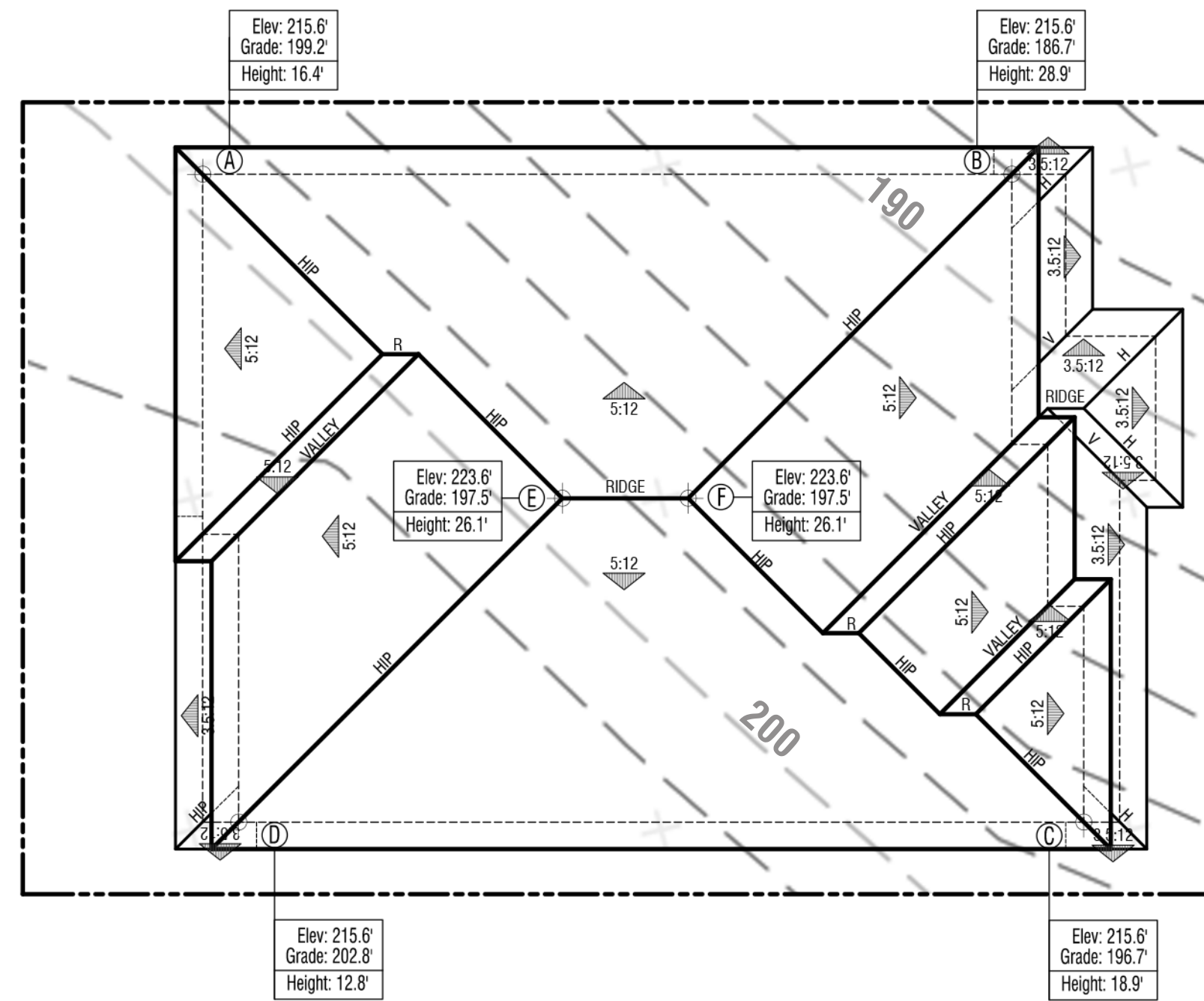
LEGEND

- ⊕ Elevation Height
- F.F. Finished Floor
- - - Existing Grade

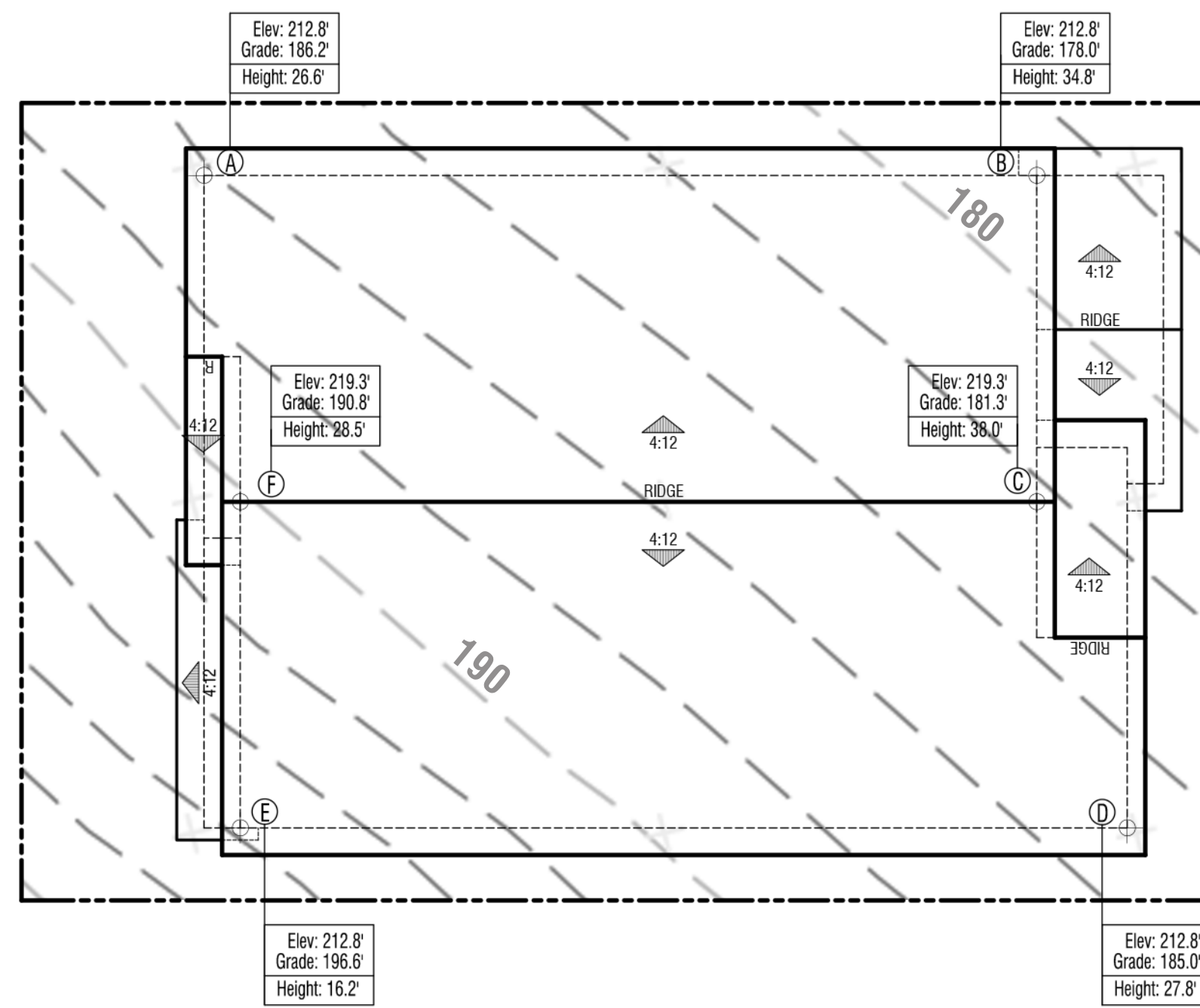
Building Height & Roof Cross Sections

Note: Mechanical equipment, vents, and ducts will be indicated at the construction document phase.

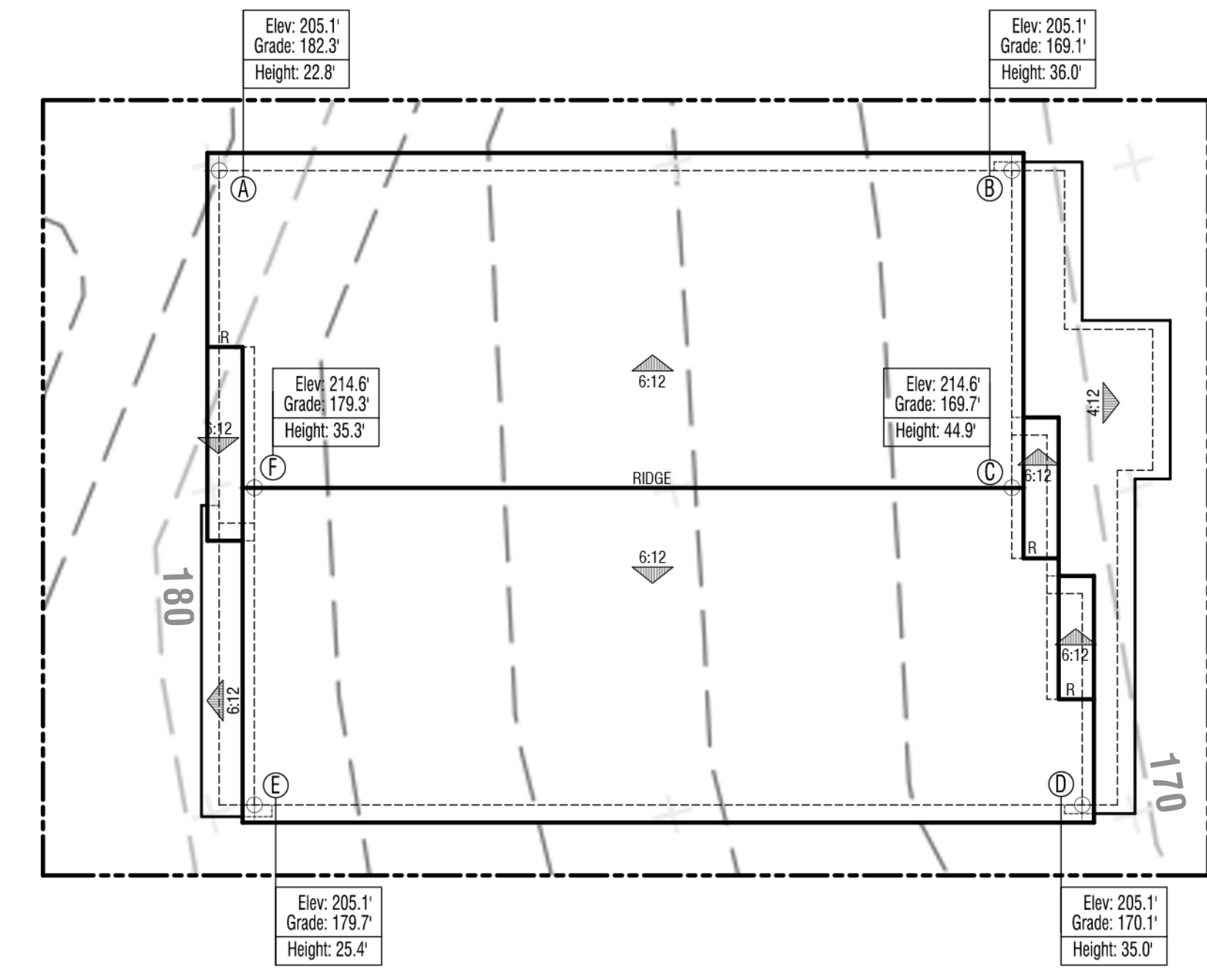
Note: A/C units shown on Floor Plan and Elevation sheets, typ.



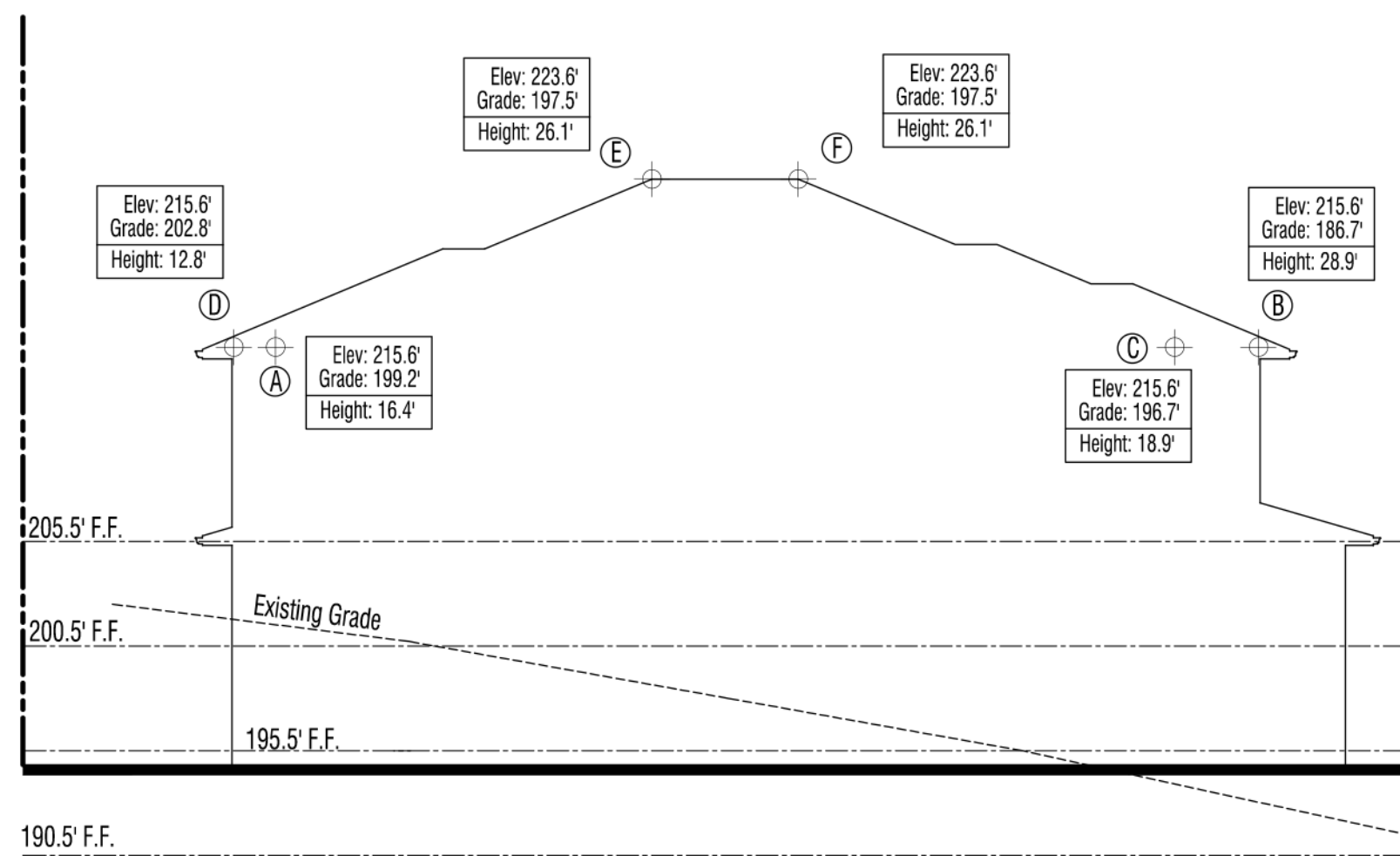
Roof Plan



Roof Plan

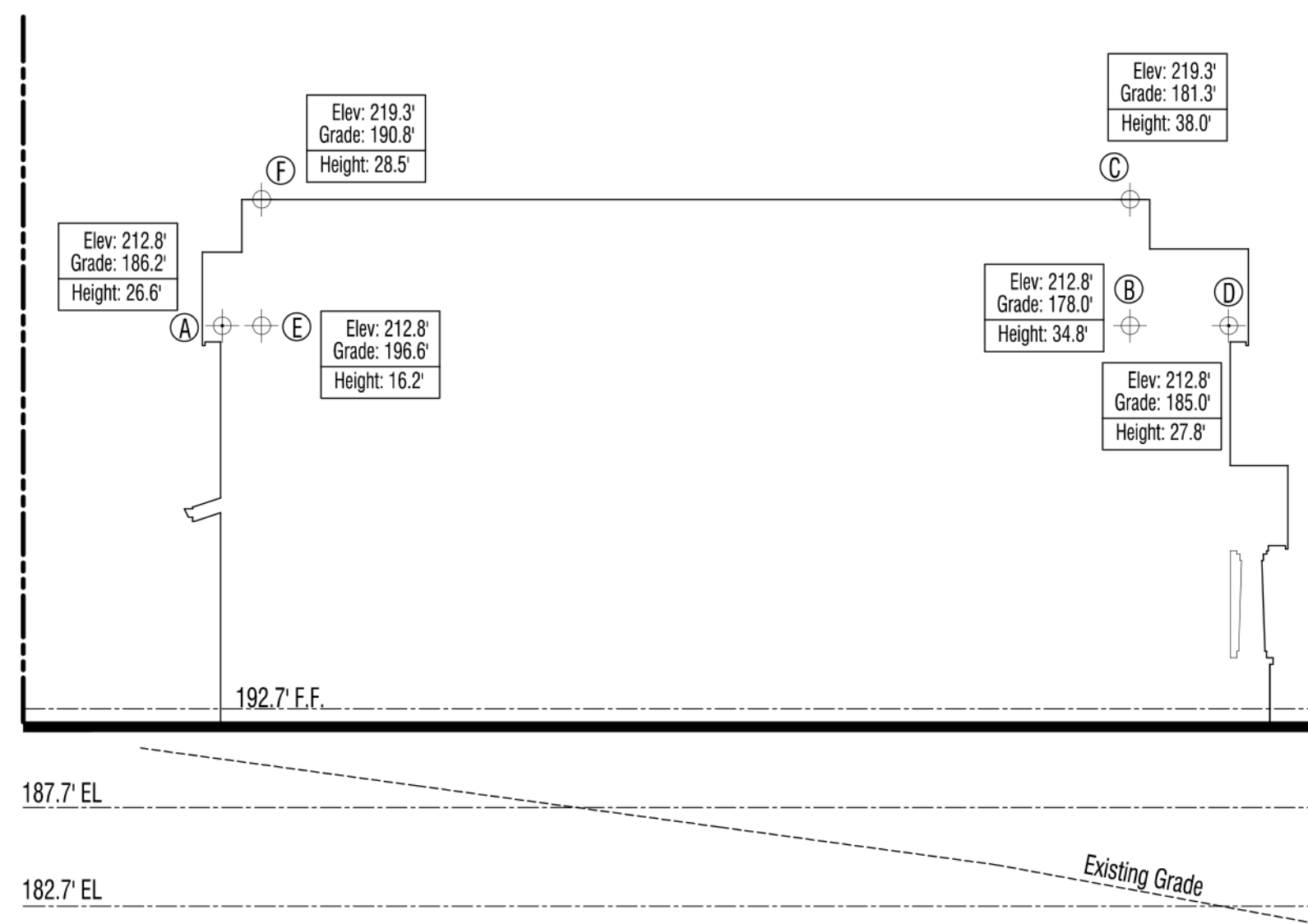


Roof Plan



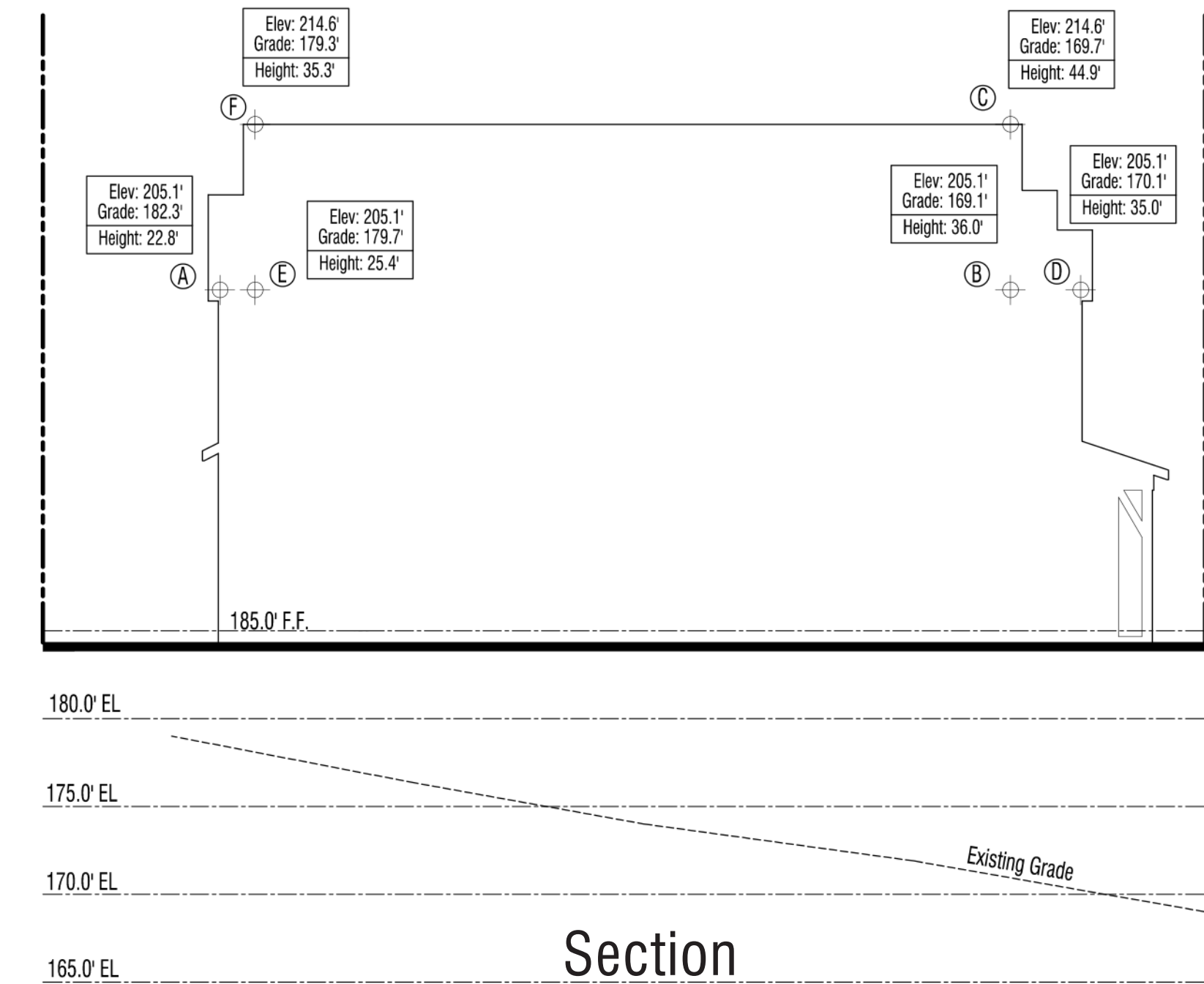
Section

Lot 16 - Plan 1
Elevation C - Prairie



Section

Lot 17 - Plan 2
Elevation B - Craftsman



Section

Lot 18 - Plan 1
Elevation A - Farmhouse

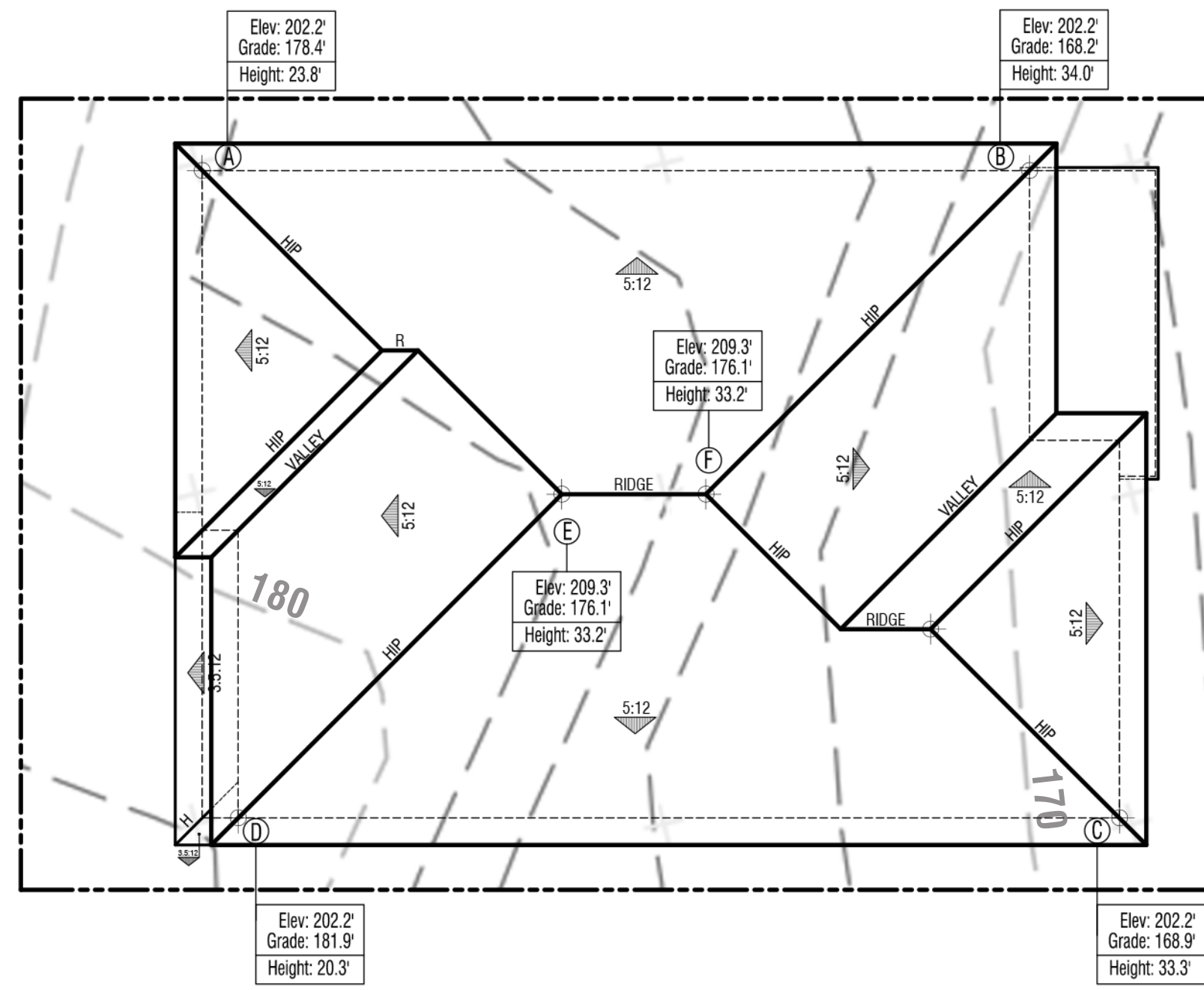
LEGEND

- ⊕ Elevation Height
- F.F. Finished Floor
- - - Existing Grade

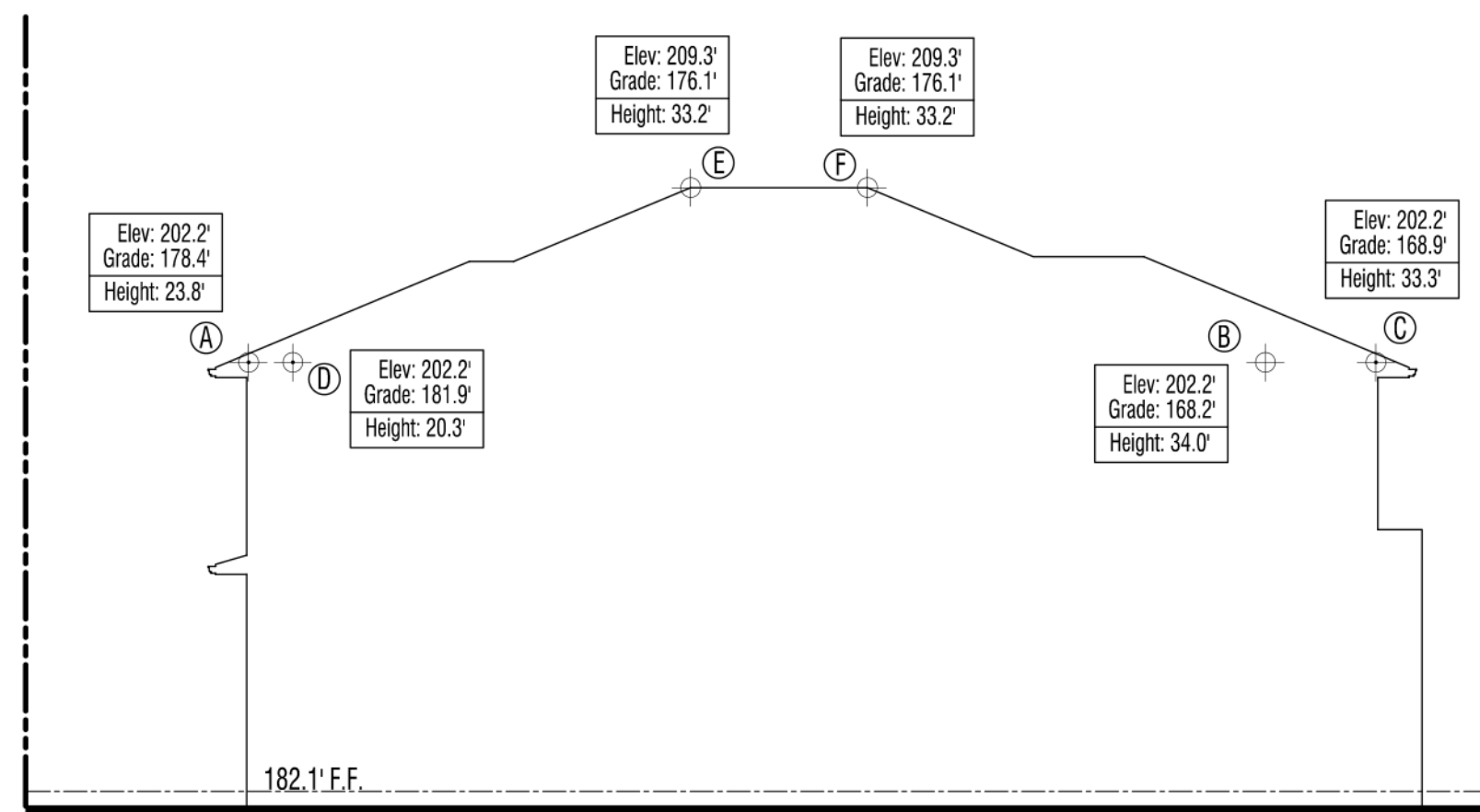
Building Height & Roof Cross Sections

Note: Mechanical equipment, vents, and ducts will be indicated at the construction document phase.

Note: A/C units shown on Floor Plan and Elevation sheets, typ.

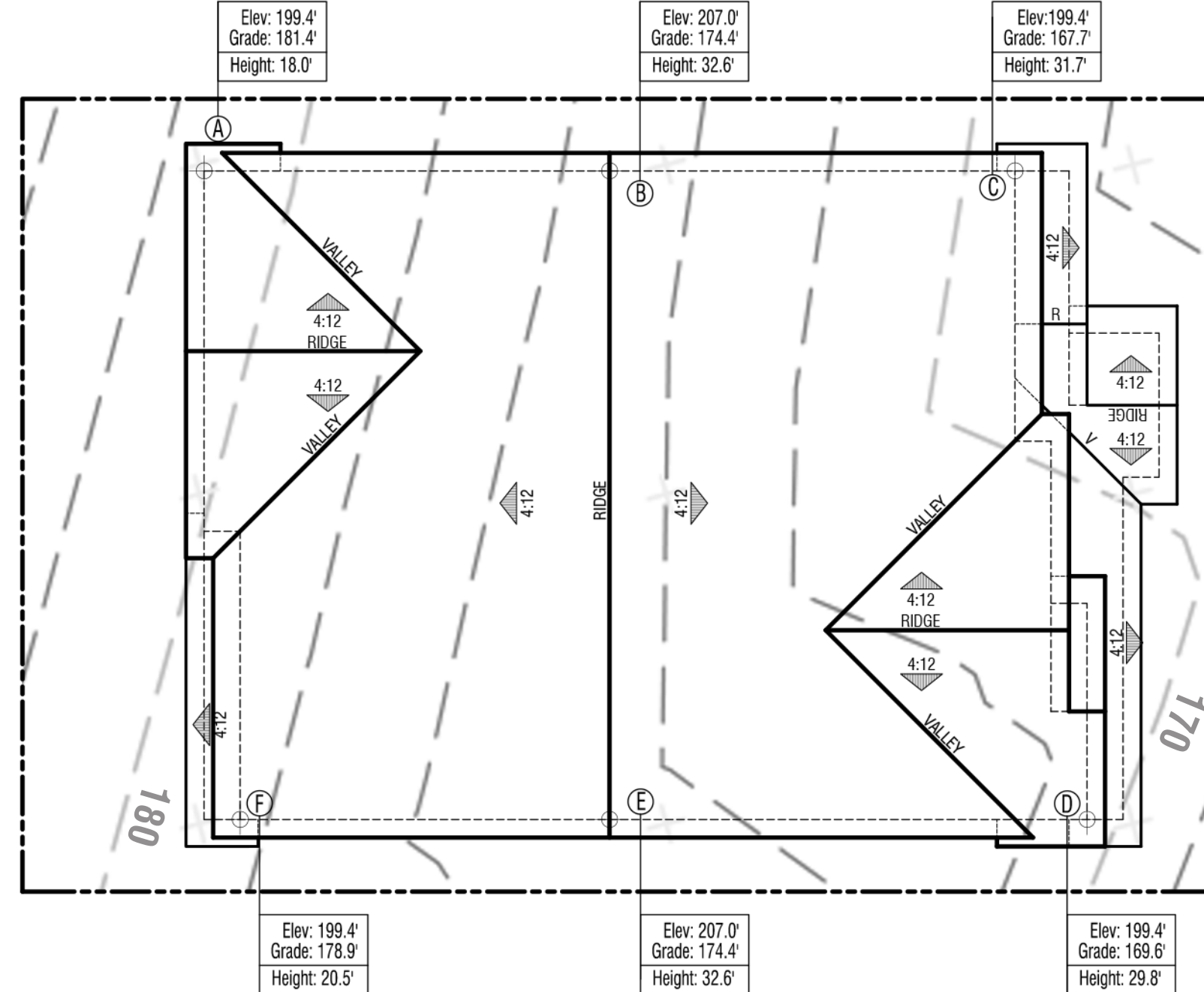


Roof Plan

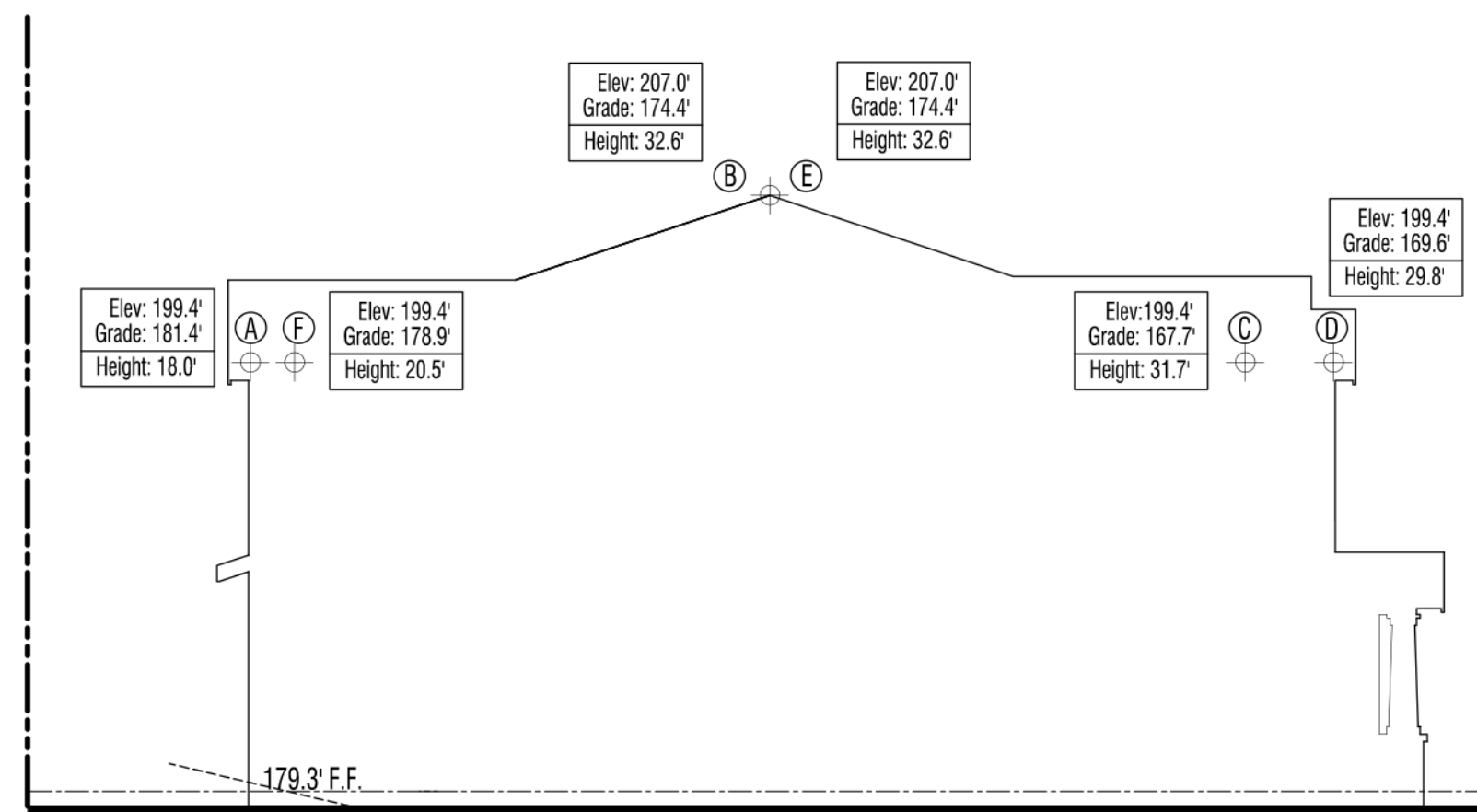


Section

Lot 19 - Plan 2
Elevation C - Prairie

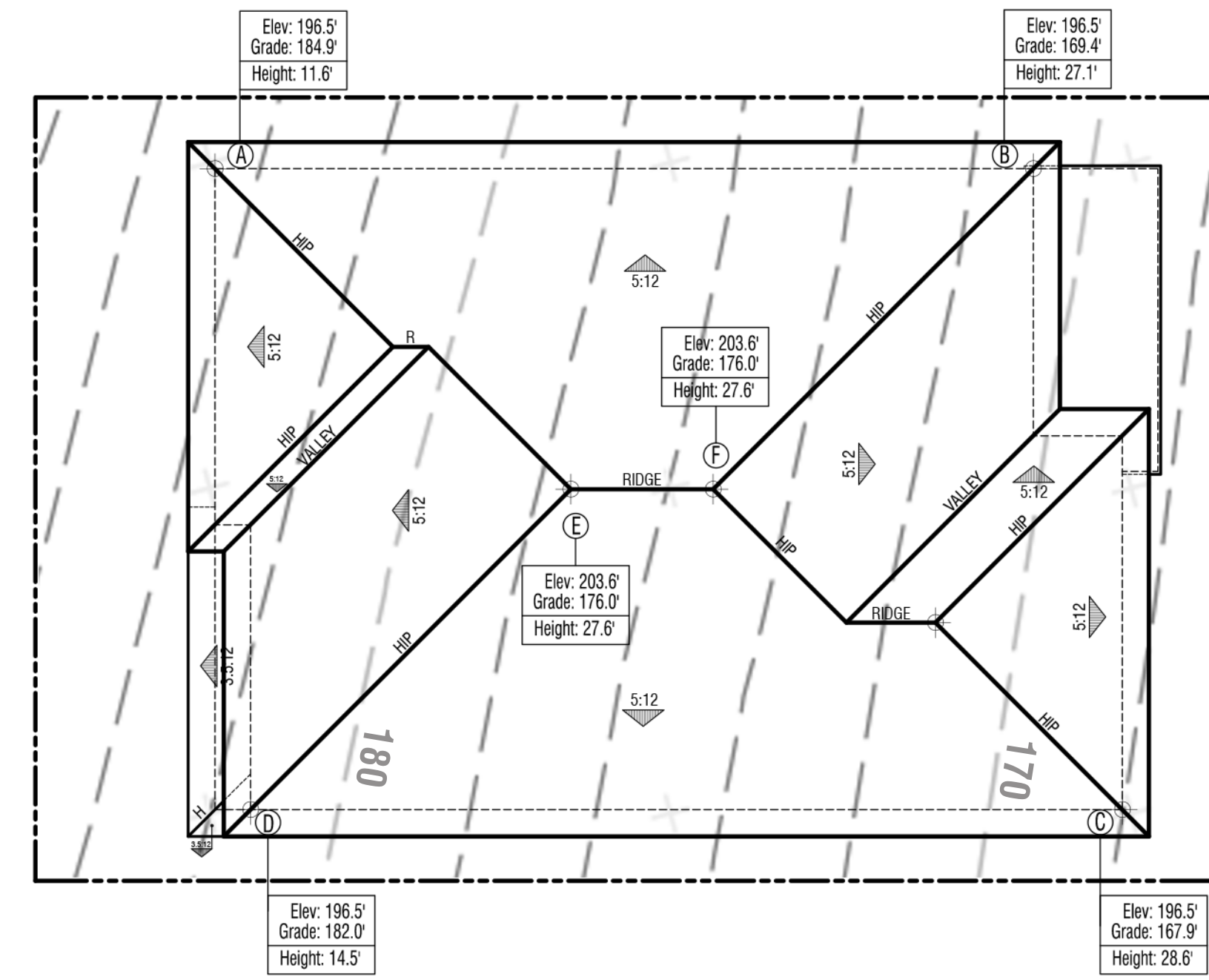


Roof Plan

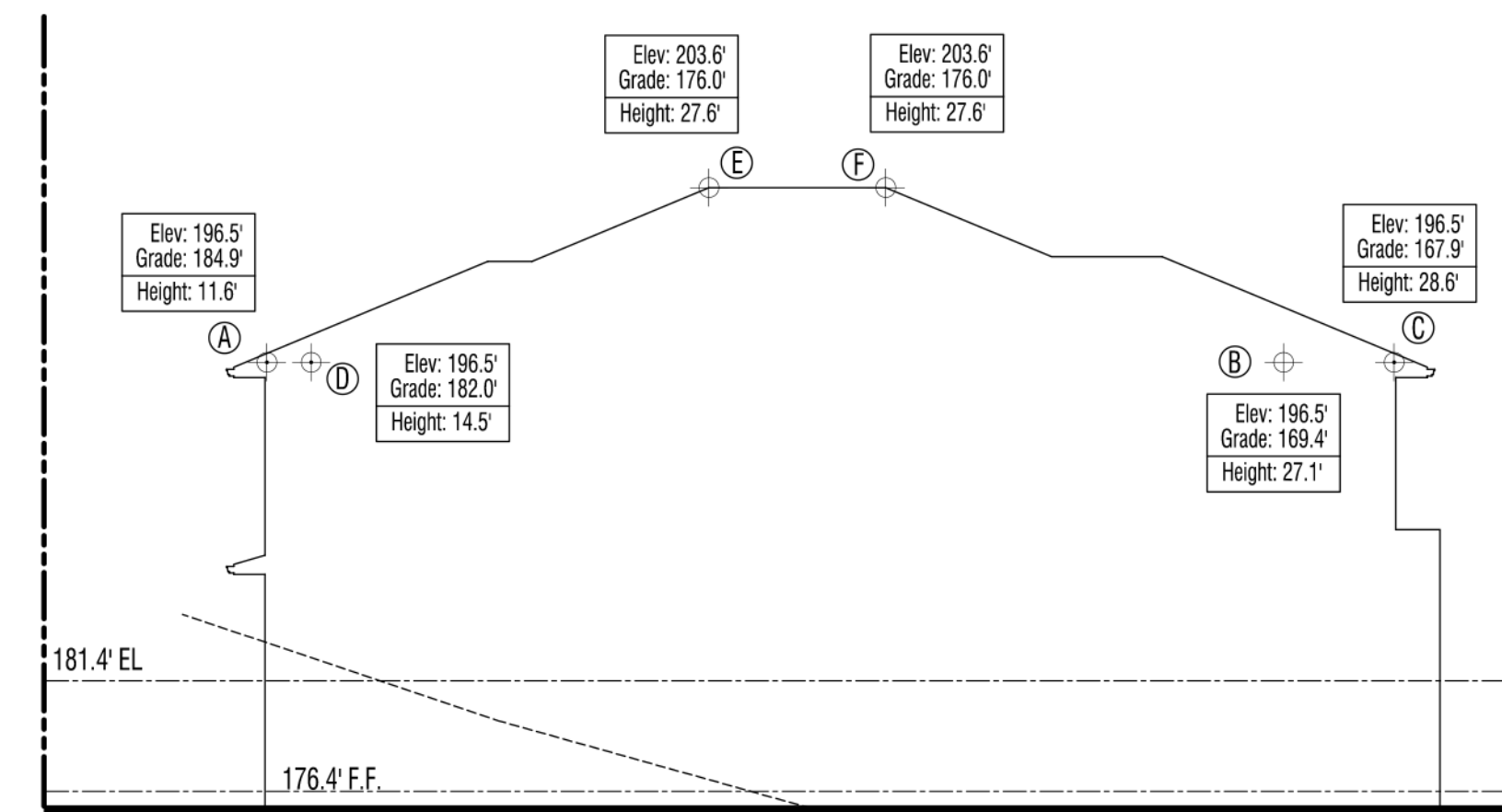


Section

Lot 20 - Plan 1
Elevation B - Craftsman



Roof Plan



Section

Lot 21 - Plan 2
Elevation C - Prairie

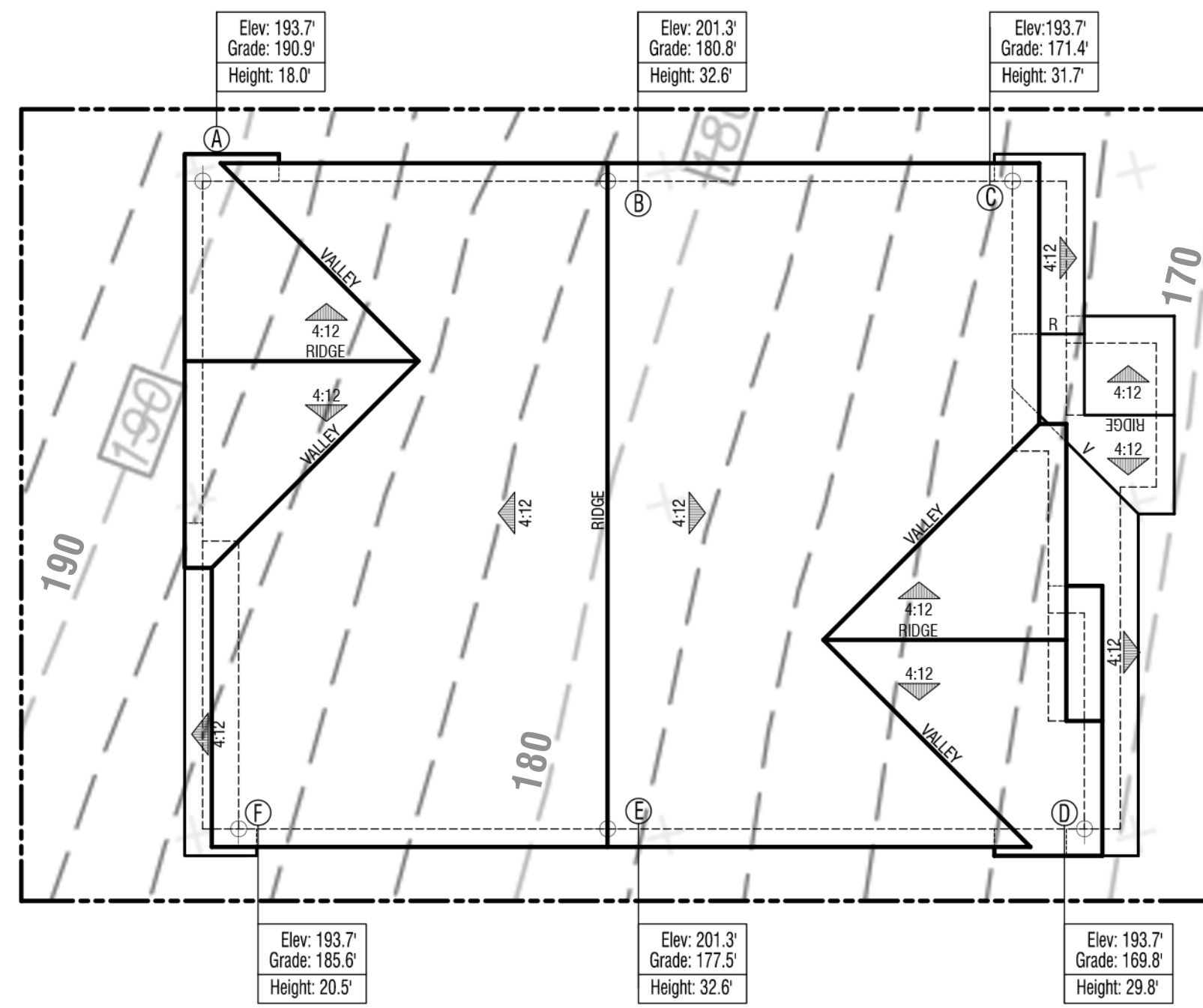
LEGEND

- ⊕ Elevation Height
- F.F. Finished Floor
- - - Existing Grade

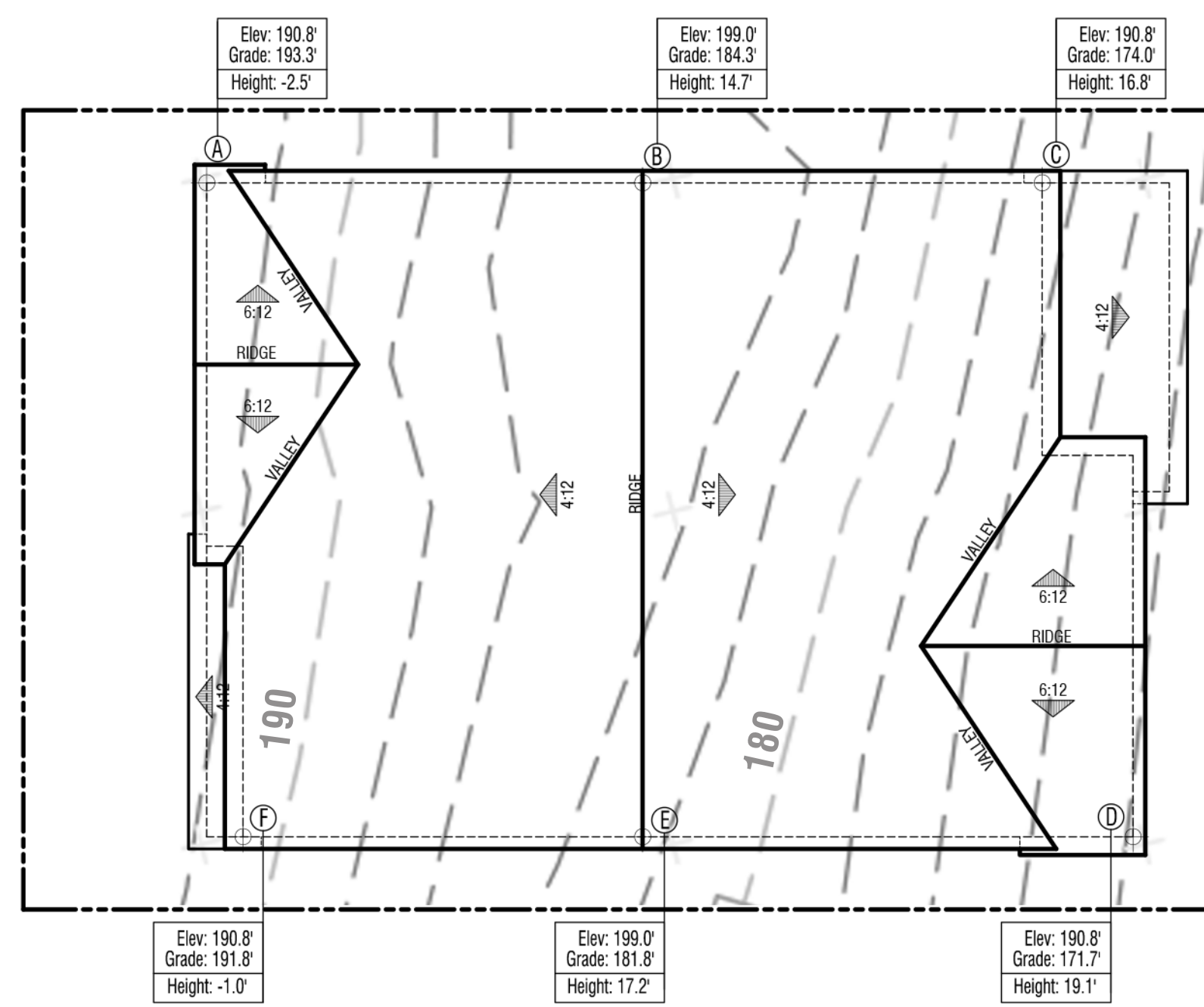
Building Height & Roof Cross Sections

Note: Mechanical equipment, vents, and ducts will be indicated at the construction document phase.

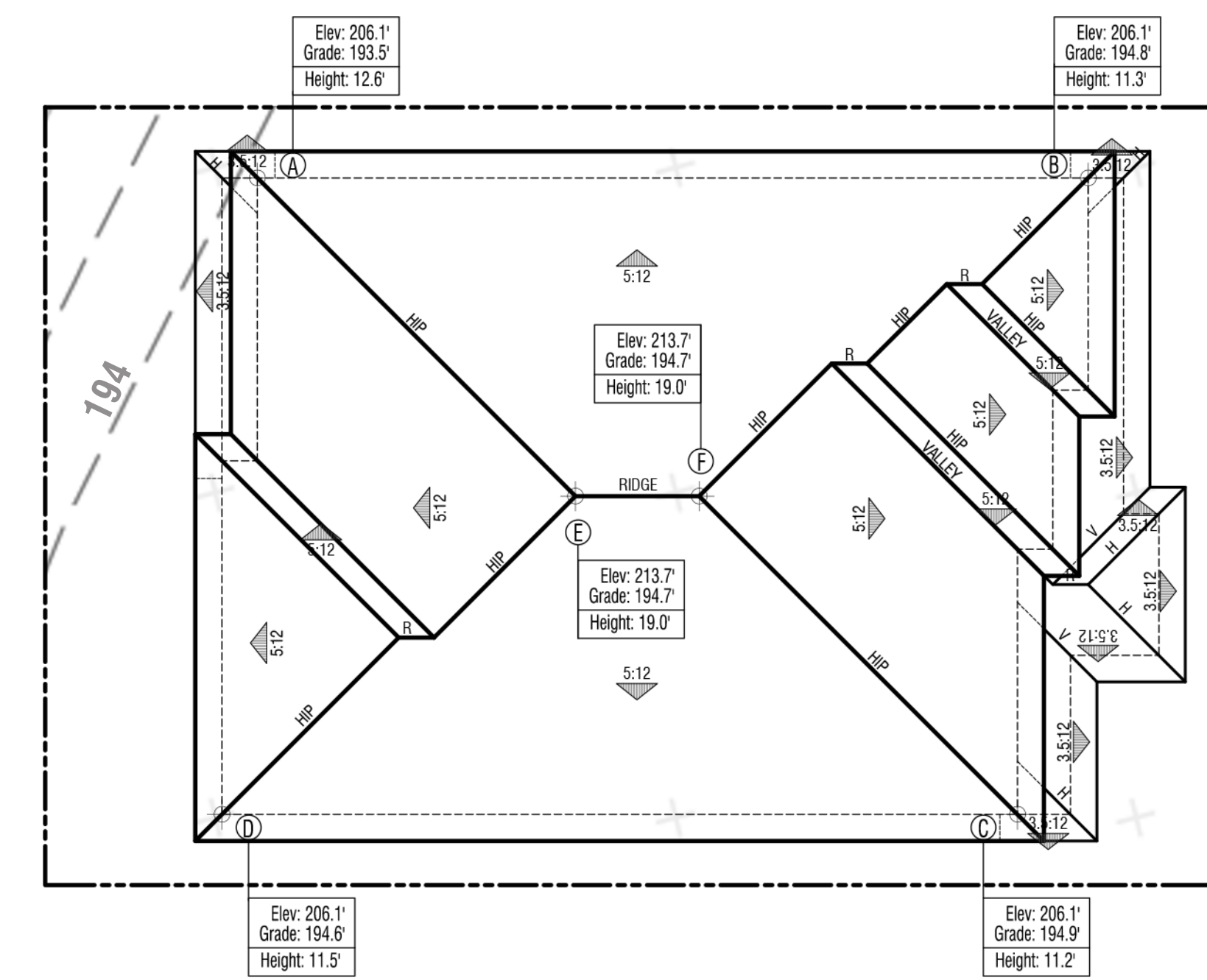
Note: A/C units shown on Floor Plan and Elevation sheets, typ.



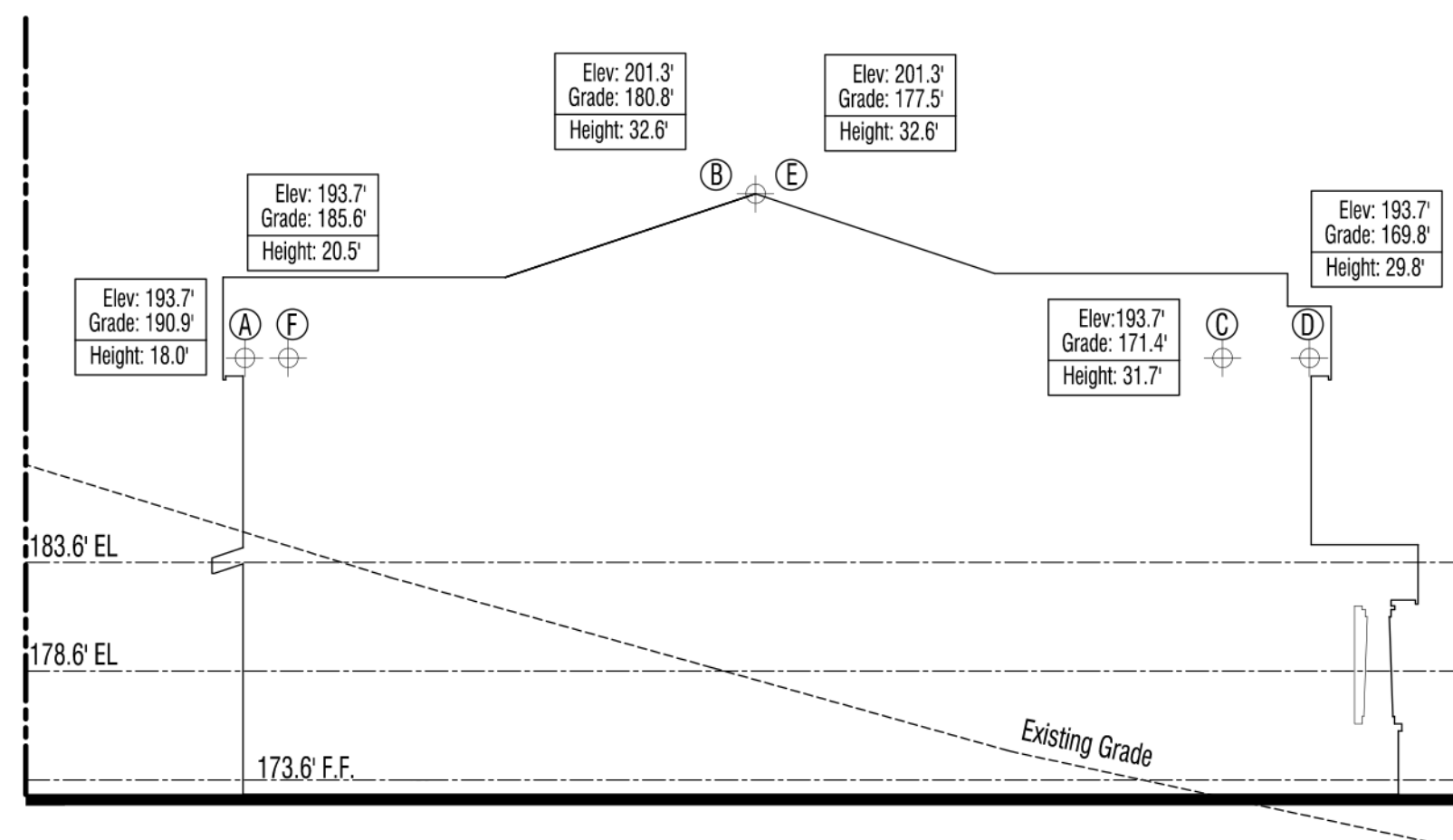
Roof Plan



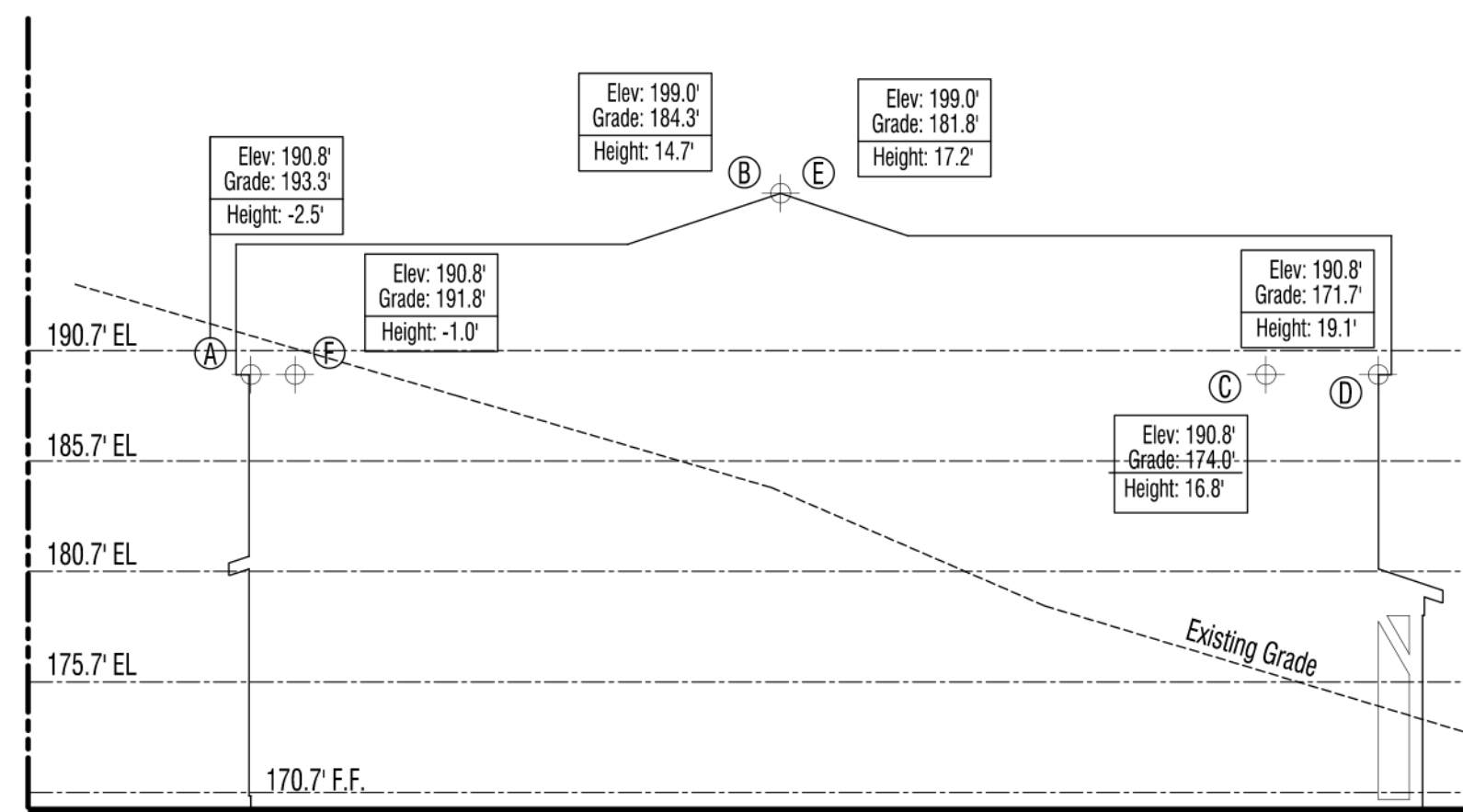
Roof Plan



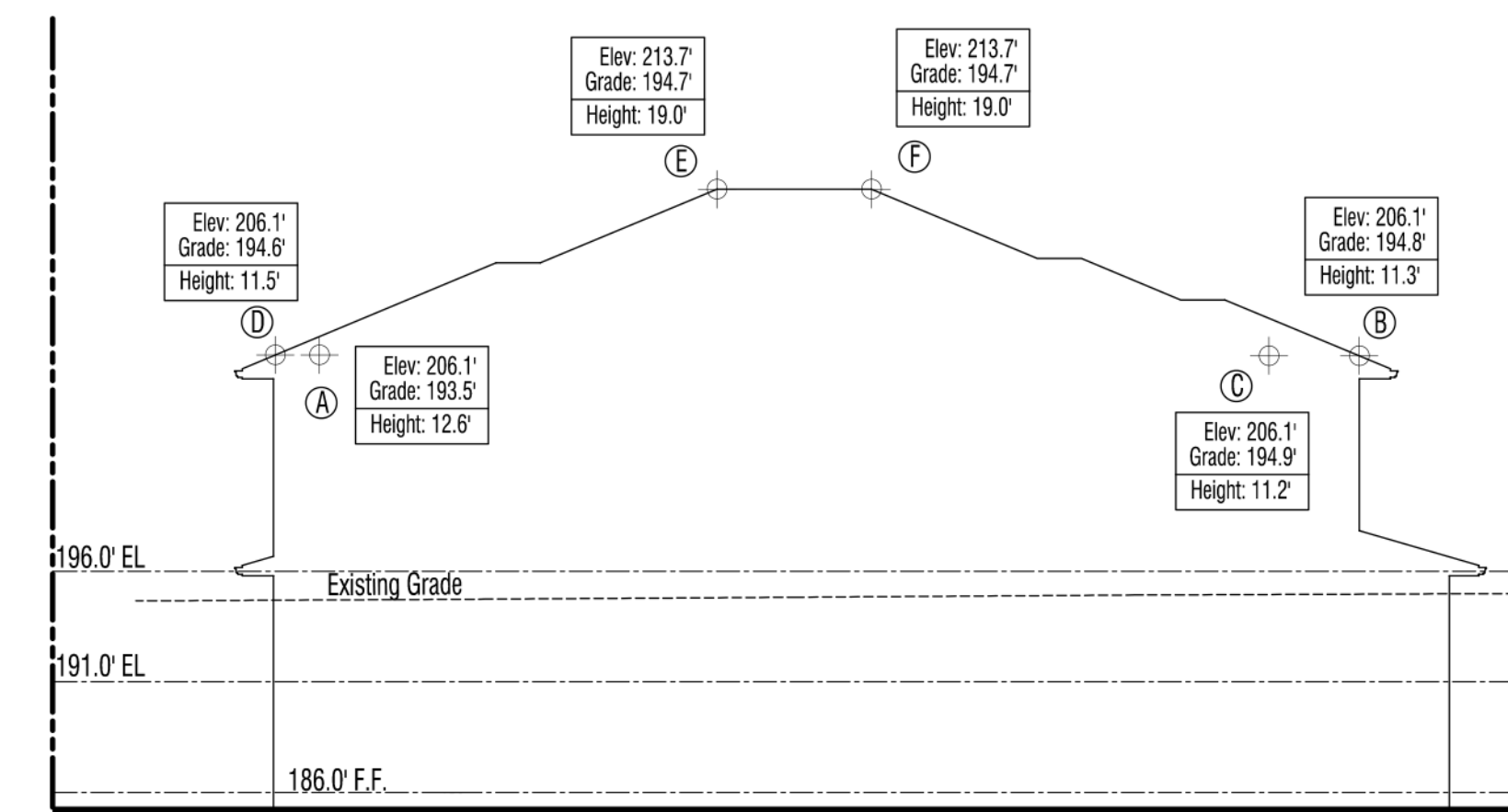
Roof Plan



Section



Section



Section

Lot 22 - Plan 1
Elevation B - Craftsman

Lot 23 - Plan 2
Elevation A - Farmhouse

Lot 24 - Plan 1(R)
Elevation C - Prairie

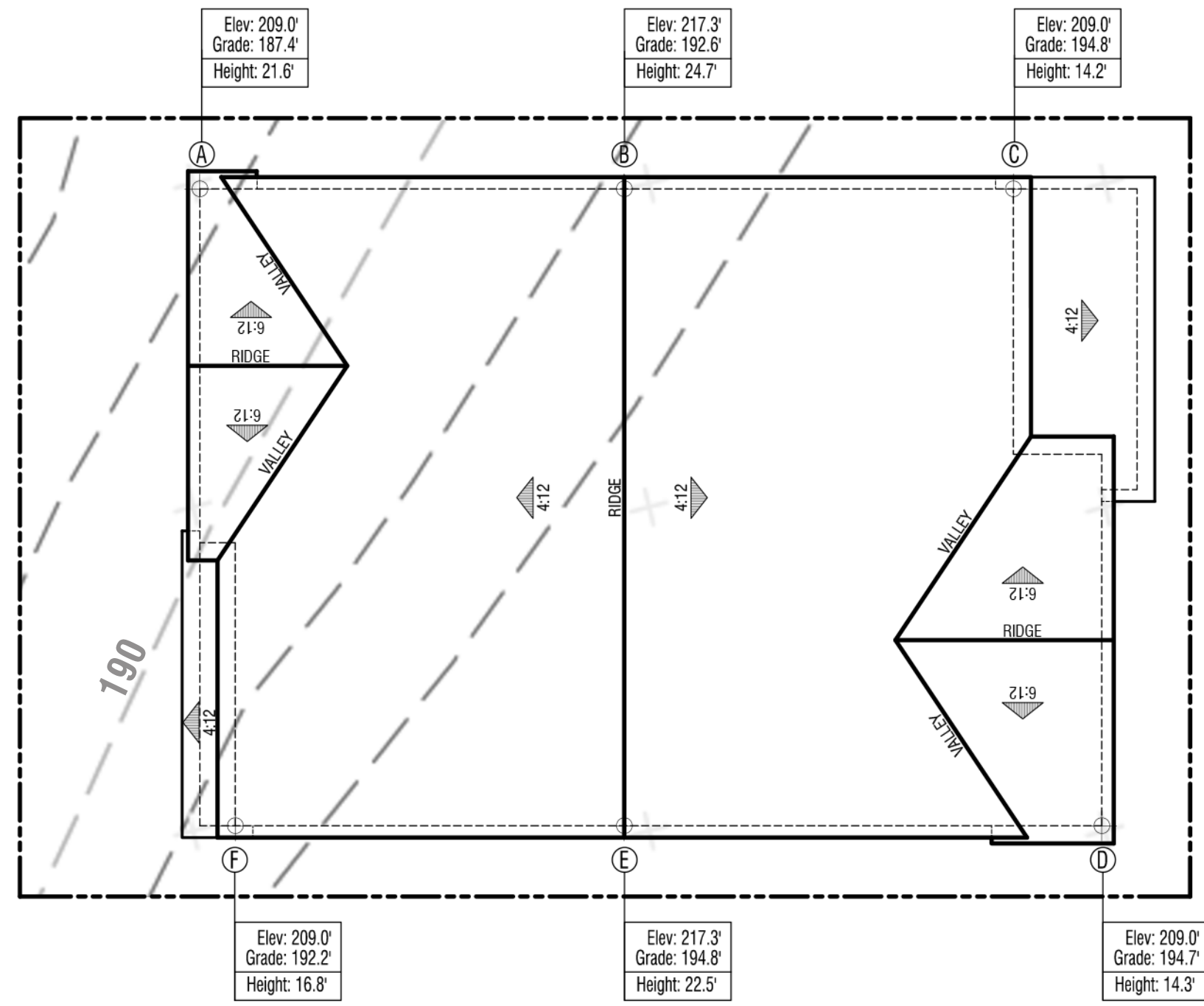
LEGEND

- Elevation Height
- F.F. Finished Floor
- Existing Grade

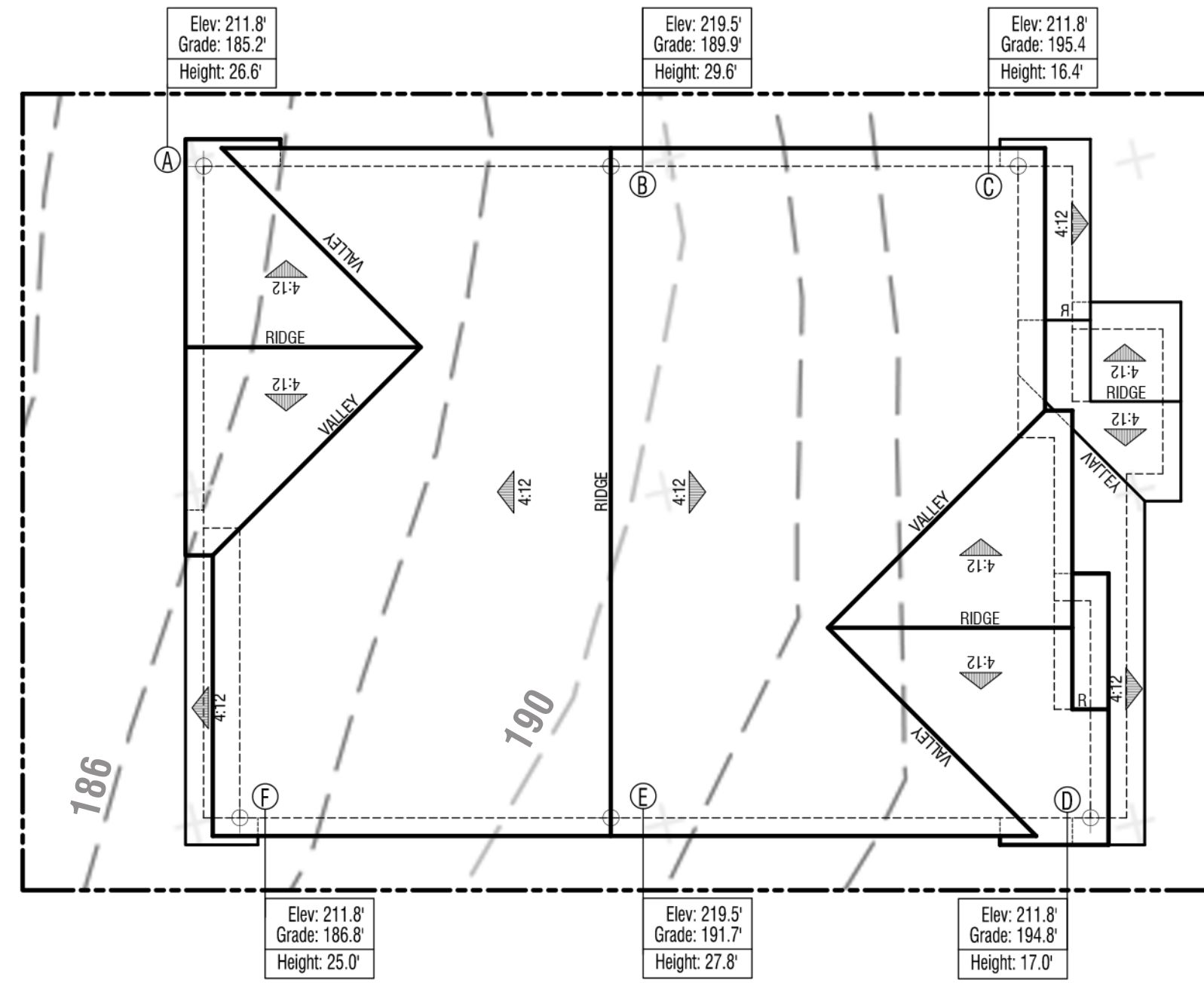
Building Height & Roof Cross Sections

Note: Mechanical equipment, vents, and ducts will be indicated at the construction document phase.

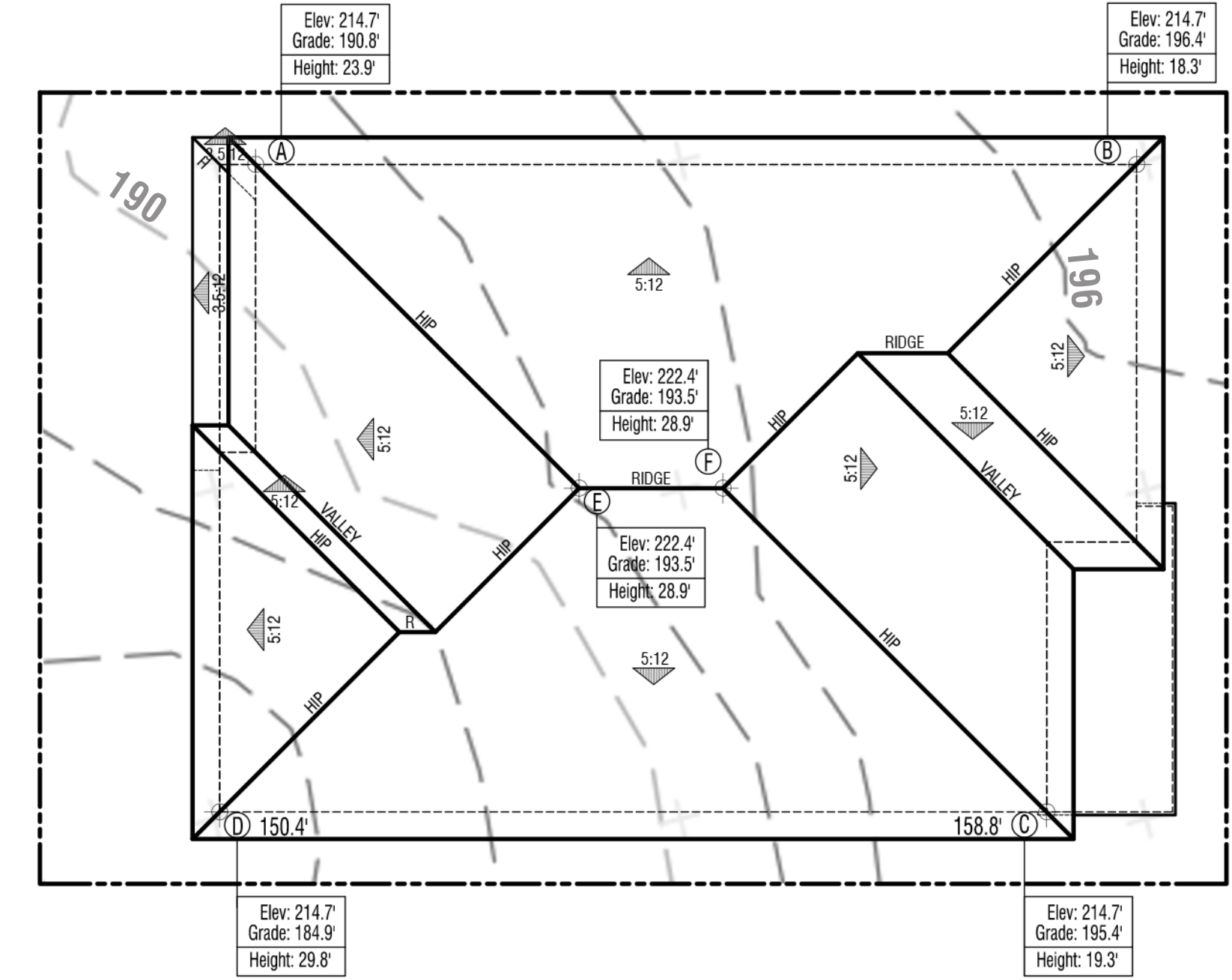
Note: A/C units shown on Floor Plan and Elevation sheets, typ.



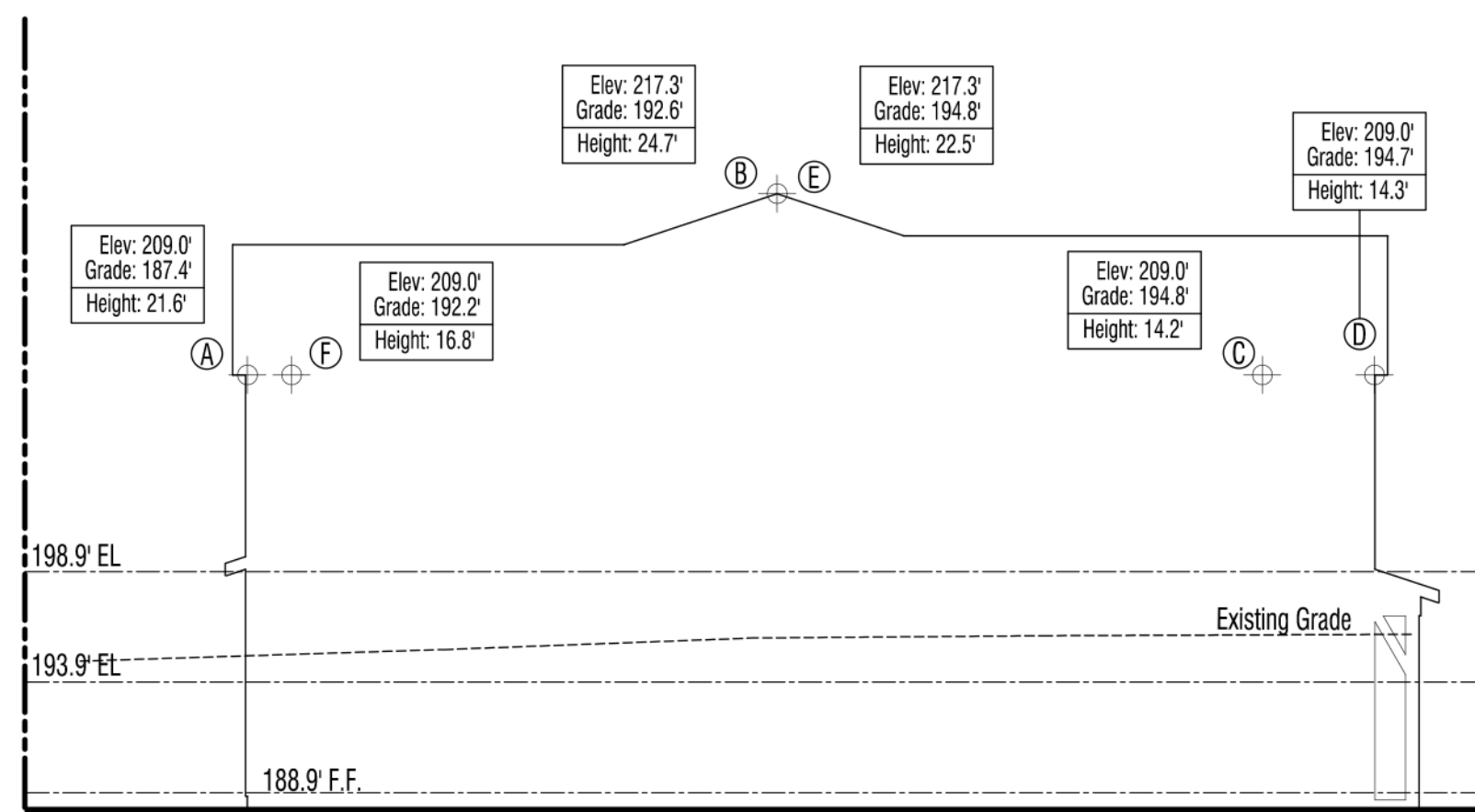
Roof Plan



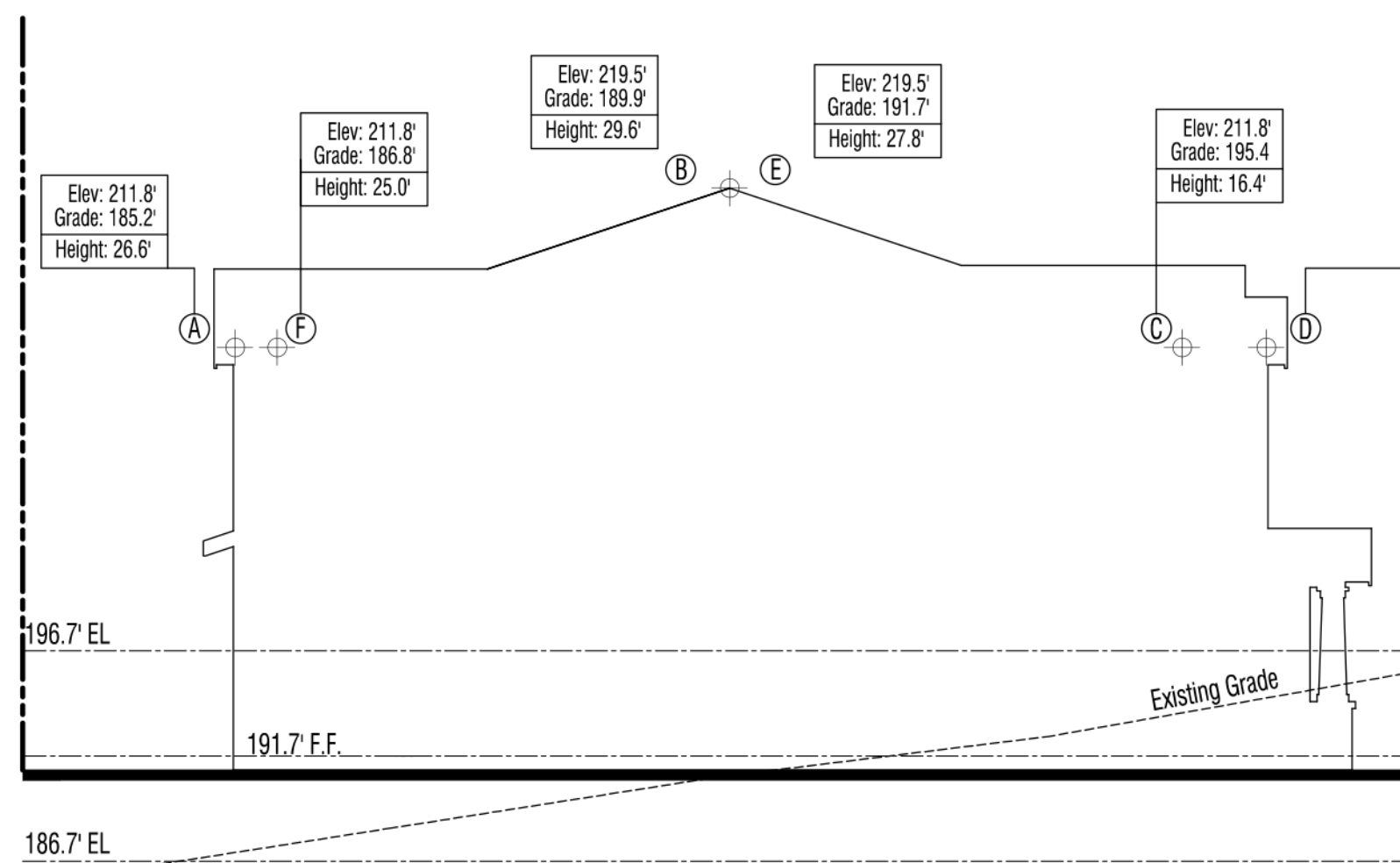
Roof Plan



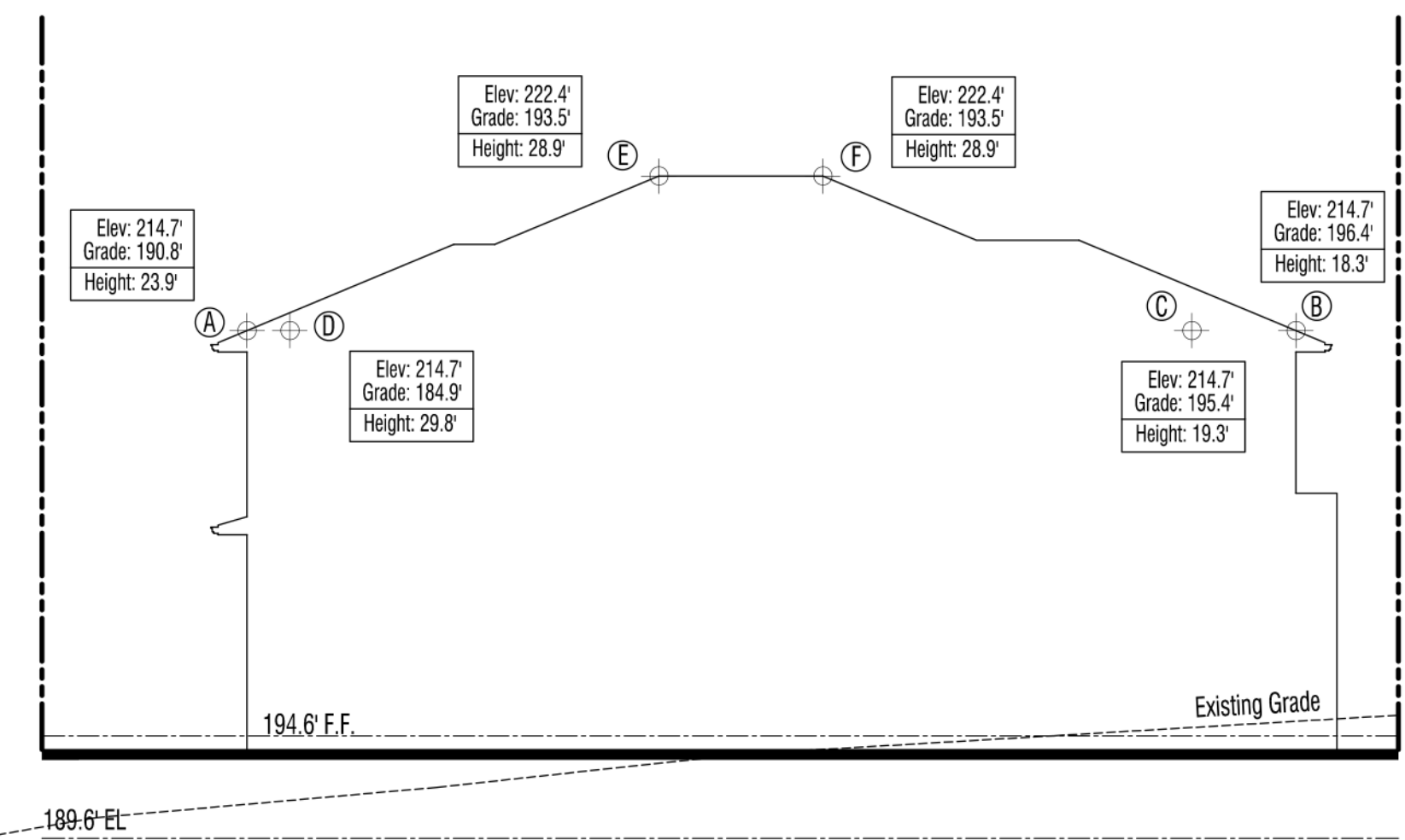
Roof Plan



Section



Section



Section

Lot 25 - Plan 2(R)
Elevation A - Farmhouse

Lot 26 - Plan 1(R)
Elevation B - Craftsman

Lot 27 - Plan 2(R)
Elevation C - Prairie

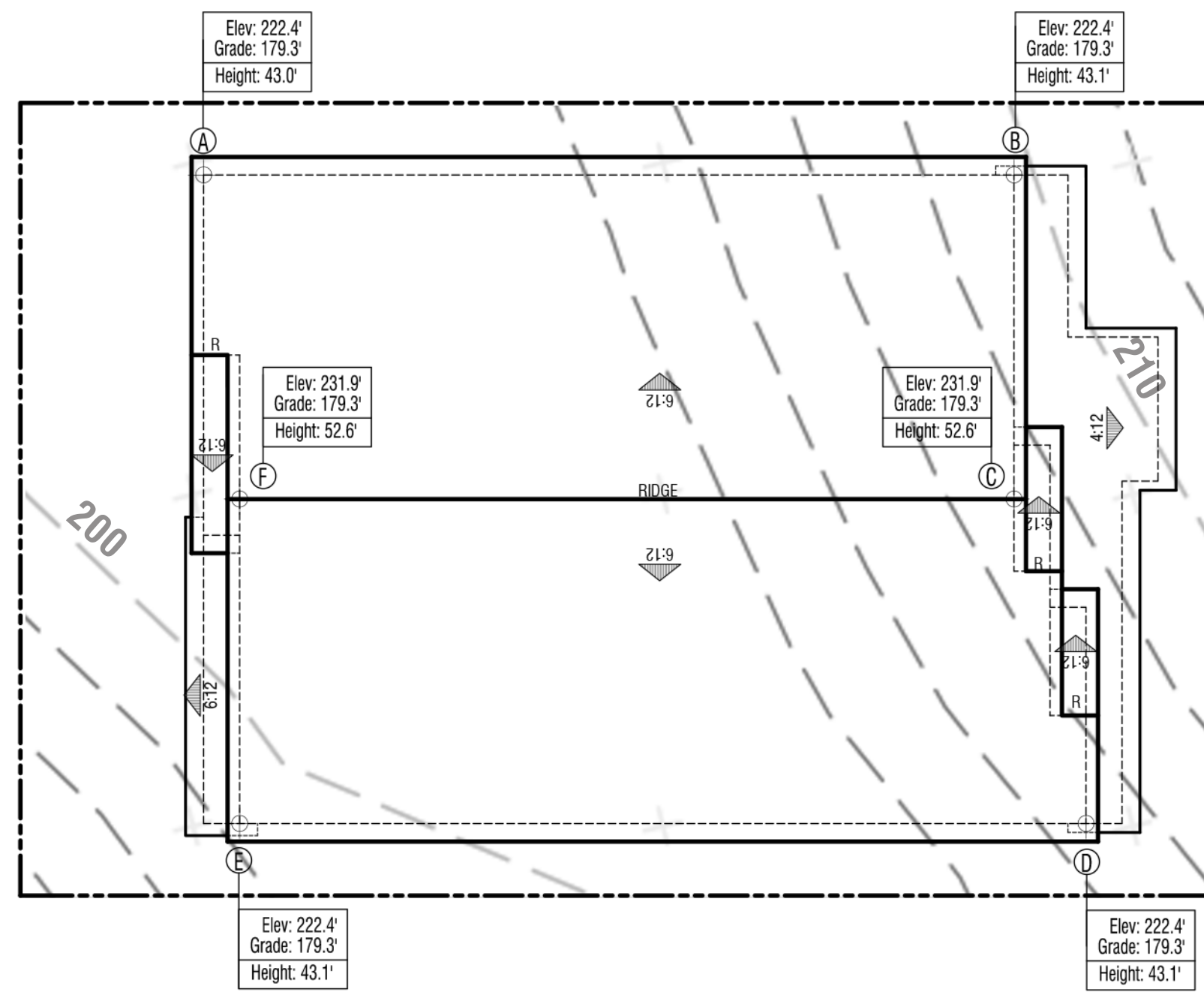
LEGEND

- ⊕ Elevation Height
- F.F. Finished Floor
- - - Existing Grade

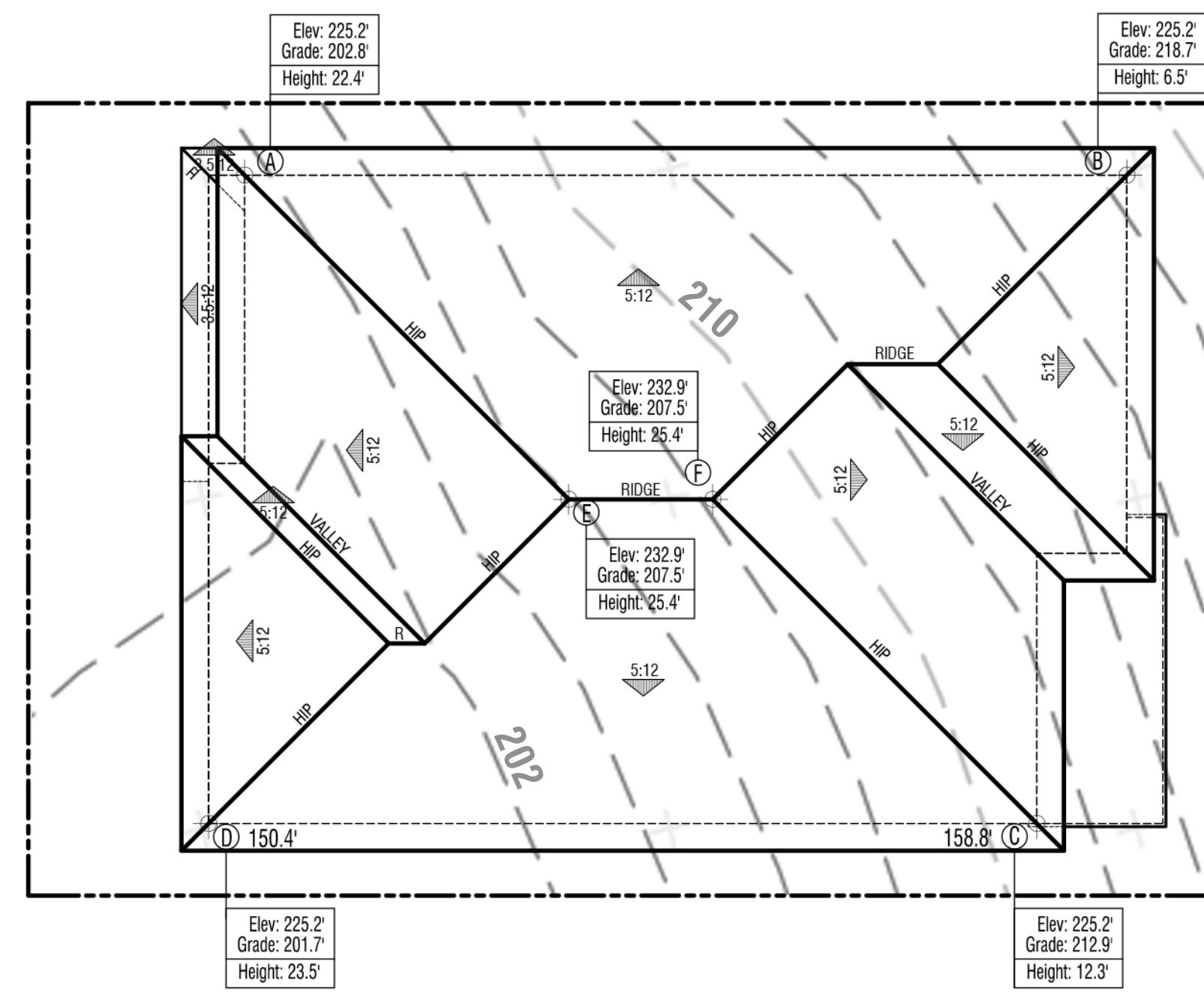
Building Height & Roof Cross Sections

Note: Mechanical equipment, vents, and ducts will be indicated at the construction document phase.

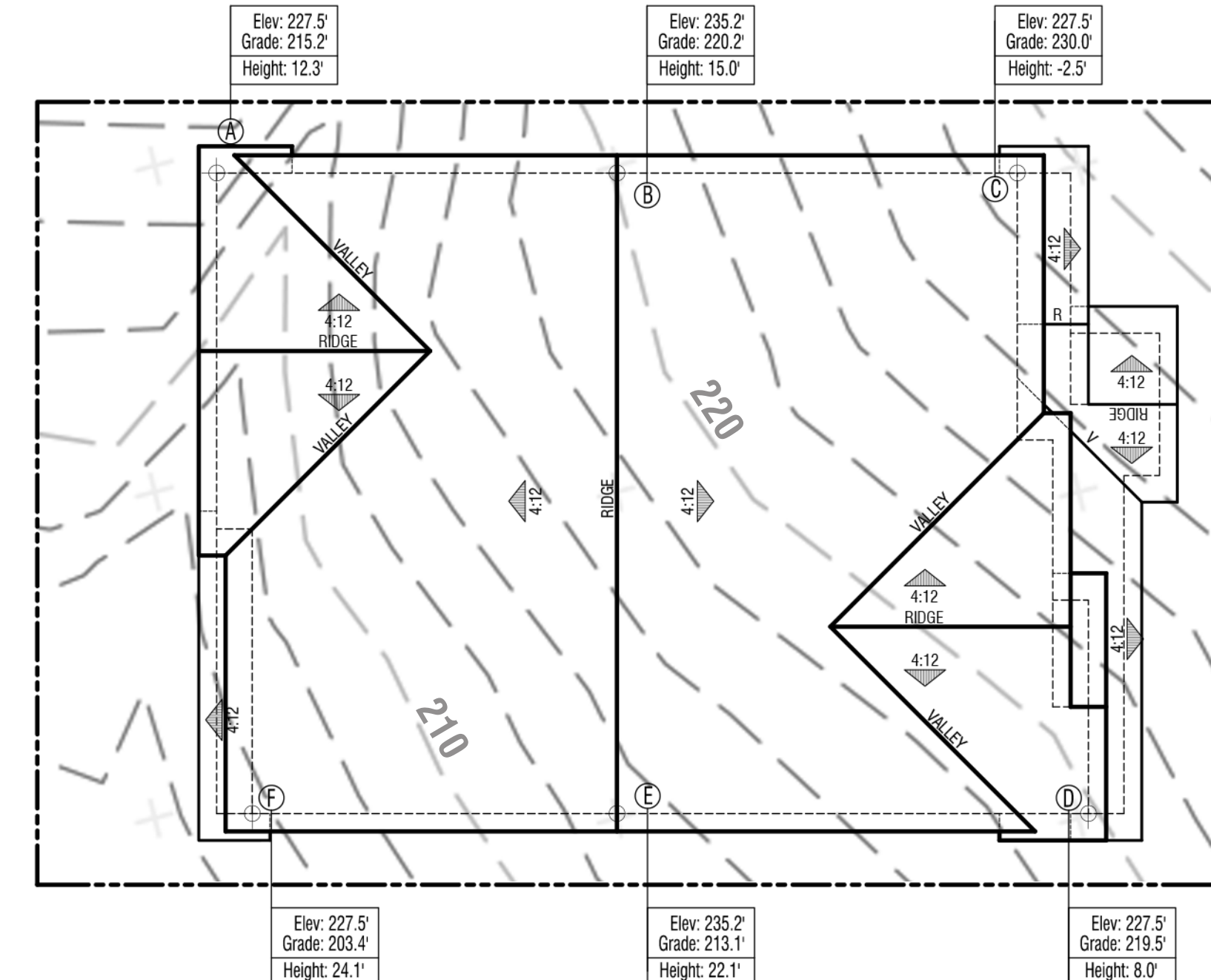
Note: A/C units shown on Floor Plan and Elevation sheets, typ.



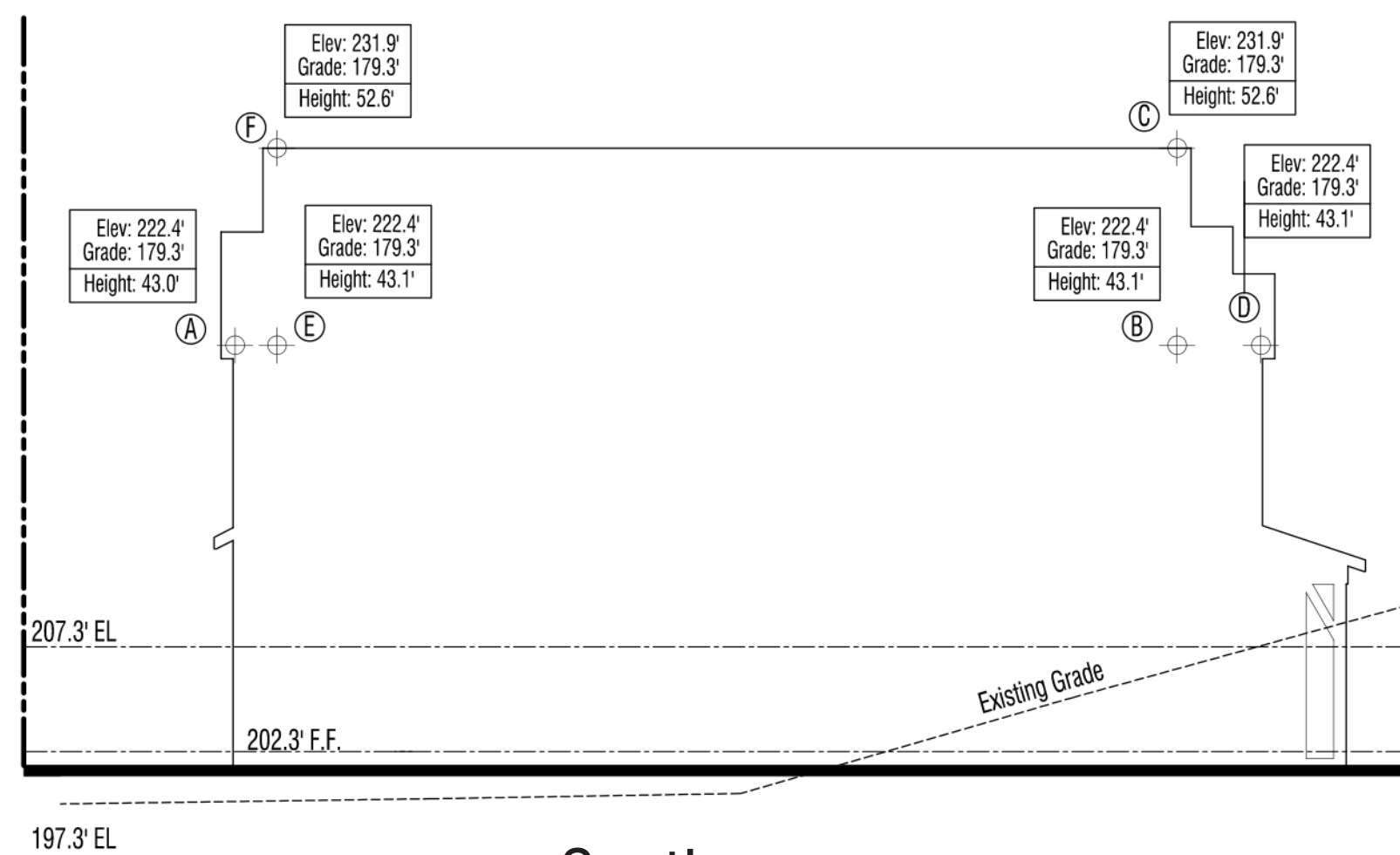
Roof Plan



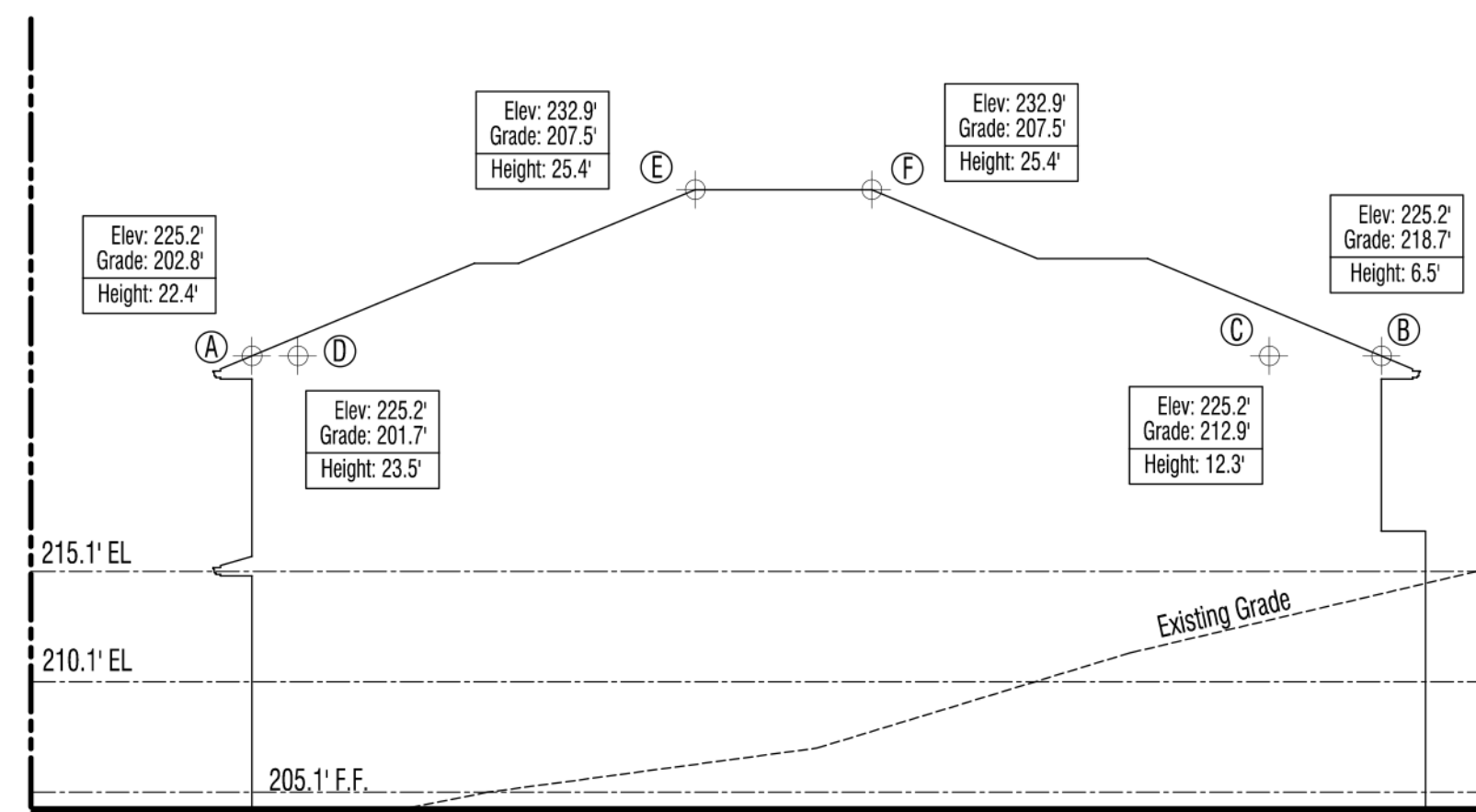
Roof Plan



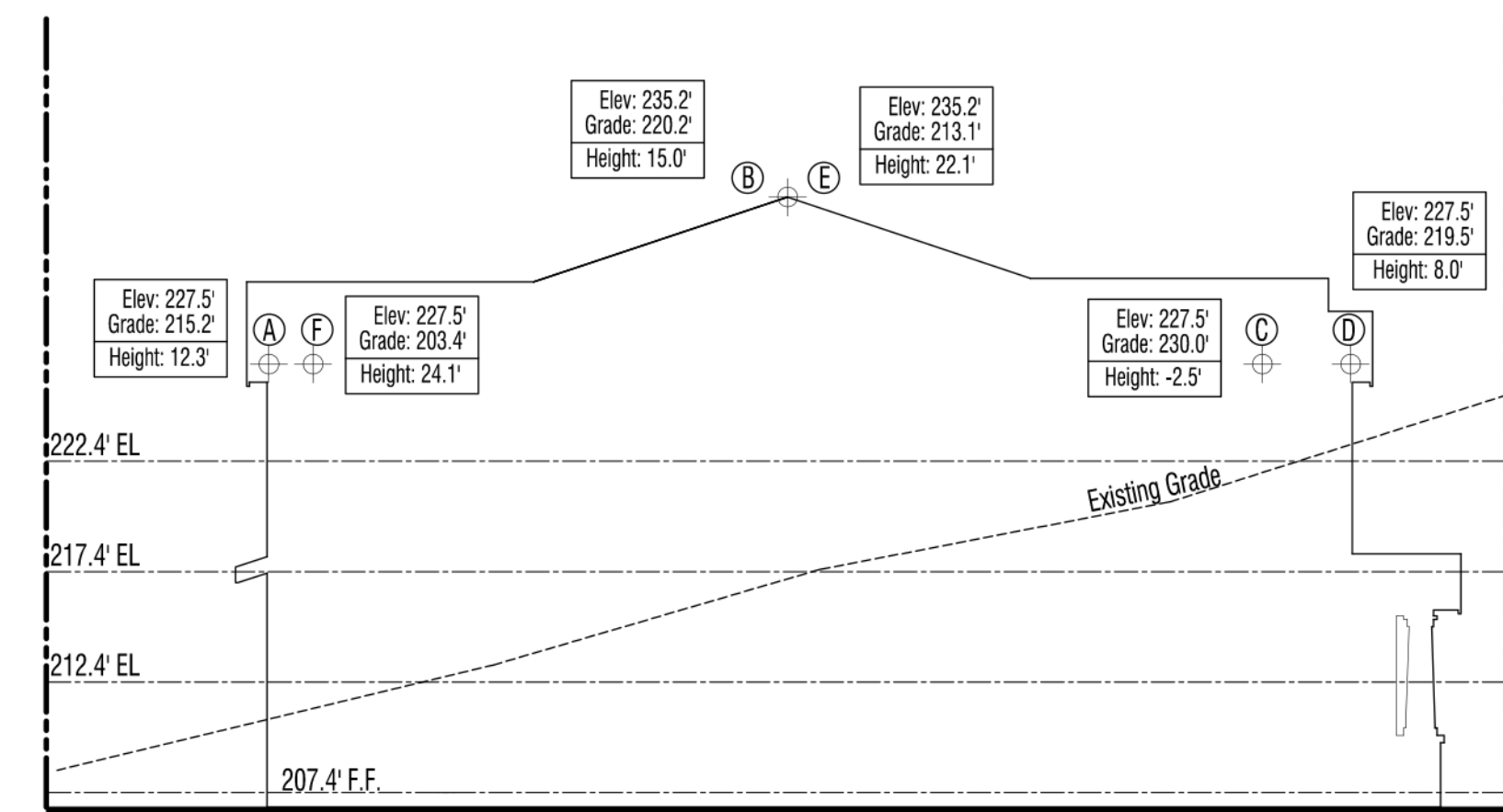
Roof Plan



Section



Section



Section

Lot 28 - Plan 1(R)
Elevation A - Farmhouse

Lot 29 - Plan 2(R)
Elevation C - Prairie

Lot 30 - Plan 1
Elevation B - Craftsman

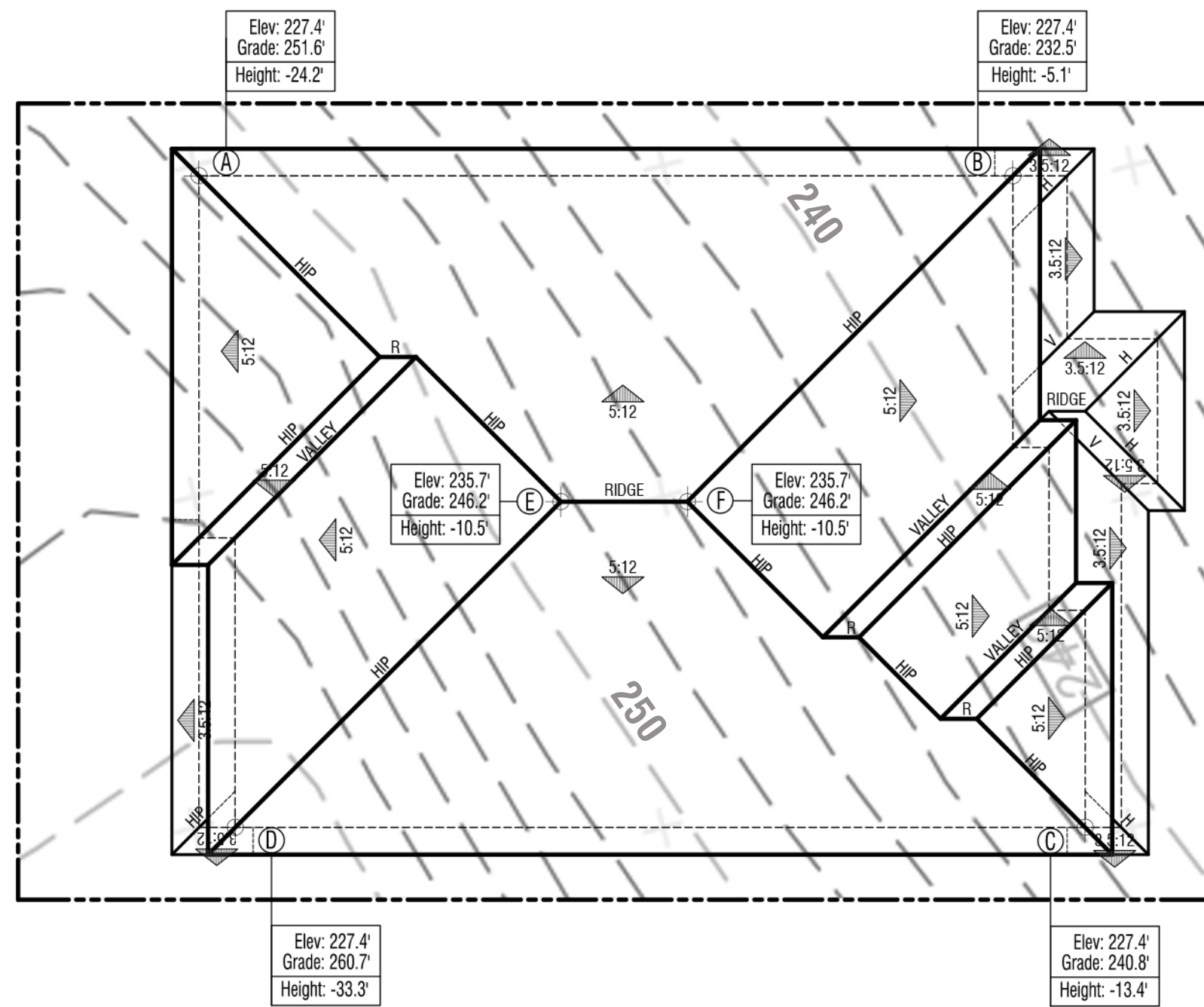
LEGEND

- ⊕ Elevation Height
- F.F. Finished Floor
- - - Existing Grade

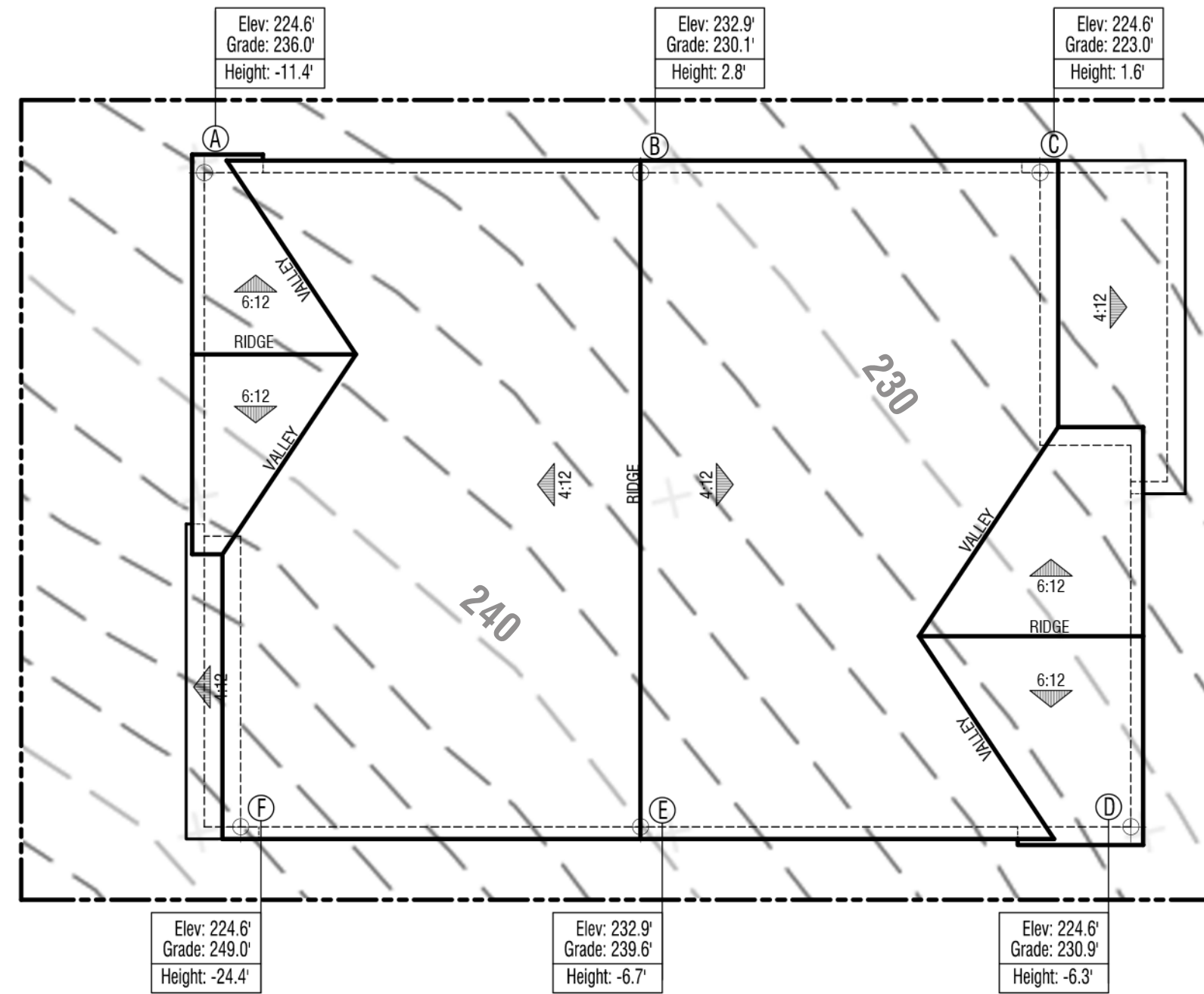
Building Height & Roof Cross Sections

Note: Mechanical equipment, vents, and ducts will be indicated at the construction document phase.

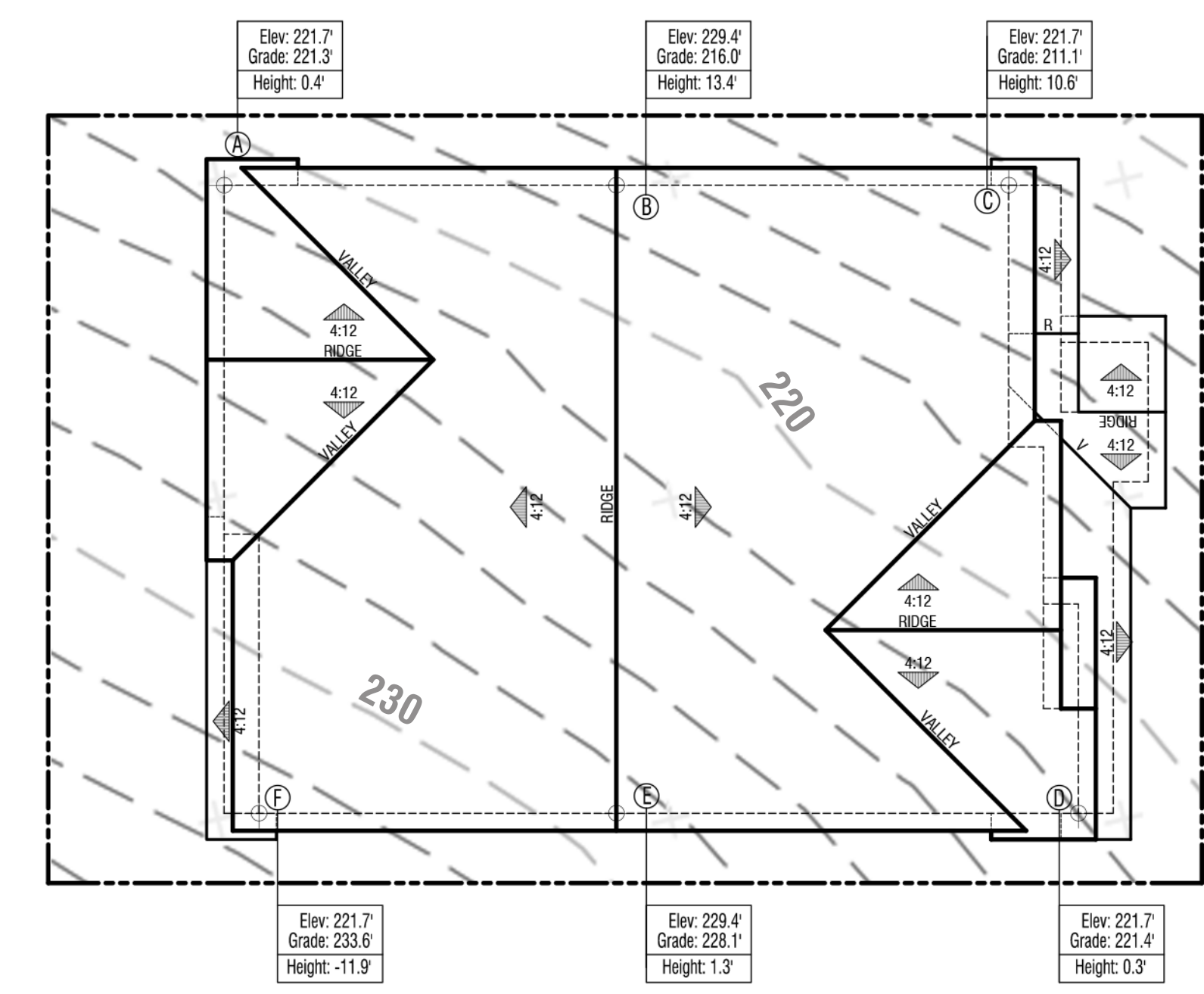
Note: A/C units shown on Floor Plan and Elevation sheets, typ.



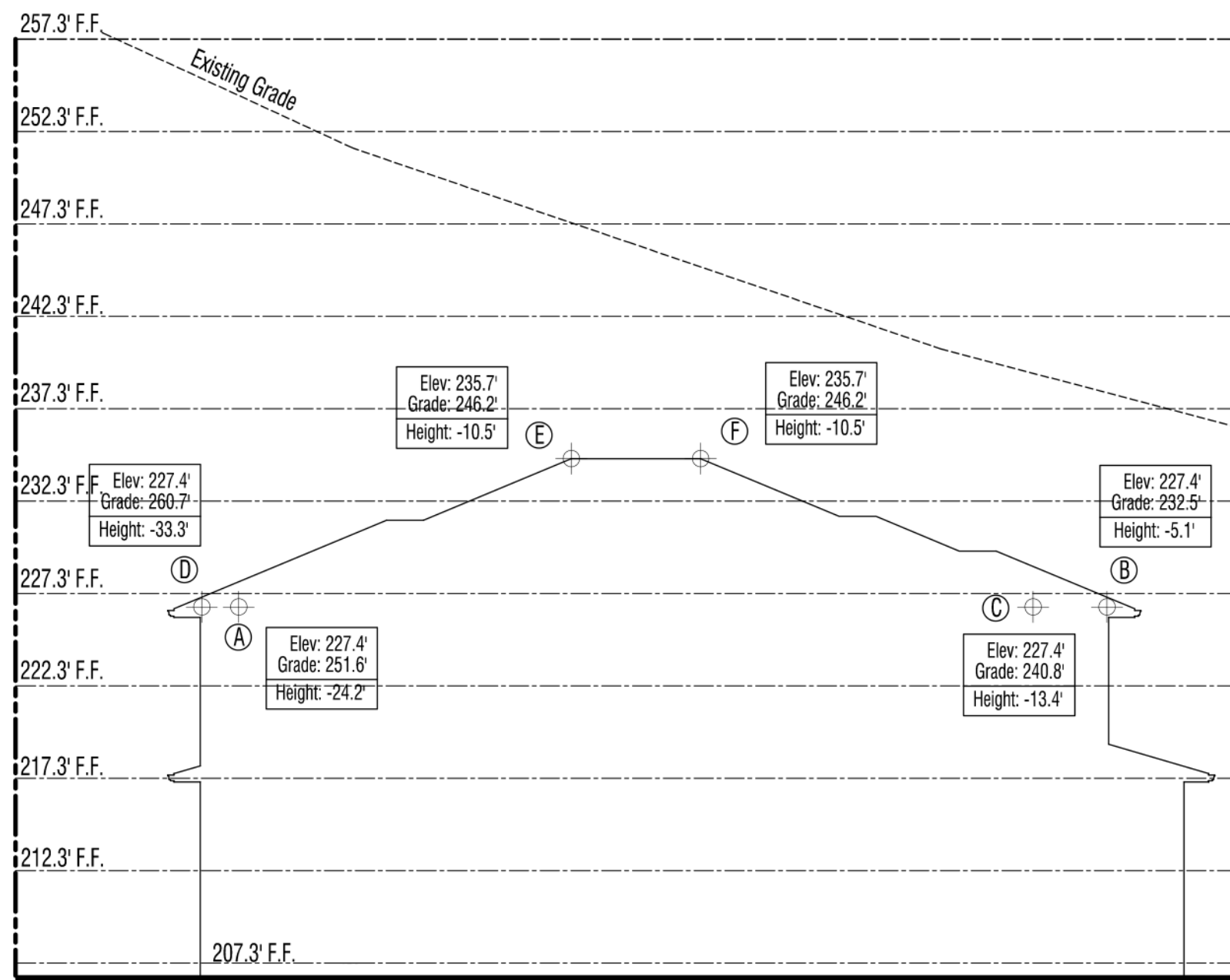
Roof Plan



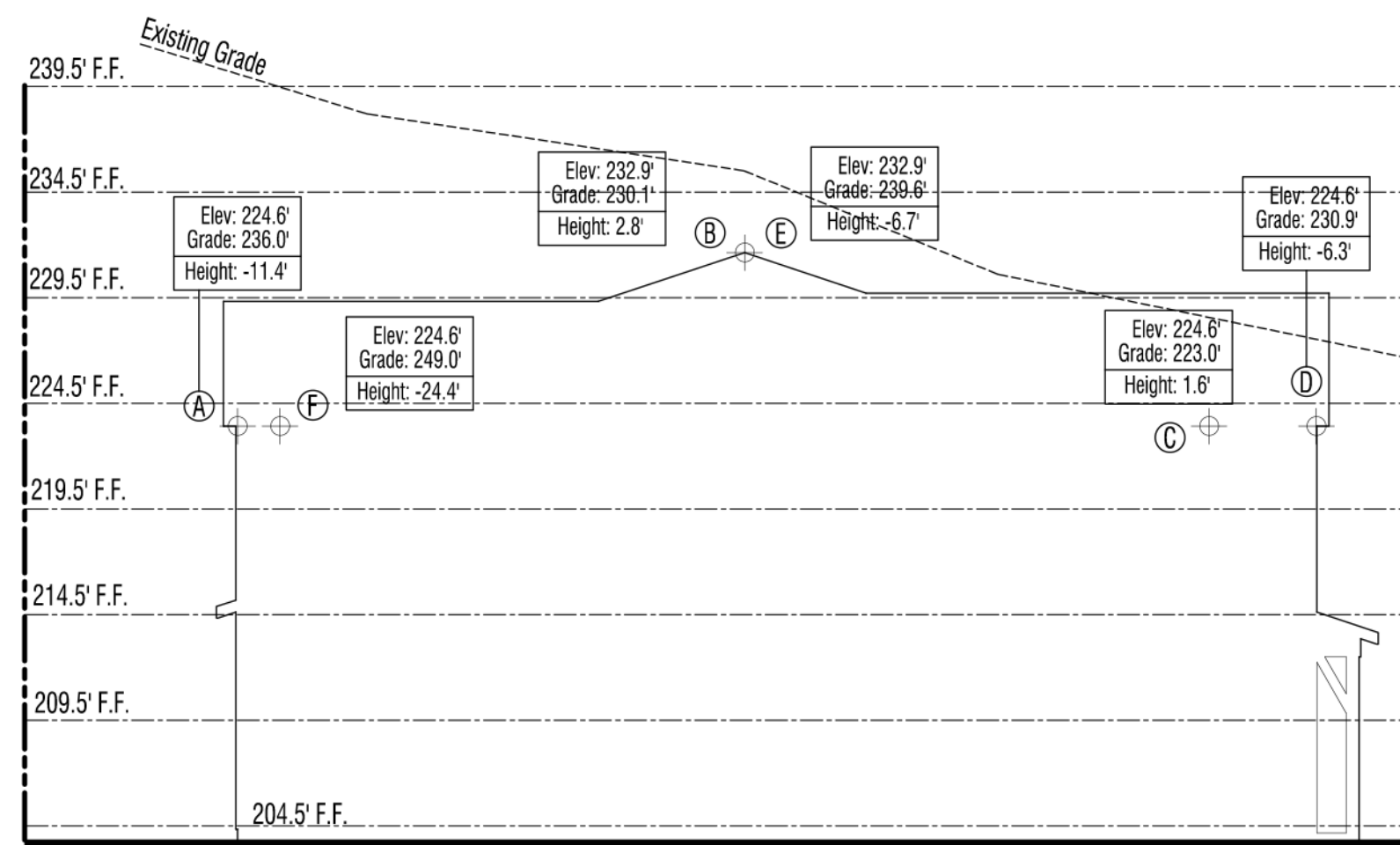
Roof Plan



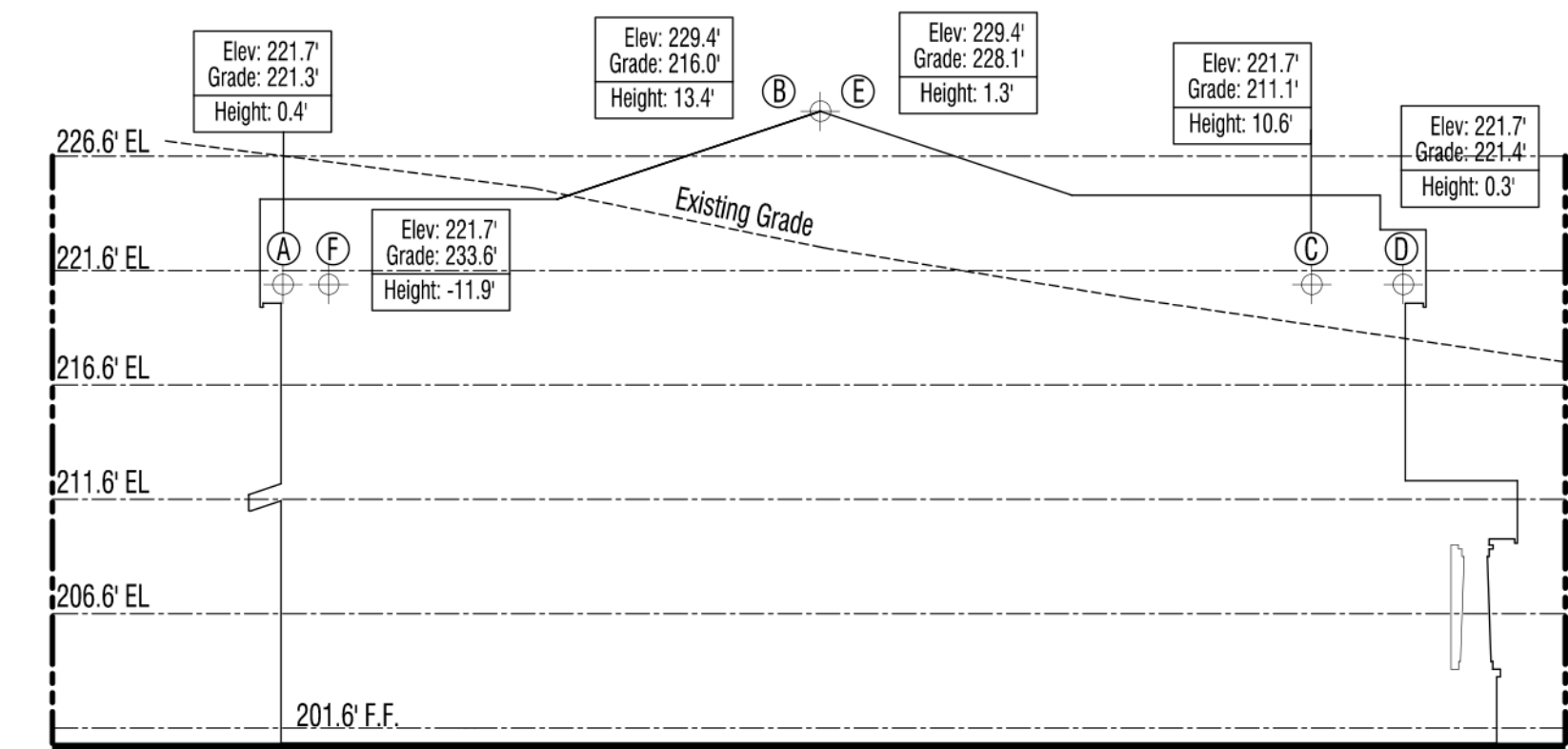
Roof Plan



Section



Section



Section

Lot 31 - Plan 1
Elevation C - Prairie

Lot 32 - Plan 2
Elevation A - Farmhouse

Lot 33 - Plan 1
Elevation B - Craftsman

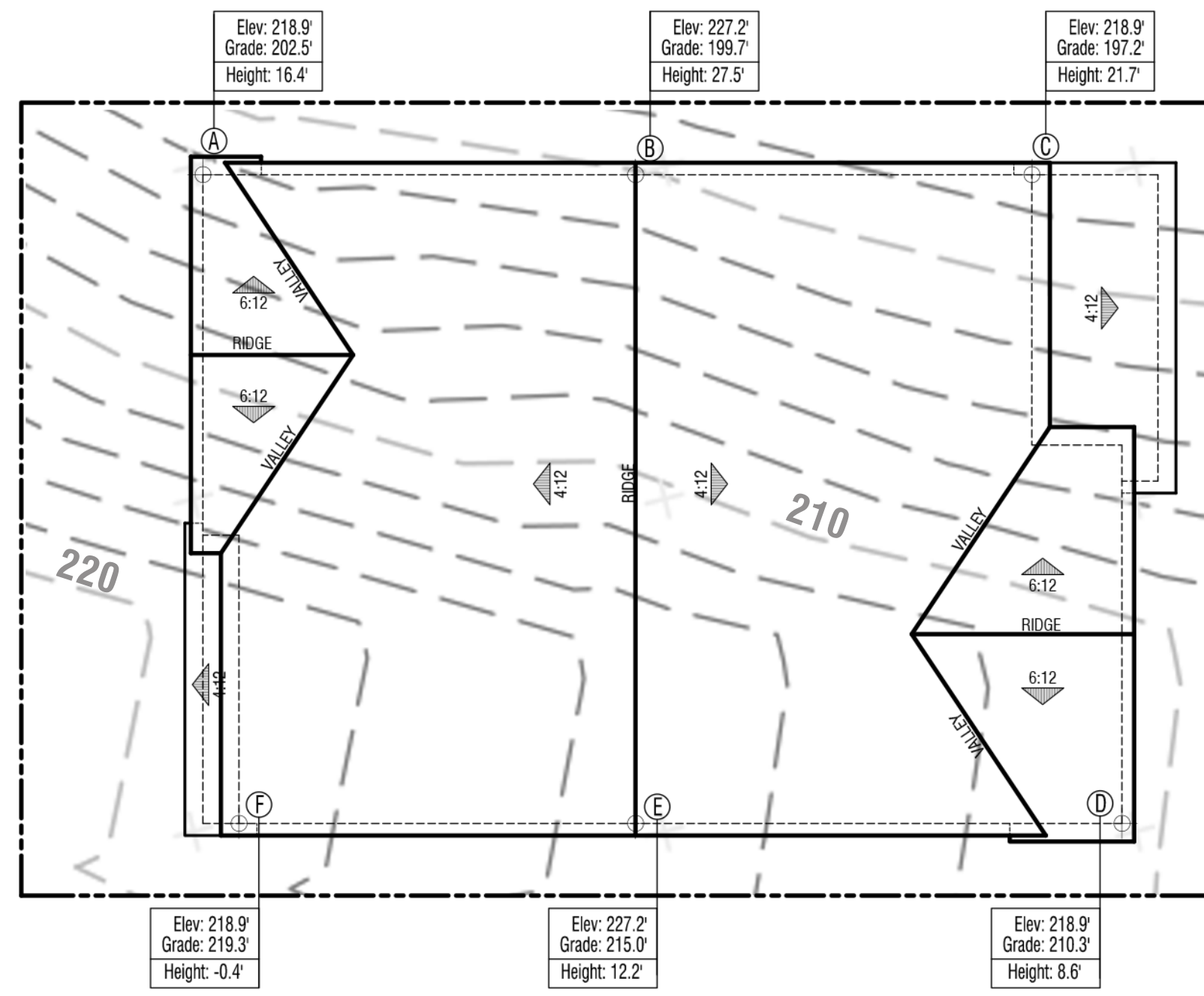
LEGEND

- ⊕ Elevation Height
- F.F. Finished Floor
- - - Existing Grade

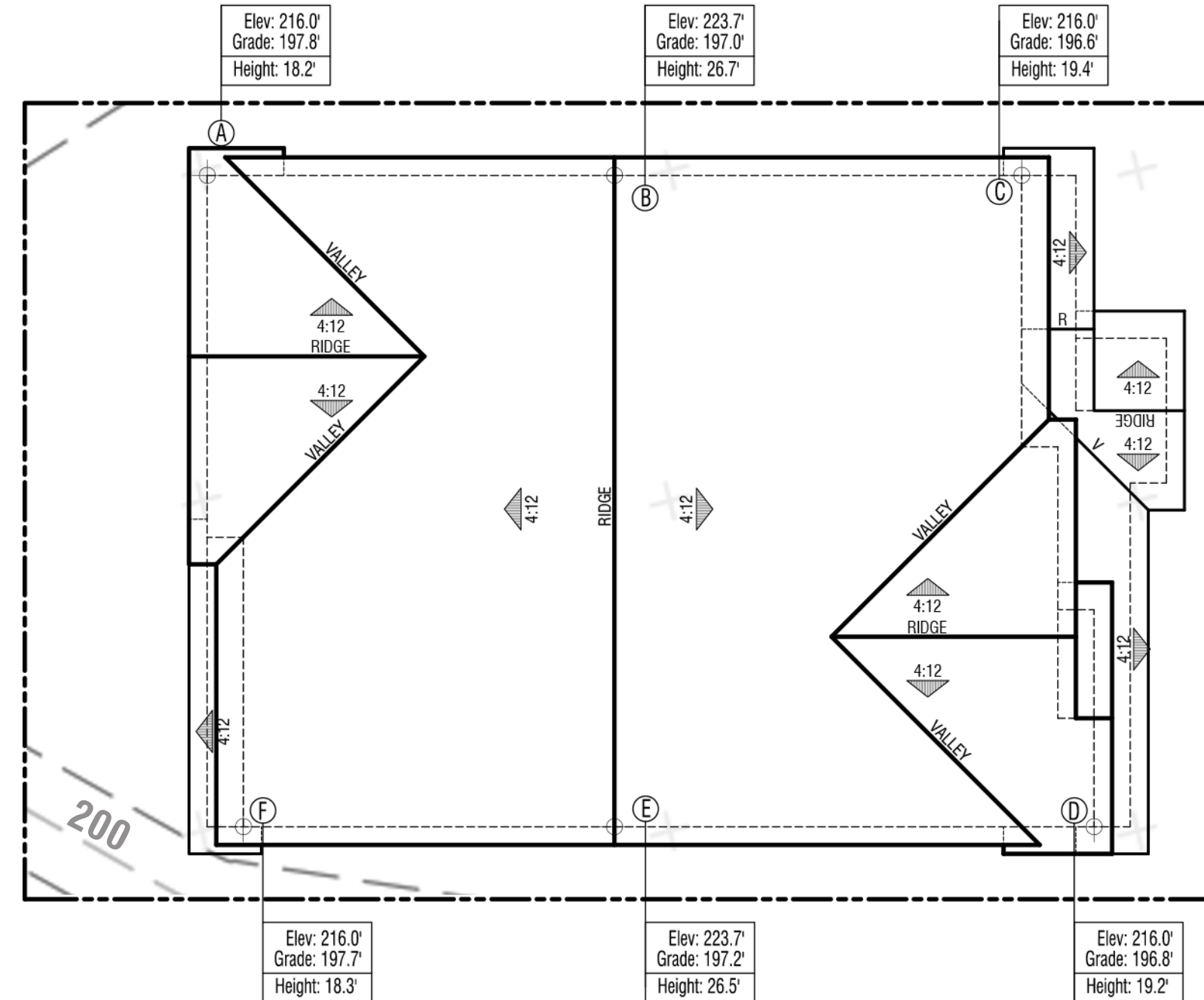
Building Height & Roof Cross Sections

Note: Mechanical equipment, vents, and ducts will be indicated at the construction document phase.

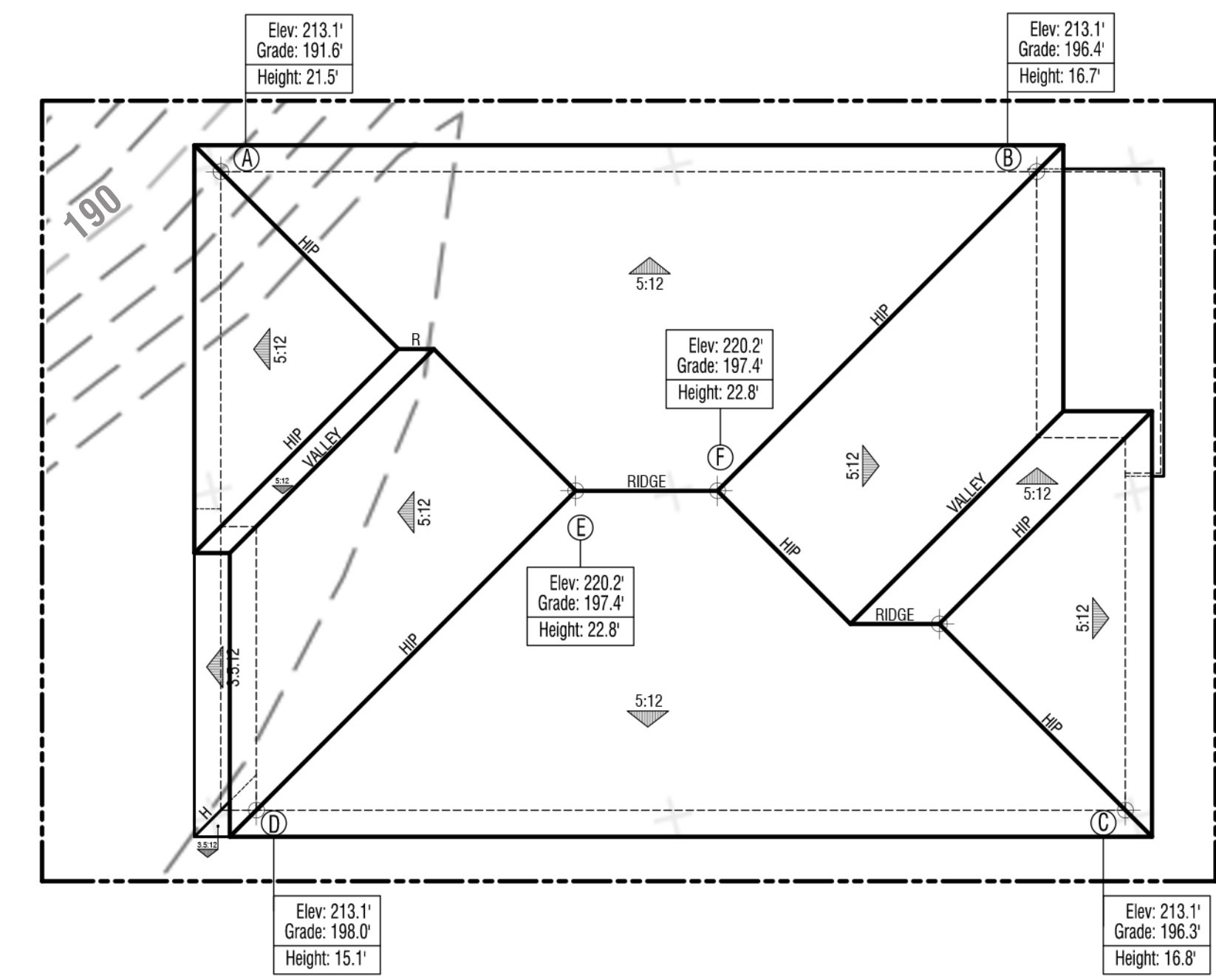
Note: A/C units shown on Floor Plan and Elevation sheets, typ.



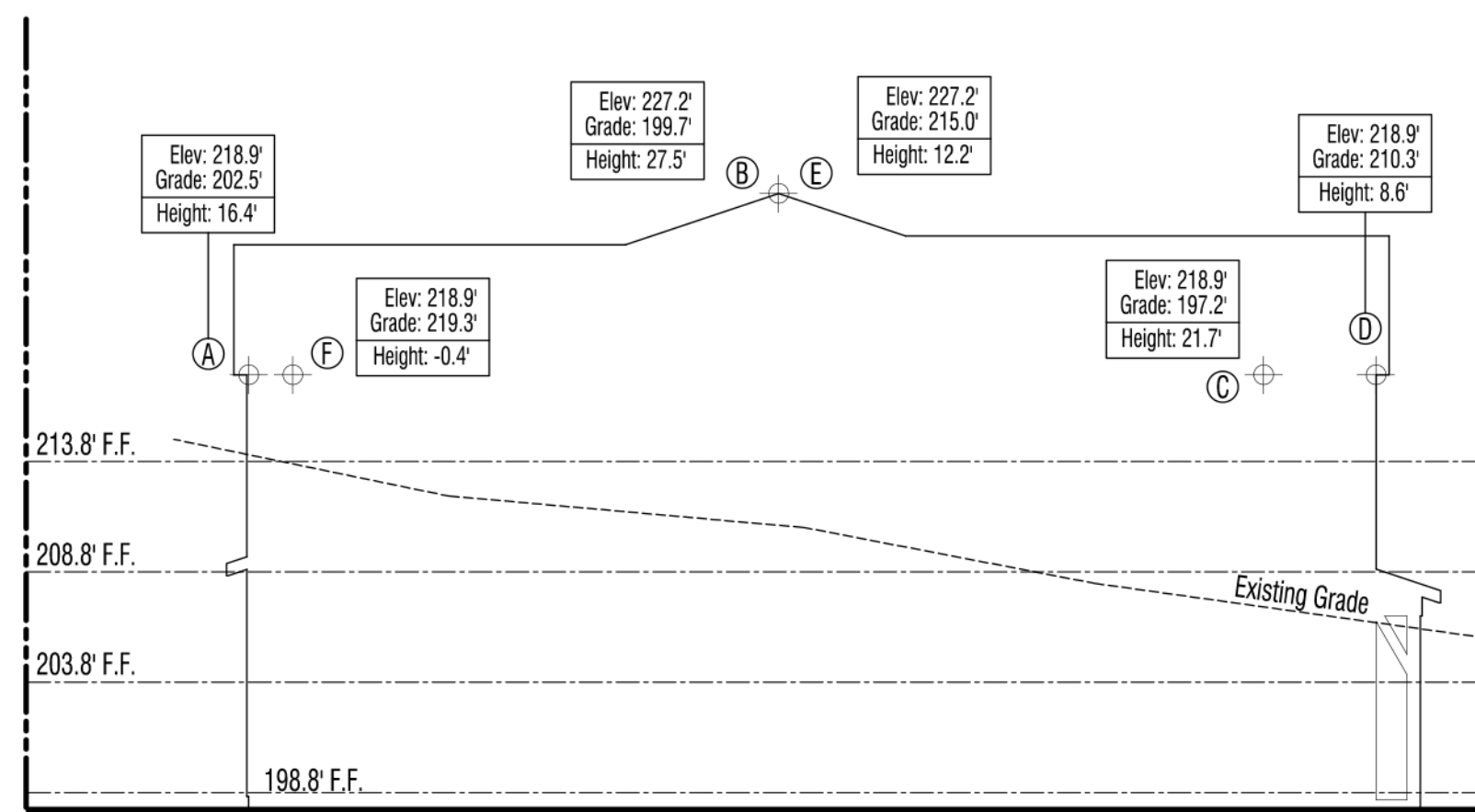
Roof Plan



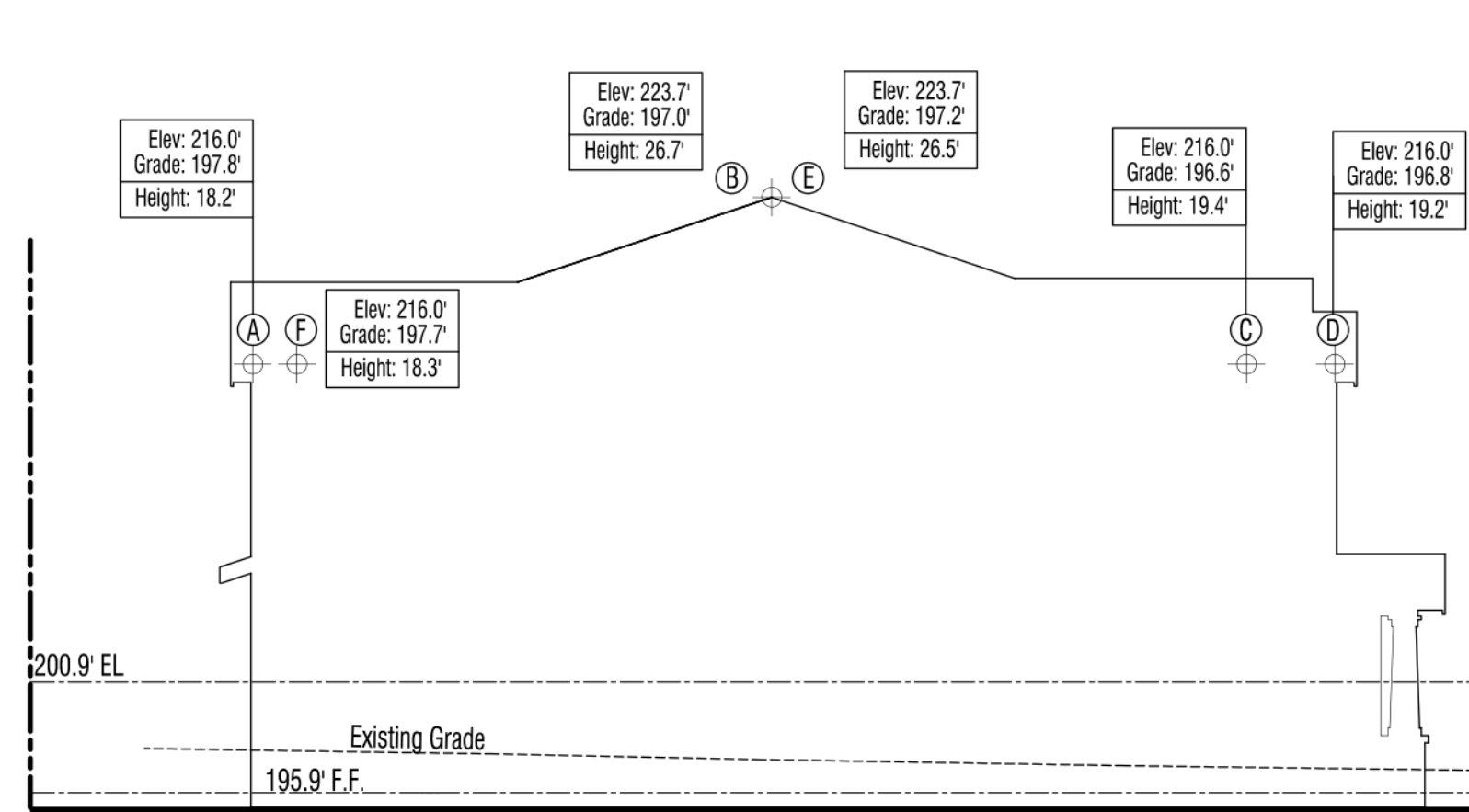
Roof Plan



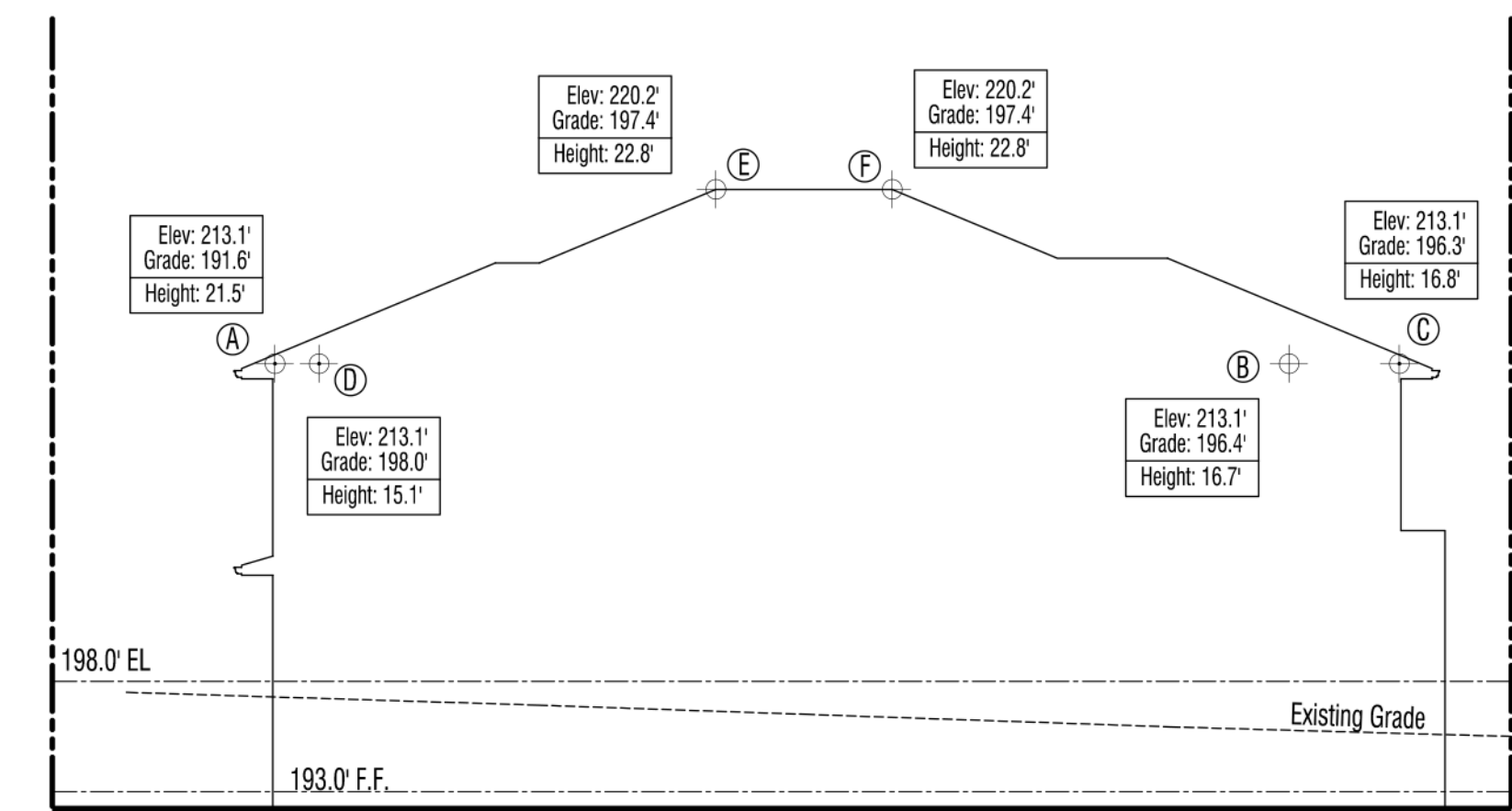
Roof Plan



Section



Section



Section

Lot 34 - Plan 2
Elevation A - Farmhouse

Lot 35 - Plan 1
Elevation B - Craftsman

Lot 36 - Plan 2
Elevation C - Prairie

LEGEND

- ⊕ Elevation Height
- F.F. Finished Floor
- - - Existing Grade

Building Height & Roof Cross Sections

Note: Mechanical equipment, vents, and ducts will be indicated at the construction document phase.

Note: A/C units shown on Floor Plan and Elevation sheets, typ.



Elevation A
Farmhouse

Manufacturer: John Timberland
Collection: Urban Barn
(One Light Outdoor Wall Lantern)
Product Number: 13F69
Finish: Black
Dimensions: W 10" x H 13"



Elevation B
Craftsman

Manufacturer: John Timberland
Collection: Cecile
(One Light Outdoor Wall Lantern)
Product Number: 79J60
Finish: Bronze Finish, Seeded Glass
Dimensions: W: 7-1/4" H 15"

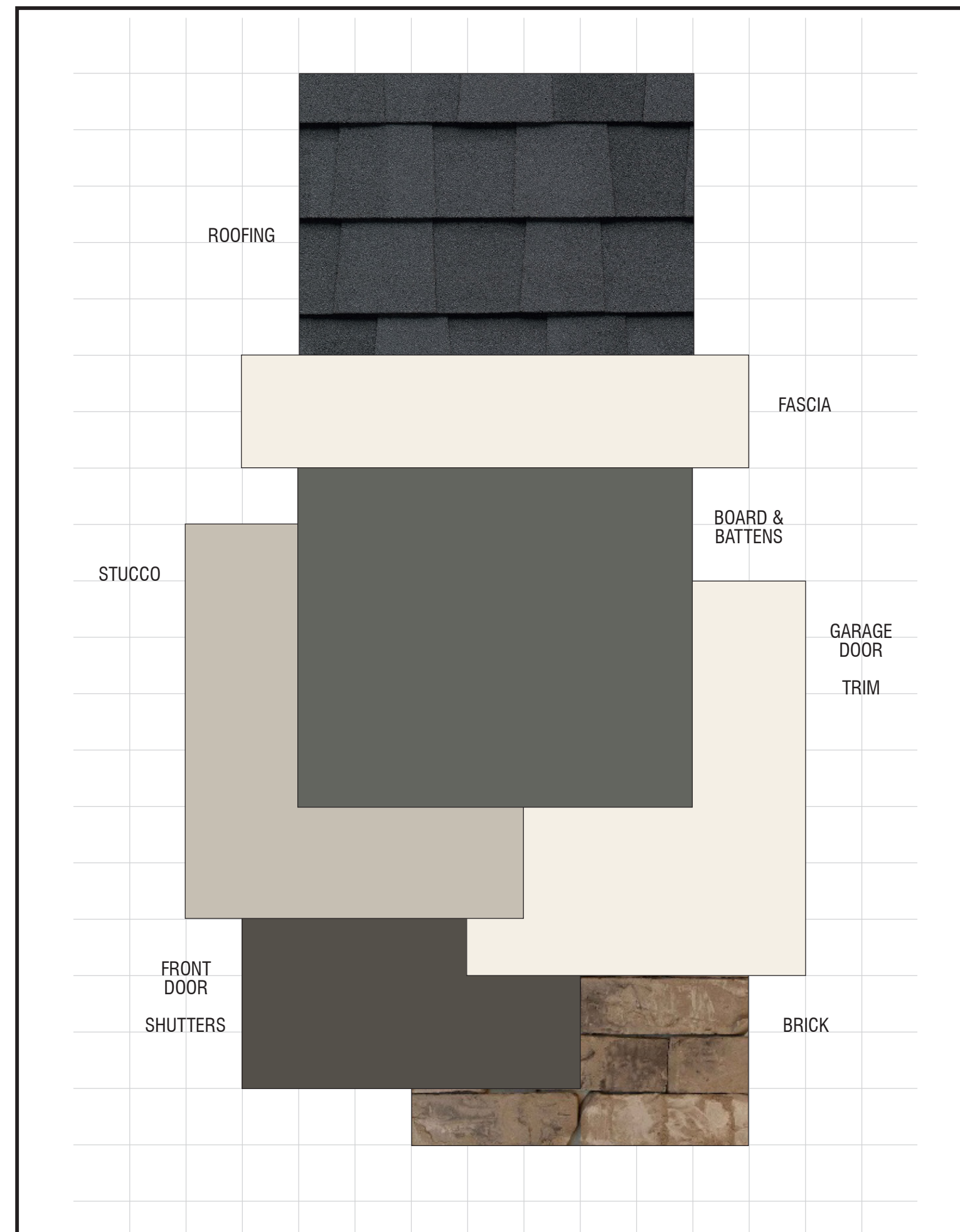


Elevations C
Prairie

Manufacturer: Possint
Collection: Euro Tyne
(One Light Outdoor Wall Lantern)
Product Number: 71N23
Finish: Bronze Finish, Seeded Glass
Dimensions: W 7" x H 20"

Exterior Light Fixtures

Color Scheme #1

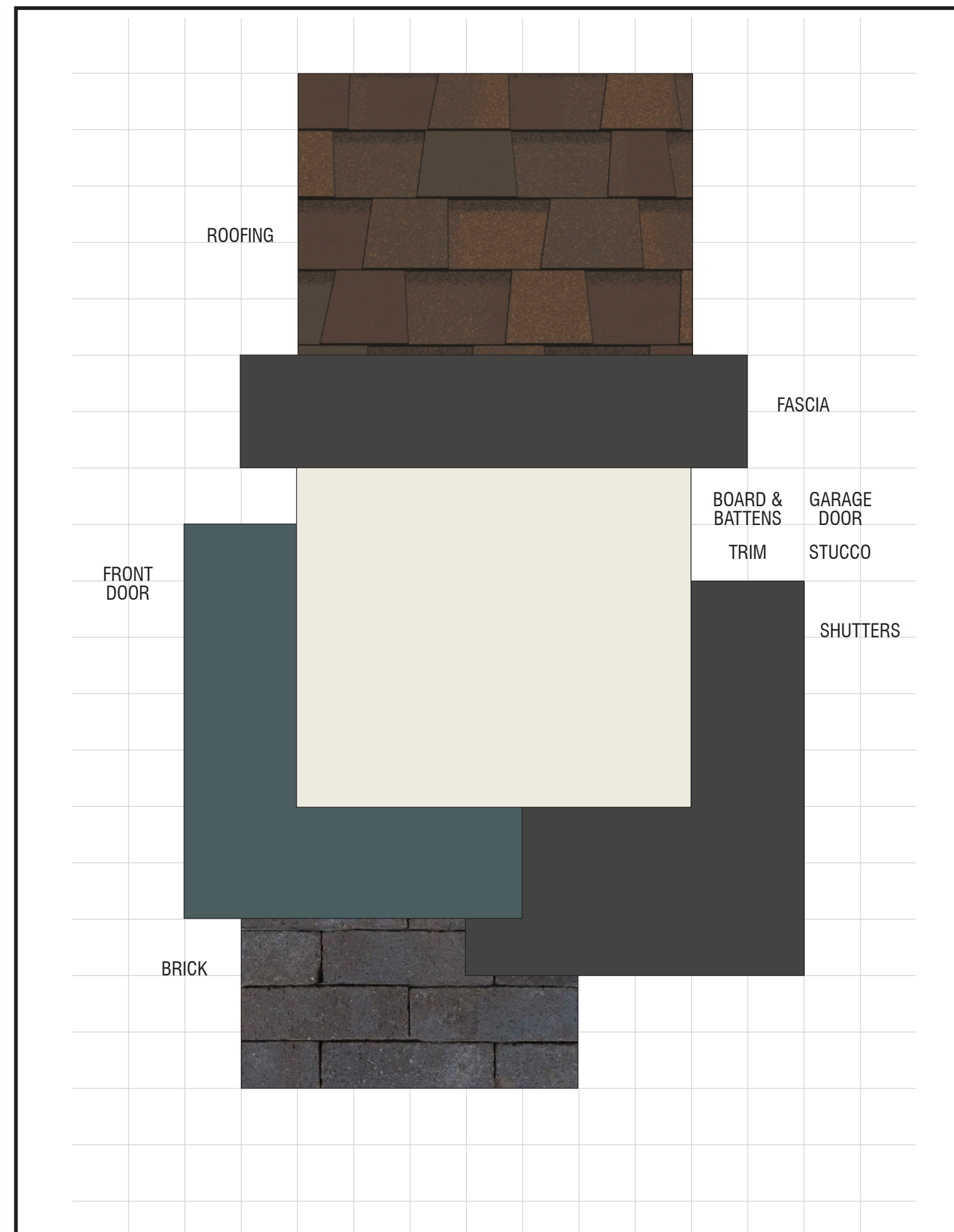


SCHEME 1 OF 9 'A' ELEVATIONS ONLY, FARMHOUSE

Material	Color	Manufacturer
Roofing: Composition Shingles	Solaris Moire Black Ref: 19 Emi: 91 A.SRI: 17 CRRC: 0668-0129	CertainTeed
Vinyl Windows (factory finish)	White	Milgard (or equal)
Brick (standard raked joints)	Coventry Standard Thin Brick	H.C. Muddox
Mortar @ Brick	Soft White	Orco
Gutters & Downspouts	Match Adjacent Color	Sherwin Williams
Corner Boards	Match Adjacent Color	Sherwin Williams
Stucco Color	SW 1015 Skyline Steel	Sherwin Williams
Siding Color (applied to): Board & Battens	SW 7061 Night Owl	Sherwin Williams
Trim Color (applied to): Barge Boards Eaves Fascia Garage Door Posts Trim	SW 7102 White Flour	Sherwin Williams
Accent Color (applied to): French Door (where applicable) Front Door Shutters	SW 7048 Urbane Bronze	Sherwin Williams
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Corie Rath (925) 463-1700. © 2023 WILLIAM HEZMALHALCH ARCHITECTS, INC. DBA WHA.

Color Scheme #2

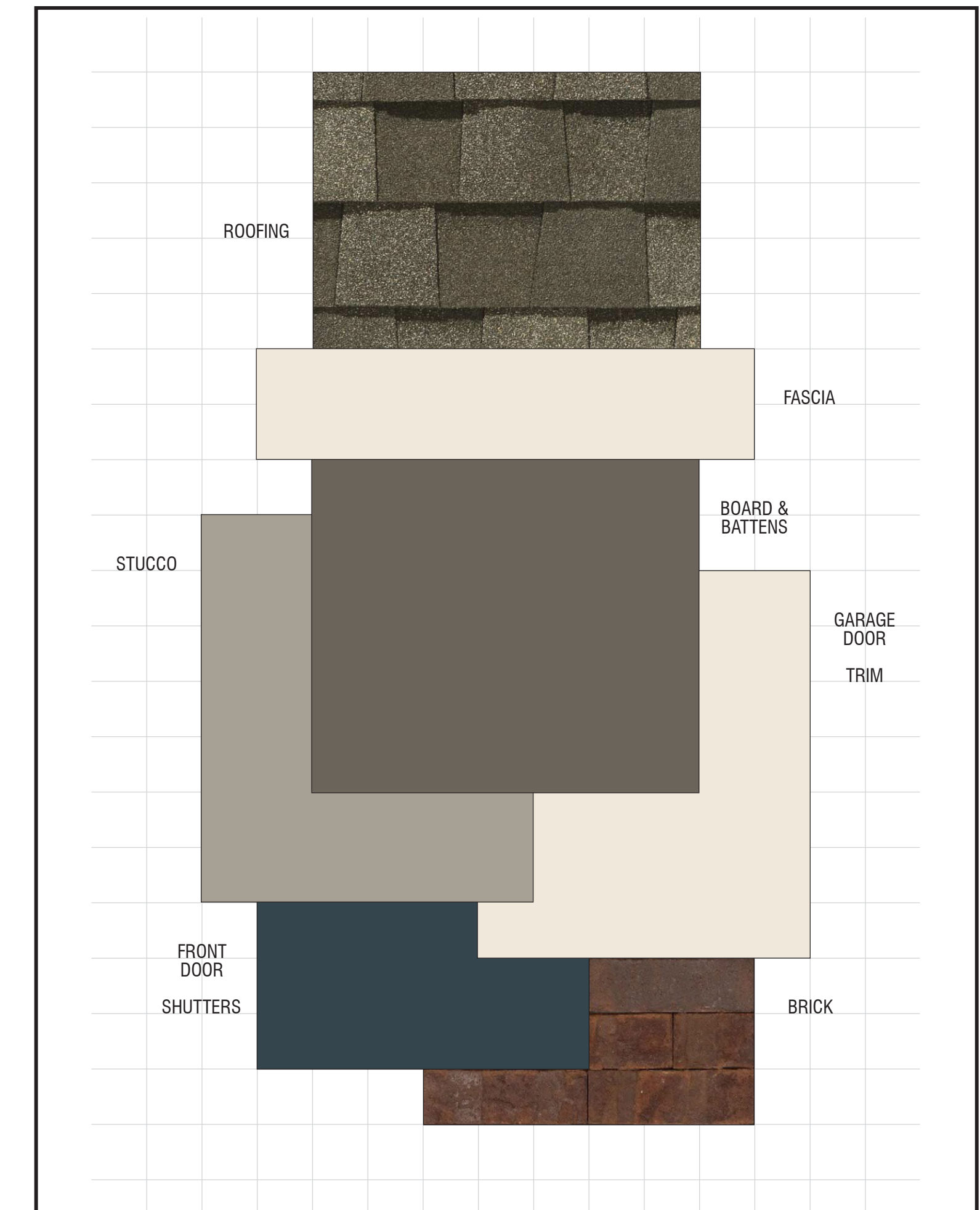


SCHEME 2 OF 9 'A' ELEVATIONS ONLY, FARMHOUSE

Material	Color	Manufacturer
Roofing: Composition Shingles	Solaris Heather Blend Ref: 20 Emi: 91 A.SRI: 20 CRRC: 0668-0117	CertainTeed
Vinyl Windows (factory finish)	White	Milgard (or equal)
Brick (standard raked joints)	Volcano Standard Thin Brick	H.C. Muddox
Mortar @ Brick	Soft White	Orco
Gutters & Downspouts	Match Adjacent Color	Sherwin Williams
Corner Boards	Match Adjacent Color	Sherwin Williams
Body Color (applied to): Board & Battens Garage Door Stucco Posts Trim	SW 7008 Alabaster	Sherwin Williams
Trim Color (applied to): Barge Boards Eaves Fascia French Door (where applicable) Shutters	SW 7069 Iron Ore	Sherwin Williams
Accent Color (applied to): Front Door	SW 6223 Still Water	Sherwin Williams
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Corie Rath (925) 463-1700. © 2023 WILLIAM HEZMALHALCH ARCHITECTS, INC. DBA WHA.

Color Scheme #3



SCHEME 3 OF 9 'A' ELEVATIONS ONLY, FARMHOUSE

Material	Color	Manufacturer
Roofing: Composition Shingles	Solaris Weathered Wood Ref: 20 Emi: 91 A.SRI: 21 CRRC: 0668-0119	CertainTeed
Vinyl Windows (factory finish)	White	Milgard (or equal)
Brick (standard raked joints)	Mendocino Standard Thin Brick	H.C. Muddox
Mortar @ Brick	Soft White	Orco
Gutters & Downspouts	Match Adjacent Color	Sherwin Williams
Corner Boards	Match Adjacent Color	Sherwin Williams
Stucco Color	SW 7640 Fawn Brindle	Sherwin Williams
Siding Color (applied to): Board & Battens	SW 7047 Porpoise	Sherwin Williams
Trim Color (applied to): Barge Boards Eaves Fascia French Door (where applicable) Garage Door Posts Trim	SW 7012 Creamy	Sherwin Williams
Accent Color (applied to): Front Door Shutters	SW 7605 Gale Force	Sherwin Williams
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Corie Rath (925) 463-1700. © 2023 WILLIAM HEZMALHALCH ARCHITECTS, INC. DBA WHA.

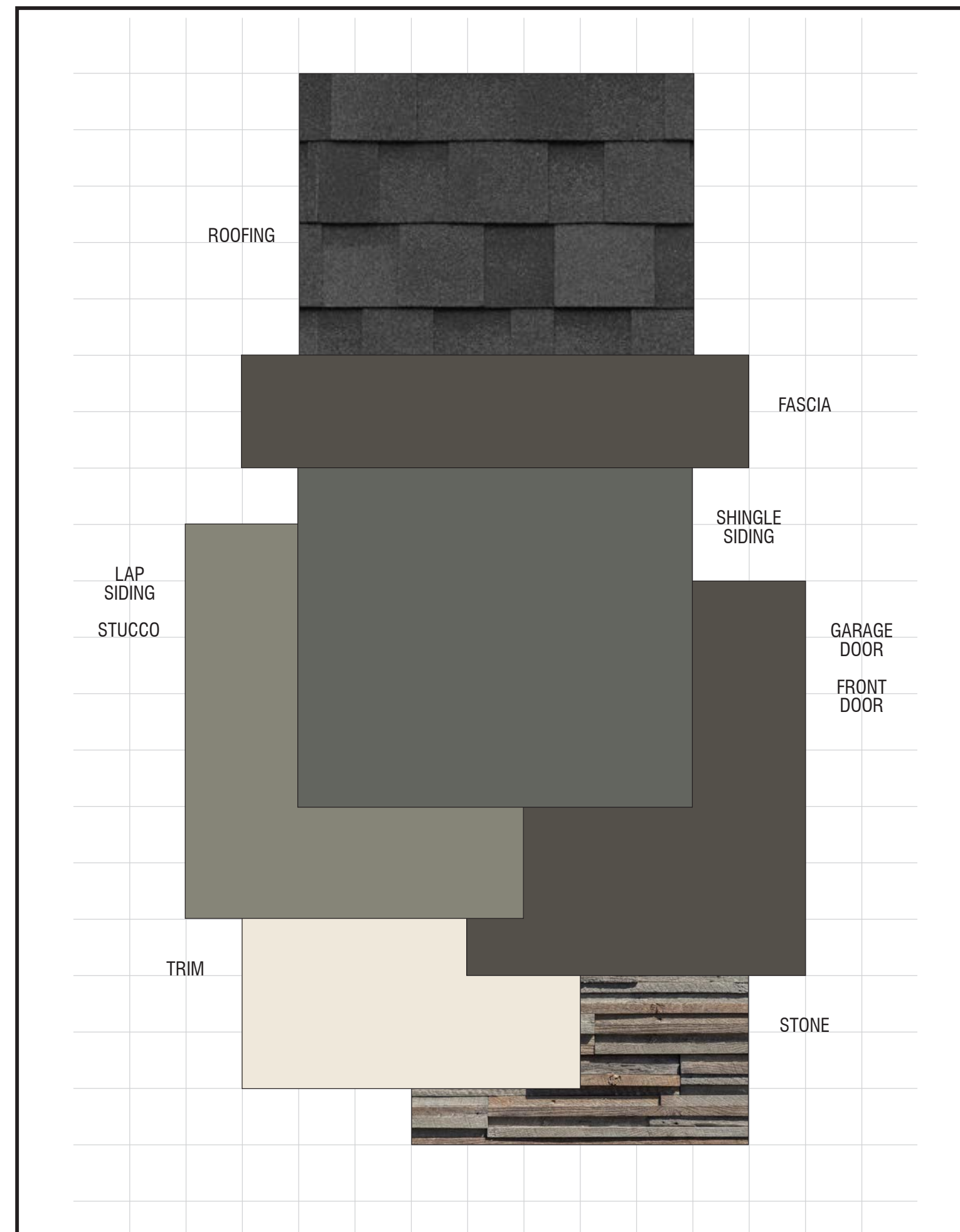
Exterior Color and Materials

Elevation A - Farmhouse

REVISIONS:

Number	Date	Description
1	11/14/23	Client name update, Roofing material update.

Color Scheme #4

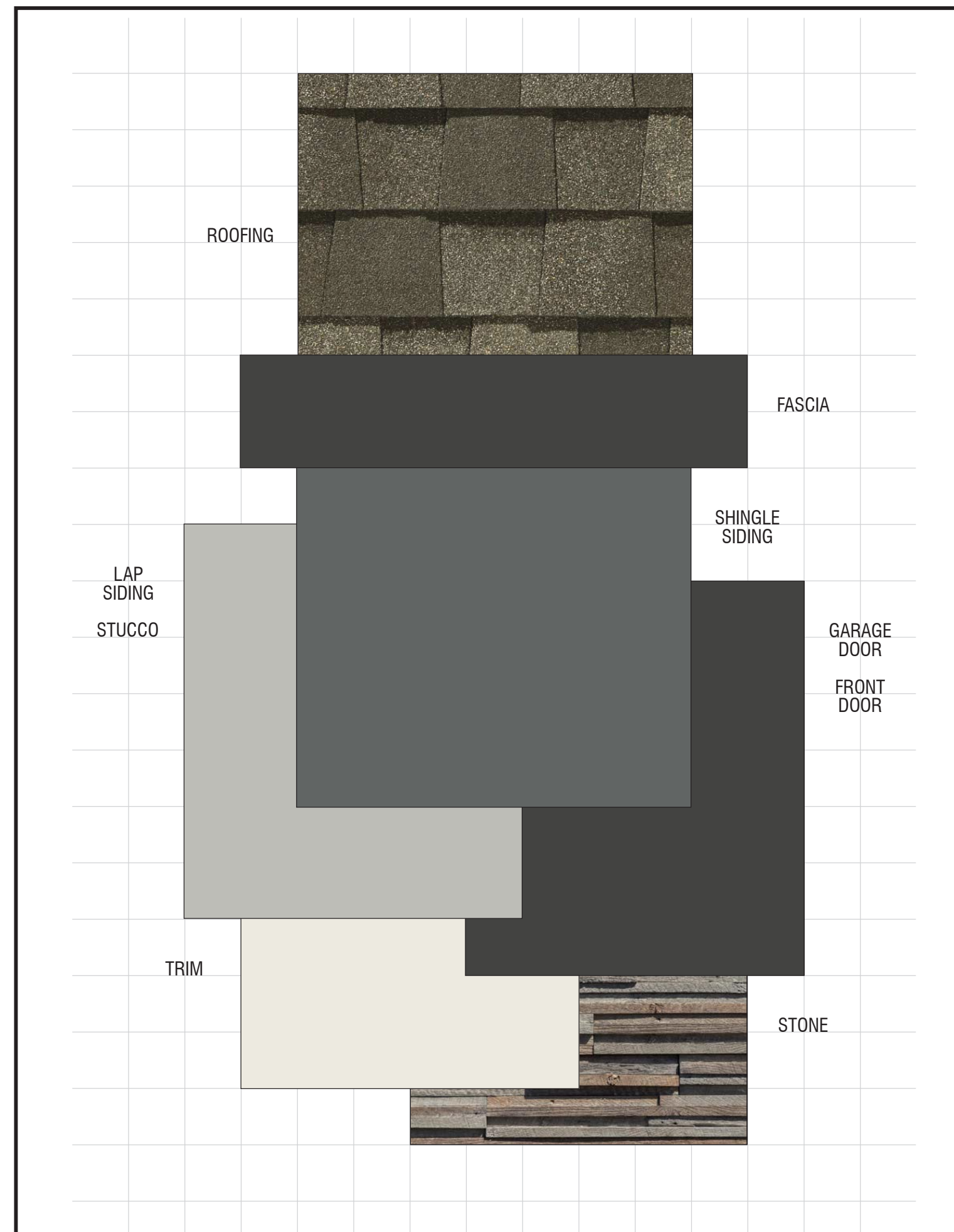


SCHEME 4 OF 9 'B' ELEVATIONS ONLY, CRAFTSMAN

Material	Color	Manufacturer
Roofing: 1Composition Shingles	1Solaris Graphite Ref: 21 Emi: 91 A.SRI: 21 CRRC: 0668-0155	1CertainTeed
Vinyl Windows (factory finish)	White	Milgard (or equal)
Manufactured Stone (dry stack joints)	Shelter Cove Rivenwood	Eldorado
Gutters & Downspouts	Match Adjacent Color	Sherwin Williams
Corner Boards	Match Adjacent Color	Sherwin Williams
Siding Color #1 (applied to): Shingle Siding	SW 7061 Night Owl	Sherwin Williams
Siding Color #2 (applied to): Lap Siding Stucco	SW 7743 Mountain Road	Sherwin Williams
Trim Color (applied to): Barge Boards Corbels Eaves Fascia French Door (where applicable) Front Door Garage Door	SW 7048 Urbane Bronze	Sherwin Williams
Trim Color #2 (applied to): Columns Gable Siding Trim	SW 7012 Creamy	Sherwin Williams
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Corie Rath (925) 463-1700. © 2023 WILLIAM HEZMALHALCH ARCHITECTS, INC. DBA WHA.

Color Scheme #5

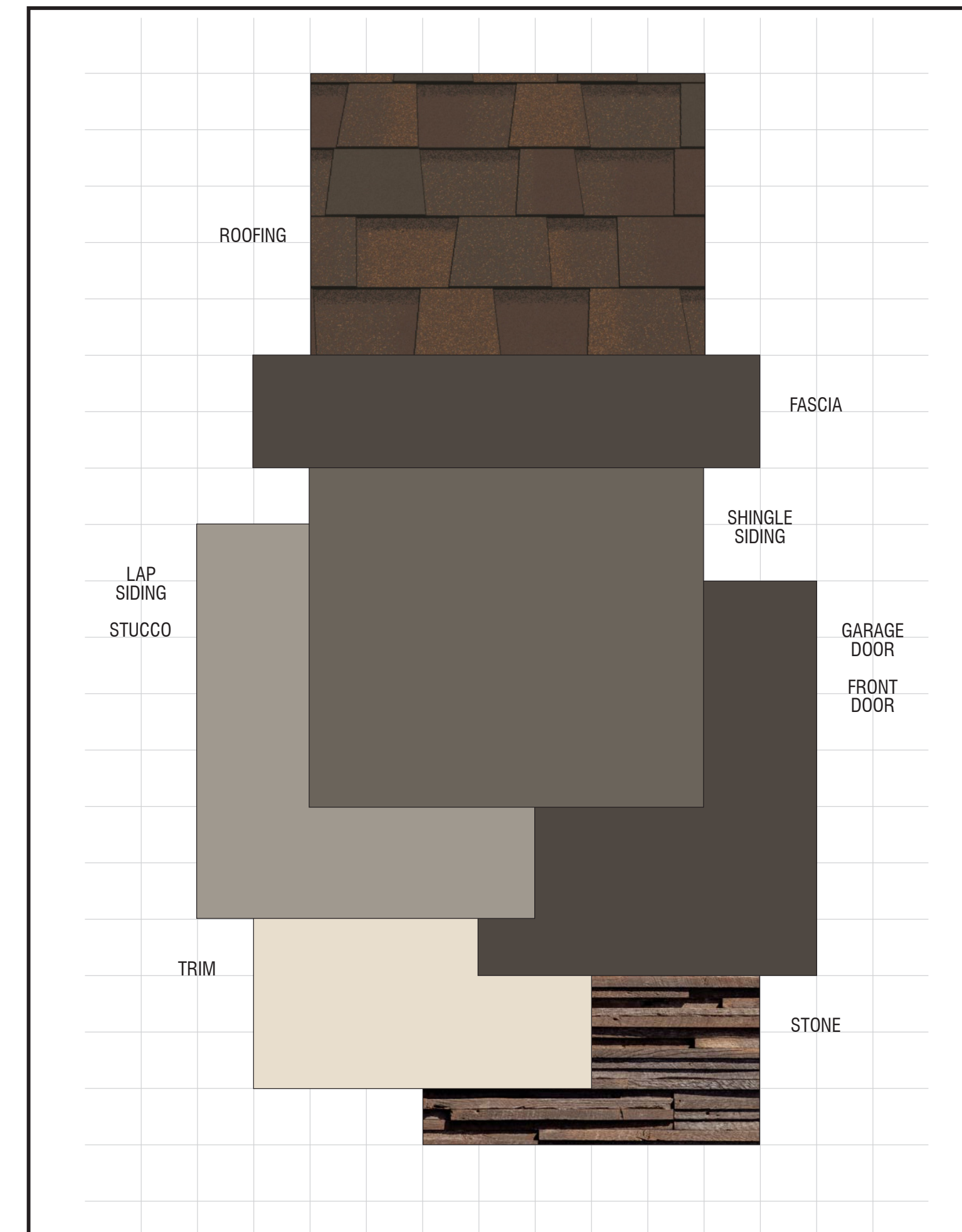


SCHEME 5 OF 9 'B' ELEVATIONS ONLY, CRAFTSMAN

Material	Color	Manufacturer
Roofing: 1Composition Shingles	1Solaris Weathered Wood Ref: 20 Emi: 91 A.SRI: 21 CRRC: 0668-0119	1CertainTeed
Vinyl Windows (factory finish)	White	Milgard (or equal)
Manufactured Stone (dry stack joints)	Shelter Cove Rivenwood	Eldorado
Gutters & Downspouts	Match Adjacent Color	Sherwin Williams
Corner Boards	Match Adjacent Color	Sherwin Williams
Siding Color #1 (applied to): Shingle Siding	SW 2848 Roycroft Pewter	Sherwin Williams
Siding Color #2 (applied to): Lap Siding Stucco	SW 7065 Argos	Sherwin Williams
Trim Color (applied to): Barge Boards Corbels Eaves Fascia French Door (where applicable) Front Door Garage Door	SW 7069 Iron Ore	Sherwin Williams
Trim Color #2 (applied to): Columns Gable Siding Trim	SW 7008 Alabaster	Sherwin Williams
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Corie Rath (925) 463-1700. © 2023 WILLIAM HEZMALHALCH ARCHITECTS, INC. DBA WHA.

Color Scheme #6



SCHEME 6 OF 9 'B' ELEVATIONS ONLY, CRAFTSMAN

Material	Color	Manufacturer
Roofing: 1Composition Shingles	1Solaris Heather Blend Ref: 20 Emi: 91 A.SRI: 20 CRRC: 0668-0117	1CertainTeed
Vinyl Windows (factory finish)	White	Milgard (or equal)
Manufactured Stone (dry stack joints)	Tawny Brown Rivenwood	Eldorado
Gutters & Downspouts	Match Adjacent Color	Sherwin Williams
Corner Boards	Match Adjacent Color	Sherwin Williams
Siding Color #1 (applied to): Shingle Siding	SW 7047 Porpoise	Sherwin Williams
Siding Color #2 (applied to): Lap Siding Stucco	SW 7642 Pavestone	Sherwin Williams
Trim Color (applied to): Barge Boards Corbels Eaves Fascia French Door (where applicable) Front Door Garage Door	SW 7020 Black Fox	Sherwin Williams
Trim Color #2 (applied to): Columns Gable Siding Trim	SW 9180 Aged White	Sherwin Williams
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Corie Rath (925) 463-1700. © 2023 WILLIAM HEZMALHALCH ARCHITECTS, INC. DBA WHA.

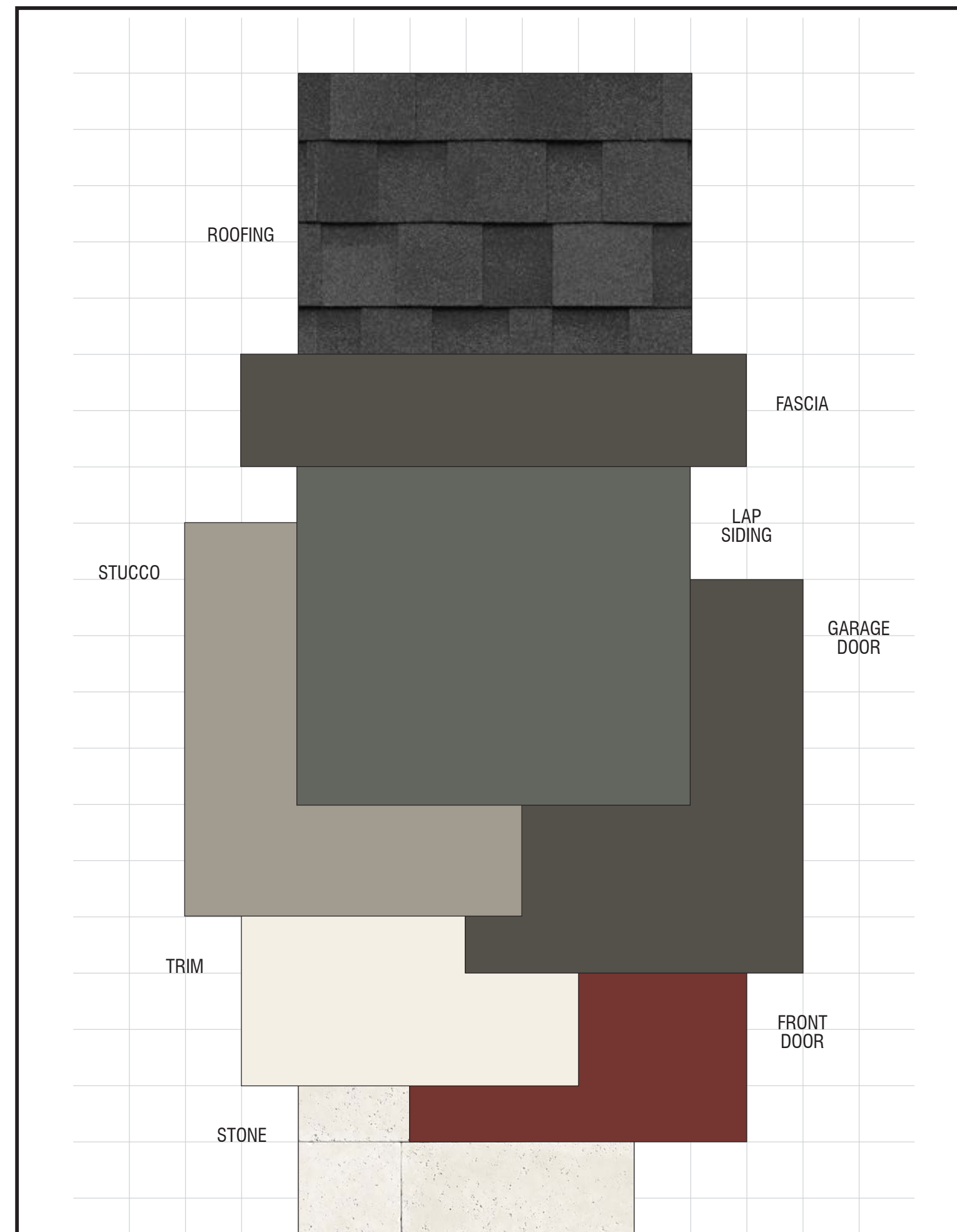
Exterior Color and Materials

Elevation B - Craftsman

REVISIONS:

Number	Date	Description
1	11/14/23	Client name update, Roofing material update.

Color Scheme #7

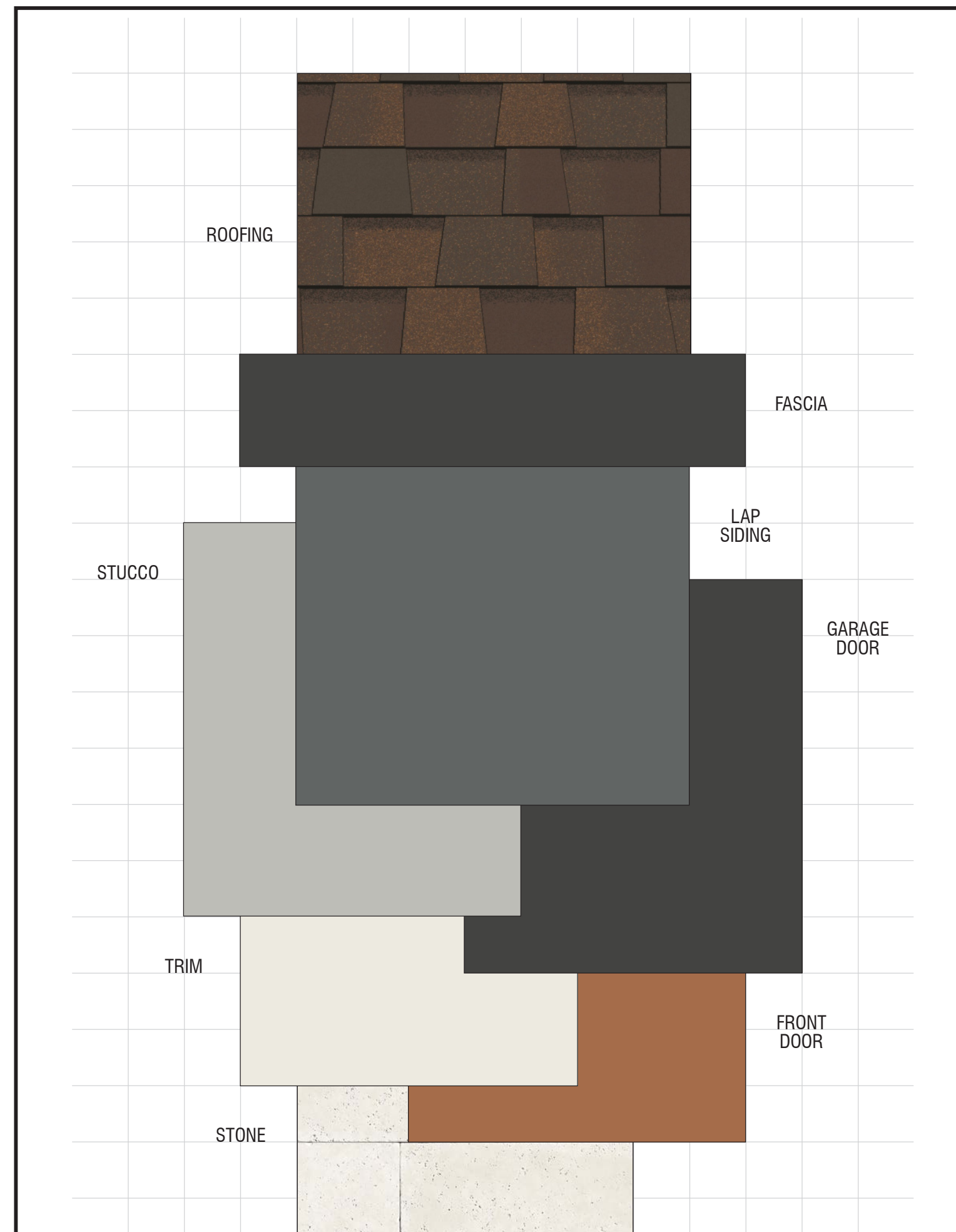


SCHEME 7 OF 9 'C' ELEVATIONS ONLY, PRAIRIE

Material	Color	Manufacturer
Roofing: 1Composition Shingles	1Solaris Graphite Ref: 21 Emi: 91 A.SRI: 21 CRRC: 0668-0155	1CertainTeed
Vinyl Windows (factory finish)	White	Milgard (or equal)
Manufactured Stone (1/8" joints)	Dove Tail Marquee24	Eldorado
Mortar @ Stone	Glacier White	Orco
Gutters & Downspouts	Match Adjacent Color	Sherwin Williams
Stucco Color	SW 7746 Rushing River	Sherwin Williams
Siding Color (applied to): Lap Siding	SW 7061 Night Owl	Sherwin Williams
Trim Color #1 (applied to): Eaves Fascia French Door (where applicable) Garage Door	SW 7048 Urbane Bronze	Sherwin Williams
Trim Color #2 (applied to): Trim	SW 7102 White Flour	Sherwin Williams
Accent Color (applied to): Front Door	SW 7592 Crabby Apple	Sherwin Williams
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Corie Rath (925) 463-1700. © 2023 WILLIAM HEZMALHALCH ARCHITECTS, INC. DBA WHA.

Color Scheme #8

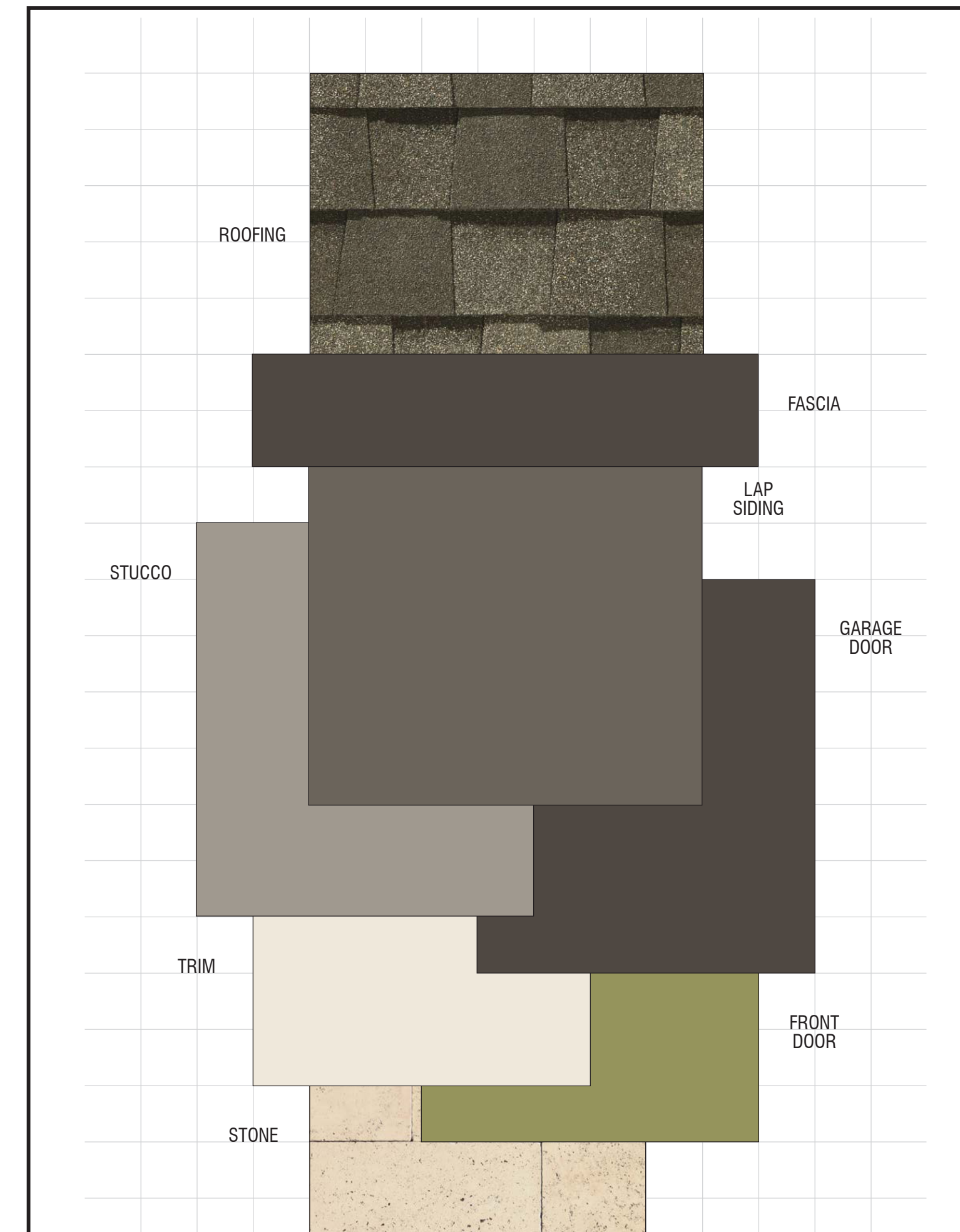


SCHEME 8 OF 9 'C' ELEVATIONS ONLY, PRAIRIE

Material	Color	Manufacturer
Roofing: 1Composition Shingles	1Solaris Heather Blend Ref: 20 Emi: 91 A.SRI: 20 CRRC: 0668-0117	1CertainTeed
Vinyl Windows (factory finish)	White	Milgard (or equal)
Manufactured Stone (1/8" joints)	Dove Tail Marquee24	Eldorado
Mortar @ Stone	Glacier White	Orco
Gutters & Downspouts	Match Adjacent Color	Sherwin Williams
Stucco Color	SW 7065 Argos	Sherwin Williams
Siding Color (applied to): Lap Siding	SW 2848 Roccroft Pewter	Sherwin Williams
Trim Color #1 (applied to): Eaves Fascia French Door (where applicable) Garage Door	SW 7069 Iron Ore	Sherwin Williams
Trim Color #2 (applied to): Trim	SW 7008 Alabaster	Sherwin Williams
Accent Color (applied to): Front Door	SW 7710 Brandywine	Sherwin Williams
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Corie Rath (925) 463-1700. © 2023 WILLIAM HEZMALHALCH ARCHITECTS, INC. DBA WHA.

Color Scheme #9



SCHEME 9 OF 9 'C' ELEVATIONS ONLY, PRAIRIE

Material	Color	Manufacturer
Roofing: 1Composition Shingles	1Solaris Weathered Wood Ref: 20 Emi: 91 A.SRI: 21 CRRC: 0668-0119	1CertainTeed
Vinyl Windows (factory finish)	White	Milgard (or equal)
Manufactured Stone (1/8" joints)	Sanderling Marquee24	Eldorado
Mortar @ Stone	Sourdough	Orco
Gutters & Downspouts	Match Adjacent Color	Sherwin Williams
Stucco Color	SW 7642 Pavestone	Sherwin Williams
Siding Color (applied to): Lap Siding	SW 7047 Porpoise	Sherwin Williams
Trim Color #1 (applied to): Eaves Fascia French Door (where applicable) Garage Door	SW 7020 Black Fox	Sherwin Williams
Trim Color #2 (applied to): Trim	SW 7012 Creamy	Sherwin Williams
Accent Color (applied to): Front Door	SW 6424 Tansy Green	Sherwin Williams
Garage Door Weatherstrip (factory finish)	Match Garage Door Color	TBD

NOTE: Notify WHA if any variation occurs between these schemes and the construction documents prior to purchase. Contact Corie Rath (925) 463-1700. © 2023 WILLIAM HEZMALHALCH ARCHITECTS, INC. DBA WHA.

Exterior Color and Materials

Elevation C - Prairie

REVISIONS:

Number	Date	Description
1	11/14/23	Client name update, Roofing material update.

UNINCORPORATED MARIN COUNTY

1501 LUCAS VALLEY ROAD

VESTING TENTATIVE MAP PACKAGE

APN: 164-280-035
MARIN COUNTY, CALIFORNIA
MARCH 2024

DEVELOPER

330 LAND COMPANY, LLC
16381 SCIENTIFIC WAY
IRVINE, CA 92616
CONTACT: STEVE REILLY
PHONE: 925-368-3128

CIVIL ENGINEER

CSW/STRUBER-STROEH ENGINEERING GROUP
5870 STONERIDGE MALL RD., SUITE 203
PLEASANTON, CA 94588
CONTACT: MICHAEL VIDRA
PHONE: 925-787-4982

ARCHITECT

WHA, INC.
5000 EXECUTIVE PARKWAY, SUITE 375
SAN RAMON, CA 94583
CONTACT: ADAM GARDNER
PHONE: 925-463-1700 EXT.1163

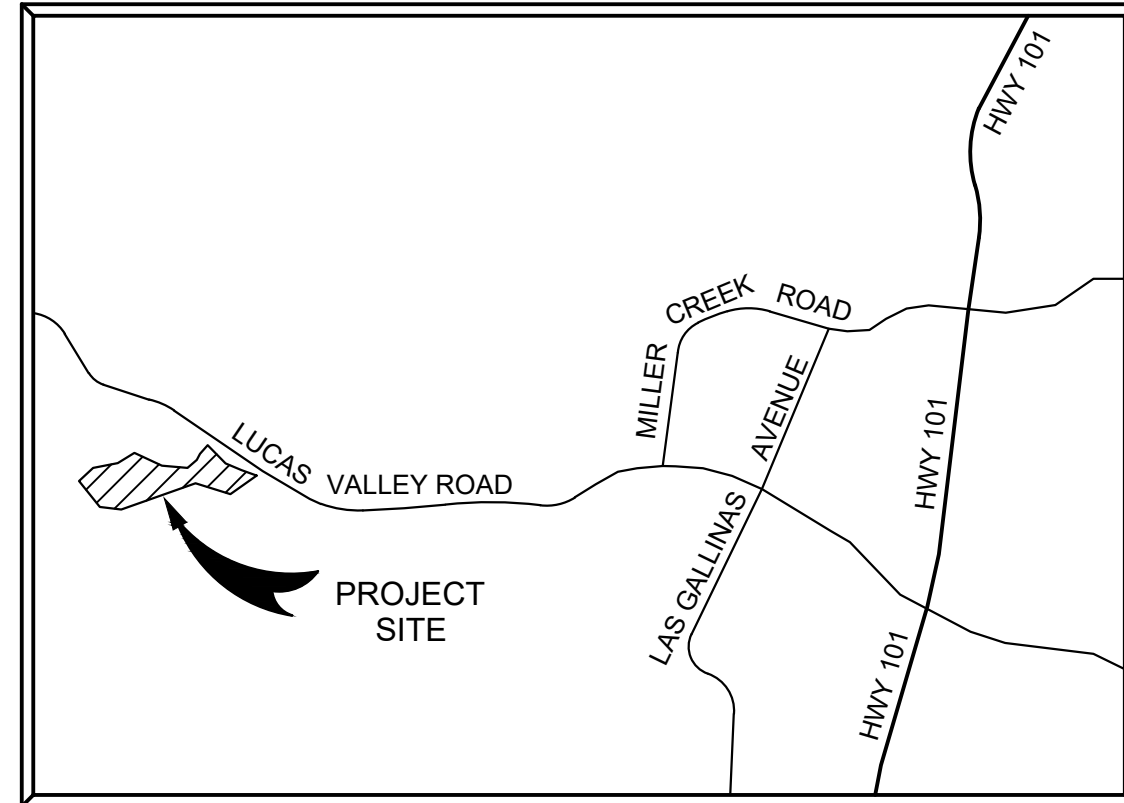
LANDSCAPE ARCHITECT

INTEGRATED DESIGN STUDIO, INC.
227 FLAMINGO ROAD
MILL VALLEY, CA 94941
CONTACT: (TO BE ADDED)
PHONE: 415-381-9500

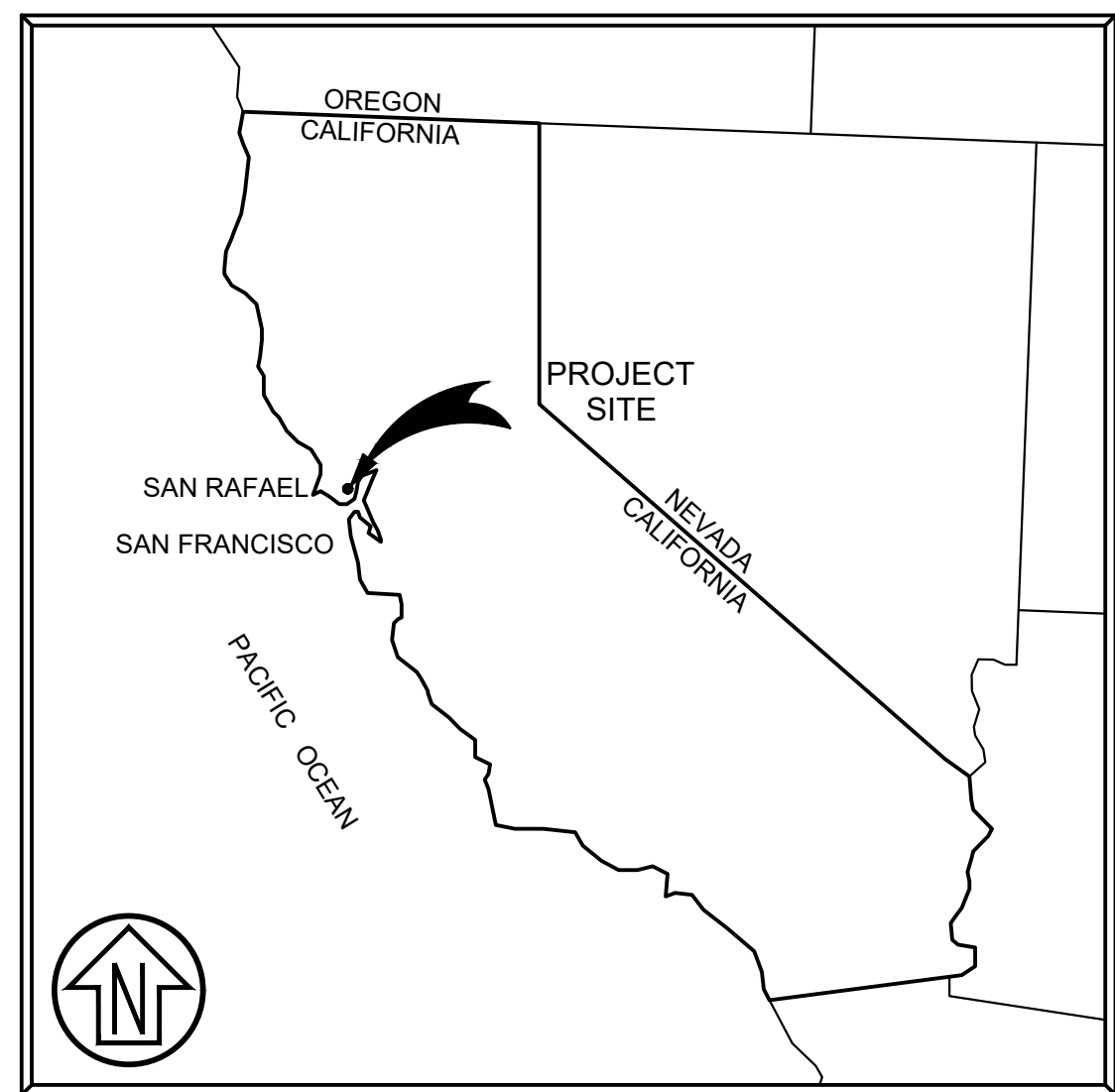
GEOTECHNICAL ENGINEER

ENGEQ, INC.
1630 SAN PABLO AVE, SUITE 200
OAKLAND, CA 94612
CONTACT: JEFF FIPPIN
PHONE: 925-570-7970

SHEET INDEX	
SHEET NO.	SHEET TITLE
C1.0	TITLE SHEET
C2.0	EXISTING CONDITIONS
C3.0	VESTING TENTATIVE MAP
C4.0	DEMOLITION PLAN
C5.0	SITE PLAN
C6.0	GRADING & DRAINAGE PLAN
C6.1	GRADING SECTIONS
C7.0	UTILITY PLAN
C8.0	STORMWATER CONTROL PLAN
C9.0	FIRE ACCESS PLAN



VICINITY MAP
NOT TO SCALE



LOCATION MAP
NOT TO SCALE

PROJECT INFORMATION:

- SITE APN: 164-280-35
- TOTAL PROPOSED UNITS: 36 SINGLE FAMILY HOMES
- EXISTING ZONING: A60-HOD - AGRICULTURE AND CONSERVATION
- EXISTING LAND USE: 31 - RURAL IMPROVED
- SINGLE FAMILY RESIDENTIAL LOT SIZE:
36X66 2,376 SF
44X66 2,904 SF
- FLOOD ZONE: ZONE X
- STREETS: ALL PROPOSED STREETS WITHIN THE PROJECT SITE ARE TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOA
- UTILITIES: ALL ONSITE UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA
WATER: HOA / MARIN WATER DISTRICT (MMWD)
FIRE: MARIN COUNTY FIRE
STORM DRAIN: HOA / COUNTY OF MARIN
SEWER: HOA / LAS GALLINA VALLEY SANITARY DISTRICT (LGVSD)
TELEPHONE: AT&T
ELECTRIC: PACIFIC GAS & ELECTRIC
- TRASH: INDIVIDUAL UNIT TRASH CAN PICKUP TO BE PROVIDED BY MARIN SANITARY SERVICE
- PARKING: EACH UNIT IS PROVIDED TWO COVERED PARKING STALLS (GARAGE).
- STREETS/LIGHTING: ALL STREETS AND ASSOCIATED STREET LIGHTS SHALL BE PRIVATELY OWNED AND MAINTAINED
- EASEMENTS: PRIVATE STREETS SHALL HAVE AN EVAE AND PUE, EASEMENTS SUBJECT TO CHANGE DURING FINAL DESIGN.
- DIMENSIONS: ALL PARCEL AND LOT DIMENSIONS SHOWN ARE APPROXIMATE AND MAY CHANGE DURING FINAL DESIGN.
- COMMON AREAS: COMMON AREAS SHALL BE MAINTAINED BY THE FUTURE HOMEOWNERS ASSOCIATION
- PHASING: PROJECT MAY BE CONSTRUCTED IN MULTIPLE PHASES
- TREES: ALL EXISTING TREES WITHIN AREA OF DEVELOPMENT ON SITE ARE TO BE REMOVED
- THE BASIS OF BEARING FOR THIS MAP IS NORTH 54°45'05" WEST, WITH A DISTANCE OF 1,427.97' BETWEEN FOUND STREET MONUMENT 2.5" BRASS DISK WITH PUNCH AND FOUND STREET MONUMENT 2.5" BRASS DISK WITH PUNCH AS SHOWN ON THAT CERTAIN MAP ENTITLED "RECORD OF SURVEY OF A PORTION OF LANDS CONVEYED TO ANDRE SOUANG" RECORDED IN BOOK 2023 OF MAPS, PAGE 87, MARIN COUNTY RECORDS.
- VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) PER 2010.00(2011), ZONE 3, PER OPUS, USING STATIC EQUIPMENT.
- FIELD SURVEY WAS PERFORMED IN FEBRUARY OF 2024.
- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.

ENGINEER'S STATEMENT:

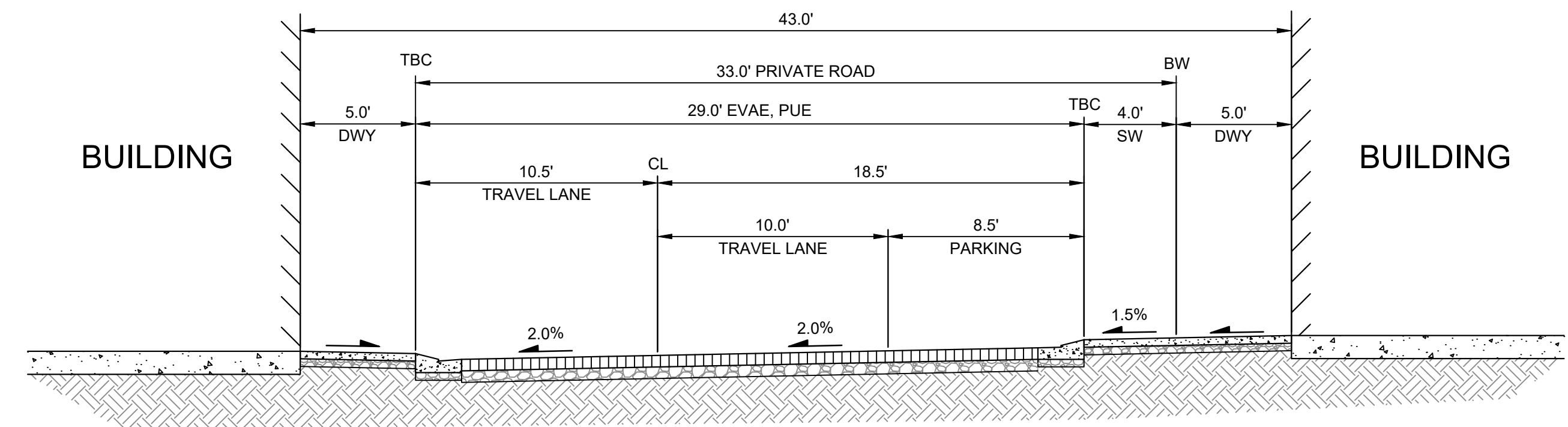
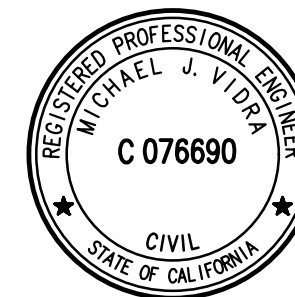
THIS VESTING TENTATIVE MAP HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE

Michael Vidra

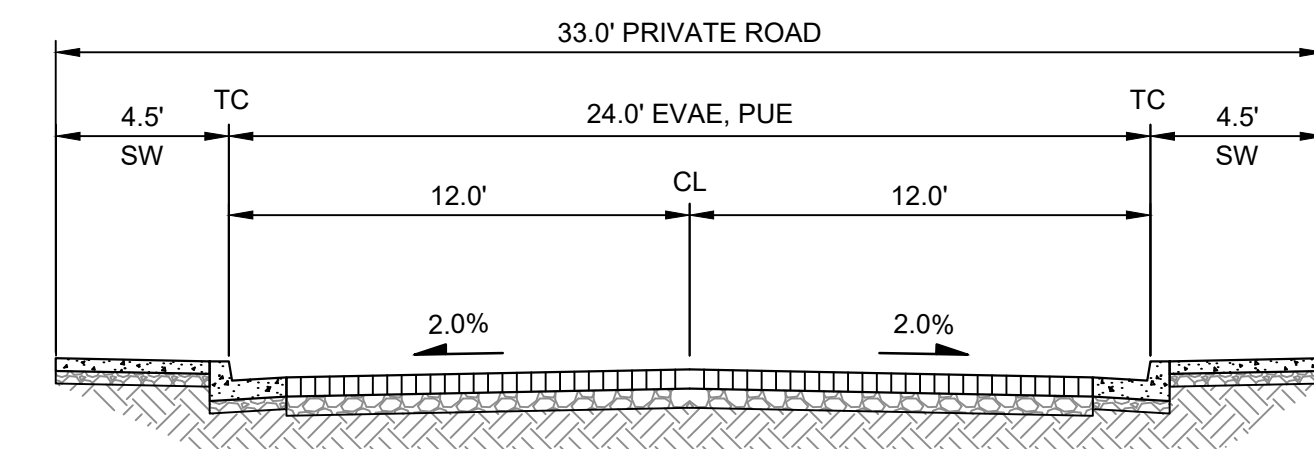
03 / 08 / 24

DATE

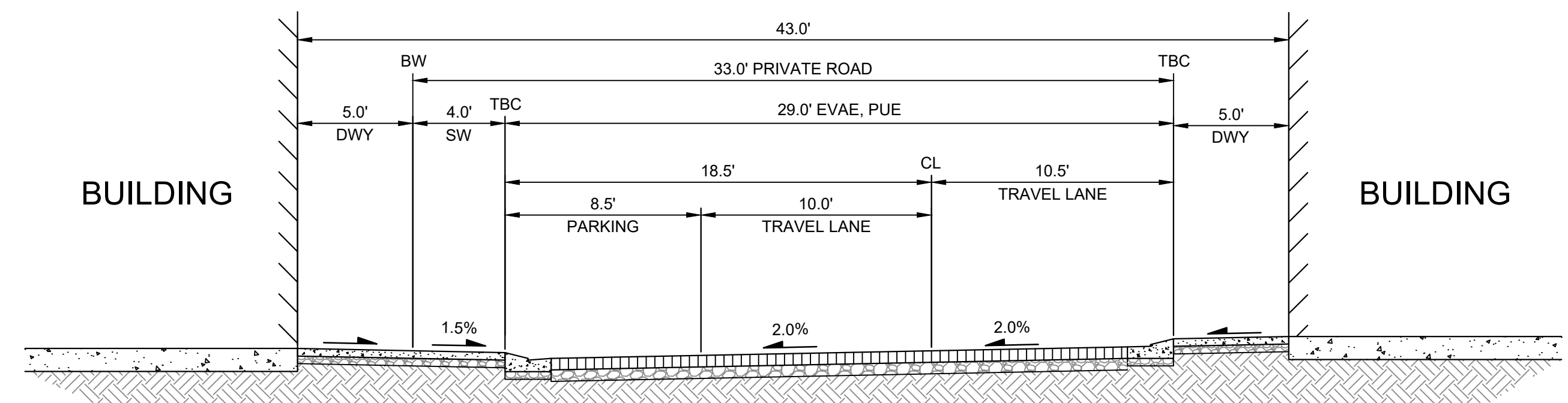
MICHAEL VIDRA
R.C.E. 76690
CSW/STRUBER-STROEH ENGINEERING GROUP, INC.



TYPICAL A STREET
NOT TO SCALE



B STREET
NOT TO SCALE



TYPICAL C STREET
NOT TO SCALE

ABBREVIATIONS:

APN	ASSESSOR'S PARCEL NUMBER	FW	FIRE WATER
BC	BACK OF CURB	GB	GRADE BREAK
BLDG	BUILDING	GFF	GARAGE FINISH FLOOR
BNDY	BOUNDARY	GR	GRATE
BW	BACK OF SIDEWALK	IMP	INTEGRATED MANAGEMENT PRACTICE
CL	CENTERLINE	INV	INVERT
DMA	DRAINAGE MANAGEMENT AREA	PUE	PUBLIC UTILITY EASEMENT
DWY	DRIVEWAY	R	RADIUS
EG	EXISTING GRADE	RET	RETAINING
ESMT	EASEMENT	R/W	RIGHT OF WAY
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SD	STORM DRAIN
EX	EXISTING	SF	SQUARE FEET
FF	FINISH FLOOR	SS	SANITARY SEWER
FG	FINISH GRADE	STD.	STANDARD
FH	FIRE HYDRANT	SW	SIDEWALK
FL	FLOWLINE	TC	TOP OF CURB
FT	FOOT / FEET	TBC	TOP OF BEVELED CURB
		TSM	TOP OF SOIL MIXTURE
		TYP	TYPICAL
		W	WATER



1501 LUCAS VALLEY ROAD
MARIN COUNTY, CALIFORNIA



Architect: WHA Architects
5000 Executive Parkway, Suite 375
San Ramon, CA 94582
Contact: Adam Gardner
925.463.1700

CSW | ST2

Civil: CSW | ST2
5870 Stoneridge Mall Rd, Suite 203
Pleasanton, CA 94588
Contact: Michael Vidra
415.883.9850


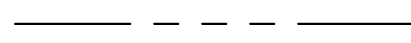






TITLE SHEET

C1.0

ENGINEER: MICHAEL VIDRA
LICENSE NO: 076690

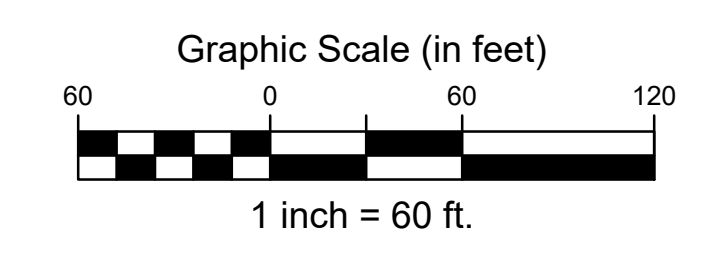
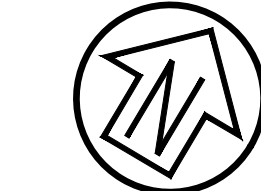
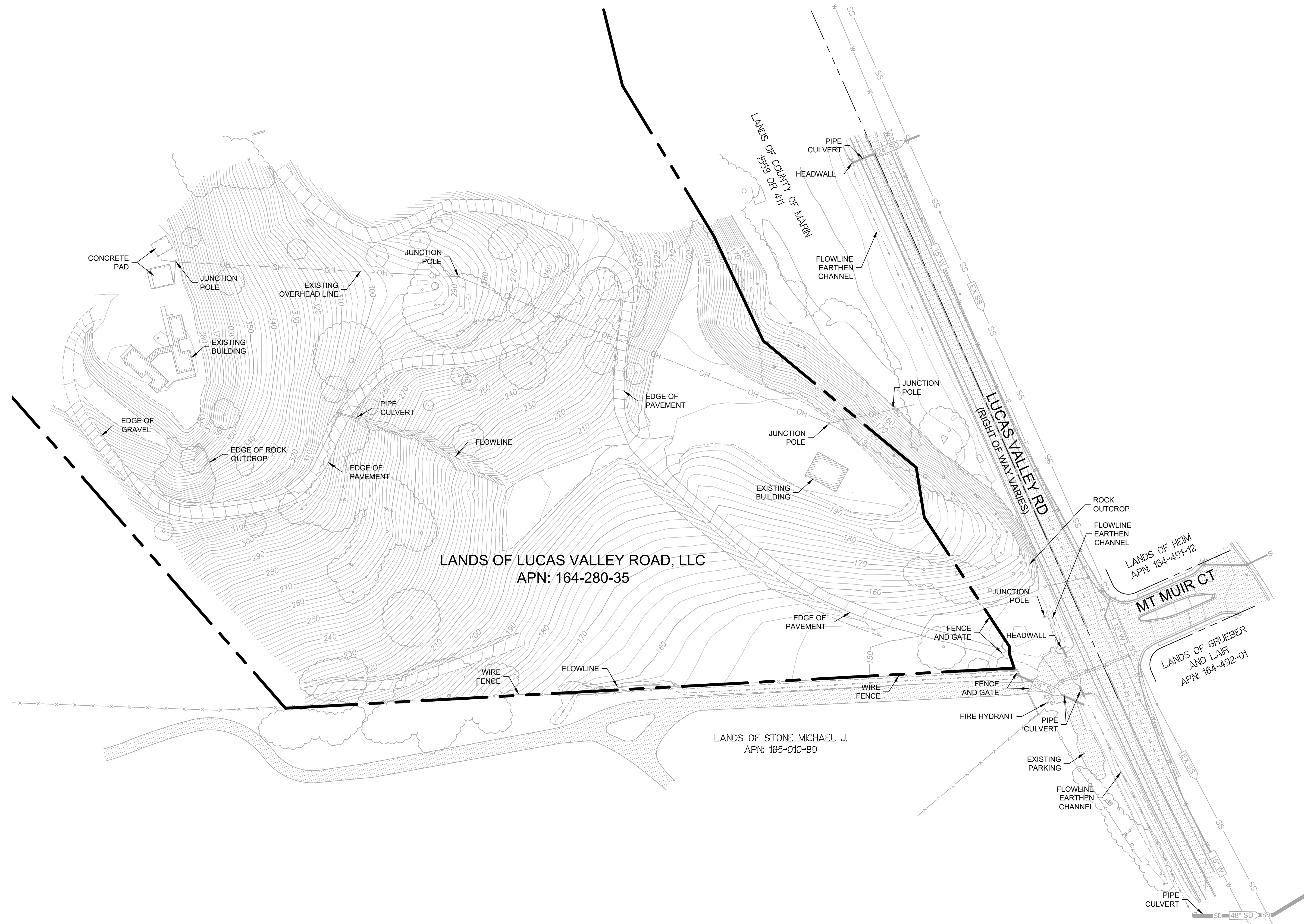
DATE: 03.08.2024
PROJECT: 2300205.10

LEGEND:

	PROJECT BOUNDARY
	MONUMENT LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING WATER LINE
	EXISTING STORM DRAIN
	EXISTING SANITARY SEWER
	EXISTING ASPHALT PAVEMENT

NOTES:

- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
- THE BASIS OF BEARING FOR THIS MAP IS NORTH 54°45'05" WEST, WITH A DISTANCE OF 1,427.97' BETWEEN FOUND STREET MONUMENT 2.5" BRASS DISK WITH PUNCH AND FOUND STREET MONUMENT 2.5" BRASS DISK WITH PUNCH AS SHOWN ON THAT CERTAIN MAP ENTITLED "RECORD OF SURVEY OF A PORTION OF LANDS CONVEYED TO ANDRE SOUANG" RECORDED IN BOOK 2023 OF MAPS, PAGE 87, MARIN COUNTY RECORDS.
- VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) PER 2010.00(2011), ZONE 3, PER OPUS, USING STATIC EQUIPMENT.
- TOPOGRAPHY SHOWN WAS PERFORMED BY FIELD SURVEY IN FEBRUARY 2024.
- THE SITE IS NOT LOCATED WITHIN A STATE OF CALIFORNIA EARTHQUAKE FAULT HAZARD ZONE FOR ACTIVE FAULTS.



1501 LUCAS VALLEY ROAD
MARIN COUNTY, CALIFORNIA



Architect: WHA Architects
5000 Executive Parkway, Suite 375
San Ramon, CA 94582
Contact: Adam Gardner
925.463.1700



Civil: CSW | ST2
5870 Stoneridge Mall Rd, Suite 203
Pleasanton, CA 94588
Contact: Michael Vidra
415.883.9850

EXISTING CONDITIONS
C2.0

ENGINEER: MICHAEL VIDRA
LICENSE NO: 076690

DATE: 03.08.2024
PROJECT: 2300205.10



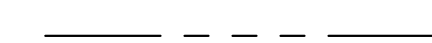






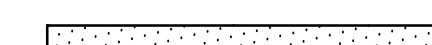
AVERAGE SLOPE CALCULATION:

CONTOUR MEASUREMENT METHOD: $S = 0.00229 * (I \times L) / A$
 S = AVERAGE SLOPE (%)
 A = PARCEL AREA (ACRES)
 I = CONTOUR INTERVAL (FEET)
 L = LENGTH OF CONTOUR LINES (FEET)

EXISTING SLOPE WITHIN TOTAL DEVELOPMENT AREA: S = 30.2%
 PROPOSED SLOPE WITHIN TOTAL DEVELOPMENT AREA: S = 30.9%
 APPROXIMATE SLOPE FOR RESIDENTIAL LOTS: S = 1.0%

VESTING TENTATIVE MAP

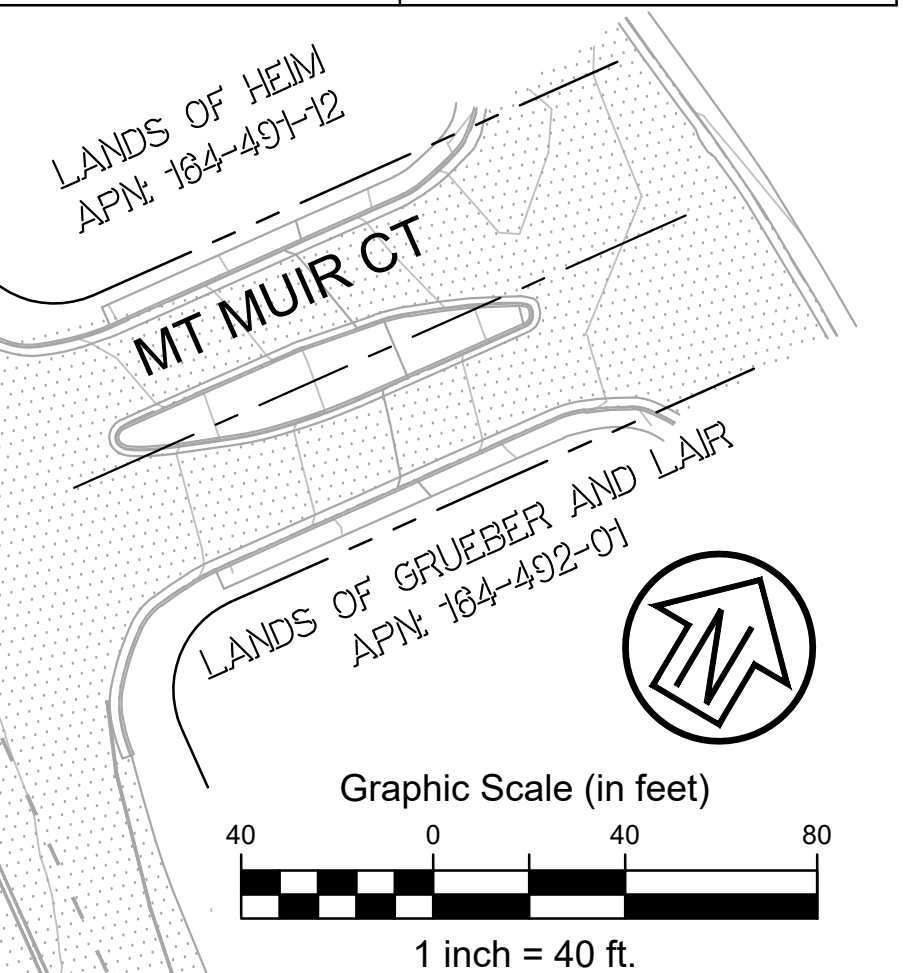
LEGEND:

-  PROJECT BOUNDARY
-  PRIVATE ROAD
-  MONUMENT LINE
-  LOT LINE
-  EXISTING MAJOR CONTOUR
-  EXISTING MINOR CONTOUR
-  EXISTING ASPHALT PAVEMENT
-  PROPOSED CURB & GUTTER
-  PROPOSED SIDEWALK
-  PROPOSED PAVEMENT

SUMMARY OF LOT COVERAGE				
LOT NO.	PLAN NO.	LOT AREA (SF)	BUILDING FOOTPRINT (SF)	LOT COVERAGE
1	3	2,376	962	40%
2	2	2,904	1,347	46%
3	3	2,376	962	40%
4	1	2,904	1,333	46%
5	3	2,376	962	40%
6	2	2,904	1,347	46%
7	2	2,904	1,347	46%
8	3	2,376	962	40%
9	1	2,904	1,333	46%
10	2	2,904	1,347	46%
11	3	2,376	962	40%
12	1	2,904	1,333	46%
13	2	2,904	1,347	46%
14	1	2,904	1,333	46%
15	2	2,904	1,347	46%
16	1	2,904	1,333	46%
17	2	2,904	1,347	46%
18	1	2,904	1,333	46%
19	2	2,904	1,347	46%
20	1	2,904	1,333	46%
21	2	2,904	1,347	46%
22	1	2,904	1,333	46%
23	2	2,904	1,347	46%
24	1	2,904	1,333	46%
25	2	2,904	1,347	46%
26	1	2,904	1,333	46%
27	2	2,904	1,347	46%
28	1	2,904	1,333	46%
29	2	2,904	1,347	46%
30	1	2,904	1,333	46%
31	1	2,904	1,333	46%
32	2	2,904	1,347	46%
33	1	2,904	1,333	46%
34	2	2,904	1,347	46%
35	1	2,904	1,333	46%
36	2	2,904	1,347	46%

SUMMARY OF REMNANT COVERAGE

LOT NAME	PLAN AREA (SF)
PRIVATE ROADS	41,816
PARCEL A	7,973
PARCEL B	16,100
PARCEL C	5,576



1501 LUCAS VALLEY ROAD
 MARIN COUNTY, CALIFORNIA



Architect: WHA Architects
 5000 Executive Parkway, Suite 375
 San Ramon, CA 94582
 Contact: Adam Gardner
 925.463.1700















Civil: CSW | ST2
 5870 Stoneridge Mall Rd, Suite 203
 Pleasanton, CA 94588
 Contact: Michael Vidra
 415.883.9850

VESTING TENTATIVE MAP
C3.0

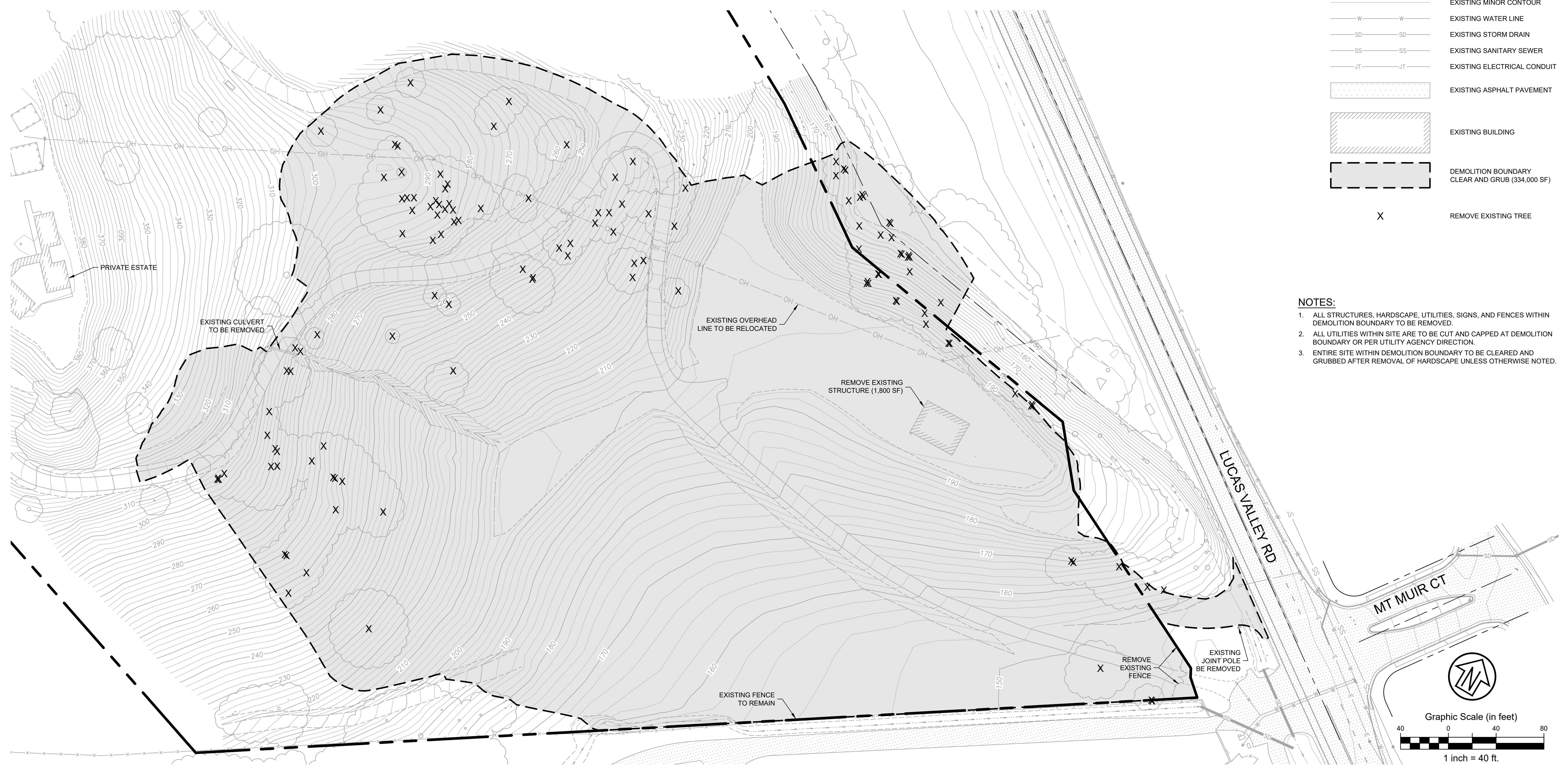
ENGINEER: MICHAEL VIDRA
 LICENSE NO: 076690
 DATE: 03.08.2024
 PROJECT: 2300205.10

LEGEND:

	PROJECT BOUNDARY
	RIGHT OF WAY
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING WATER LINE
	EXISTING STORM DRAIN
	EXISTING SANITARY SEWER
	EXISTING ELECTRICAL CONDUIT
	EXISTING ASPHALT PAVEMENT
	EXISTING BUILDING
	DEMOLITION BOUNDARY CLEAR AND GRUB (334,000 SF)
	REMOVE EXISTING TREE

NOTES:

1. ALL STRUCTURES, HARDSCAPE, UTILITIES, SIGNS, AND FENCES WITHIN DEMOLITION BOUNDARY TO BE REMOVED.
2. ALL UTILITIES WITHIN SITE ARE TO BE CUT AND CAPPED AT DEMOLITION BOUNDARY OR PER UTILITY AGENCY DIRECTION.
3. ENTIRE SITE WITHIN DEMOLITION BOUNDARY TO BE CLEARED AND GRUBBED AFTER REMOVAL OF HARDSCAPE UNLESS OTHERWISE NOTED.



1501 LUCAS VALLEY ROAD
MARIN COUNTY, CALIFORNIA



Architect: WHA Architects
5000 Executive Parkway, Suite 375
San Ramon, CA 94582
Contact: Adam Gardner
925.463.1700














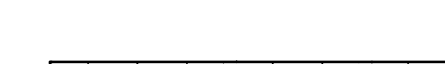
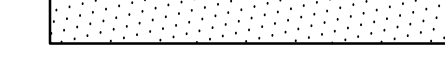

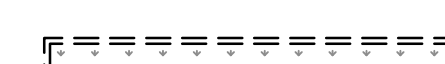
Civil: CSW | ST2
5870 Stoneridge Mall Rd, Suite 203
Pleasanton, CA 94588
Contact: Michael Vidra
415.883.9850

DEMOLITION PLAN
C4.0

ENGINEER: MICHAEL VIDRA
LICENSE NO: 076690

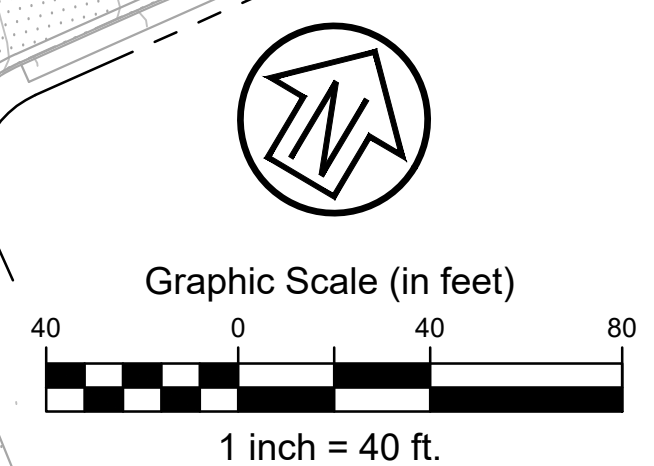
DATE: 03.08.2024
PROJECT: 2300205.10

LEGEND:

-  PROJECT BOUNDARY
-  RIGHT OF WAY
-  CENTERLINE
-  EXISTING MAJOR CONTOUR
-  EXISTING MINOR CONTOUR
-  EXISTING WATER LINE
-  EXISTING STORM DRAIN
-  EXISTING SANITARY SEWER
-  EXISTING ELECTRICAL CONDUIT
-  EXISTING ASPHALT PAVEMENT
-  PROPOSED CURB & GUTTER
-  PROPOSED SIDEWALK
-  PROPOSED PAVEMENT
-  PROPOSED BIORETENTION
-  PROPOSED TRANSFORMER

NOTES:

1. ALL ROADS SHALL BE DESIGNED AS FIRE LANES.
2. ALL SIGNING AND STRIPING SHALL CONFORM TO THE LATEST PROVISIONS OF CA MUTCD, CALTRANS STANDARD PLANS AND SPECIFICATIONS, AND THE CITY OF SAN RAFAEL STANDARD DETAILS.



1501 LUCAS VALLEY ROAD
MARIN COUNTY, CALIFORNIA



Architect: WHA Architects
5000 Executive Parkway, Suite 375
San Ramon, CA 94582
Contact: Adam Gardner
925.463.1700















Civil: CSW | ST2
5870 Stoneridge Mall Rd, Suite 203
Pleasanton, CA 94588
Contact: Michael Vidra
415.883.9850

SITE PLAN
C5.0

ENGINEER: MICHAEL VIDRA
LICENSE NO: 076690

DATE: 03.08.2024
PROJECT: 2300205.10

LEGEND:

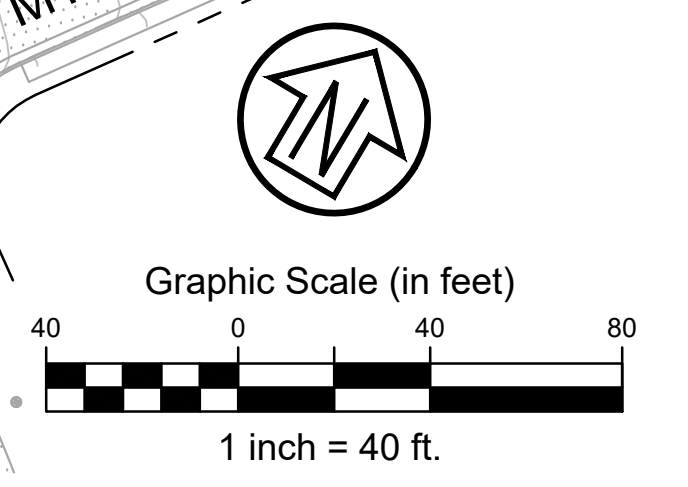
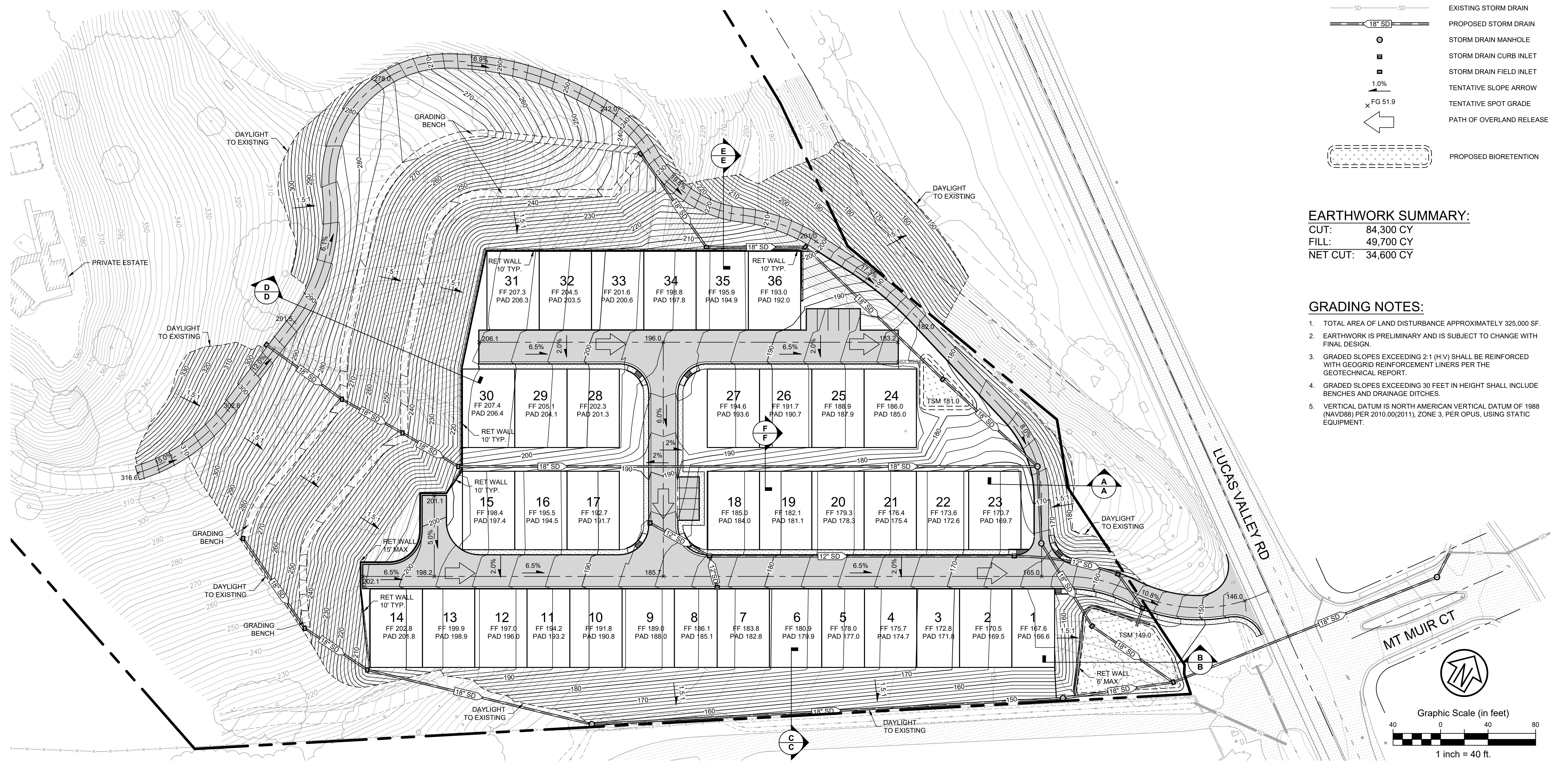
-  PROJECT BOUNDARY
-  LIMIT OF GRADING
-  CENTERLINE
-  EXISTING STORM DRAIN
-  PROPOSED STORM DRAIN
-  STORM DRAIN MANHOLE
-  STORM DRAIN CURB INLET
-  STORM DRAIN FIELD INLET
-  TENTATIVE SLOPE ARROW
-  TENTATIVE SPOT GRADE
-  PATH OF OVERLAND RELEASE
-  PROPOSED BIORETENTION

EARTHWORK SUMMARY:

CUT: 84,300 CY
 FILL: 49,700 CY
 NET CUT: 34,600 CY

GRADING NOTES:

1. TOTAL AREA OF LAND DISTURBANCE APPROXIMATELY 325,000 SF.
2. EARTHWORK IS PRELIMINARY AND IS SUBJECT TO CHANGE WITH FINAL DESIGN.
3. GRADED SLOPES EXCEEDING 2:1 (H:V) SHALL BE REINFORCED WITH GEOGRID REINFORCEMENT LINERS PER THE GEOTECHNICAL REPORT.
4. GRADED SLOPES EXCEEDING 30 FEET IN HEIGHT SHALL INCLUDE BENCHES AND DRAINAGE DITCHES.
5. VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) PER 2010.00(2011), ZONE 3, PER OPUS, USING STATIC EQUIPMENT.



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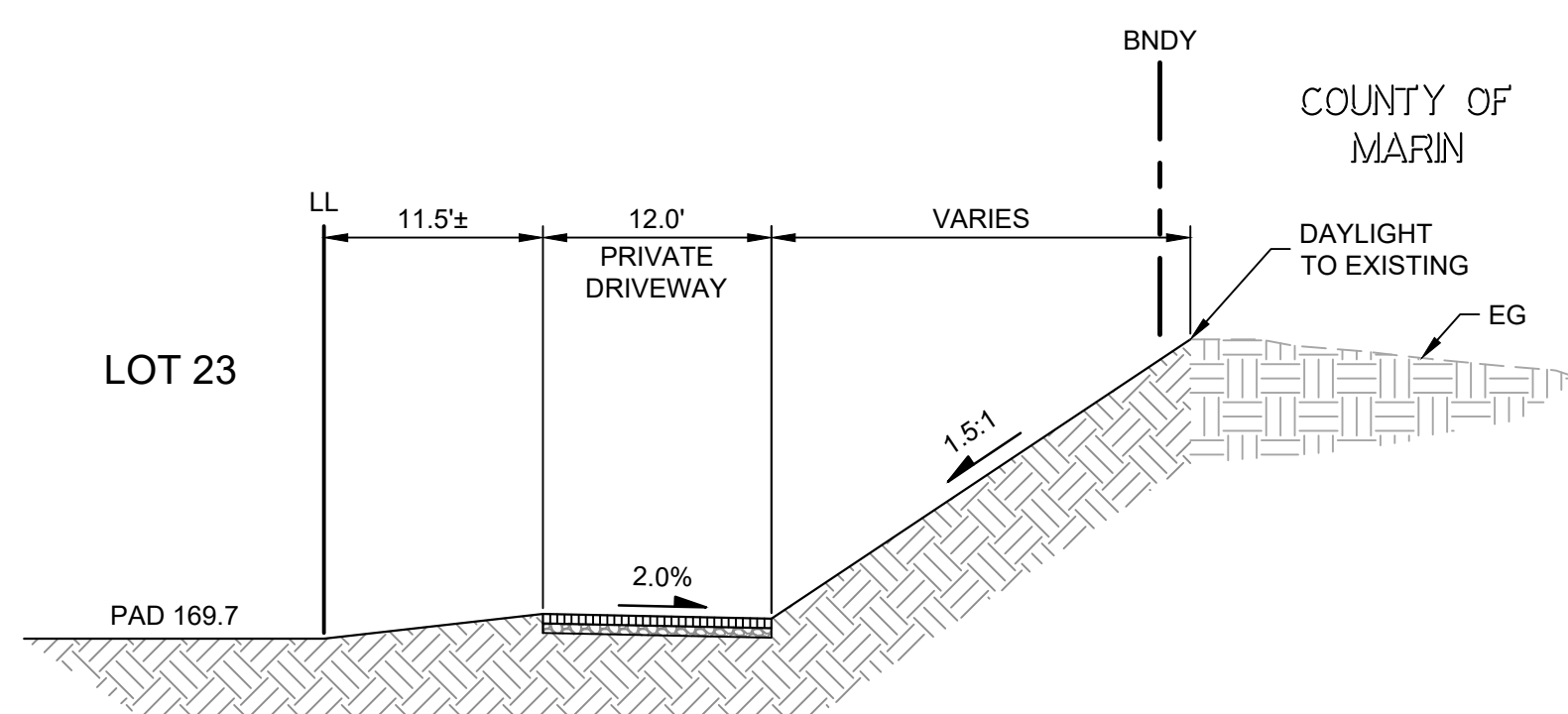
Civil: CSW | ST2
 5870 Stoneridge Mall Rd, Suite 203
 Pleasanton, CA 94588
 Contact: Michael Vidra
 415.883.9850

GRADING & DRAINAGE PLAN

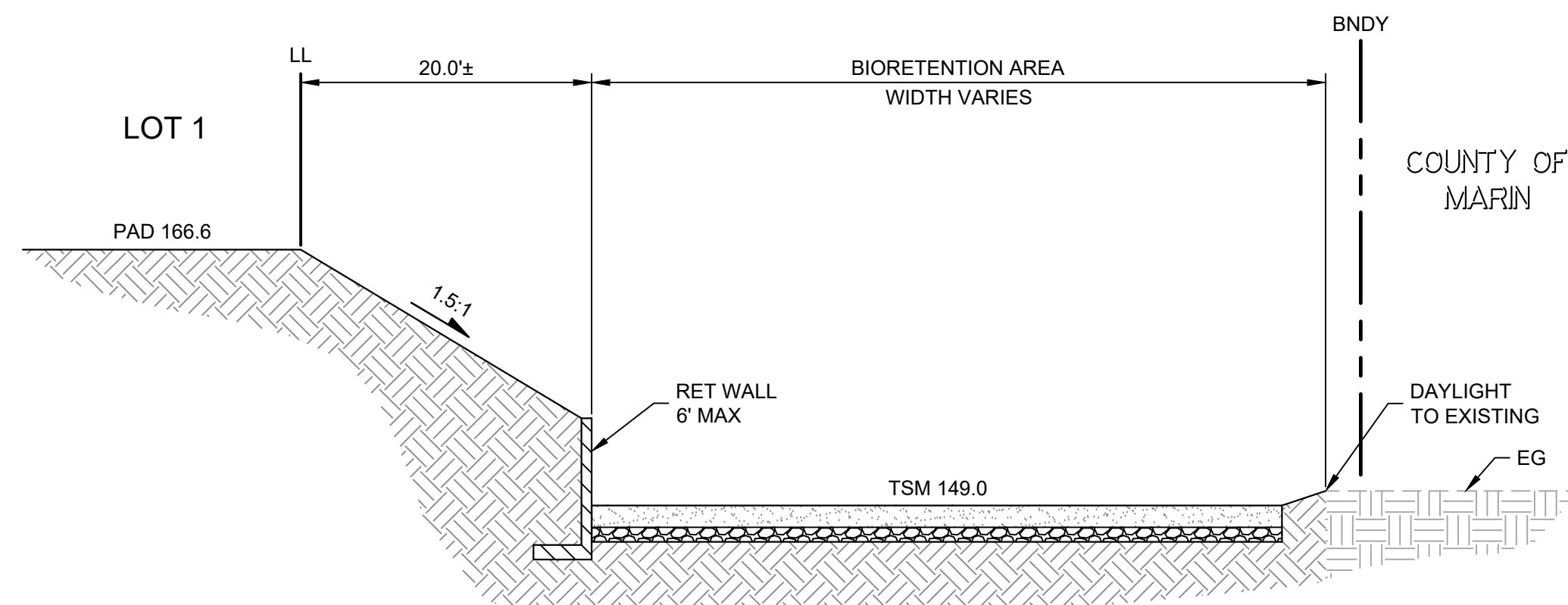
C6.0

ENGINEER: MICHAEL VIDRA
 LICENSE NO: 076690

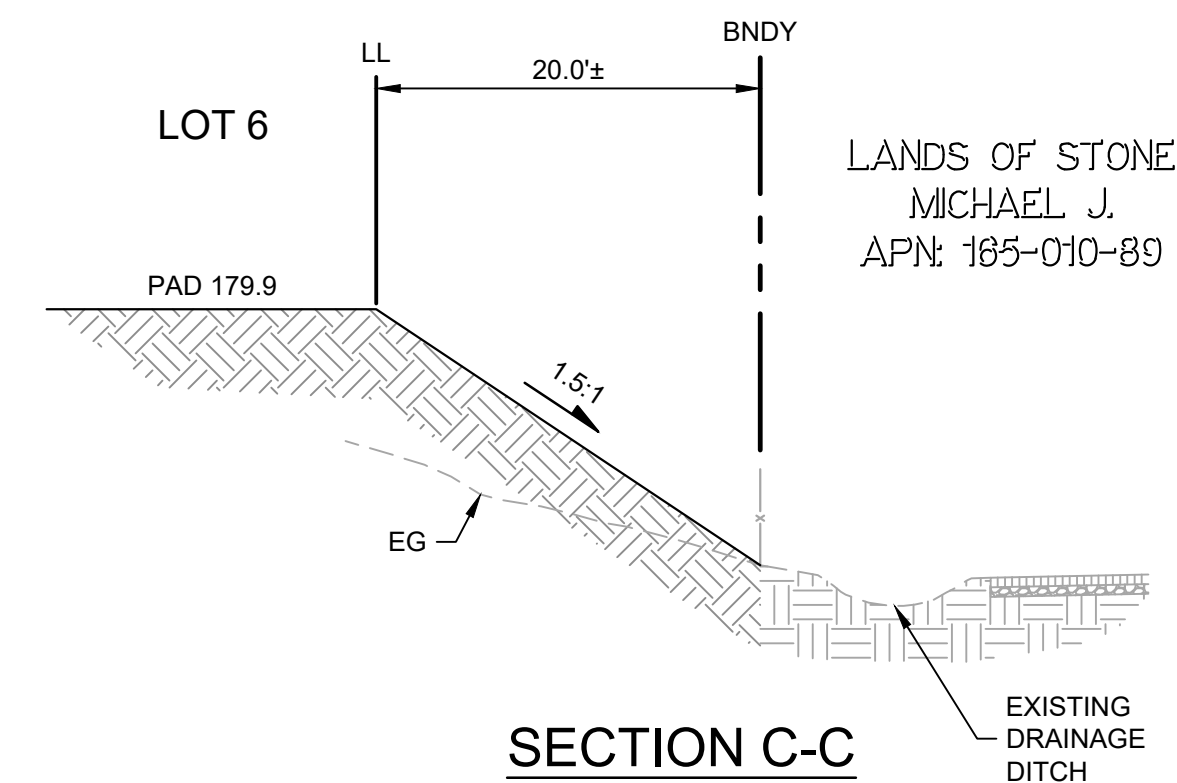
DATE: 03.08.2024
 PROJECT: 2300205.10



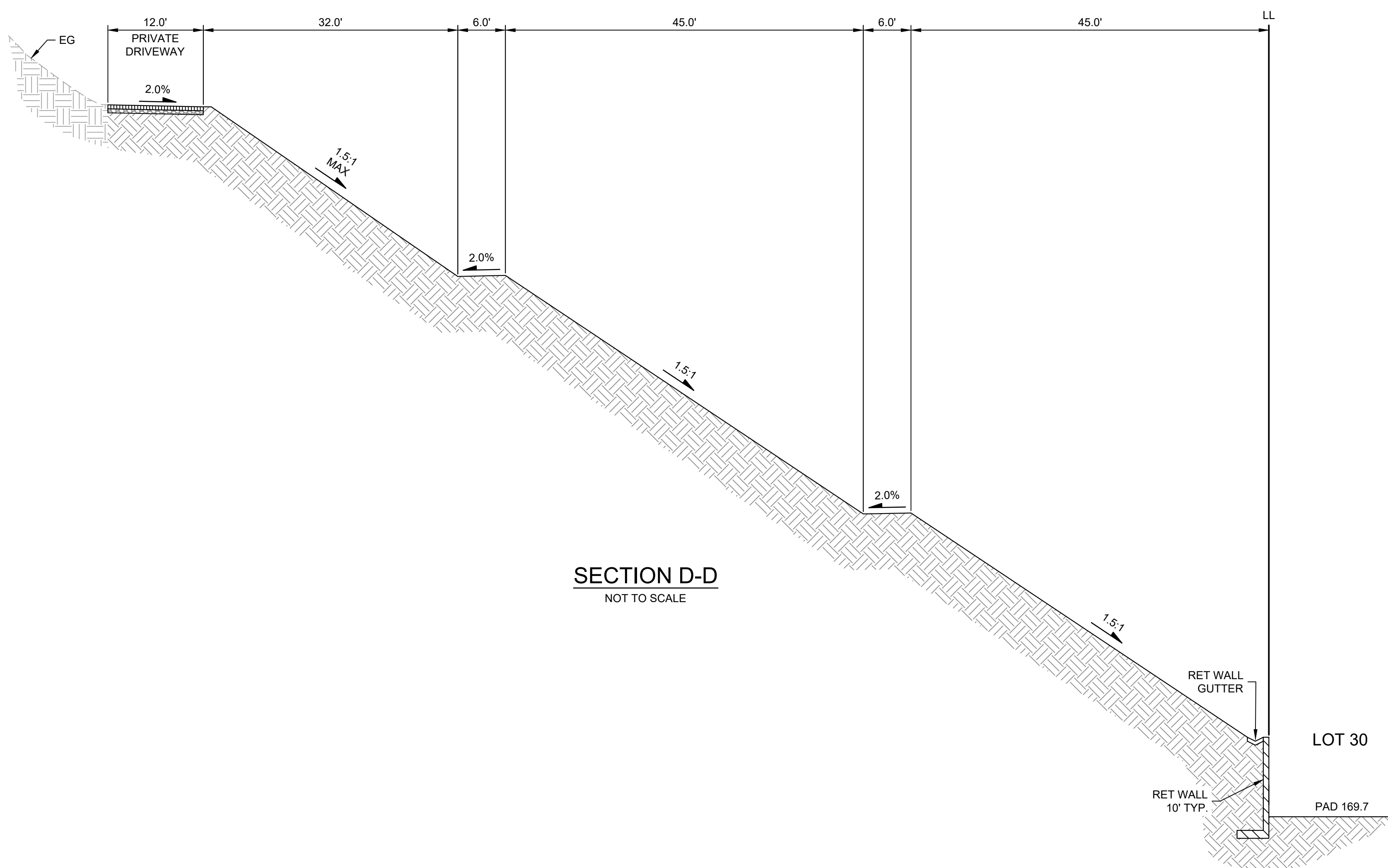
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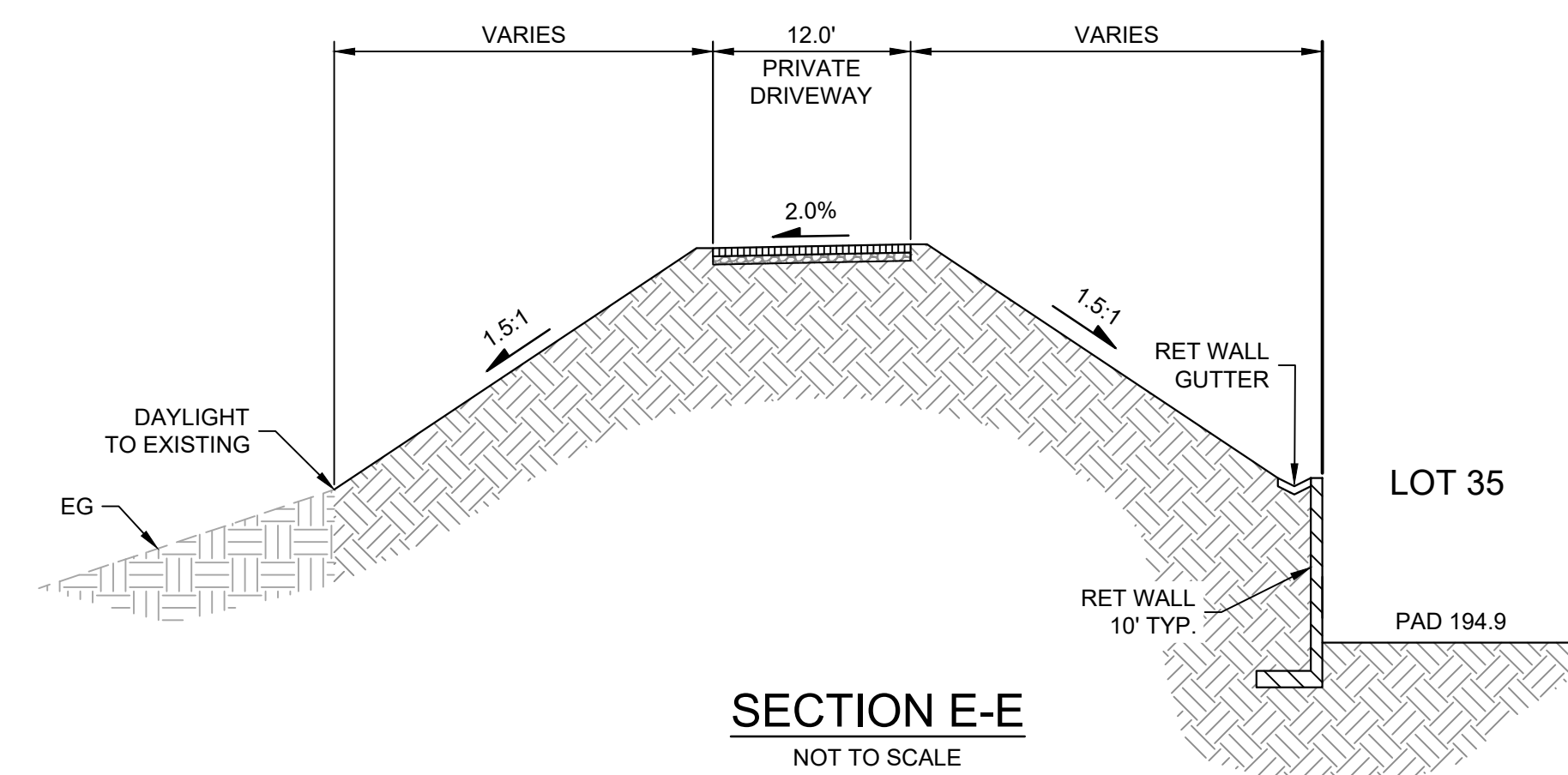
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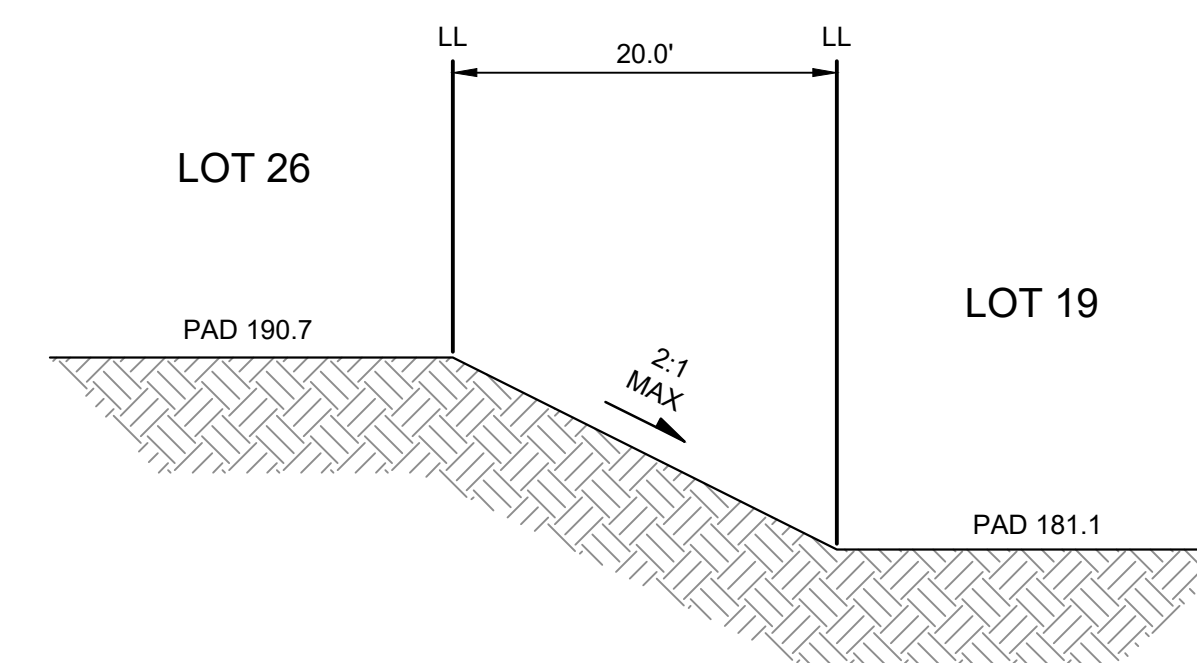
SECTION C-C
NOT TO SCALE



SECTION D-D
NOT TO SCALE



SECTION E-E
NOT TO SCALE



SECTION F-F
NOT TO SCALE



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5870 Stoneridge Mall Rd, Suite 203
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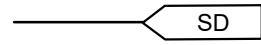
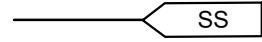
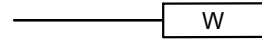
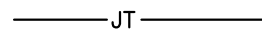



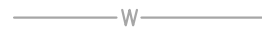
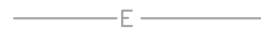








GRADING SECTIONS

C6.1

ENGINEER: MICHAEL VIDRA
LICENSE NO: 076690

DATE: 03.08.2024
PROJECT: 2300205.10

LEGEND:

	STORM DRAIN PIPE
	SANITARY SEWER PIPE
	WATER PIPE
	JOINT TRENCH LINE
	EXISTING OVERHEAD LINE
	EXISTING SANITARY SEWER PIPE
	EXISTING STORM DRAIN PIPE
	EXISTING WATER PIPE
	EXISTING ELECTRICAL CONDUIT
	STORM DRAIN CURB INLET
	STORM DRAIN FIELD INLET
	STORM DRAIN MANHOLE
	SANITARY SEWER MANHOLE
	FIRE HYDRANT
	BLOWOFF
	WATER VALVE
	TRANSFORMER

NOTES:

1. THERE ARE NO WATER WELLS OR SEPTIC TANKS LOCATED ON THE SUBJECT AND ADJOINING PROPERTIES.
2. ALL ONSITE UTILITIES WILL BE UNDERGROUND



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415.883.9850

UTILITY PLAN

C7.0

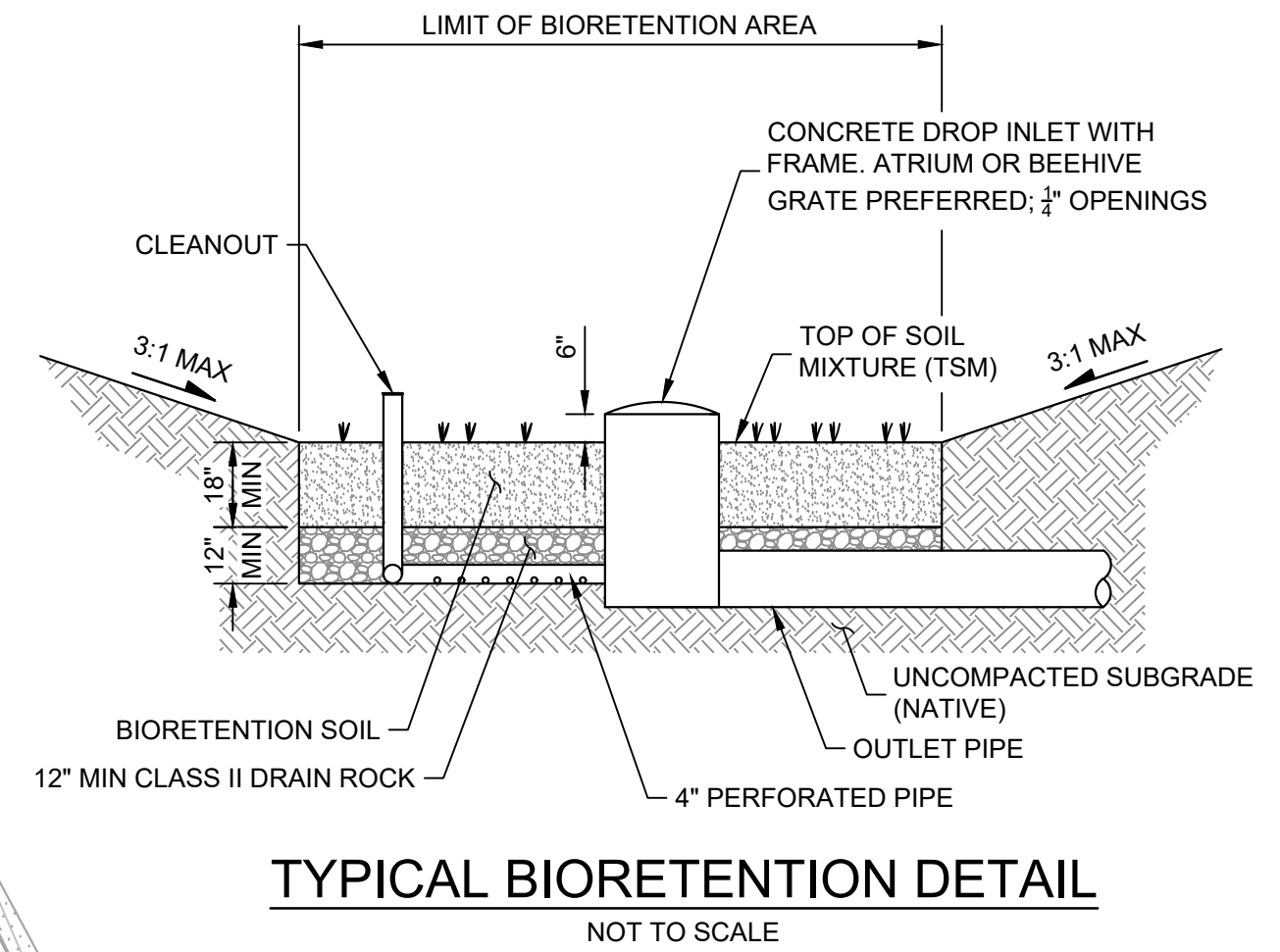
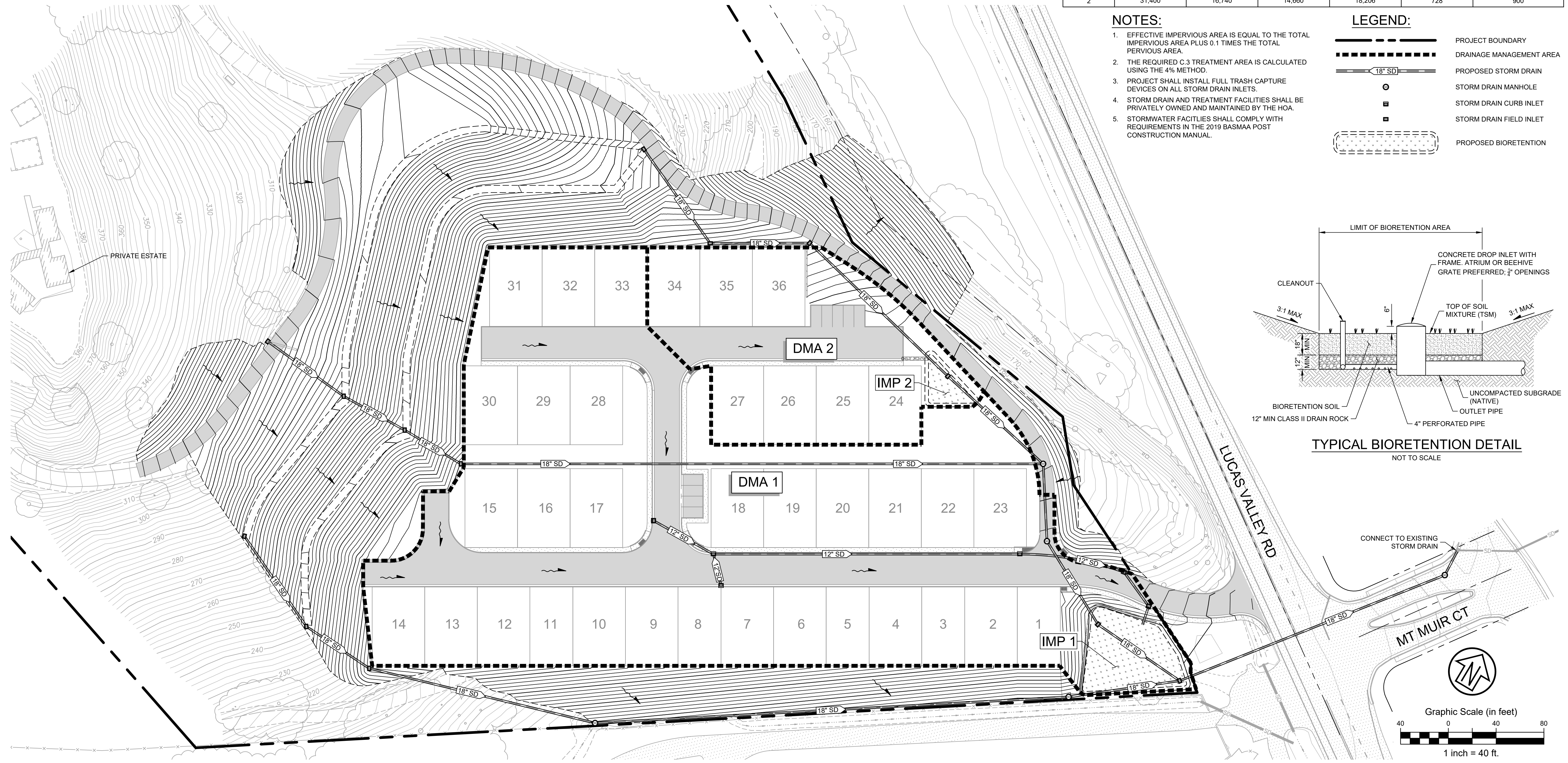
ENGINEER: MICHAEL VIDRA
LICENSE NO: 076690

DATE: 03.08.2024
PROJECT: 2300205.10

STORMWATER MANAGEMENT TABLE						
DMA	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	REQUIRED TREATMENT AREA (SF)	TREATMENT AREA PROVIDED (SF)
1	137,450	71,300	66,150	77,915	3,117	4,400
2	31,400	16,740	14,660	18,206	728	900

- NOTES:**
- EFFECTIVE IMPERVIOUS AREA IS EQUAL TO THE TOTAL IMPERVIOUS AREA PLUS 0.1 TIMES THE TOTAL PERVIOUS AREA.
 - THE REQUIRED C.3 TREATMENT AREA IS CALCULATED USING THE 4% METHOD.
 - PROJECT SHALL INSTALL FULL TRASH CAPTURE DEVICES ON ALL STORM DRAIN INLETS.
 - STORM DRAIN AND TREATMENT FACILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA.
 - STORMWATER FACILITIES SHALL COMPLY WITH REQUIREMENTS IN THE 2019 BASMAA POST CONSTRUCTION MANUAL.

- LEGEND:**
- PROJECT BOUNDARY
 - DRAINAGE MANAGEMENT AREA
 - PROPOSED STORM DRAIN
 - STORM DRAIN MANHOLE
 - STORM DRAIN CURB INLET
 - STORM DRAIN FIELD INLET
 - PROPOSED BIORETENTION



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STORMWATER CONTROL PLAN

C8.0

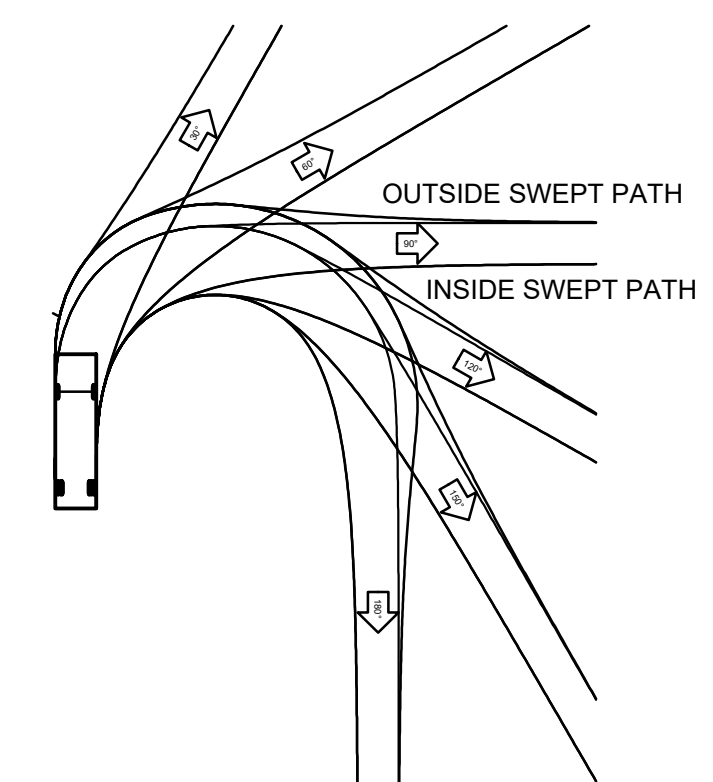
ENGINEER: MICHAEL VIDRA
LICENSE NO: 076690

DATE: 03.08.2024
PROJECT: 2300205.10

LEGEND:

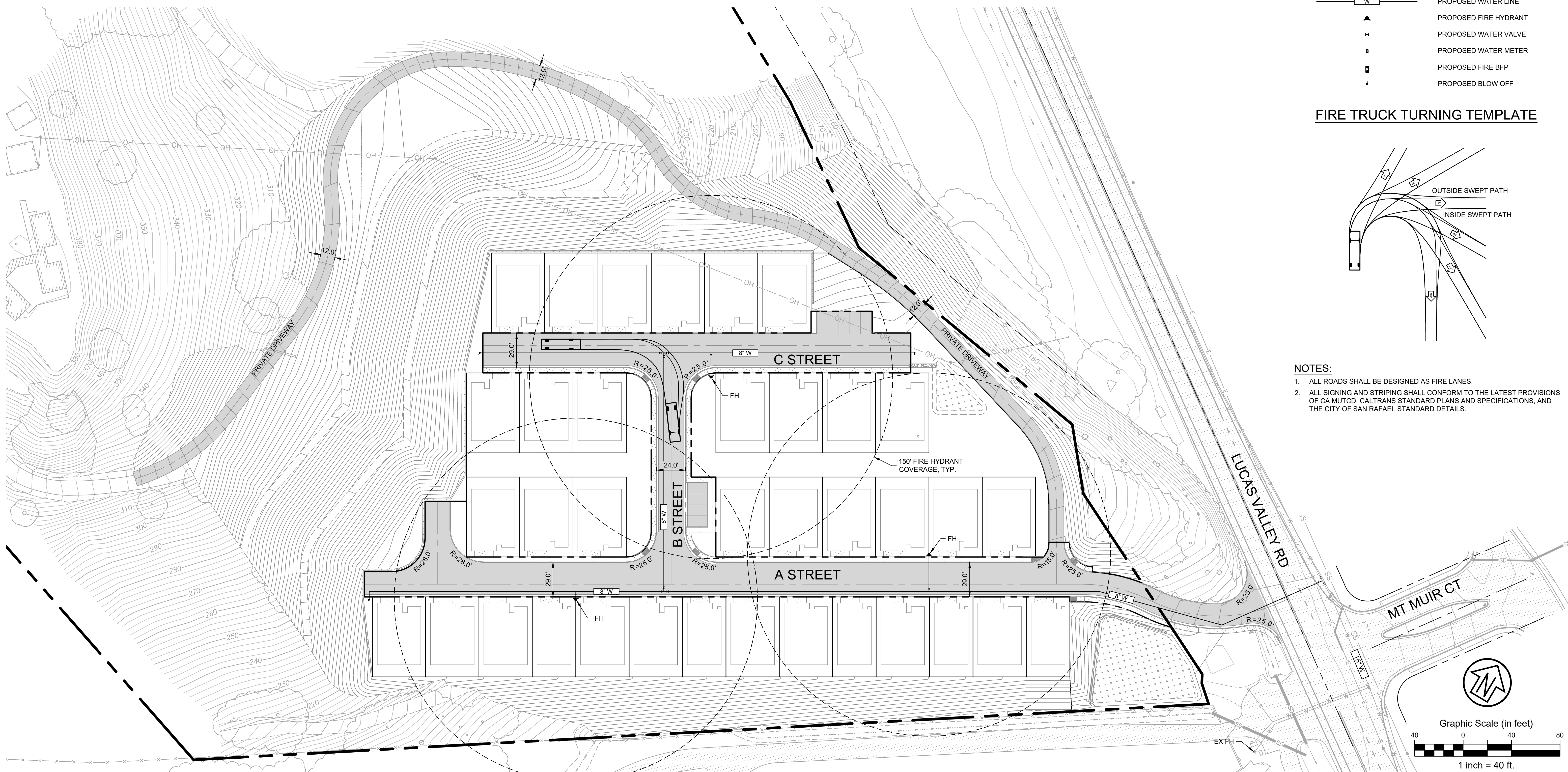
	PROJECT BOUNDARY
	RIGHT OF WAY
	CENTERLINE
	PROPOSED WATER LINE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPOSED WATER METER
	PROPOSED FIRE BFP
	PROPOSED BLOW OFF

FIRE TRUCK TURNING TEMPLATE



NOTES:

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FIRE ACCESS PLAN

C9.0

ENGINEER: MICHAEL VIDRA
LICENSE NO: 076690

DATE: 03.08.2024
PROJECT: 2300205.10



**INTEGRATED
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INC

227 Flamingo Road
Mill Valley, CA 94941
Ph 415-381-9500

www.integrateddesignstudio.com

1501 LUCAS VALLEY RD.
SAN RAFAEL, CA 94903
APN #164-280-35



Jane Sedonaen, Landscape Architect

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11/16/2023	HOUSING COMPLIANCE REVIEW
1/23/2024	HOUSING COMPLIANCE REVIEW
3/12/2024	HOUSING COMPLIANCE REVIEW

DRAWN	TR
REVIEWED	ME/JS
SCALE	NOTED

SHEET TITLE:
**ILLUSTRATIVE
SITE
PLAN**

SHEET NUMBER:
L-1.0

NOT FOR CONSTRUCTION

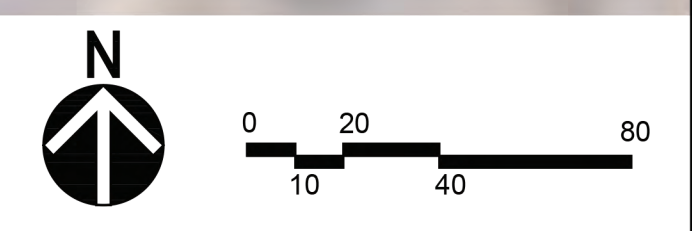
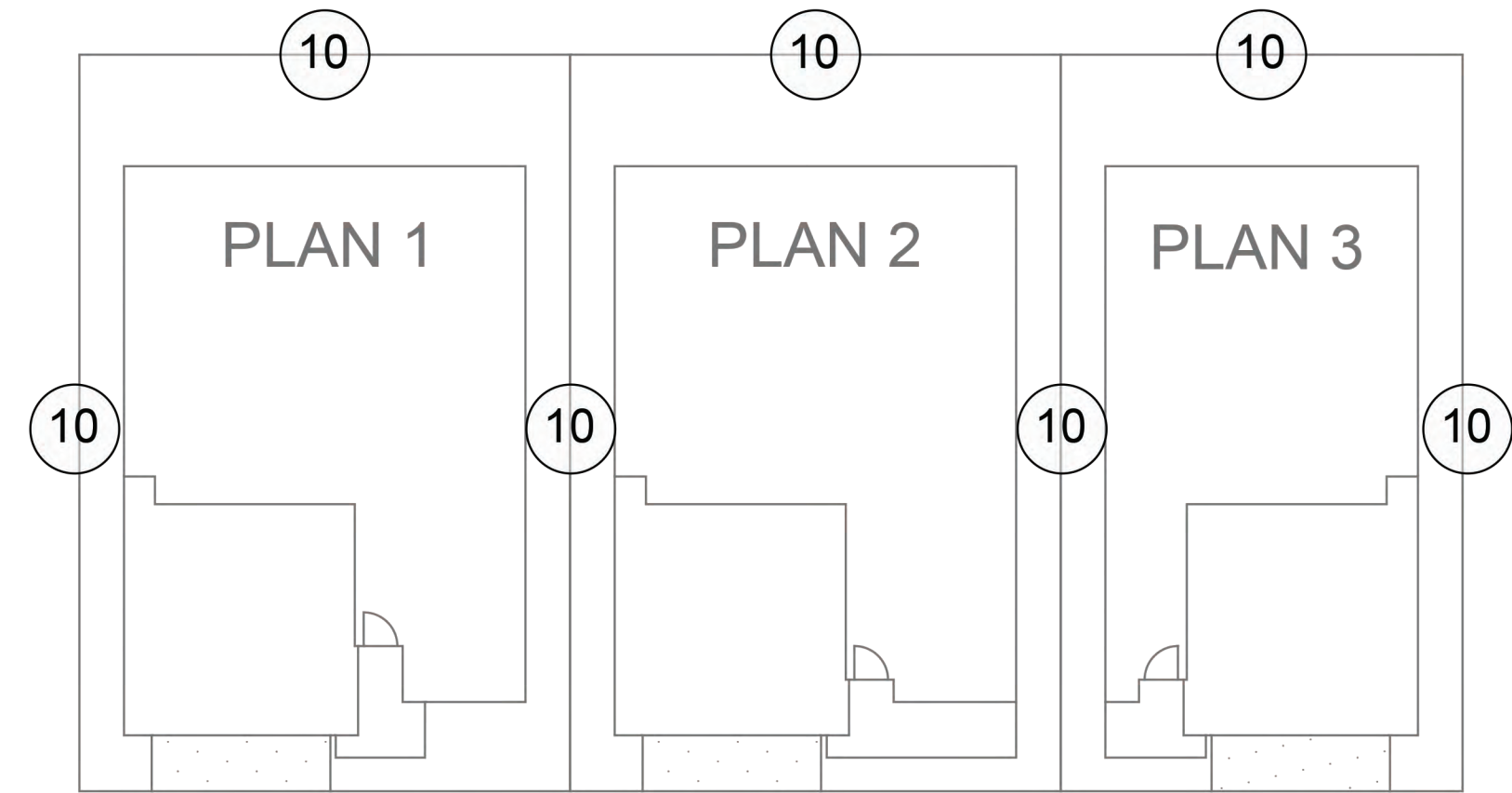


SINGLE FAMILY PROTOTYPICAL PLANS 1, 2 & 3

LEGEND

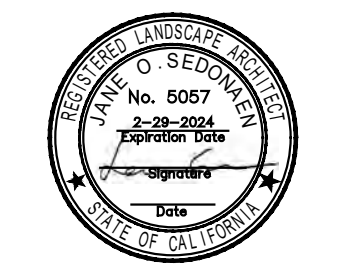
- 1 ENTRY WAY
- 2 BIO-RETENTION AREA
- 3 TYPICAL RESIDENTIAL PLANS (SEE ENLARGEMENT)
- 4 VISITOR PARKING
- 5 ENTRY PLANTING
- 6 COMMUNITY OPEN SPACE
- 7 EMERGENCY VEHICLE ACCESS/ TURNAROUND
- 8 RETAINING WALLS
- 9 HILLSIDE RESTORATION
- 10 SINGLE FAMILY LOT FENCING (TYPICAL)
- 11 PROPOSED UTILITY (SEE CIVIL DRAWINGS)

SINGLE FAMILY PROTOTYPICAL PLANS





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3/12/2024	HOUSING COMPLIANCE REVIEW

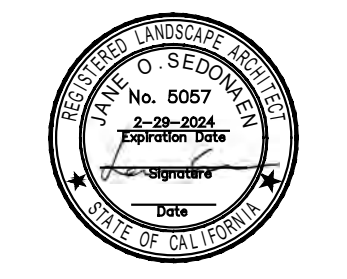
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REVIEWED	ME/JS
SCALE	NOTED

SHEET TITLE:
**CHARACTER
IMAGES**

SHEET NUMBER:
L-2.0

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3/12/2024	HOUSING COMPLIANCE REVIEW

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REVIEWED	MEJS
SCALE	NOTED








SHEET TITLE:
**PLANTING
DIAGRAM**

SHEET NUMBER:
L-3.0


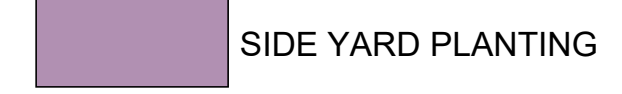
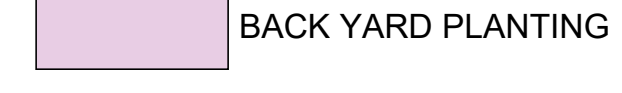


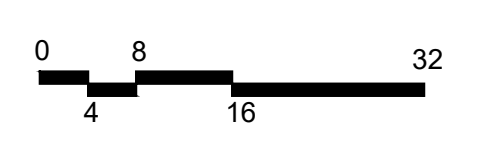
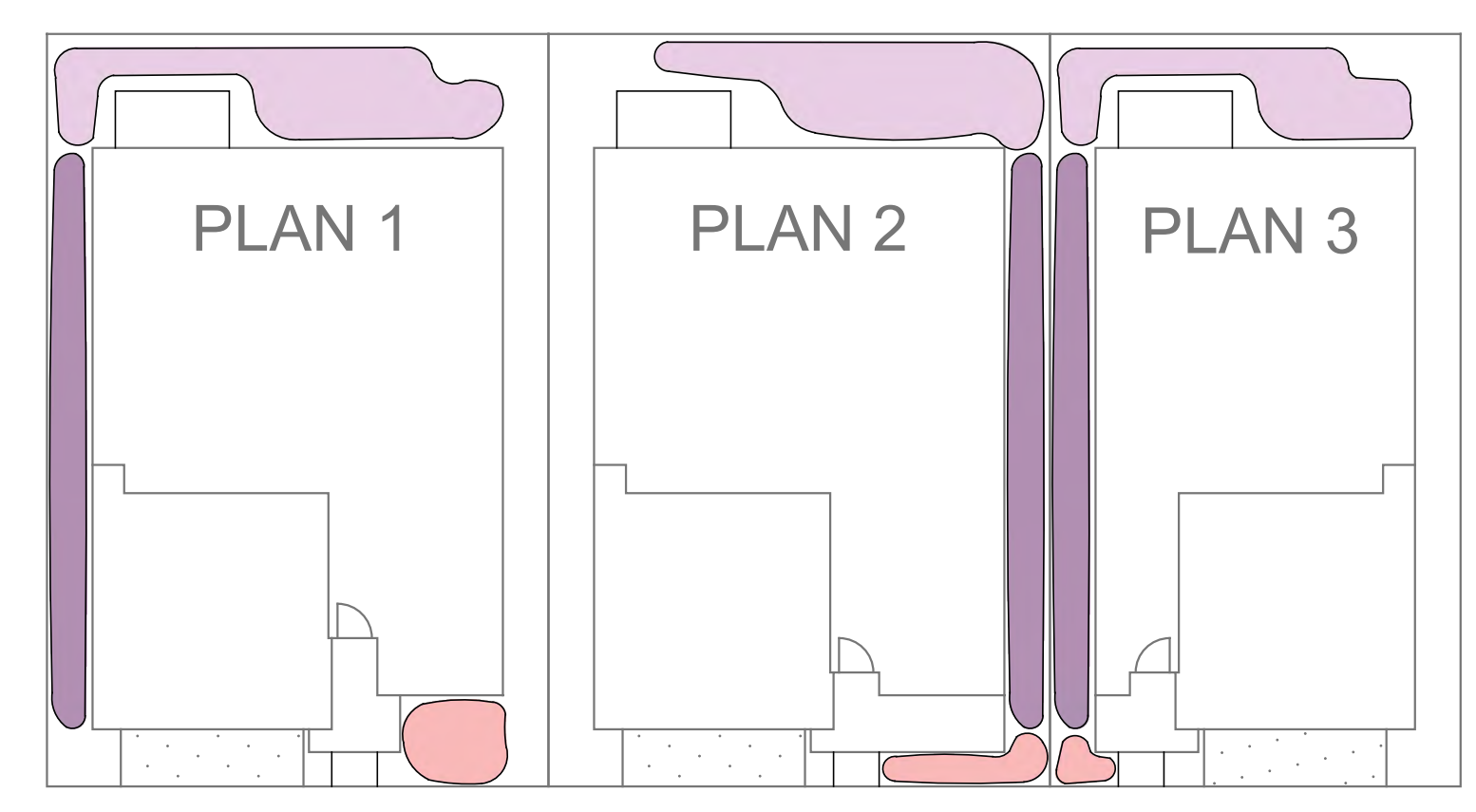
SINGLE FAMILY PROTOTYPICAL PLANS 1, 2 & 3

SITE WIDE PLANTING

-  PROPERTY LINE
-  ENTRY AND FOCAL PLANTING
-  NATIVE SCREENING
-  HILLSIDE RESTORATION
-  BIO-RETENTION PLANTING
-  SCREENING TREE
-  STREET TREE

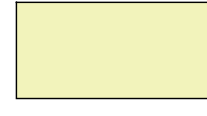
SINGLE FAMILY PROTOTYPICAL PLANS

-  FRONT YARD PLANTING
-  SIDE YARD PLANTING
-  BACK YARD PLANTING



NOT FOR CONSTRUCTION

ENTRY AND FOCAL PLANTING



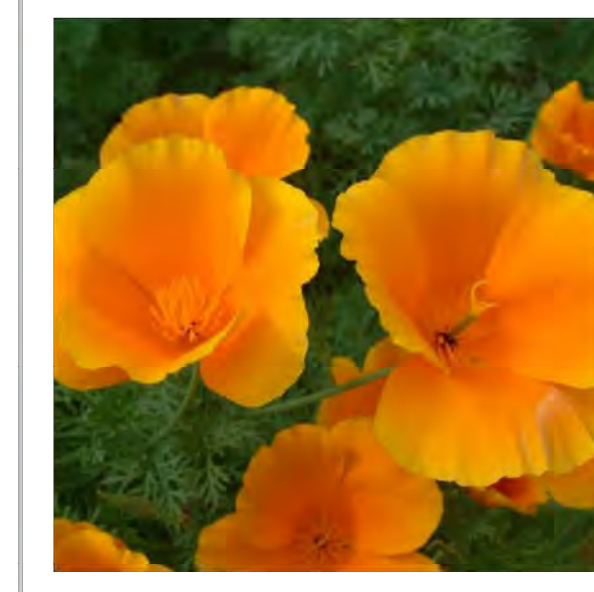
Agave americana
Century Plant, Maguey



Allium 'Ambassador'
Ambassador Ornamental Onion



Ceanothus 'Concha'
Concha California Lilac



Eschscholzia californica
California Poppy



Fremontodendron californicum
Flannel Bush



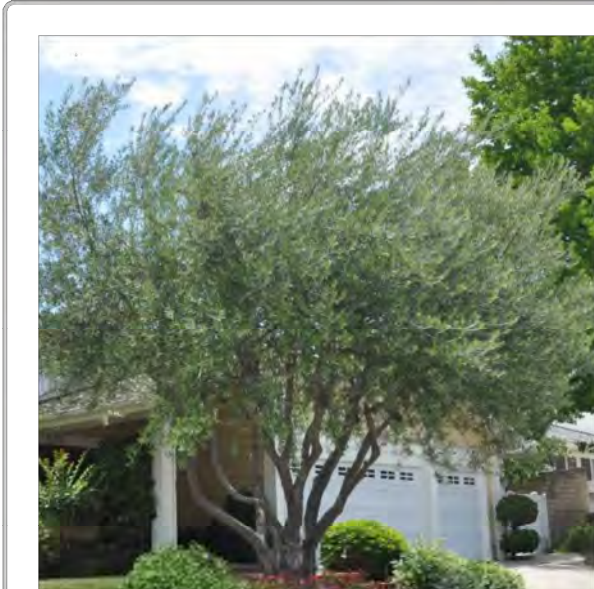
Hesperaloe parviflora
Red Yucca



Hesperoyucca whipplei
Our Lord's Candle



Nassella pulchra
Purple Needlegrass

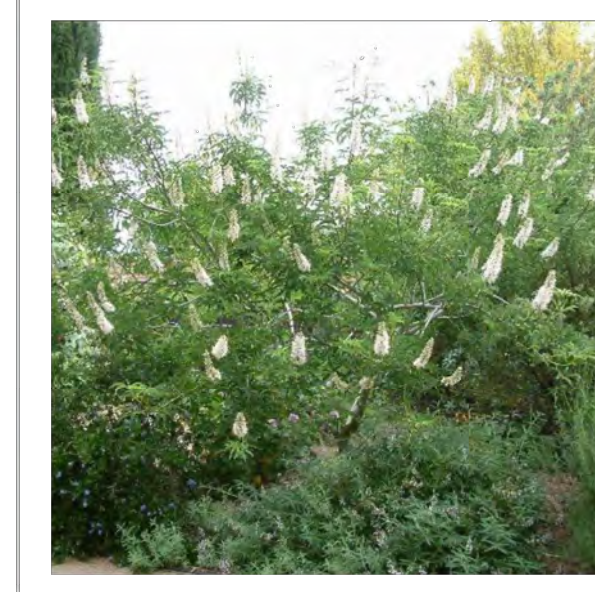


Olea europaea 'Fruitless Multi-trunk'
Fruitless Olive Multi-trunk



Salvia clevelandii
Cleveland Blue Sage

NATIVE SCREENING



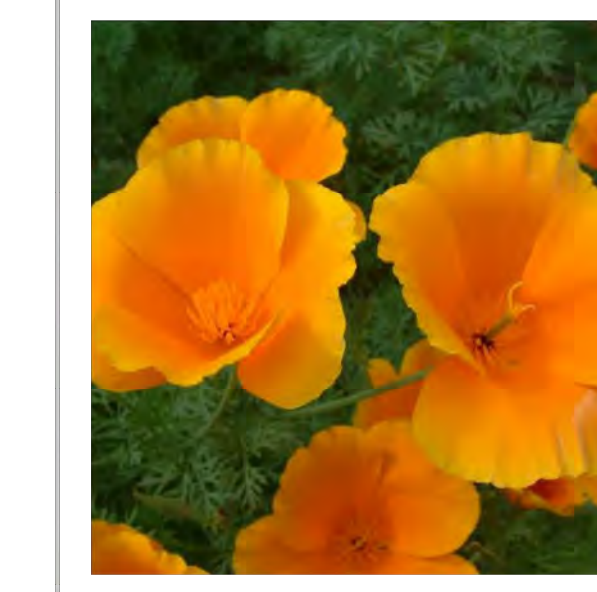
Aesculus californica
California Buckeye



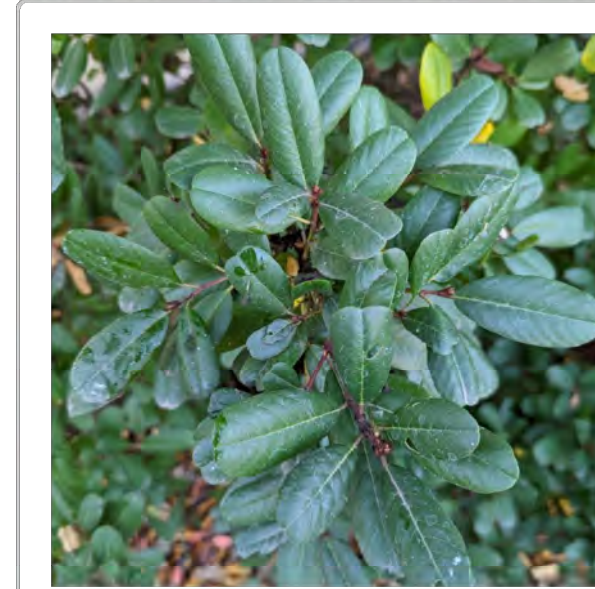
Berberis nervosa
Longleaf Barberry



Epilobium canum
California Fuchsia



Eschscholzia californica
California Poppy

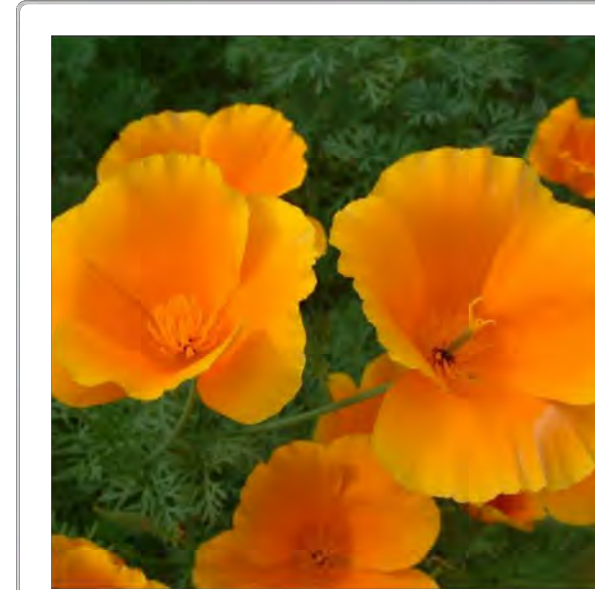


Frangula californica
Coffeeberry



Heteromeles arbutifolia
Toyon

HILLSIDE RESTORATION



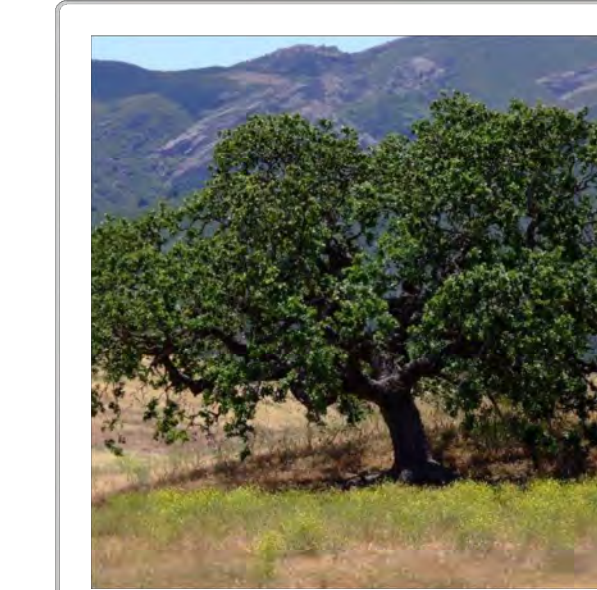
Eschscholzia californica
California Poppy



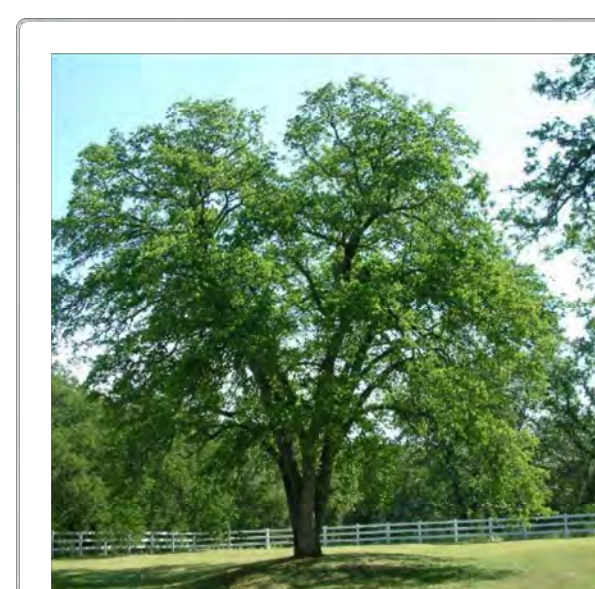
Festuca occidentalis
Western Fescue



Muhlenbergia rigens
Deer Grass



Quercus agrifolia
Coast Live Oak



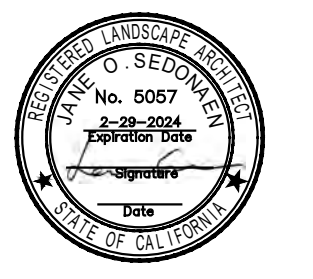
Quercus lobata
Valley Oak



Umbellularia californica
California Bay



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SHEET TITLE:
SITE WIDE PLANTING PALETTE

SHEET NUMBER:
L-4.0

NOT FOR CONSTRUCTION

BIO-RETENTION PLANTING



Chondropetalum tectorum
Cape Rush



Eriogonum arborescens
Santa Cruz Island Buckwheat



Juncus patens 'Elk Blue'
Elk Blue California Gray Rush



Leymus condensatus 'Canyon Prince'
Canyon Prince Wild Rye



Muhlenbergia rigens



Sisyrinchium bellum
Blue-Fved Grass

SCREENING TREE



Acer macrophyllum
Bigleaf Maple



Aesculus californica
California Buckeye



Quercus agrifolia
Coast Live Oak



Quercus lobata
Valley Oak

STREET TREE



Arbutus 'Marina'
Marina Strawberry Tree



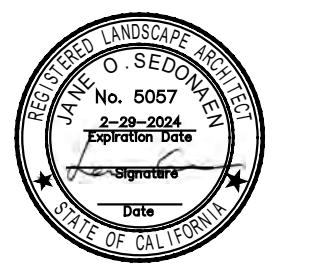
Cercis occidentalis
Western Redbud



Olea europaea 'Fruitless Multi-trunk'
Fruitless Olive Multi-trunk



1501 LUCAS VALLEY RD.
SAN RAFAEL, CA 94903
APN #164-280-35



Jane Sedonaen, Landscape Architect
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DATE:	DESCRIPTION:
11/16/2023	HOUSING COMPLIANCE REVIEW
1/23/2024	HOUSING COMPLIANCE REVIEW
3/12/2024	HOUSING COMPLIANCE REVIEW

DRAWN	TR
REVIEWED	ME/JS
SCALE	NOTED

SHEET TITLE:
SITE WIDE PLANTING PALETTE

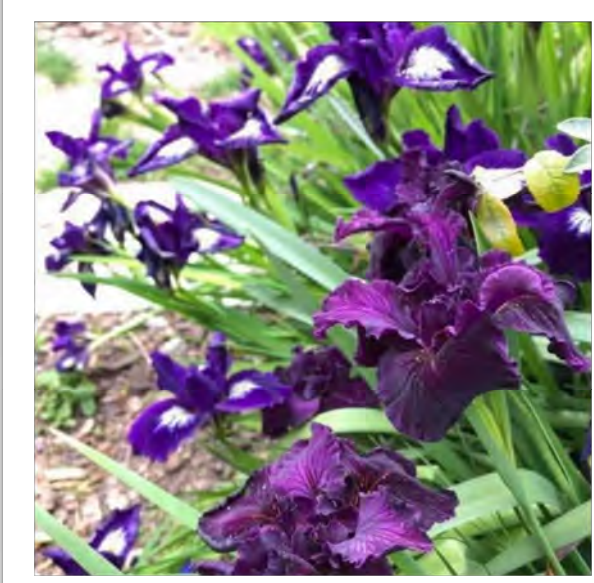
SHEET NUMBER:
L-4.1

NOT FOR CONSTRUCTION

FRONT YARD



Achillea millefolium
Common Yarrow



Iris Pacific Coast Hybrid 'Purple'
Purple Pacific Coast Iris



Lavandula angustifolia
English Lavender



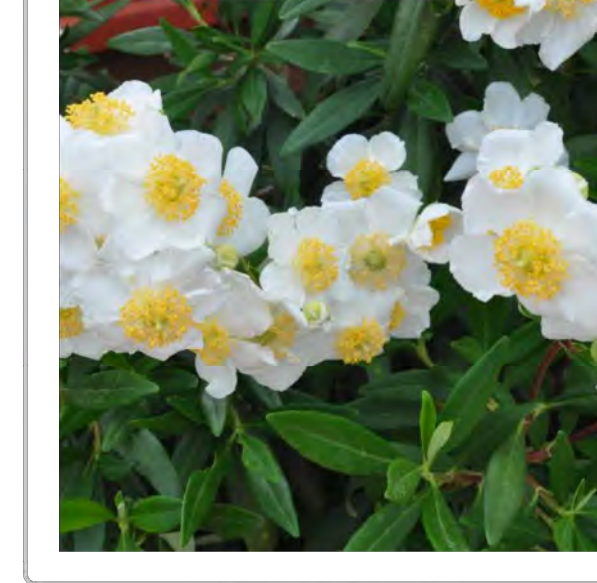
Monardella 'Russian River'
Russian River Bee Balm



Asclepias eriocarpa
California Monarch Milkweed



Bouteloua gracilis 'Blond Ambition'
Mosquito Grass



Carpenteria californica
Bush Anemone



Cistus ladanifer 'Albiflorus'
White Rockrose



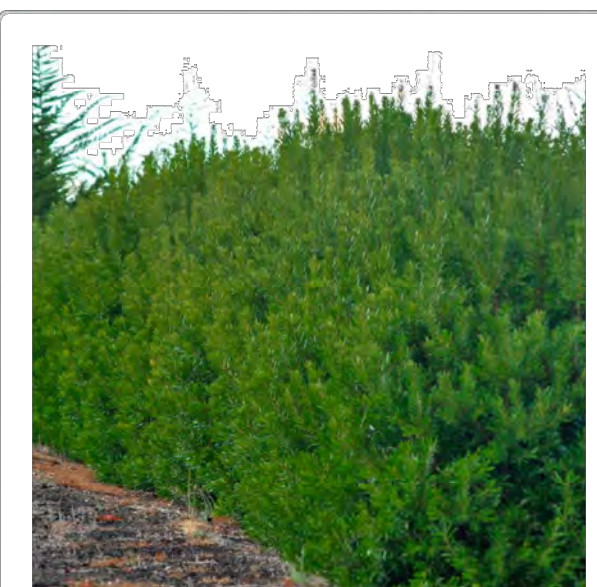
Olea europaea 'Montra'
Little Olive



Penstemon 'Cha Cha Cherry'
Cha Cha Cherry Penstemon



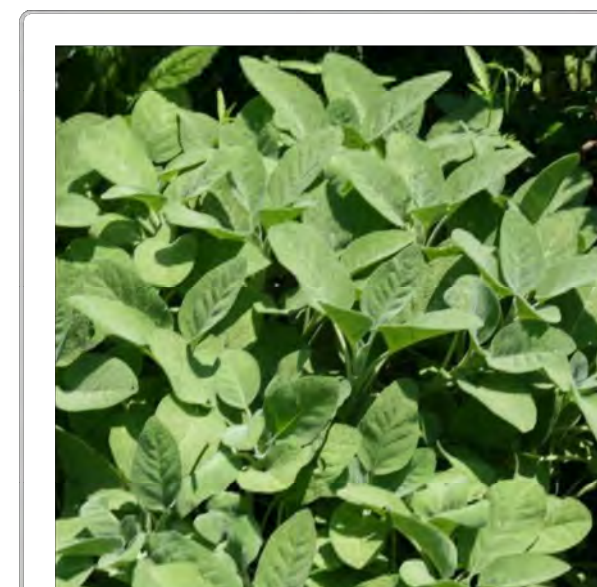
Penstemon 'Cha Cha Lavender'
Cha Cha Lavender Penstemon



Myrica californica
Pacific Wax Myrtle



Rosmarinus officinalis 'Barbeque'
Barbeque Rosemary

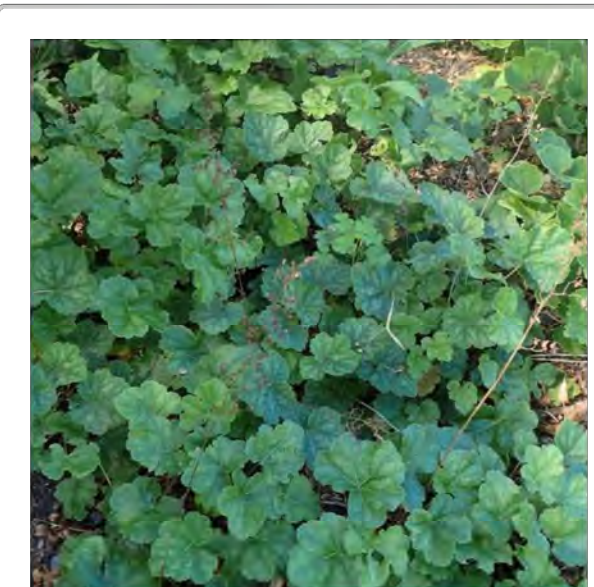


Salvia officinalis 'Berggarten'
Berggarten Sage

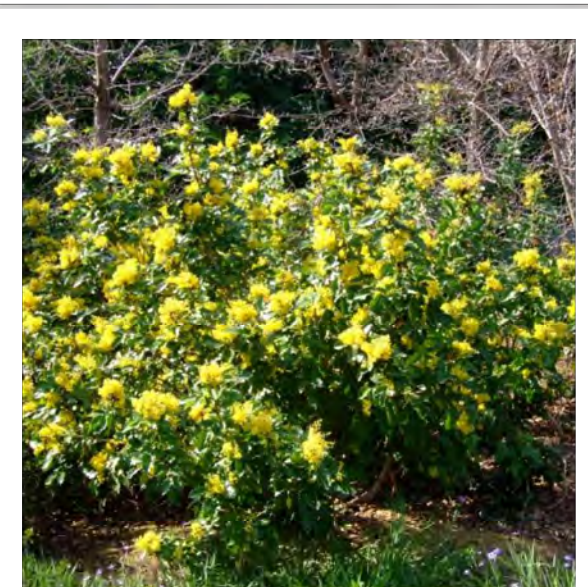
SIDE YARD



Festuca californica 'Serpentine Blue'
California Fescue selection



Heuchera americana
American Alumroot

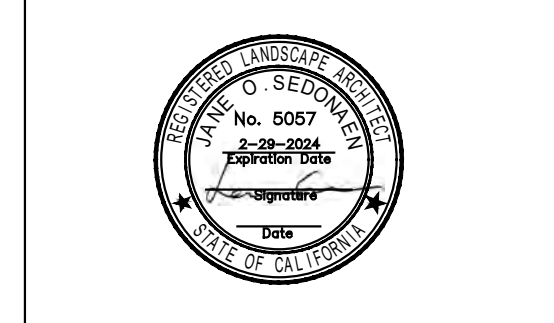


Mahonia repens
Creeping Mahonia

BACK YARD

INTEGRATED DESIGN STUDIO
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227 Flamingo Road
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Ph 415-381-9500
www.integrateddesignstudio.com

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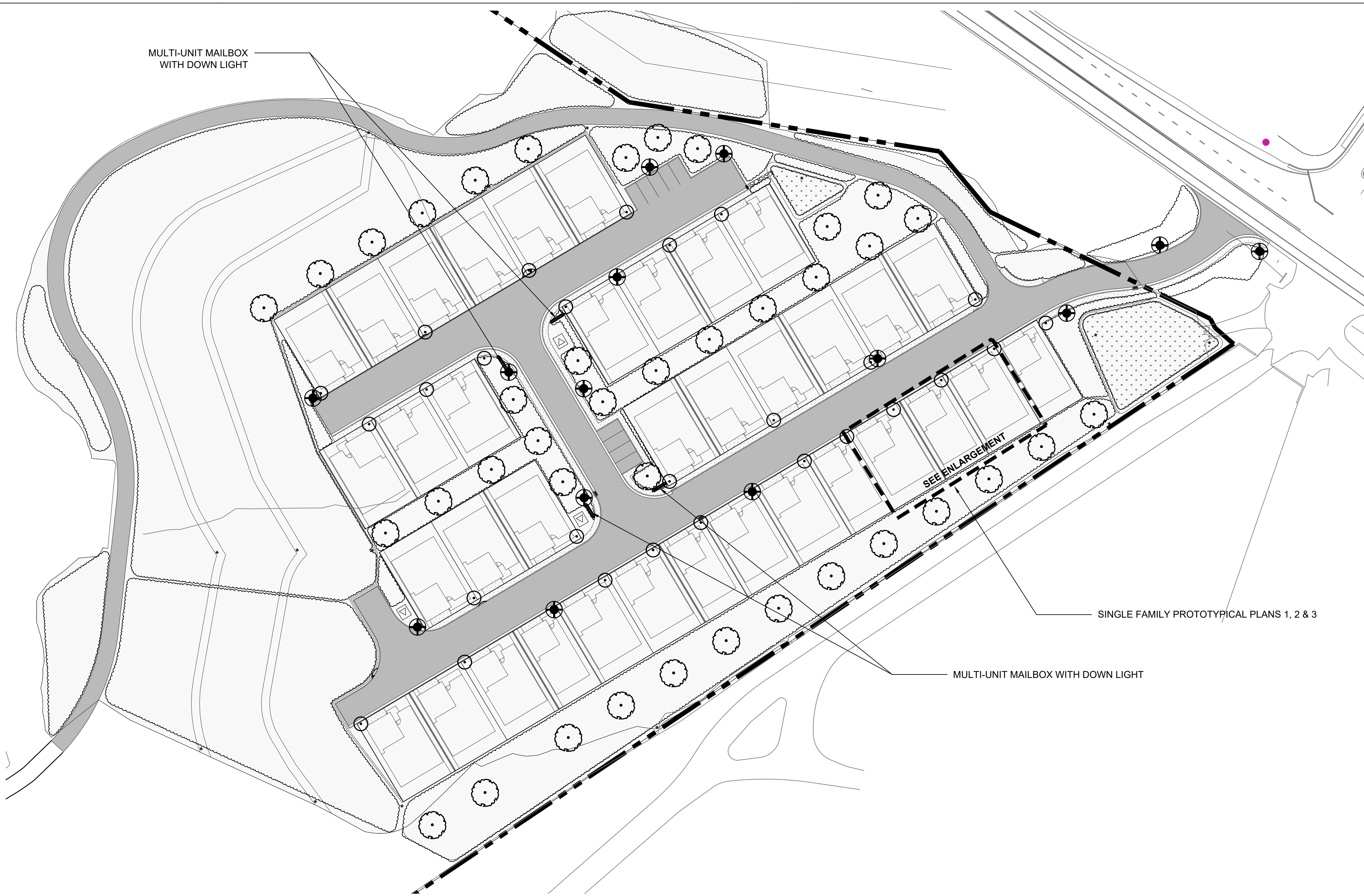
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REVIEWED	ME/JS
SCALE	NOTED

SHEET TITLE:
SINGLE FAMILY PROTOTYPICAL LOT PLANTING

SHEET NUMBER:
L-4.2

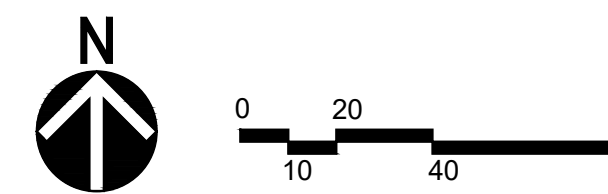
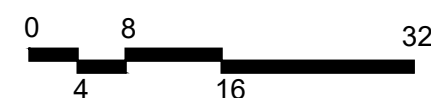
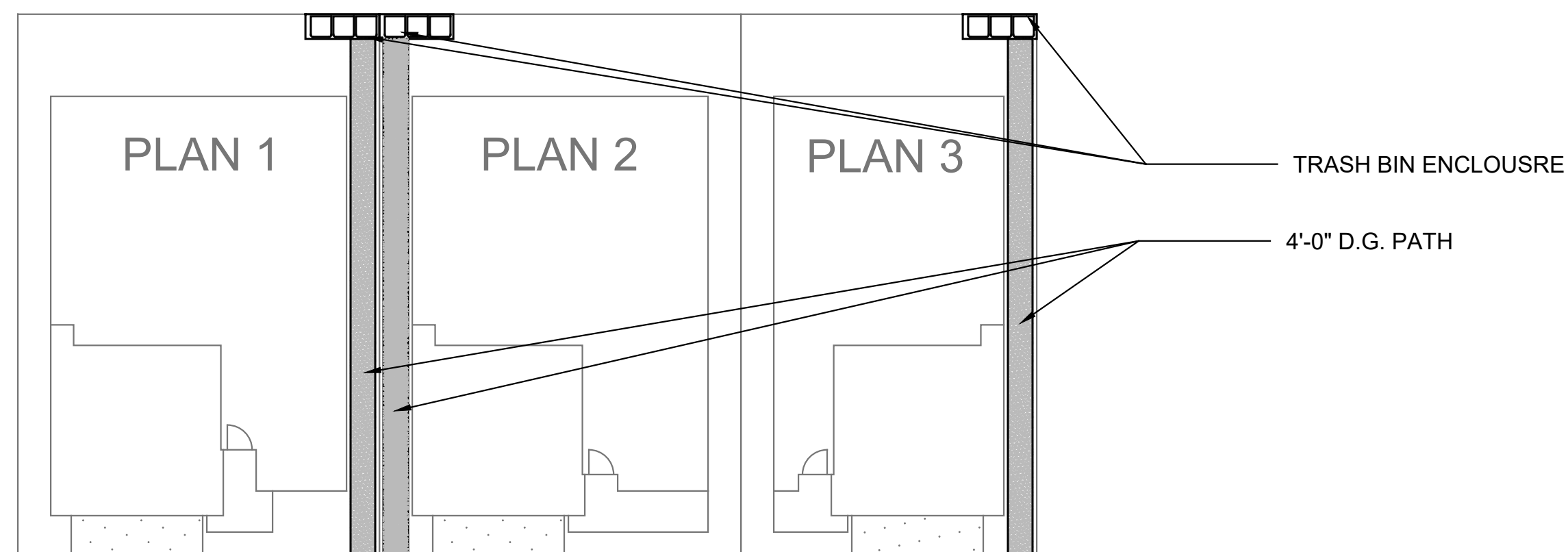
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LEGEND

-  STREET LIGHT
TYPE 15 LED
ROADWAY 1
ES-6A
-  MULTI-UNIT MAILBOX (SEE #1 ON L-7.0)
FOREVER BRIGHT
SPJ-LW-7-DOWNLIGHT
-  TRASH BIN ENCLOSURE
1 TRASH, 1 RECYCLE, 1 COMPOST

SINGLE FAMILY PROTOTYPICAL PLANS




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SCALE	NOTED

SHEET TITLE:
STREET LIGHTING & AMMENITIES

SHEET NUMBER:
L-6.0

NOT FOR CONSTRUCTION

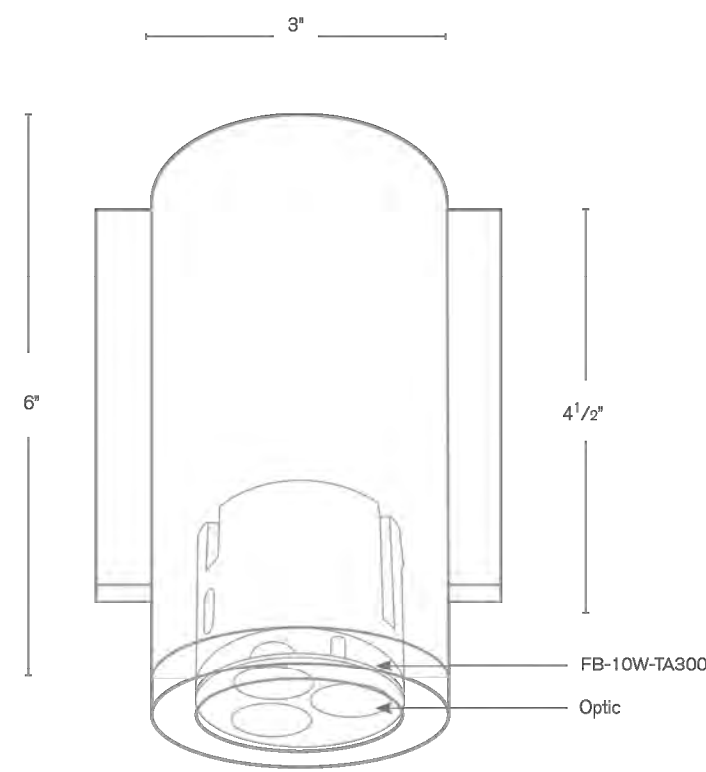


Model: **SPJ-LW-7-DOWNLIGHT**

Up / Down Accent

DESCRIPTION

Model#: SPJ-LW-7-DOWNLIGHT
Material: Solid Brass
Finish: Aged Brass
Electrical: 120V
Engine: FB-10W-TA300
Lumens: 300
Color Temp: 2700K
Optic: Spot, Flood, Wide Flood, Wide Angle Flood
Mounting: Surface Mount



ORDERING INFORMATION

Model#	Finishes	Wattage	Optics	Lumens	Color Temp.	Electrical
SPJ-LW-7-DOWNLIGHT	MBR	10W	FLOOD	300	2700K	120V

V = Verde GM = Gun Metal 7W Spot
 M = Moss B = Black 10W Flood
 AG = Aged Brass F = Rusty Wide Flood
 MBR = Matte Brass PDP = PVD Polished Wide Angle Flood
 SB = Satin Brass PDS = PVD Satin

WWW.SPJLIGHTING.COM

Forever Bright

SPECIFICATION FEATURES

Finish: Our naturally etched finishes will withstand the test of time. All finishes are individually treated insuring consistency. Our meticulous application results in a fixture that truly becomes 'a one of a kind'.

Electrical: Available in 120V

Labels: ETL Standard Wet Label
C-ETL



TYPE 15 AND TYPE 21 ELEVATION A

TYPE 15 AND TYPE 21 BARRIER RAIL MOUNTED ELEVATION B

LUMINAIRE MAST ARM CONNECTION DETAIL R

BASE PLATE DETAIL A

POLE TYPE	POLE DATA				BASE PLATE DATA		LUMINAIRE MAST ARM DATA						
	A HEIGHT	MIN OD	WALL THICKNESS	C	BC = BOLT CIRCLE	THICKNESS	ANCHOR BOLT SIZE	M PROJECTED LENGTH	N RISE AT POLE	MIN OD AT POLE	NOMINAL THICKNESS	TYPE 15	TYPE 21
15	30'-0"	8"	3/16"	0.1196"	1'-0"	1'-0"	2"	1" # x 3'-0" *	6'-0"	2'-0"	3/4"	31'-6"	36'-6"
21	35'-0"	8 1/2"	3/16"	0.1793"	1'-0"	1'-0"	2"	1 1/2" # x 3'-0" *	8'-0"	2'-6"	3/4"	32'-0"	37'-0"
									10'-0"	3'-3"	3/4"	32'-9"	37'-9"
									12'-0"	4'-3"	3/4"	33'-9"	38'-9"
									15'-0"	4'-9"	3/4"	34'-3"	39'-3"

NOTES:

- Indicates mast arm length to be used unless otherwise noted on the plans.
- For Type 15-SB, use Type 15 standard with Type 30 slip base plate details, see Standard Plan ES-6F.
- Handhole shall be located on the downstream side of traffic.
- For additional notes and details, see Standard Plans ES-TM and ES-TN.

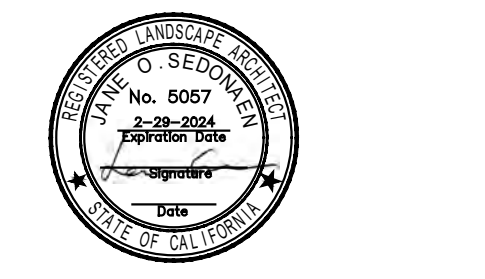
STATE OF CALIFORNIA
DEPARTMENT OF TRANSPORTATION
ELECTRICAL SYSTEMS (LIGHTING STANDARD, TYPES 15 AND 21)
NO SCALE

ES-6A

2010 STANDARD PLAN ES-6A



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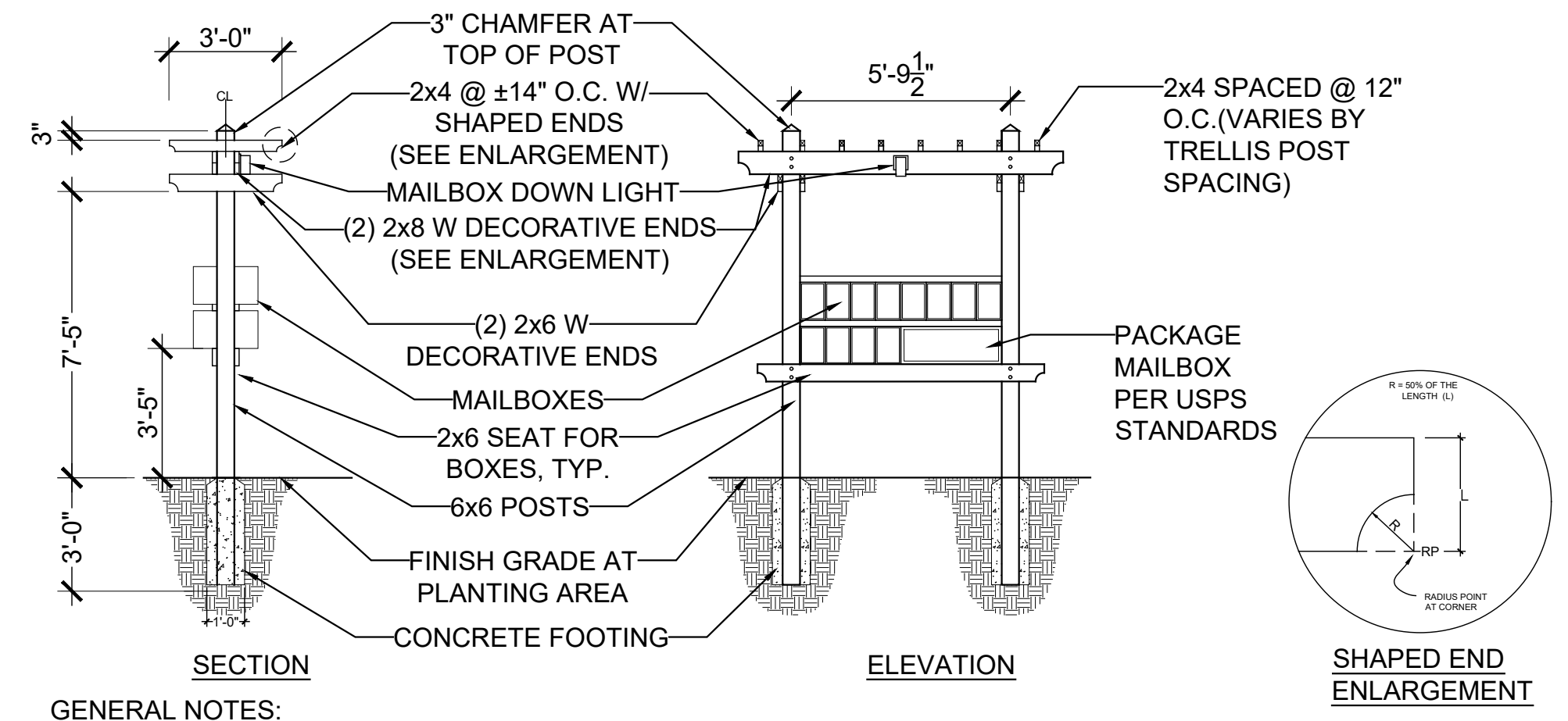
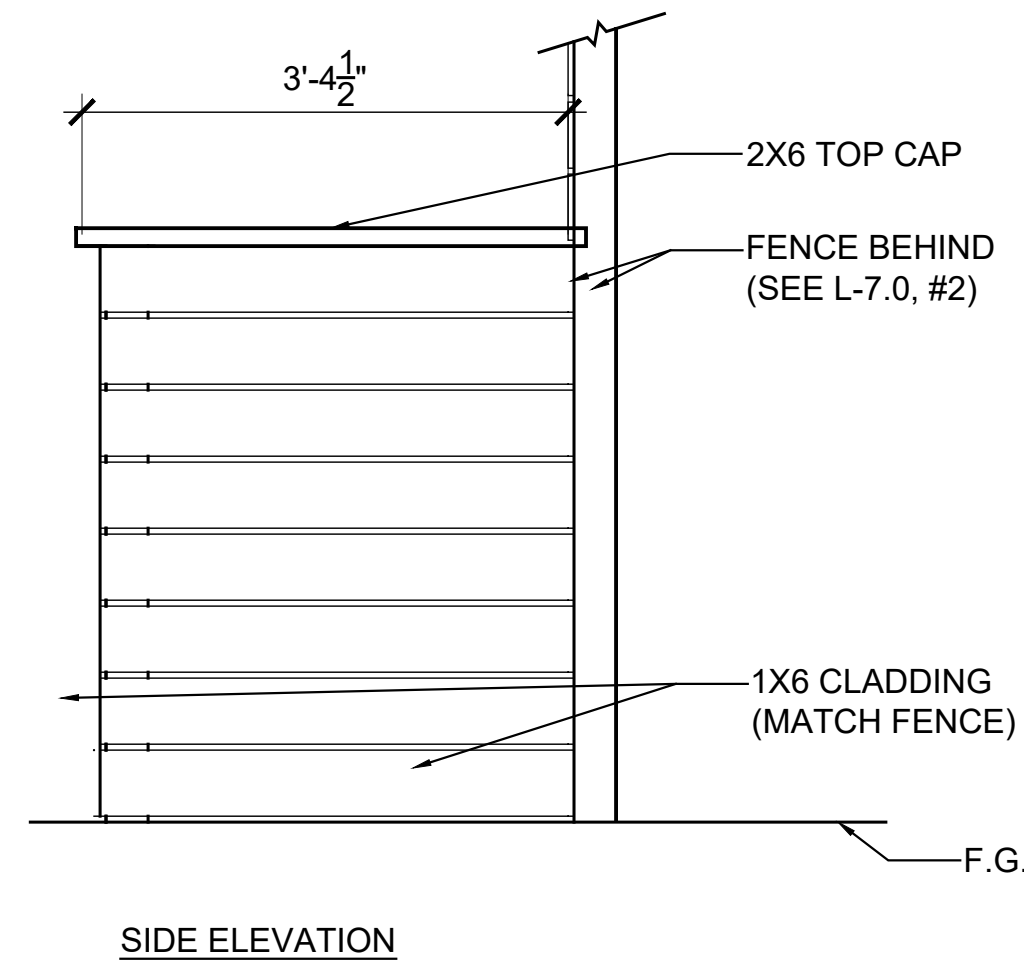
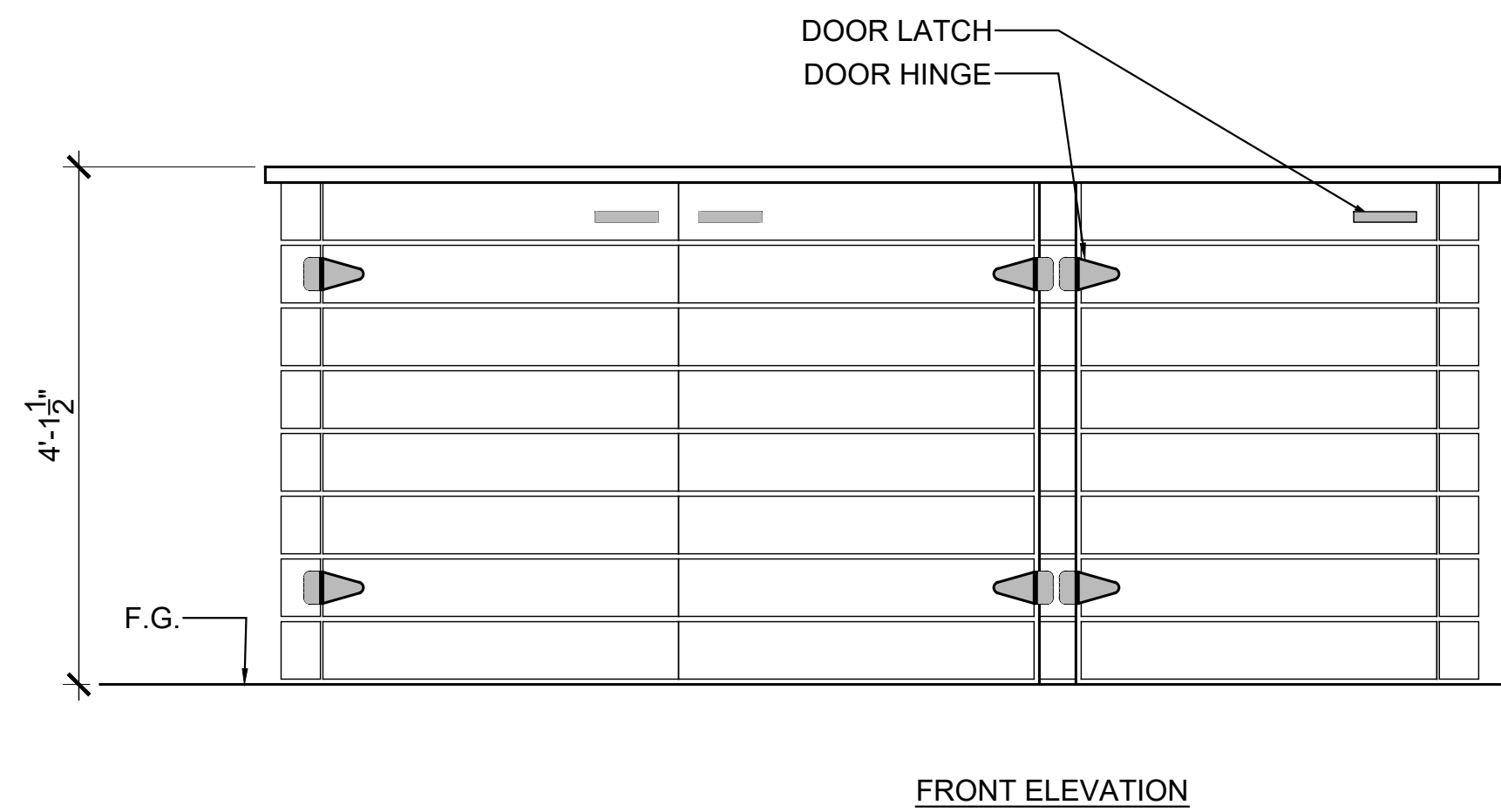
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SHEET TITLE:
LANDSCAPE LIGHTING DETAILS

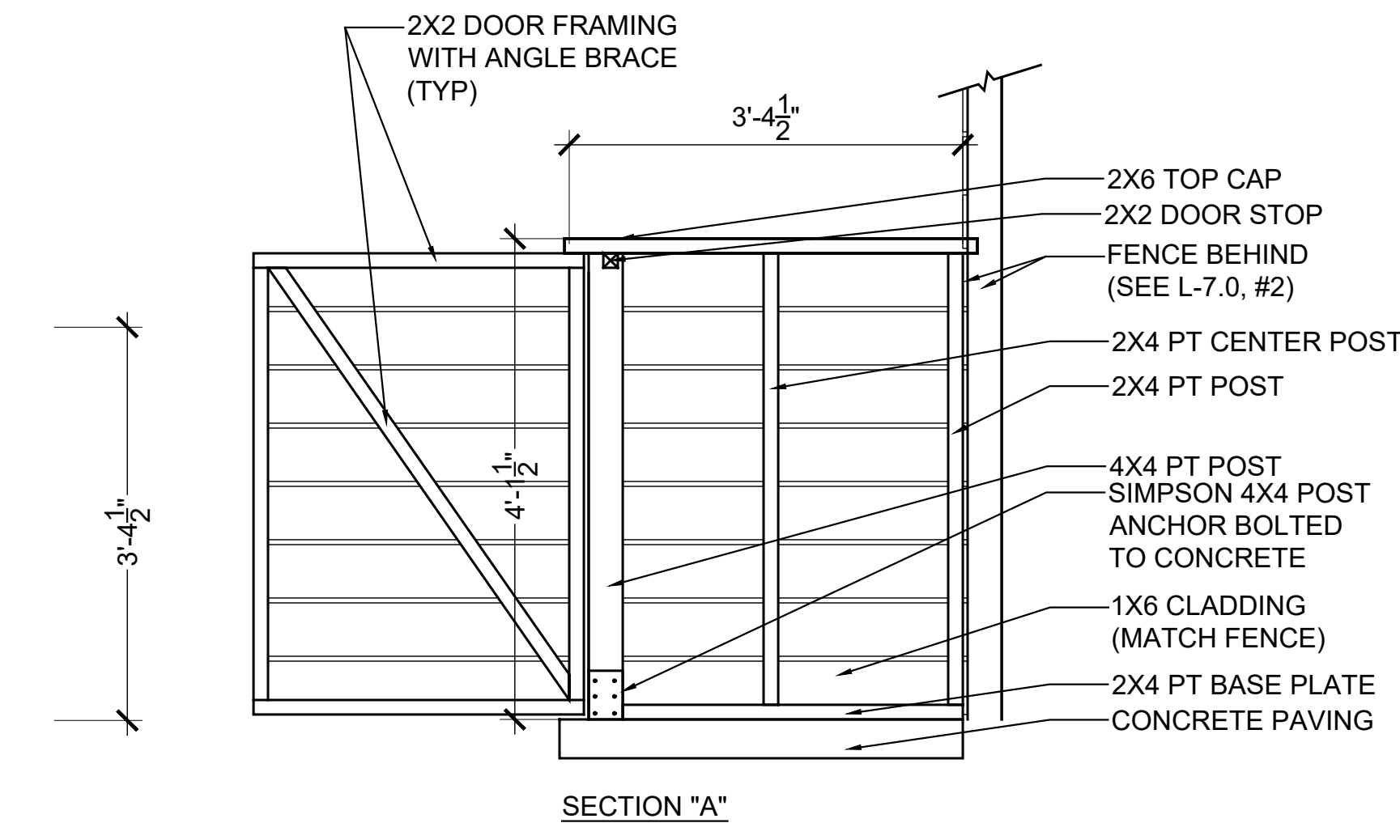
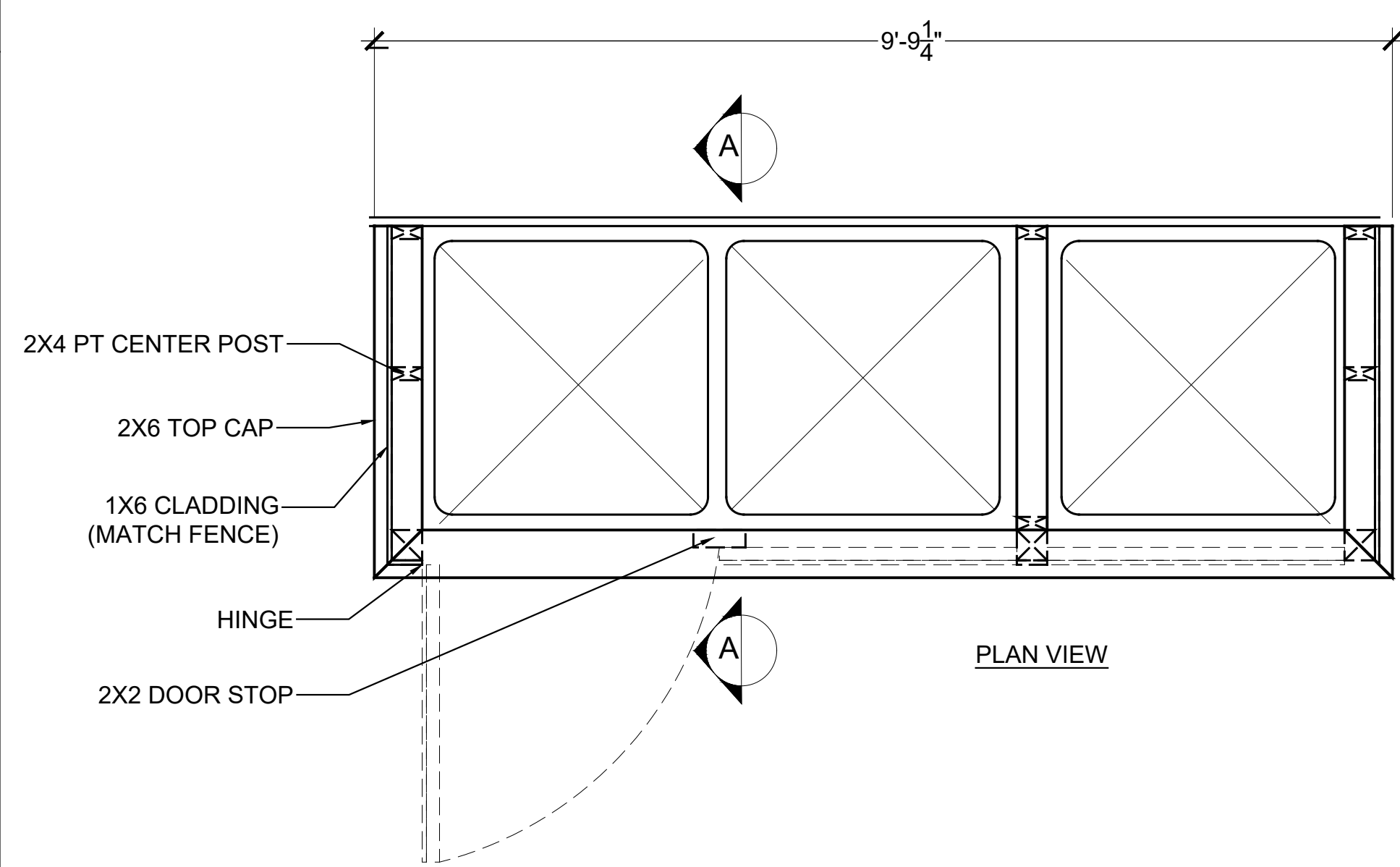
SHEET NUMBER:
L-6.1

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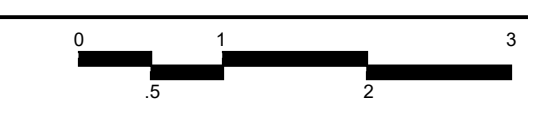


GENERAL NOTES:
 - ALL MEMBERS TO BE RDW CON. HART S4S.
 - ATTACH 2x6s AND 2x8s TO POSTS WITH (2) 1/2\"/>

1 MULTIPLE UNIT MAILBOX
 SCALE: 1/4" = 1'-0"



2 TRASH ENCLOSURE
 SCALE: 3/4" = 1'-0"



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SHEET TITLE:
DESIGN DETAILS (1)

SHEET NUMBER:
L-7.0

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