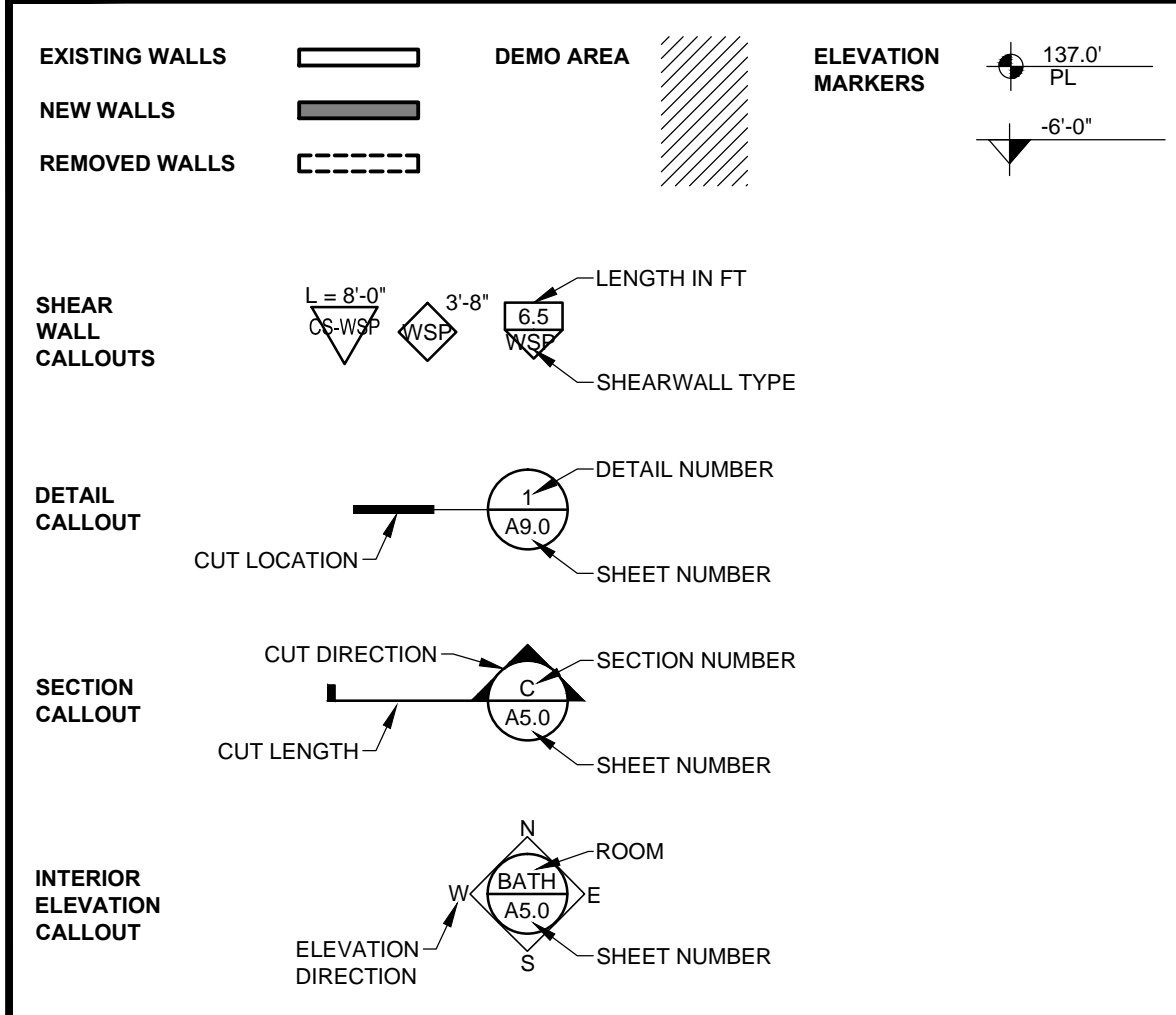


LEGEND



GENERAL NOTES

All construction and installation shall conform to:
 2019 California Residential Code (CRC)
 2019 California Building Code (CBC)
 2019 California Plumbing Code (CPC)
 2019 California Mechanical Code (CMC)
 2019 California Electrical Codes (CEC)
 2019 California Energy Code (CES)
 2019 California Green Building Standards Code
 2019 California Fire Code
 local ordinances and requirements.

- All conditions not specifically detailed on drawings shall be similar to those shown or implied.
- All dimensions take precedent over scale. Contractor shall not scale drawings with the intent of determining exact placement or location of particular assemblies. These drawings are not to be scaled. All dimensions are to face of framing unless otherwise noted.
- Contractor to make provisions to protect existing plants and trees to remain from damage due to construction and traffic.
- The Contractor shall locate and protect all existing utility lines and connections, including sewer, water, gas, and electric services before and during construction.
- Manufactured materials, equipment, etc. shall be installed per the manufacturer's recommendations and instructions unless otherwise noted.
- "Approved" (substitution or equal) shall mean as approved by the Designer of Record.
- Items indicated to be verified or field verified (V.I.F) are required to be verified prior to ordering materials or proceeding with work. All items shall be verified for design intent and compatibility with appropriate building codes prior to installation.
- Designs represented by these drawings are the property of the Designer and were developed for use on this project only. These drawings and the designs they represent shall not be used by or disclosed to any person or firm outside the scope of this project without written permission from Pucci Residential Design.

Field Conditions:
 These construction documents are based on observation and documentation of existing conditions by the designer and from documents provided by the owner. The Contractor shall verify dimensions, property lines, setbacks, easements, benchmarks, against field conditions. Should the Contractor encounter field conditions which vary from these construction documents and the effect intent of these drawings or the contract/subcontract sum, the Designer shall be notified immediately.

Codes and Conflicts:
 The Contractor and all Subcontractors shall be performed in conformance with the requirements of the building codes, and other applicable codes, ordinances, statutes, and supplemental requirements having jurisdiction. It is the Contractor's ultimate responsibility to construct the project per these codes. Conflicts between the construction documents and the governing codes shall be brought to the attention of the Designer.

Errors, Omissions, or Conflicts:
 Any errors, omissions, or conflicts found in the various parts of the construction documents shall be brought to the attention of the Designer and Owner before proceeding with the work.

Definitions:
 "Contractor" shall mean the General Contractor and all sub contractors.
 "Designer" shall mean the Designer of Record, or his agent.

Conflicting Data:
 In the event of conflict between data shown on drawings and data shown on the specifications, the specifications shall govern. Dimensions noted on the drawings shall take precedence over scaled dimensions. Detailed drawings take precedence over drawings of a smaller scale. Should the Contractor at any time discover an error in the drawings or specifications or a discrepancy or variation between dimensions on drawings and measurement at the site or lack of dimensions or other information, he shall report at once to the Designer or clarification and shall not proceed with work affected until clarification has been made.

Scope:
 Trades shall furnish all labor, equipment, materials, and services required to perform all work necessary indicated reasonably inferred, or required by any code with jurisdiction to complete their scope of work for a complete and properly finished job using new materials u.n.o. in accordance with the best accepted standards of workmanship.

All work listed, shown, or implied on any construction document shall be supplied and installed by the Contractor excepted where noted. Exclusion of an item does not imply omission. The Contractor shall coordinate his work with that of other contractors or vendors to assure that all schedules are met and that all work is done in conformance to manufacturers requirements. Work required under this Contract shall include all labor, materials, equipment, etc., necessary to complete this project. All materials shall be new and unused, unless specifically noted, and be of quality acceptable by industry standards. The Contractor shall comply with the spirit and intent of these documents and shall complete the work satisfactorily and in a manner acceptable to the Owner.

Work Quality:
 a. Finished work shall be firm, well anchored, in true alignment, plump, and level without waves, distortions, holes, marks, cracks, stains, or discoloration. Joints shall be close fitting, neat, and well scribed. The finish work shall not have exposed, unsightly anchors or fasteners, and shall not present hazardous, unsafe corners. All work shall have provision for expansion, contraction, and shrinkage as necessary to prevent cracks, buckling, and warping due to temperature and humidity conditions.



SHAMASH RESIDENCE NEW ADU

367 S MORNING SUN AVE, MILL VALLEY, CALIFORNIA
APN # 050-092-05

PROJECT DATA

CODE AND ZONING INFORMATION	
ZONING:	R1, SF6
SETBACKS	25 FT FRONT 6 FT SIDE 20% OF LOT DEPTH, 25FT MAX. 15FT FROM EXISTING NATURAL GRADE
ADU HEIGHT	15FT FROM EXISTING NATURAL GRADE
FAR	30%
EXISTING FAR/BUILDING AREA	1380/20.473 = 6.7%
NEW FAR/BUILDING AREA	2576/20.473 = 12.5%
BUILDING CONSTRUCTION TYPE: V-B	
OCCUPANCY CLASSIFICATION:	R-3 DWELLING / U GARAGE
ORIGINAL CONSTRUCTION:	1929
EXISTING STRUCTURE INFORMATION	
(E) HOME	1380 S.F.
(E) CARPORT	290 S.F. (OPEN SIDES)
LOT INFORMATION	
LOT SIZE	20,473.2 S.F. (0.47 AC)
NEW STRUCTURE INFORMATION	
(N) ADU	1196 SF
(N) PERVIOUS AREA	515 SF (DECK) 135 SF (SITE STAIRS) .373 SF (PARKING AREA)
TOTAL	1023 SF
GRADING CALCULATIONS	
CUT (RETAINING AT HOUSE)	61 CU YDS
CUT (RETAINING AT PARKING)	44 CU YDS
FILL (HOUSE, YARD)	105 CU YDS
OFF-HAUL	0 CU YDS

SCOPE OF WORK

- NEW 1196 SF ADU W/ DECK
- NEW SITE STAIRS
- NEW STREET PARKING AREA

DRAWING INDEX

SHEET #	DESCRIPTION
A1.0	NOTES, ZONING, SHEET INDEX
A1.1	EXISTING SITE PLAN
A1.2	NEW SITE PLAN
A1.3	PRELIMINARY DRAINAGE PLAN
A2.0	(N) ADU FLOOR PLAN
A3.0	EXTERIOR ELEVATIONS
A3.1	SECTIONS

2019 ENERGY EFFICIENCY STANDARDS

COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2019 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF1R, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.

DEFERRED SUBMISSION

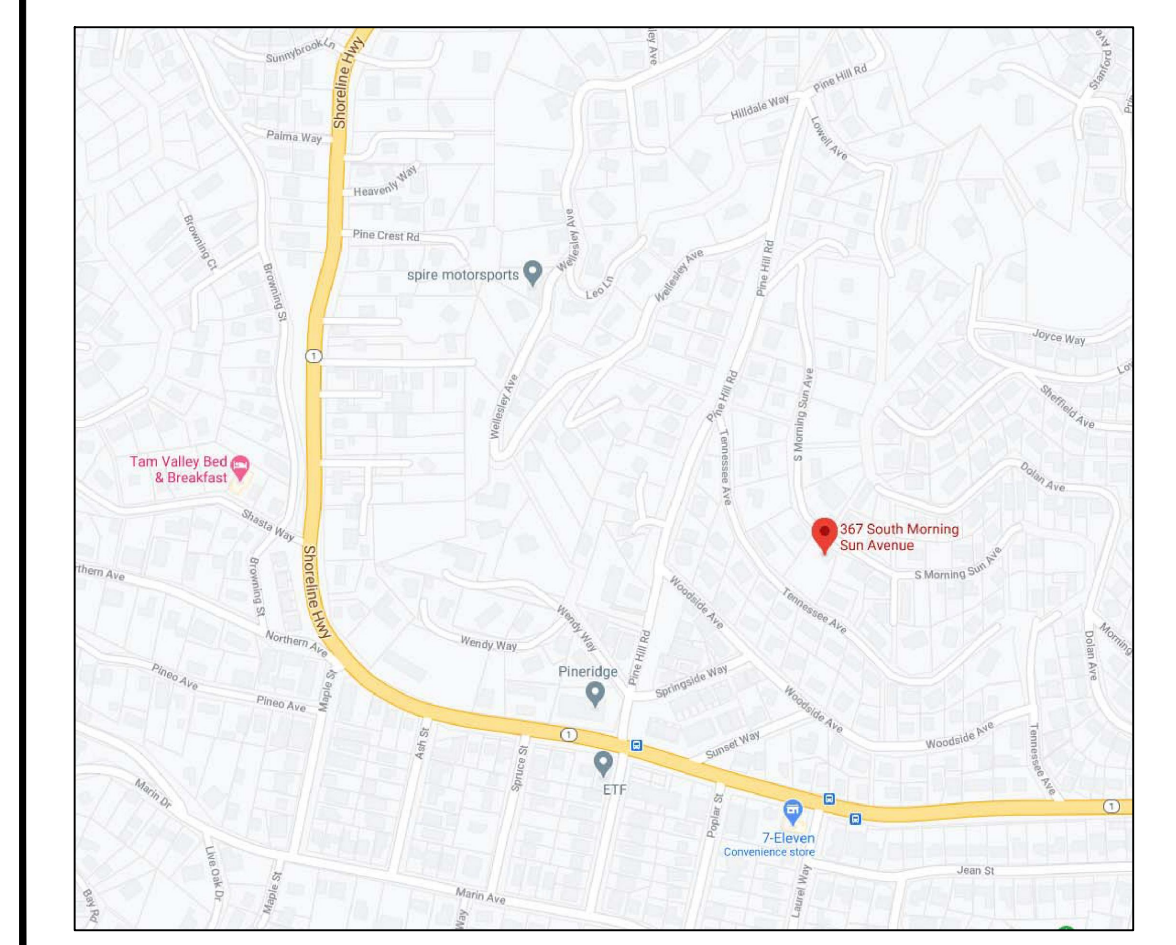
NONE

PROJECT DIRECTORY

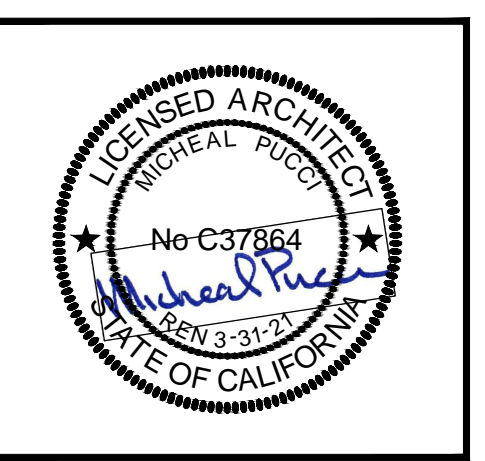
OWNER:
 UZI SHAMASH
 367 S MORNING SUN AVE
 MILL VALLEY, CA, 94941

ARCHITECT:
 MICHAEL PUCCI
 PUCCI RESIDENTIAL DESIGN
 119 10TH ST
 PETALUMA, CA, 94952
 650-888-3793

VICINITY MAP



PUCCI RESIDENTIAL DESIGN
 119 10th ST, PETALUMA, CA, 94952
 650-888-3793
 mpucci40@yahoo.com



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**SHAMASH RESIDENCE
NEW ADU**
 367 S. MORNING SUN AVE, MILL VALLEY, CALIFORNIA
 APN #050-092-05

TITLE SHEET
A1.0
 DEC. 14, 2020

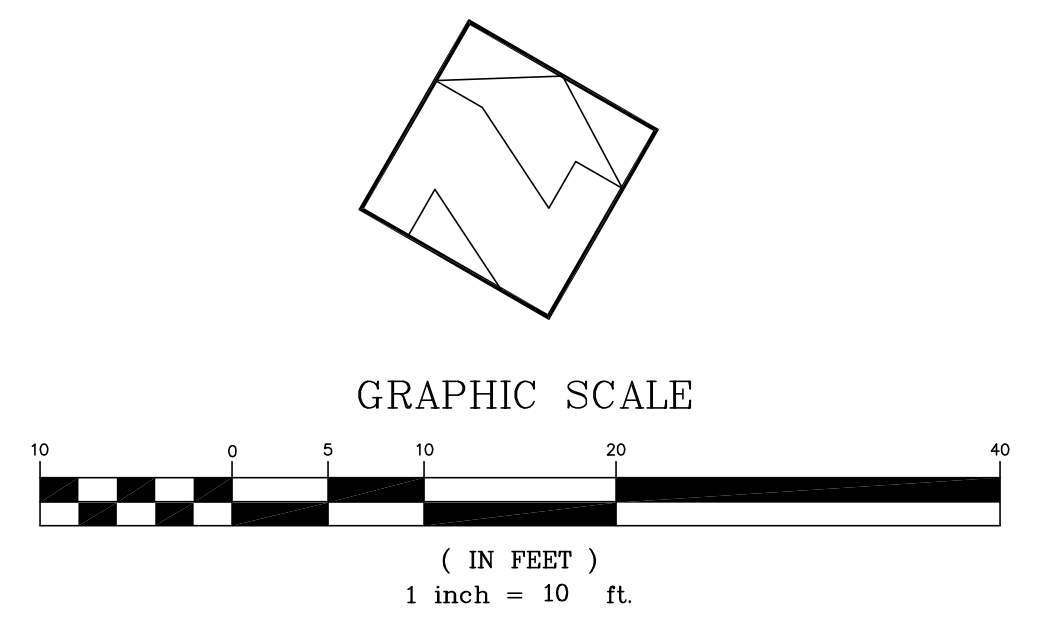
TOPOGRAPHIC NOTES

1. TOPOGRAPHIC SURVEY FIELD SURVEYED ON OCTOBER 9, 2013 AND MARCH 11, 2020.
2. THIS TOPOGRAPHIC SURVEY DOES NOT CONTAIN A SURVEY OF THE BOUNDARY. BOUNDARY INFORMATION SHOWN HEREON IS TAKEN FROM RECORD DATA AND SHOULD NOT BE CONSIDERED AS FINAL OR ALL INCLUSIVE.
3. ENCROACHMENTS, AMBIGUITIES AND INCONSISTENCIES (IF ANY) BETWEEN THE RECORD DATA AND ACTUAL FIELD CONDITIONS WERE NEITHER CONSIDERED NOR RESOLVED. NO ATTEMPT WAS MADE TO LOCATE UNDERGROUND FEATURES. UNDERGROUND FEATURES SHOWN ARE BASED UPON VISUAL INSPECTION AND FOUND & SURVEYED ABOVE GROUND FEATURES.
4. BENCHMARK: FOUND MAG NAIL & SHINER IN S MORNING SUN AVENUE; CONTROL POINT #1
4.1. ELEVATION: 200.00 (ASSUMED)

ABBREVIATIONS

SCREENED and/or lower case DENOTES EXISTING IMPROVEMENTS

±	PLUS/MINUS
AC	ASPHALT CONCRETE
APN	ASSESSOR PARCEL NUMBER
APPROX	APPROXIMATE
C&G	CURB & GUTTER
CNC	CONCRETE
DRN	DRAIN
EX	EXISTING
FF	FINISHED FLOOR
GND	GROUND
LF	LINEAR FEET
(max)	MAXIMUM
(min)	MINIMUM
PL	PROPERTY LINE
TB	TOP OF SLOPE
TG	TOP OF GRATE
TOE	TOE OF SLOPE
(typ)	TYPICAL



DATE:	Apr 2020
SCALE:	As Shown
DESIGNED:	MS
DRAWN:	JS
CHECKED:	MS
PROJ.SYR.:	MS
PROJ.MGR.:	MS

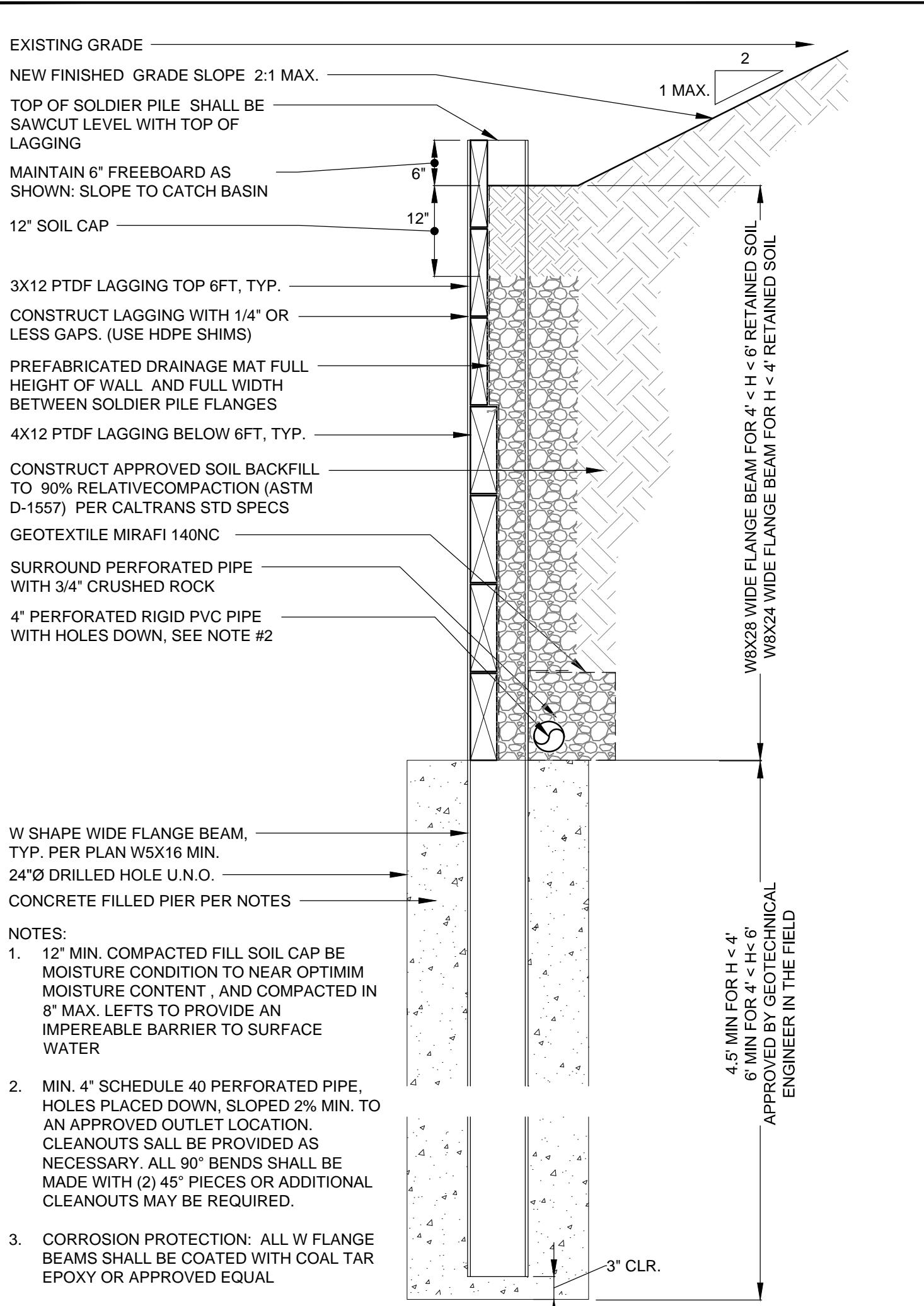
No.	DATE	REVISION

NORTH BAY LAND SURVEYORS
 POST OFFICE BOX 961, FORESTVILLE, CA 95436
 Tel./Fax 707.887.0504 E-mail: mikesnls@gmail.com

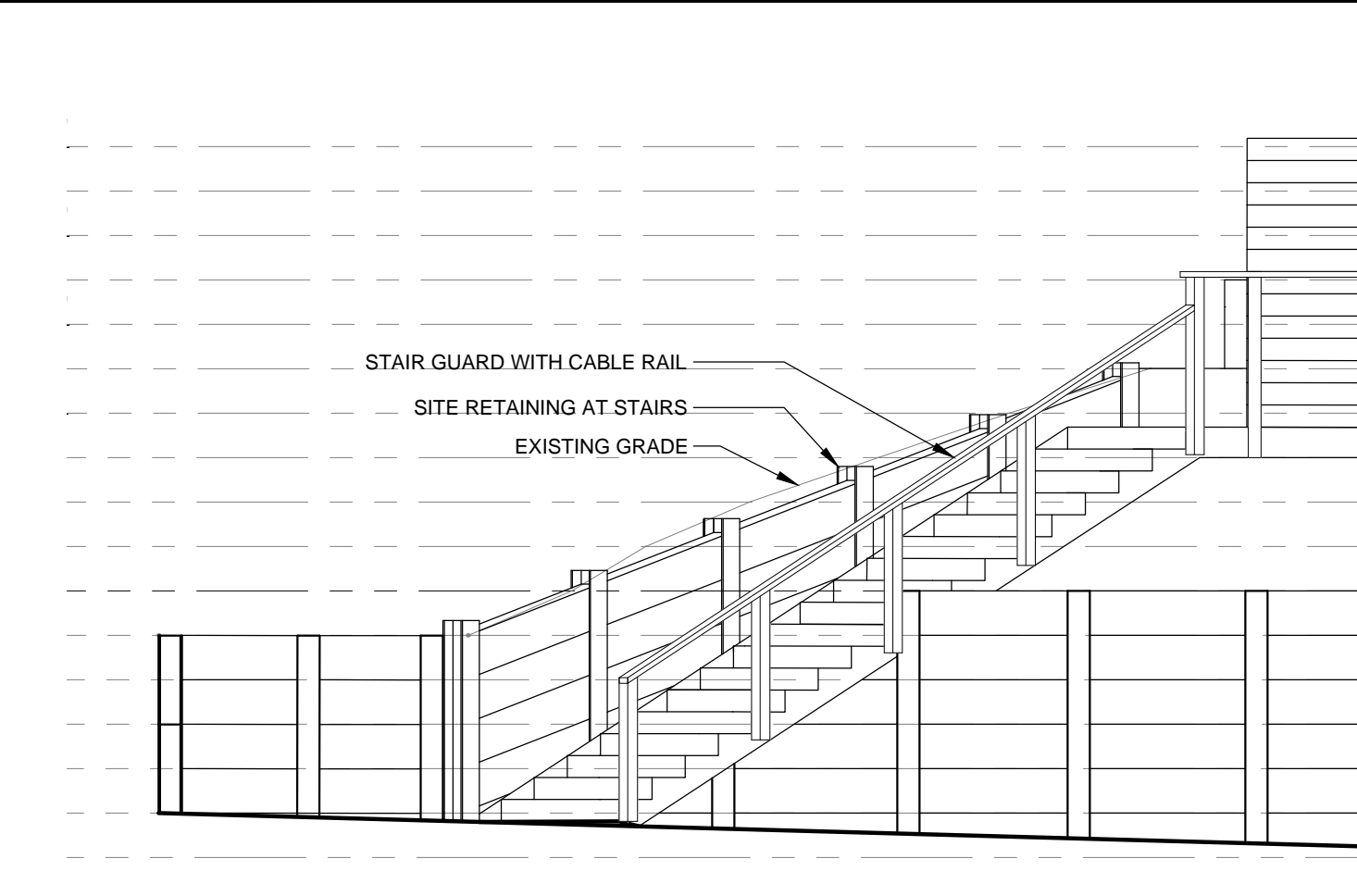
TOPOGRAPHIC MAP
 SHAMASH RESIDENCE
 367 SOUTH MORNING SUN AVENUE
 MILL VALLEY MARIN COUNTY CALIFORNIA

SHEET 1 OF 1 SHEETS
 JOB No. SHAMASH

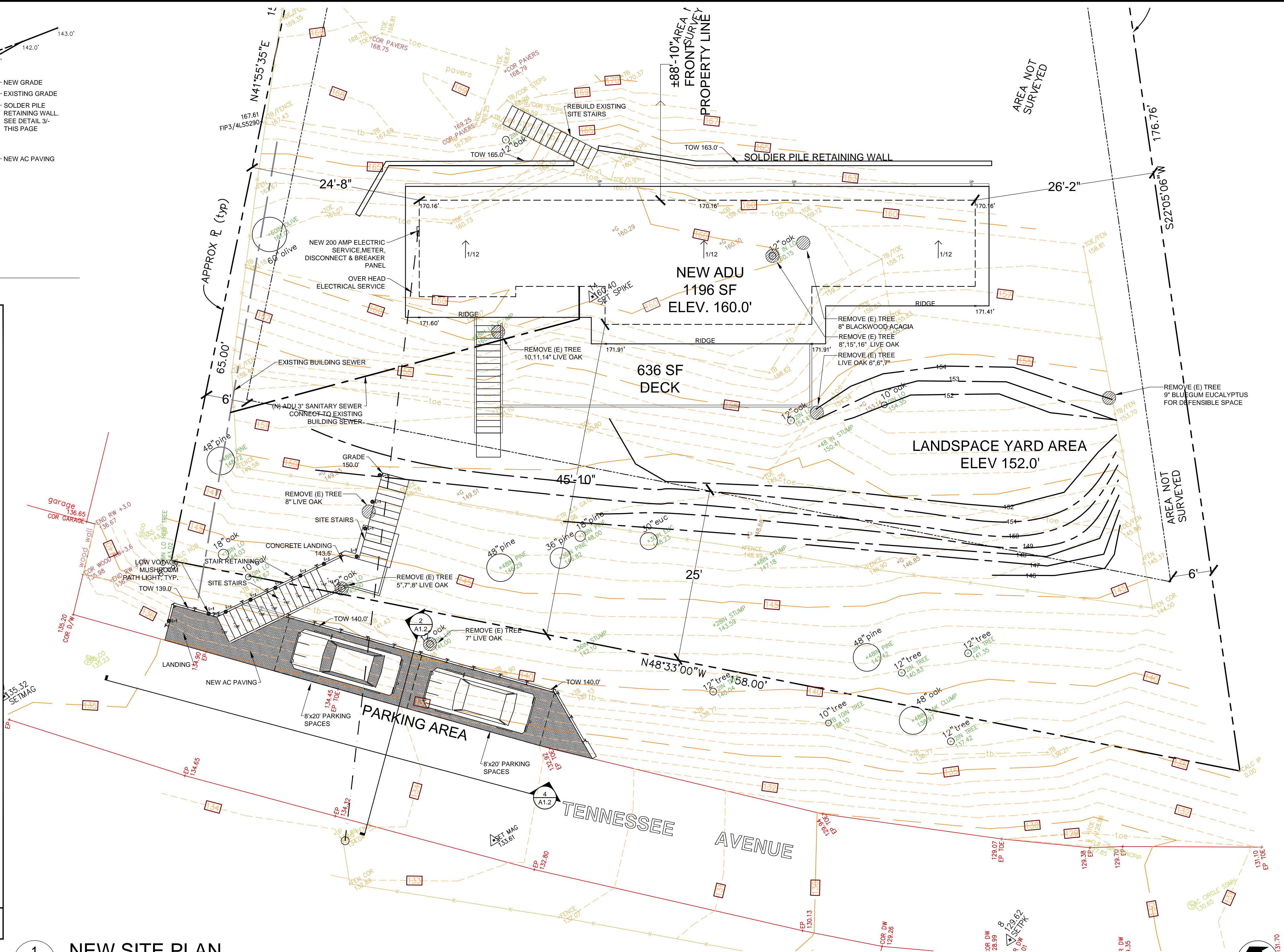
2 SITE SECTION @ PARKING
SCALE: 1/4" = 1'-0"



3 SOLDIER PILE RETAINING WALL (MARIN STANDARD 165)
SCALE: 3/4" = 1'-0"



4 SITE ELEVATION @ PARKING
SCALE: 1/4" = 1'-0"



1 NEW SITE PLAN
SCALE: 1/8" = 1'-0"



5 RETAINING WALL EXAMPLE
SCALE: 1/4" = 1'-0"

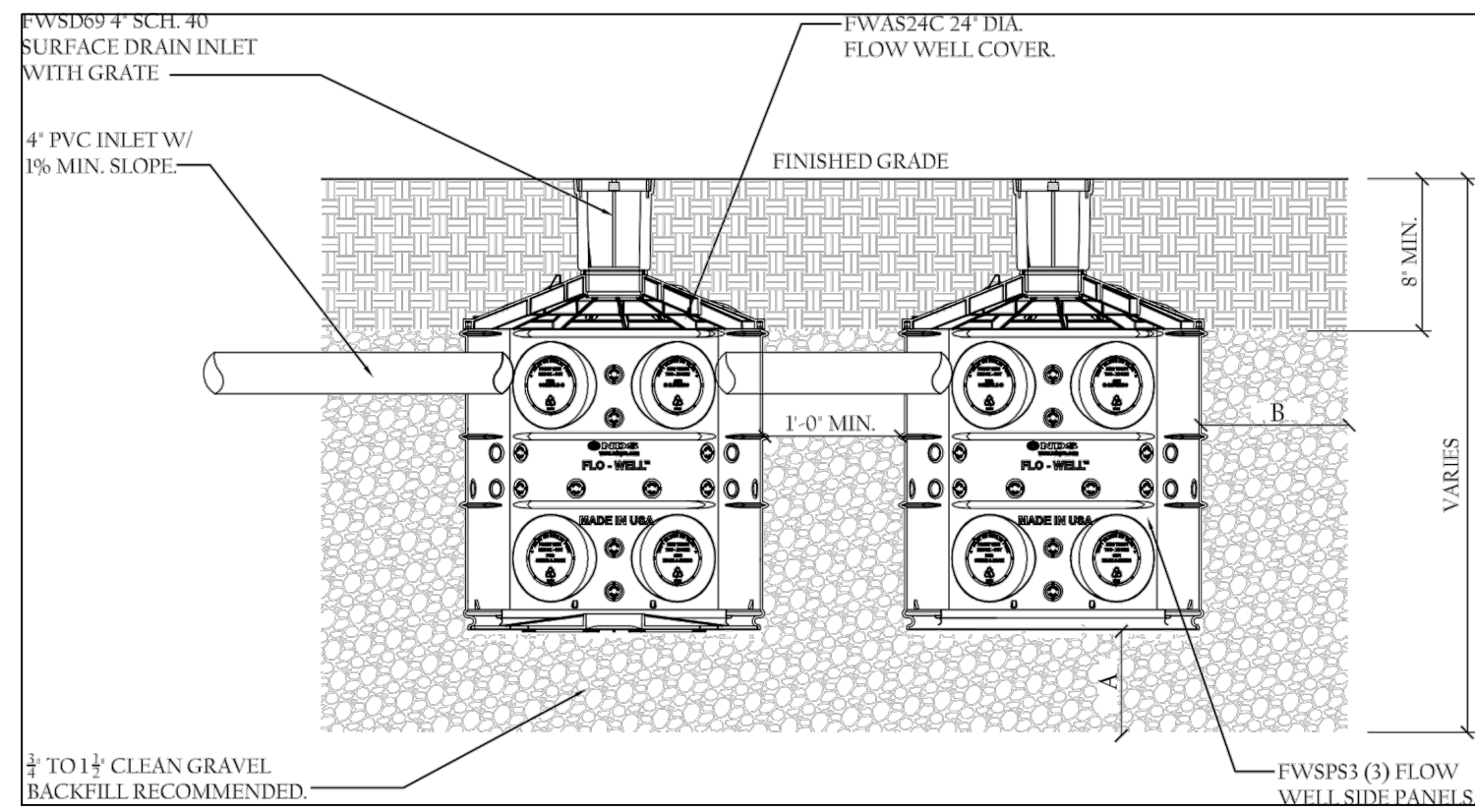
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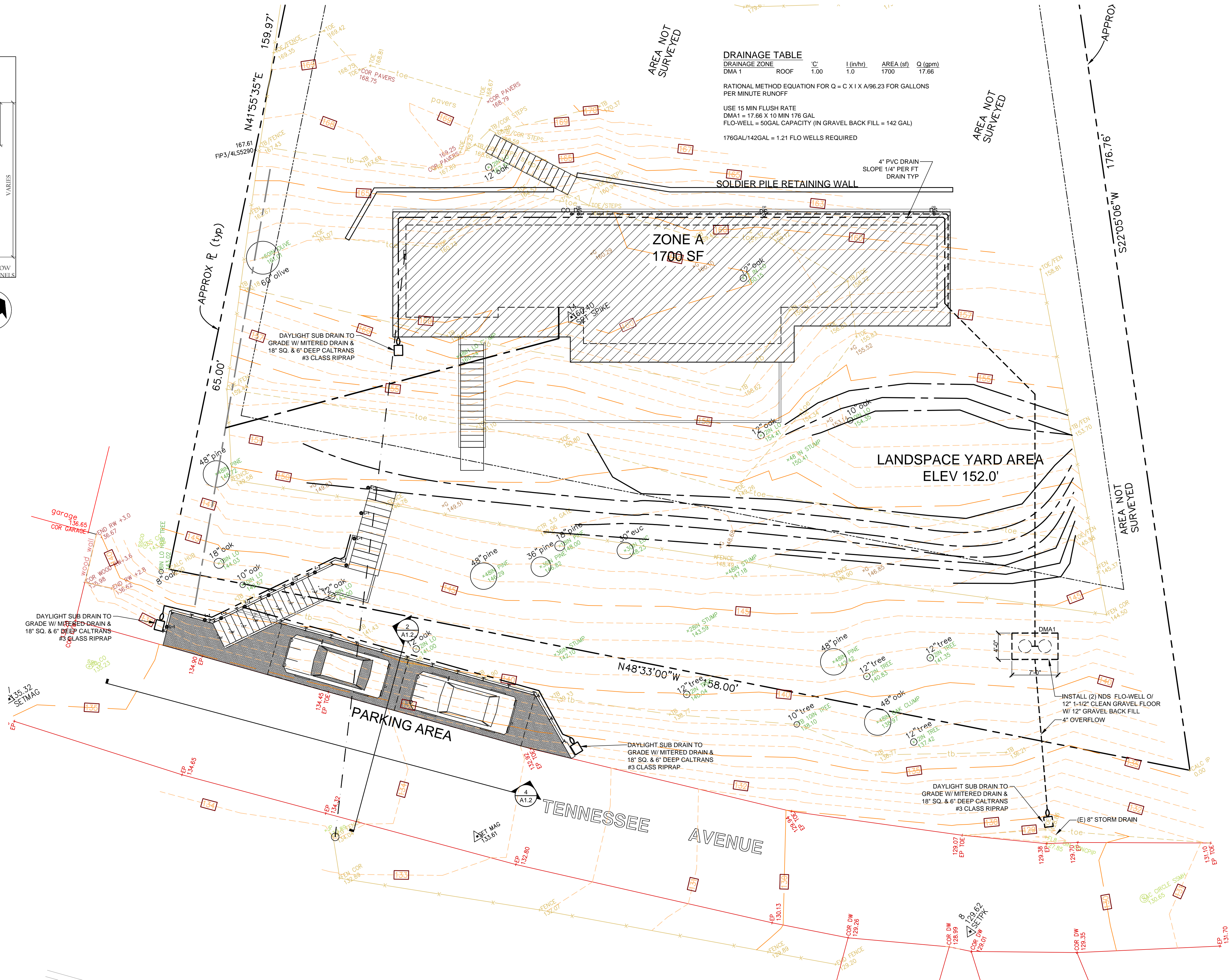
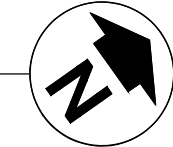
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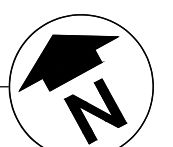
NEW SITE PLAN
A1.2
DEC. 14, 2020



2 FLO WELL DETAIL
A1.4 NO SCALE



1 DRAINAGE PLAN
A1.4 1/8" = 1'-0"



DRAINAGE TABLE

DRAINAGE ZONE	ROOF	C	I (in/hr)	AREA (sf)	Q (gpm)
DMA 1	1.00	1.0	1700	17.66	

RATIONAL METHOD EQUATION FOR Q = C X I X A / 96.23 FOR GALLONS PER MINUTE RUNOFF

USE 15 MIN FLUSH RATE
DMA1 = 17.66 X 10 MIN 176 GAL
FLO-WELL = 50GAL CAPACITY (IN GRAVEL BACK FILL = 142 GAL)
176GAL/142GAL = 1.21 FLO WELLS REQUIRED

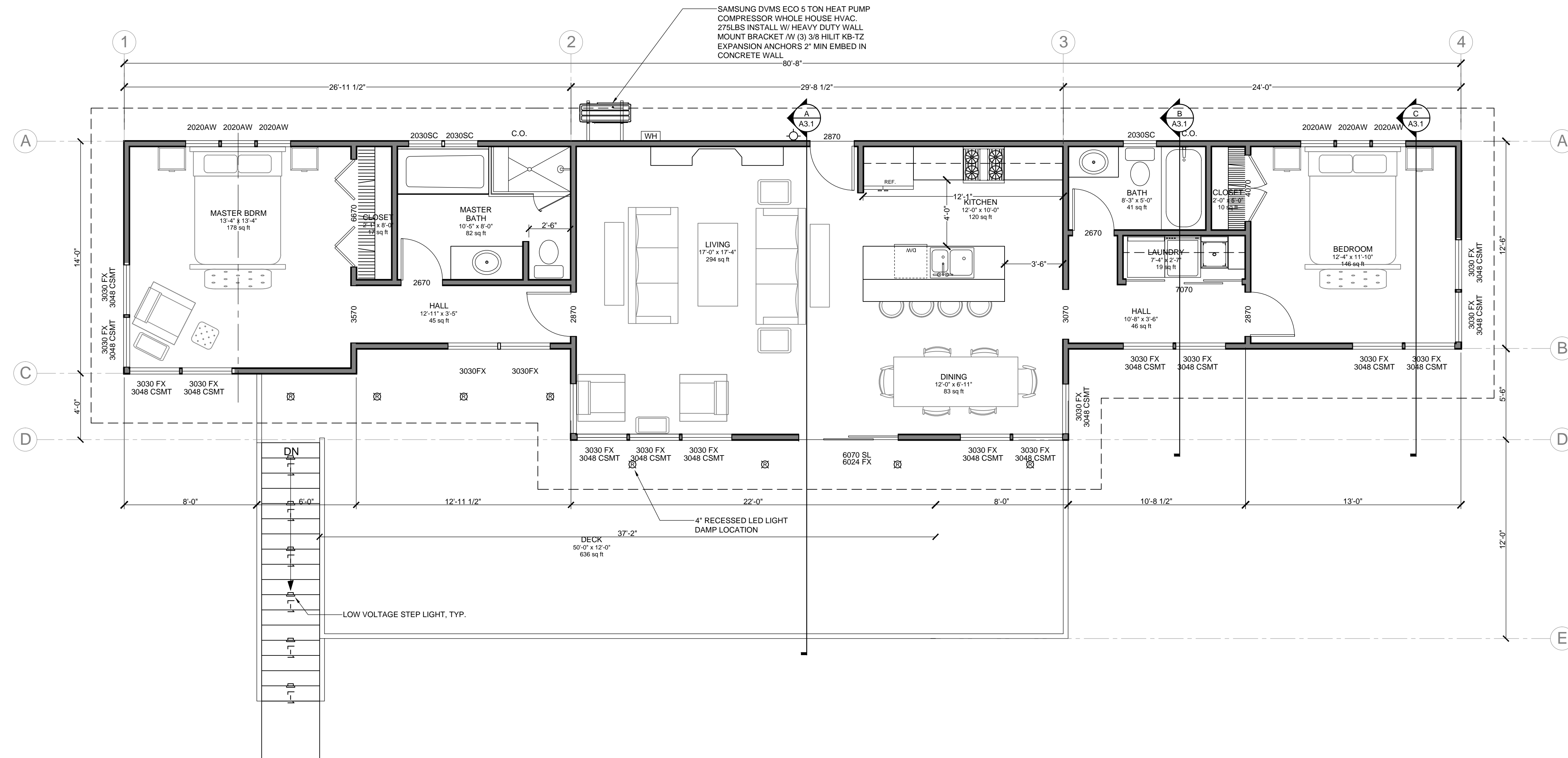
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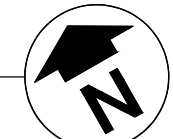
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DRAINAGE PLAN
A1.3
DEC. 14, 2020



1
A2.0 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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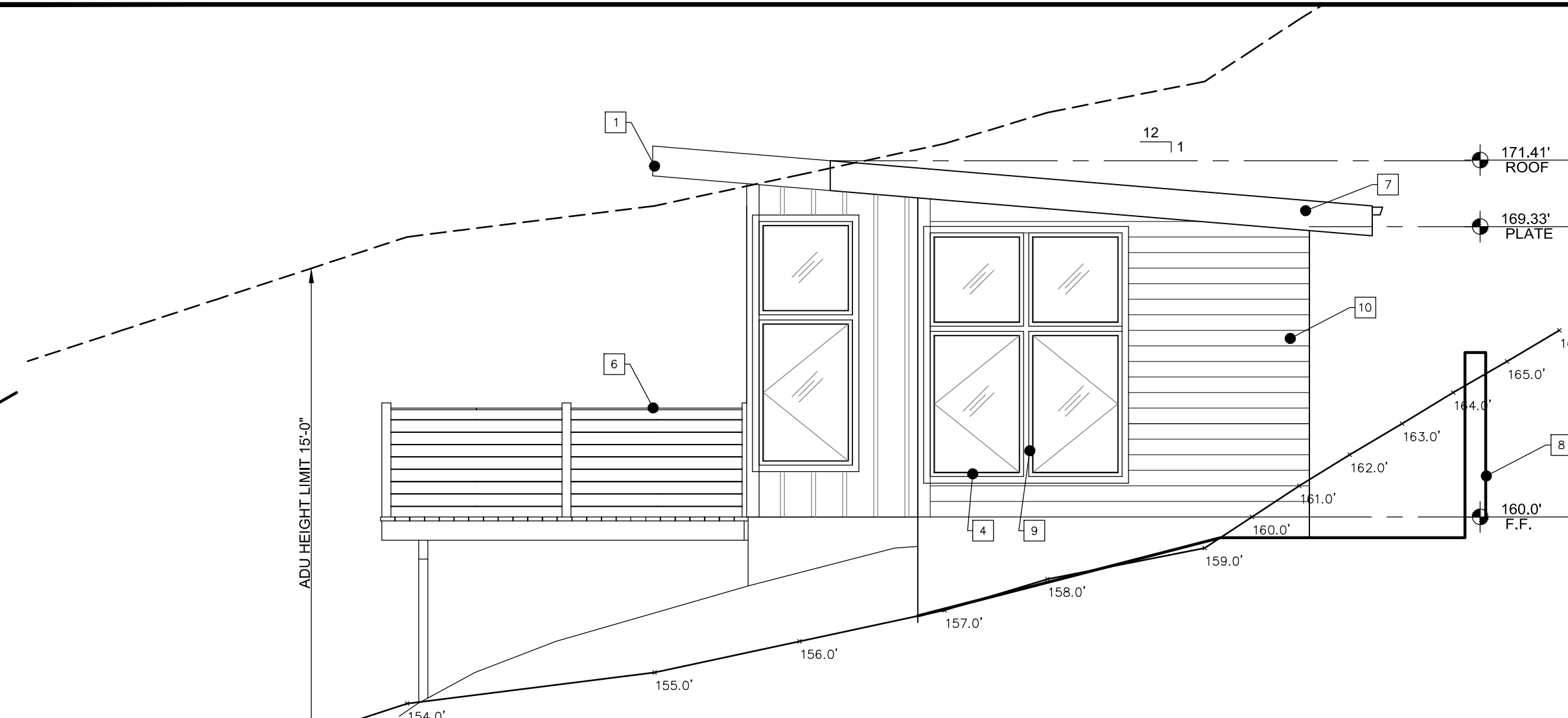


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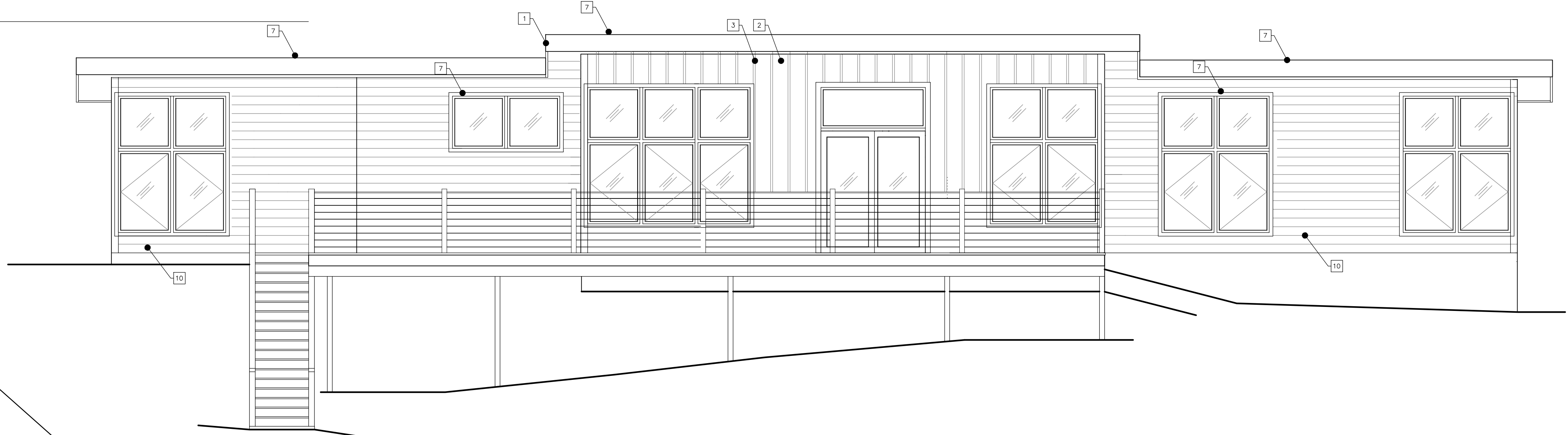
FIRST FLOOR PLAN

A2.0
DEC. 14, 2020

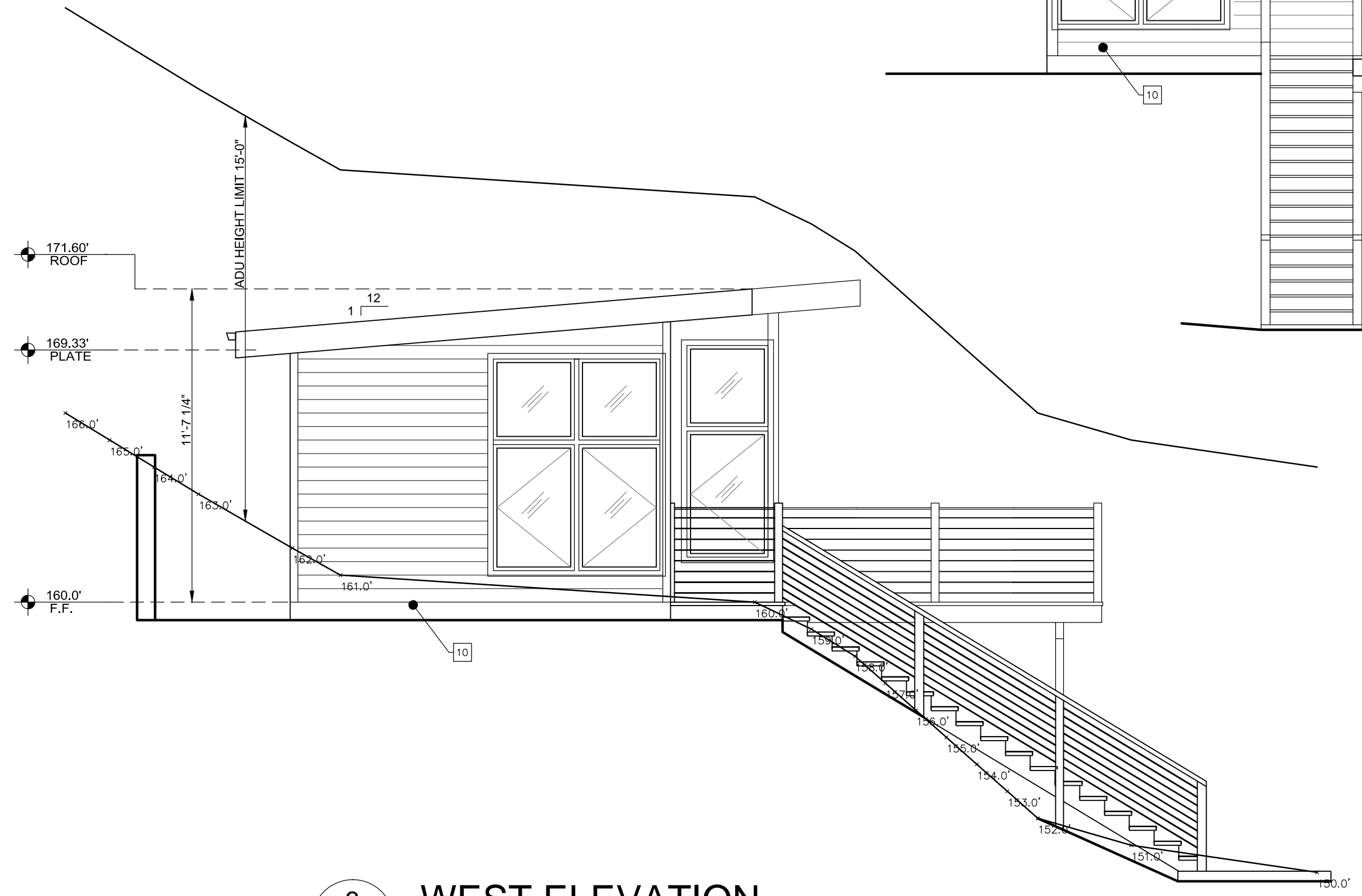


1 EAST ELEVATION
A3.0 SCALE: 1/4" = 1'-0"

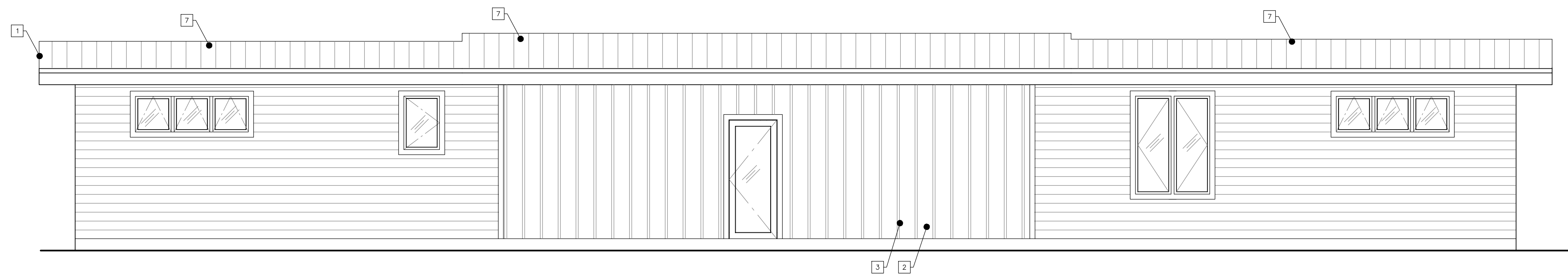
- MATERIALS LEGEND**
- 1 (N) REDWOOD OR CEDAR 2X12 BARGE RAFTER/FASCIA, TYP., COLOR: WHITE
 - 2 (N) HARDIE PANEL "SELECT CEDARMILL" SIDING, COLOR: WHITE
 - 3 HARDIE PANEL "RUSTIC GRAIN BATTEN BOARDS" 1X3 BATTENS @ 12" O.C. TYP
 - 4 1X4 HARDIE TRIM BOARDS 4/4 RUSTIC, CASING TYP., COLOR: WHITE
 - 5 JULIETTE GUARD WITH CABLE RAIL
 - 6 (N) S.S. CABLE RAIL W/ S.S. HARDWARE WITH WOOD POSTS
 - 7 STANDING SEAM METAL ROOFING, 16" WIDE PANELS
 - 8 NEW SOLDIER PILE RETAINING WALL
 - 9 DOUBLE PANE MULLED WINDOW UNIT, BLACK, OPENING TBD
 - 10 1X6 HORIZONTAL (N) HARDIE PANEL "SELECT CEDARMILL" SIDING, COLOR: WHITE



2 SOUTH ELEVATION
A3.0 SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
A3.0 SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION
A3.0 SCALE: 1/4" = 1'-0"

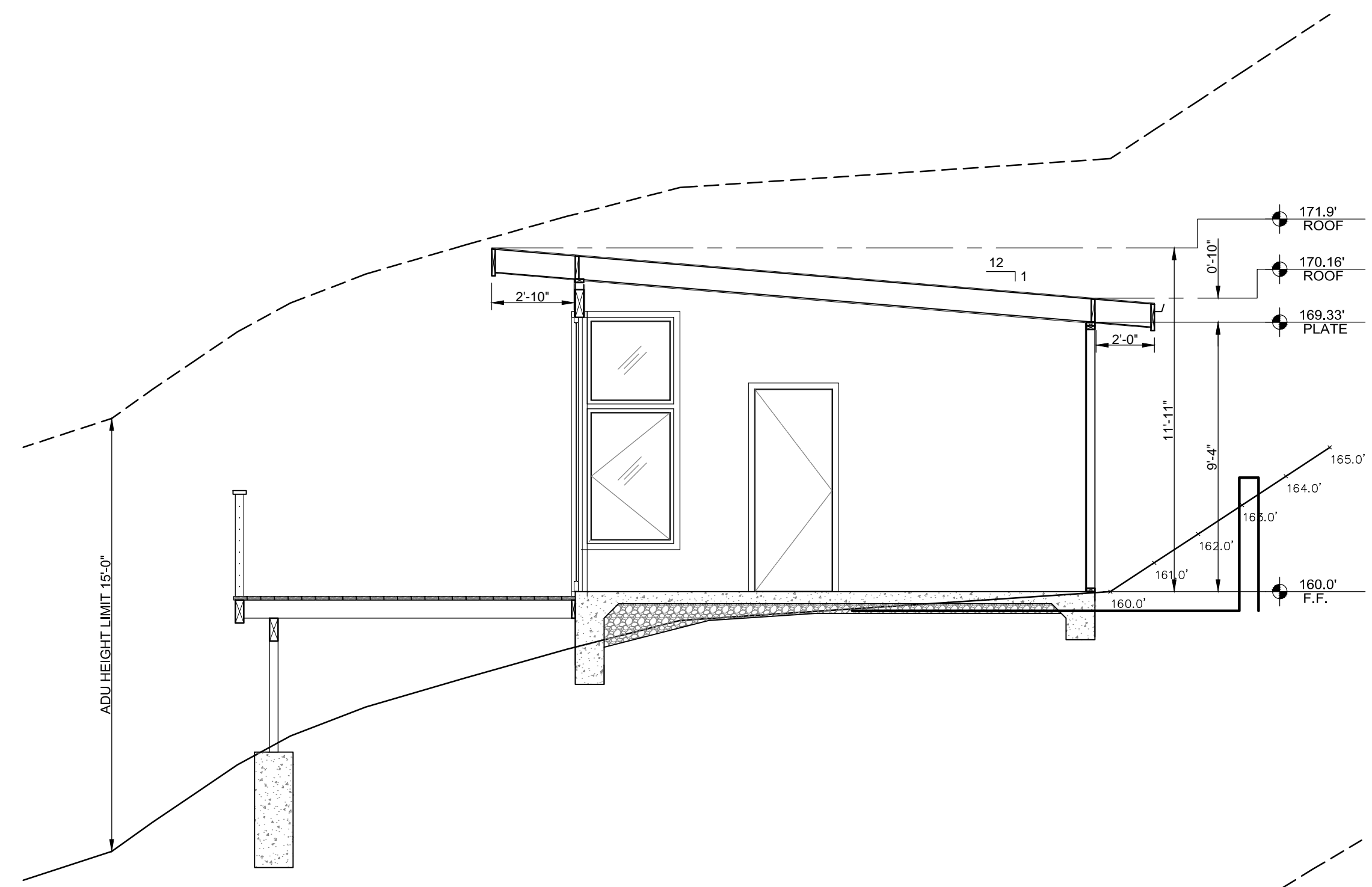
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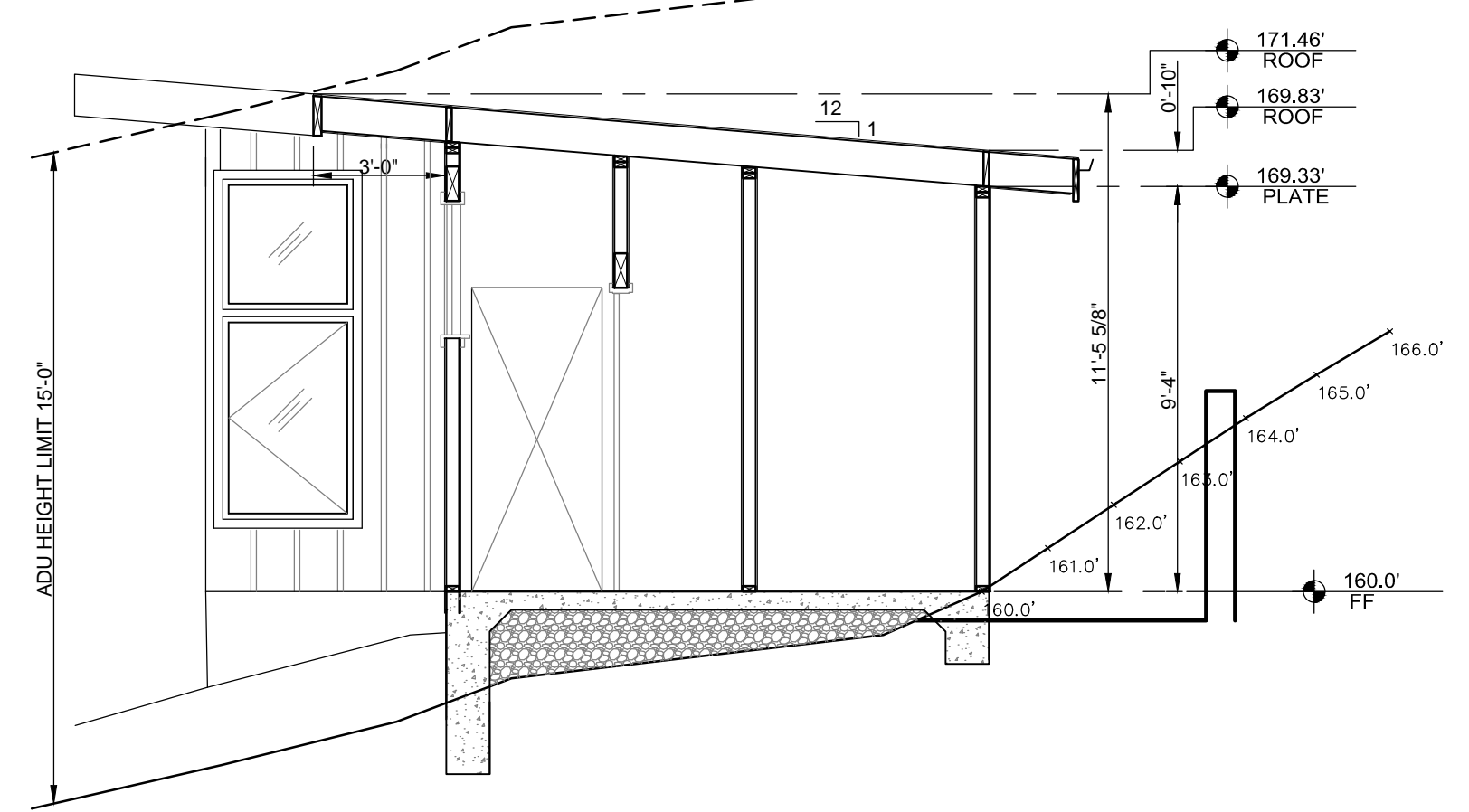
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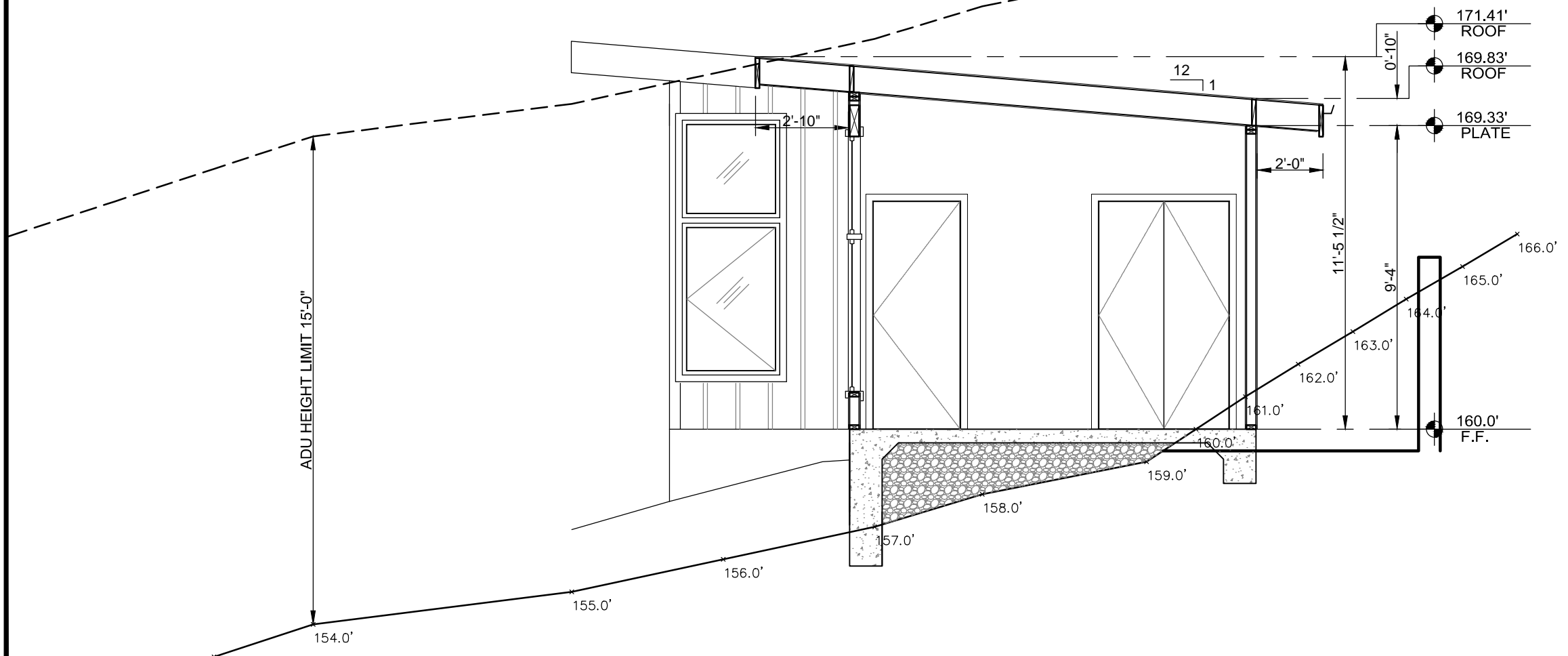
ELEVATIONS
A3.0
DEC. 14, 2020



1 SECTION A
A3.1 SCALE: 1/4" = 1'-0"



2 SECTION B
A3.1 SCALE: 1/4" = 1'-0"



3 SECTION C
A3.1 SCALE: 1/4" = 1'-0"

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SECTIONS
A3.1
DEC. 14, 2020