

ABBREVIATIONS

L	Angle	JST.	Joist
@	Centerline	JT.	Joint
#	Pound / Number	K.D.	Kin Oned
A.B.	Anchor Bolts	LAB.	Laboratory
ABV.	Asphalt Concrete	LAM.	Laminate
ACOUS.	Acoustical	LAV.	Lavatory
A.D.	Area Drain	LB.	Pound
ADJ.	Adjustable	L.F.	Linear Foot
AGGR.	Aggregate	LH.	Left Hand
AL.	Aluminum	LN.	Linear
ALUCD.	Alternate	LKR.	Locker
APPROX.	Approximate	LL.	Live Load
ARCH.	Architectural	LOC.	Location
ASB.	Asbestos	LT.	Light
ASPH.	Asphalt	LT.WT.	Lightweight
ASSY.	Assembly	LTG.	Lighting
BD.	Board	MAX.	Maximum
BETW.	Between	MAS.	Masonry
BEV.	Bevel	MATL.	Material
BETUM.	Biluminous	M.B.	Machine Bolt
BLDG.	Building	M.C.	Medicine Cabinet
BLK.	Block	MECH.	Mechanical
BLKG.	Blocking	MED.	Medium
BM.	Beam	MEMB.	Membrane
B.N.	Boundry Nailing	MEZZ.	Mezzanine
B.O.	Bottom Of	MFR.	Manufacturer
BOT.	Bottom	MK.	Manhole
BRG.	Bearing	MIN.	Minimum
BSMT.	Basement	MIR.	Mirror
B.U.	Built-Up	MISC.	Miscellaneous
CAB.	Cabinet	MLWK.	Millwork
C.B.	Catch Basin	MTD.	Mounted
CEM.	Cement	MTG.	Mounting
CER.	Ceramic	MTL.	Metal
C.F.	Cubic Foot	MTR.	Mortar
CHAM.	Chamber (ed)	MUL.	Mulch
C.I.	Cast Iron	N.	North
C.I.P.	Cast-In-Place	(N)	Not Applicable
C.G.	Corner Guard	N.A.	Not in Contract
C.J.	Construction Joint	N.I.C.	Number
CLG.	Ceiling	NOM.	Nominal
CLKG.	Ceiling	N.T.S.	Not to Scale
CLO.	Closet	O/	Over
CLR.	Clear	O.A.	Overall
C.M.U.	Concrete Masonry Unit	O.C.	On Center
CNTR.	Counter	OCC.	Occupants
C.O.	Cased Opening	O.D.	Outside Diameter
CO.	Cleanout	O.FCI	Owner Furnished/Contractor Installed
COL.	Column	OPNG.	Opening
CONC.	Concrete	OPP.	Opposite
CONN.	Connection	O.S.	Outside
CONST.	Construction	O.VHD.	Overhead
CONT.	Continuous	PAR.	Parallel
CPRR.	Curbside	PARTIN.	Partition
CPT.	Carpet	PCF	Pounds Per Cubic Foot
CSK.	Countersunk	PERF.	Perforate
CSMT.	Casement	PERP.	Perpendicular
CTR.	Ceramic Tile	PL.	Plate
CTY.	Cubic Yard	P.LAM.	Plastic Laminate
DBL.	Double	PLAS.	Plastic
DEMO.	Demolition	PLBG.	Pounds Per Linear Foot
DEP.	Depress (ed)	PLY.	Plywood
DEPT.	Department	PNL.	Panel
D.F.	Drinking Fountain	PNT.	Paint
DF.	Double Fir	PR.	Pair
D.H.	Double Hung	PRECAST.	Precast
DIA.	Diameter	PREFAB.	Prefabricate(d)
DIAG.	Diagonal	PREFIN.	Prefinish(d)
DIM.	Dimension	PROP.	Propriety
DISP.	Dispenser	PSI.	Pounds Per Square Inch
D.L.	Dead Load	P.T.	Pressure Treated
DN.	Down	P.T.D.	Paper Towel Dispenser
DR.	Door	P.T.D.F.	Pressure Treated Douglas Fir
DTL.	Detail	P.T.D.R.	Combo P. Towel Disp./ Recept.
DWR.	Drawer	PTN.	Partition
DS.	Downspout	P.T.R.	Paper Towel Receptacle
D.S.P.	Dry Sandpiper	PVC.	Polyvinylchloride
DWG.	Drawing	PVMT.	Pavement
(E)	Existing	Q.T.	Quarry Tile
E.	East	QTY.	Quantity
E.A.	Each	QUAL.	Quality
E.B.	Expansion Bolt	R.	Riser
E.F.	Each Face	RAD.	Radius
E.J.	Expansion Joint	RBR.	Rubber
ELAST.	Elastomeric	RD.	Road
ELECT.	Electrical	R.D.	Roof Drain
ELEV.	Elevation	RECS.	Recessed
EMER.	Emergency	REF.	Refrigerator
ENCL.	Enclosure	RET.	Retaining Wall
E.P.	Electrical Panelboard	REV.	Revision
EQ.	Equal	REINF.	Reinforced
EQUIP.	Equipment	REQD.	Required
EQUIV.	Equivalent	RESIL.	Resilient
ESTM.	Easement	RFG.	Roofing
E.W.C.	Electric Water Coder	RGRTR.	Ragster
EXPO.	Exposed	R.H.	Right Hand
EXP.	Expansion	R.LG.	Railing
EXT.	Exterior	RM.	Room
F.A.	Fire Alarm	RND.	Round
FAB.	Fabricate(d)(ion)	R.O.	Rough Opening
F.D.	Floor Drain	RWDW.	Roadwood
FDN.	Foundation	R.W.L.	Rain Water Leader
F.E.	Fire Extinguisher	S.	South
F.E.C.	Fire Extinguisher Cab.	S.A.	Self Adhesive
F.F.	Finish Floor	SC.	Solid Core
FGL.	Fiberglass	S.C.D.	Seat Cover Dispenser
PH.	Fire Hydrant	SCHED.	Schedule
F.H.C.	Fire Hose Cabinet	SD.	Surface Drain
FIN. or F.	Finish	SECT.	Section
FLR.	Floor	SF.	Square Feet
FLASH.	Flashing	SHR.	Shower
FLUOR.	Fluorescent	SHT.	Sheet
F.H.	Field Nailing	SM.	Similar
F.O.	Face Of	S.N.D.	Sanitary Napkin Dispenser
F.O.C.	Face of Concrete	S.N.R.	Sanitary Napkin Receptacle
F.O.F.	Face of Finish	SPCC.	Specification
F.O.M.	Face of Masonry	SO.	Square
F.O.S.	Face of Studs	S.S.	Stainless Steel
FR.	Fire Place	S.S.K.	Service Skid
FT.	Foot or Feet	STA.	Station
FTG.	Footing	STAGP(d)	Slagger(d)
FURN.	Furniture	STD.	Standard
FURR.	Furring	STL.	Steel
FUT.	Future	STOR.	Storage
FXTR.	Fixture	STRUCT.	Structural
GA.	Gauge	SUSP.	Suspended
GALV.	Galvanized	SYM.	Symmetrical
G.B.	Grab Bar	SYS.	System
GENL.	General	T.	Tread
G.I.	Galvanized Iron	T.B.	Towel Bar
GL.	Glass	T.C.	Top of Curb
GLB.	Glass Laminated Beam	T.L.	Telephone
GRD.	Ground	TEMP.	Temporary
GR.	Gravel	TER.	Terrazzo
GSM.	Galvanized Sheet Metal	T.G.G.	Tongue & Groove
GT.	Graod	THK.	Thick
GUT.	Gutter	THRD.	Threaded
GVL.	Gavel	THRES.	Threshold
GYP.	Gypsum	T.O.P.L.	Top of Plate
GYP.BD.	Gypsum Board	T.P.	Top of Pavement
GYP.PLAS.	Gypsum Plaster	T.P.D.	Teller Paper Dispenser
H.B.	Hose Bibb	T.V.	Television
H.C.	Handicap	T.W.	Top of Wall
H.C.	Hollow Core	TYP.	Typical
HDR.	Header	UNF.	Unfinished
HDWD.	Hardwood	UN.O.	Unless Noted Otherwise
HDWL.	Hardware	U.N.	Urinal
HGR.	Hanger	UTIL.	Utility
H.M.	Hollow Metal	V.C.T.	Vinyl Composition Tile
HORIZ.	Horizontal	VERT.	Vertical
HP.LAM.	High Pressure Laminate	VEST.	Vestibule
HR.	Hour	V.F.	Verify in Field
HGT.	Height	VNR.	Veneer
HTR.	Heater	West	West
H.V.A.C.	Heating/Ventilating/Air Conditio	With	With
HYD.	Hydrant	W.	Water Closet
HYDR.	Hydraulic	W.C.	Water Closet
I.D.	Inside Diameter (Dm.)	WDW.	Window
I.N.	Inches	WF.	Wide Flange
INCAN.	IncanDESCENT	W.G.	Wire Glass
INCL.	Included/In	W.I.	Without Iron
INFO.	Information	W/O.	Without
INSP.	Inspecting(In)	WP.	Waterproofing
INSUL.	Insulation	WTR.	Water
INT.	Interior	W.U.J.	Wildland Urban Interface

75 HORSESHOE HILL ROAD BOLINAS, CA

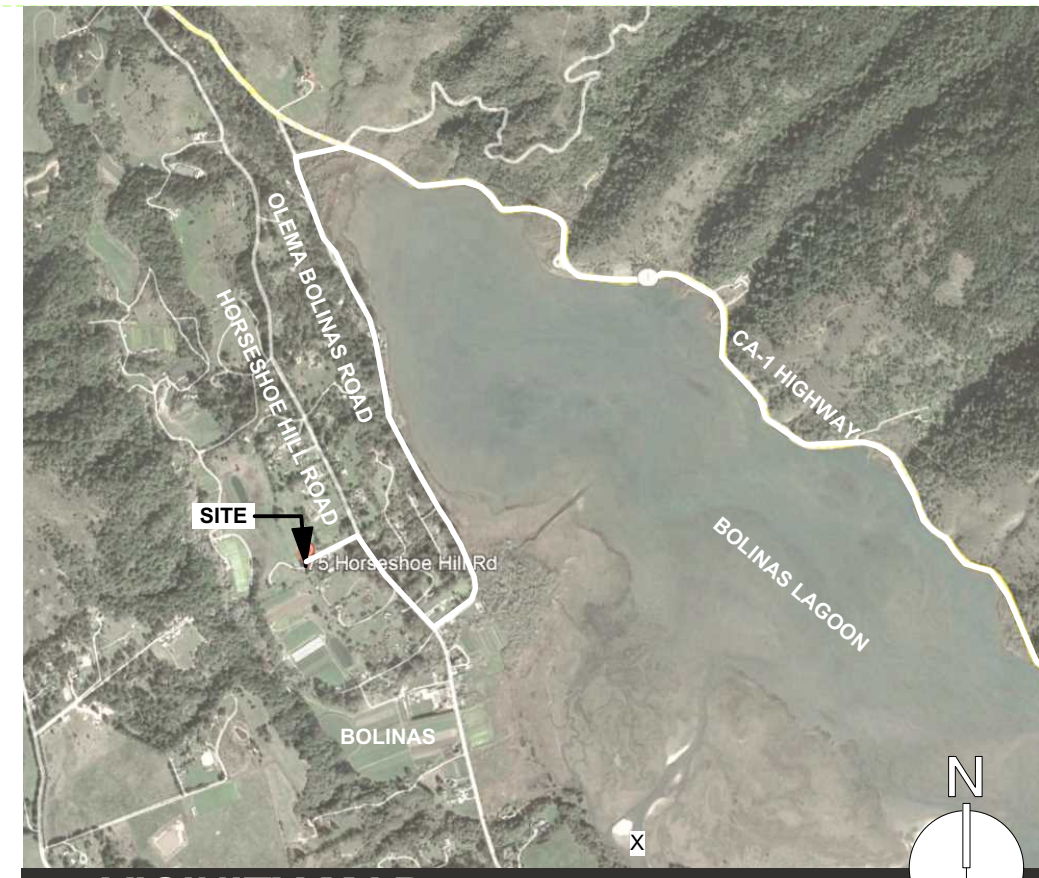
FIRE PREVENTION CONDITIONS OF APPROVAL

- PRIOR TO CONSTRUCTION:** A VEGETATION MANAGEMENT PLAN (VMP) SHALL BE SUBMITTED FOR REVIEW AND APPROVED BY THE FIRE DISTRICT WHICH INCLUDES:
 - THE ENTIRE PLAN CONTENT ELEMENTS DESCRIBED IN NARRATIVE FORM.
 - NO LESS THAN THREE (3) SETS OF PLANS SHALL BE SENT FOR CODE OFFICIAL REVIEW WHICH INCLUDES THE HOUSE, ZONE, PLANT TYPE AND SPACING.
 - THE HAZARD ASSESSMENT MATRIX.
 - THE LIST OF PLANTS TO BE USED AND MATERIALS CONSISTENT WITH THE APPROVAL PLANT LIST.
 - PREPARED ACCORDING TO SOUTHERN MARIN FIRE DISTRICT STANDARD 220 VEGETATION FUEL MANAGEMENT PLAN
- A VERTICAL OVERHEAD CLEARANCE OF 13'6" SHALL BE MAINTAINED FREE OF OBSTRUCTIONS ABOVE ANY ROABBED (TREES, BRUSH, ETC...)
 - FIRE HYDRANT(S) WHEN ADDITIONS OR MODIFICATIONS TO STRUCTURES ARE MADE, THE NEAREST FIRE HYDRANT (IF A NEW ONE IS NOT REQUIRED) LOCATED BY THE FIRE CODE OFFICIAL SHALL BE UPGRADED TO THE MINIMUM STANDARD OF ONE 4-1/2 INCH OUTLET 2-1/2 INCH OUTLET FOR SINGLE FAMILY DWELLINGS AND THE MINIMUM STANDARD OF ONE 4-1/2 INCH OUTLET AND 2-1/2 INCH OUTLETS FOR COMMERCIAL STRUCTURES.
- A FIRE SPRINKLER SHALL BE REQUIRED FOR THIS PROJECT
 - IF THE COMBINATION OF THE ADDITION, ALTERATION OR REMODELING EXCEEDS 50% OF THE FLOOR AREA OF THE EXISTING STRUCTURE, THE PROJECT IS CONSIDERED A "SUBSTANTIAL REMODEL" (SEE BELOW FOR DEFINITION)
 - FIRE SPRINKLER COVERAGE SHALL BE PROVIDED THROUGH THE ENTIRE STRUCTURE ACCORDING TO CHAPTER 9 OF THE CALIFORNIA FIRE CODE.
 - FIRE SPRINKLER SYSTEM SHALL BE INSTALLED ACCORDING TO NFPA 13D AND SOUTHERN MARIN FIRE STANDARD 401.
 - PLANS FOR FIRE SPRINKLER SYSTEM DESIGN AND HYDRAULIC CALCULATIONS SHALL BE COMPLETED BY A LICENSED C-16 SPRINKLER CONTRACTOR AND SUBMITTED TO THE SOUTHERN MARIN FIRE DISTRICT, FIRE PREVENTION FOR APPROVAL PRIOR TO INSTALLATION. FIRE SPRINKLER SYSTEM DESIGN AND INSTALLATION SHALL CONFORM TO THE PROVISIONS OF THE SOUTHERN MARIN FIRE DISTRICT STANDARD 401 AND NFPA STANDARD(S) 13, 13D OR 13R.
 - SMOKE / CO DETECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE.
 - NON-COMBUSTIBLE ROOFING SHALL BE PROVIDED FOR:
 - ALL NEW ROOFS SHALL BE NON-COMBUSTIBLE
 - ROOF REPAIRS OR REPLACEMENT:
 - LESS THAN 25% - NO REQUIREMENT
 - 25% - 50% - CLASS C MINIMUM
 - 50% OR MORE - NON-COMBUSTIBLE
 - IN NO CASE SHALL THE ROOFING MATERIAL USED BE LESS FIRE RESISTIVE THAN THE EXISTING ROOF.
 - NOTE: A "NON-COMBUSTIBLE" ROOF IS A CLASS A ROOF (FOR OTHER THAN GROUP R OCCUPANCIES, A CLASS A OR CLASS A ASSEMBLY) AS DEFINED IN THE CALIFORNIA BUILDING CODE.
- PRIOR TO OCCUPANCY,** A SPARK ARRESTOR SHALL BE INSTALLED ON THE CHIMNEY(S)
 - THIS PROJECT SHALL COMPLY WITH CALIFORNIA FIRE CODE CHAPTER 33 - FIRE SAFELY DURING CONSTRUCTION AND DEMOLITION. THESE REQUIREMENTS INCLUDE BUT ARE NOT LIMITED TO: TEMPORARY HEATING EQUIPMENT, PRECAUTIONS AGAINST FIRE, FLAMMABLE AND COMBUSTIBLE LIQUIDS, FLAMMABLE GASES, OWNERS RESPONSIBILITY FOR FIRE PROTECTION, FIRE REPORTING, ACCESS FOR FIRE FIGHTING, MEANS OF EGRESS, WATER SUPPLY FOR FIRE PROTECTION, STANDPIPES, AUTOMATIC FIRE SPRINKLER SYSTEMS, PROTABLE FIRE EXTINGUISHERS, MOTORIZED CONSTRUCTION EQUIPMENT, AND SAFE GUARDING ROOFING OPERATIONS.
 - FIRE ACCESS TO THE PROJECT AS WELL AS THE OTHER SURROUNDING PROPERTIES SHALL BE MAINTAINED AT ALL TIMES. UNAPPROVED RESTRICTIONS IN ROADWAY ACCESS SHALL RESULT IN CITATIONS AND VEHICLES BEING TOWED AT THE OWNER'S EXPENSE.
 - SUBSTANTIAL REMODEL DEFINED - SHALL MEAN THE RENOVATION OF ANY STRUCTURE, WHICH COMBINED WITH ANY ADDITIONS TO THE STRUCTURE, AFFECTS A FLOOR AREA, WHICH EXCEEDS 50% OF THE EXISTING FLOOR AREA OF THE STRUCTURE WITHIN ANY 36 MONTH PERIOD. WHEN ANY CHANGES ARE MADE IN THE BUILDING, SUCH AS WALLS, COLUMNS, BEAMS OR GIRDS, FLOOR OR CEILING JOISTS AND COVERINGS (SEE SECTION 202(C)), ROOF RAFTERS, ROOF DIAPHRAGMS, FOUNDATIONS, PILES OR RETAINING WALLS OR SIMILAR COMPONENTS, THE FLOOR AREA OF ALL ROOMS AFFECTED BY SUCH CHANGES SHALL BE INCLUDED IN THE COMPUTING FLOOR AREAS FOR THE PURPOSE OF APPLYING THIS DEFINITION. THIS DEFINITION DOES NOT APPLY TO THE REPLACEMENT AND UPGRADING OF RESIDENTIAL ROOF COVERINGS. FINAL OCCUPANCY APPROVAL SHALL NOT BE GRANTED/RELEASED UNTIL AUTHORIZATION TO THE COMMUNITY DEVELOPMENT AGENCY HAS BEEN RECEIVED FROM THE FIRE DISTRICT.

PROJECT DATA

APN:	188-150-70
Zoning:	C-ARP-5
Countywide Plan Designation	C-A93
Countywide Plan Area	West Marin; Coastal Corridor
Community Plan	Bolinas Community Plan
Local Coastal Plan	Unit 1
Occupancy	R3 / Agricultural
Lot Size	6.56 acres (285,754 sf)
Slope:	5%
WUI:	Yes
Flood Zone:	X
Seismic Design Category	D
Climate Zone	3

Area Calculations	Req/Allowed	Existing	Proposed
(E) Barn/ Demo		1,845	0 sf
(N) Home		0	1,000 sf
(N) Barn (761 Conditioned + 4243 Unconditioned)			5,000 sf
(N) Manure Shed			960 sf
(N) Hay Shed			960 sf
Subtotal (Building Area)		1,845	7,920 sf
New Covered Horse Arena			18,500 sf
Total Adjusted Floor Area (Incl. Covered Arena)	85,726.2	1,845	26,420 sf
Floor Area Ratio (FAR): (Incl. Covered Arena)	30 %	0.6 %	9.2 %
Lot Coverage		Pre-Project	Post-Project
Impervious Coverage		2,895	31,182 sf
Previous Coverage		282,859	254,572 sf
Cut			1,000 cy
Fill			2,542 cy
Net (Fill)			1,542 cy
Setbacks	Req/Allowed	Existing	Proposed
Front	25 ft	170 ft	29 ft
Sides	10 ft	56 ft	63 ft
Rear	25 ft	79 ft	22 ft
Height (Main: Barn)			23 ft
Height (Accessory: Home, Sheds)			13.6 ft
Height (Agricultural: Arena)			30 ft
On-Site Parking:			5



VICINITY MAP

PROJECT DESCRIPTION

- DEMO ALL EXISTING STRUCTURES EXCEPT WELL.
- (N) 1,000 SF HOME
 - (N) 5,000 SF BARN
 - (N) 800 SF MANURE SHED
 - (N) 800 SF HAY SHED
 - (N) 18,500 SF COVERED HORSE ARENA (NO WALLS)
 - (N) ROUND HORSE PEN
 - (N) LANDSCAPING
 - (N) SEPTIC SYSTEM (SEPERATE PERMIT ITEAM)

PROJECT DIRECTORY

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Structural	TBD
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SEPARATE PERMIT ITEMS

SEPTIC SYSTEM

GRADING NOTES

SEE CIVIL

SHEET INDEX

General	
G0	Cover Sheet
	Survey

Landscape

L0.1	Site Plan
L0.2	Vegetation Management Plan
L1.0	Landscape Plan
L2.0	Fine Grading Plan

Civil

C1	Demolition Plan
C2	Grading and Drainage Plan
C3	Utility Plan
C4	Stormwater Control Plan
C4.1	Stormwater Control Details
C5	Erosion Control Plan, Details And Notes
C5.1	Best Management Practices And Details

Architectural

A1	Site Plan
A1.1	Story Pole Plan
A2	(N) Home
A3	(N) Barn
A4	(N) Manure Shed and (N) Hay Shed
A5	(N) Covered Horse Arena Floor and Roof Plan
A6	(N) Covered Horse Arena Elevations
CMP 1	Construction Management Plan

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APN 188-150-70



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PLANNING SUBMITTAL

Revision	Description	Date
1	PLANNING SUBMITTAL	12/12/22
2	PLANNING RESUBMITTAL	05/19/23
3	PLANNING RESUBMITTAL	07/14/23

COVER SHEET

Sheet **G0**

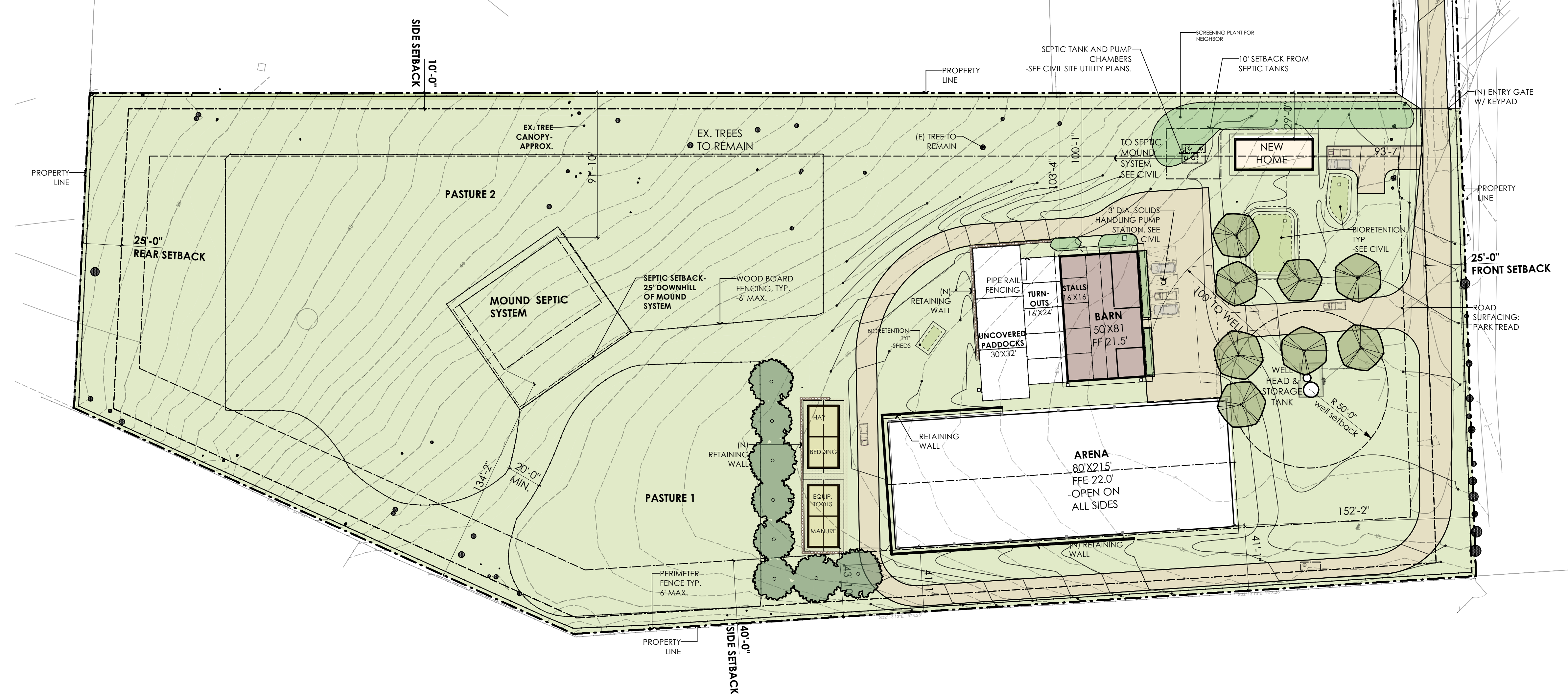
Scale: N.T.S.



75 Horseshoe Hill Road
County of Marin, Planning Submittal Landscape Narrative

The proposed project consists of removal of existing building and fences and construction of a barn and covered riding arena, with a small caretaker's cottage and two outbuildings for hay and equipment.
The roads on the site are gravel roads and will be regraded and resurfaced with permeable aggregate to allow water infiltration on a solid base.

The existing trees that are in good health will be pruned and maintained. The trees to be removed are either within the footprint of proposed buildings, or already dead.
Stormwater and existing drainage will be managed in bioretention basins and accommodated on site.
Proposed landscape plantings are limited to screening at the caretaker's cottage and shade trees surrounding the central courtyard at the barn and lining the entry.
The existing perimeter fence will be restored and repaired to surround the entire property, connecting to an automatic entry gate with keypad access.
All plant material will be thinned and maintained to reduce fire prone stands of vegetation.
All site lighting will be within or on the buildings and shaded to prevent light throw to adjacent properties.



SITE PLAN

NO.	DATE	ISSUE NOTES

NO.	DATE	REV. NOTES

DATE:
July 14, 2023
SCALE:
AS SHOWN
DESIGNED BY
SL
DRAWN BY
GAR
CHECKED BY
SL

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APN: 188-150-70



VEGETATION
MANAGEMENT
PLAN

Date: 7/13/23
File name: 75HLL_RLLA_Design.vwx

NO.	DATE	ISSUE NOTES

NO.	DATE	REV. NOTES

DATE:
July 14, 2023

SCALE
AS SHOWN

DESIGNED BY
SL

DRAWN BY
GAR

CHECKED BY
SL

L0.2

VEGETATION MANAGEMENT PLAN NARRATIVE
The property is located within a designated Wildland Urban Interface Zone, and all construction shall comply with the 2019 CFC Chapter 7A & 2019 CRC Section R337.

1. Existing Conditions
a. There are currently a mix of mature Monterey Pines, Italian Pines, Coast Live Oaks, Redwoods, Eucalyptus and Willow around the perimeter of the property. There is an abandoned ornamental garden surrounding the now empty structures. There are large eucalyptus trees planted in a row along the driveway at the west of the property that will be heavily pruned to reduce and maintain fuel load.
b. Existing Tree Schedule is shown on sheet L0.2 as identified and located by the surveyor, the consulting arborist, and the Landscape Architect.

2. Proposed Scope
a. The intent of this plan is to build a new horse barn and covered riding arena and a small caretaker's cottage. Shade trees will be planted along the driveway leading to the main courtyard of the barn. Maintenance will include removal of all dead, invasive and pyrophytic material per local WUI standards. The remaining area will be fenced for pasture for horse grazing.
b. All dead and dying plant material, combustible materials or debris will be removed to create a clean and clear space free of fire hazards to establish a defensible space from fire. All combustible materials will be removed from areas adjacent to structures, decks, fences, or roofs. This includes dead branches, leaves, needles on the ground, and branches that might hang over into the immediate zone of the house.

3. Future Plantings
a. Proposed Landscape plantings are shown on sheet L2.0
b. Any future plantings will comply with MCFD recommended plant species, plant spacing and irrigation requirements. Use only inorganic, non-combustible mulches such as stone or gravel. Composted mulch and large bark and chips (greater than 1/2" diameter) may be OK. Shredded redwood or fir bark is not permitted as it presents a fire hazard within the landscape.

4. Long Term Maintenance and Safety Practices
a. All fire prone fuels and dead material will be removed within 100' of the home.
b. Remove branches beneath large trees for a 6-foot minimum clearance.
c. Needles and leaves and other combustible debris and litter shall be removed from roofs and gutters at minimum twice yearly.
d. All weeds and grasses shall be cut regularly to a height of 4" or less.
e. Vegetation shall be trimmed to within 10' horizontally of roadways, and trees shall be trimmed as not to overhang roadways and provide 14' of clearance vertically.
f. All dead and dying vegetation shall be removed seasonally to reduce vegetation volume and ladder fuels.
g. Coordinate with adjacent property owners to maintain tree canopies, vegetation and ladder fuels on an annual basis.
h. No native grasses shall be planted within Home Ignition zone 0.
i. All planted areas inside Home Ignition zones shall be irrigated.
j. All plantings shall be selected in coordination with the FIREsafe Marin planting list. Other fire resistant plants can be utilized with prior approval of the Fire Code Official.
k. Regardless of plant selection, shrubs shall be spaced so that no continuity exists between ground fuels and tree crowns, such that a ground fire will not extend into the tree canopy.

Immediate Zone (ZONE 0): 0'-5'
The Immediate Zone extends 0-5' from the house. ZONE 0 is the area closest to the house, including the structure itself, decks, outdoor furniture, and the outside walls and coverings. This area is most vulnerable, and should be most aggressively maintained for fire resistance.
• Remove any combustible outdoor furniture.
• Replace jute or fiber door mats with fire resistant materials.
• Remove or relocate all combustible materials, including garbage and recycling containers, lumber, trash, and patio accessories.
• Clean all fallen leaves and needles regularly. Repeat often during fire season.
• No vegetation is recommended within 5' of structures.
• Remove tree limbs that extend into this zone. Fire-prone tree varieties should be removed if they extend within 5' of structures.
• Do not store firewood, lumber, or combustibles here, even (especially) under decks or overhangs. Move stored combustibles inside, or at least 30' away from structures.
• Use only inorganic, non-combustible mulches such as stone or gravel. Composted mulch and large bark and chips (greater than 1/2" diameter) may be OK.

Intermediate Zone (ZONE 1): 5'-30'
The Intermediate Zone from 5' to 30' out from buildings, structures, decks, etc. Keep ZONE 1 "Lean, Clean, and Green" and employ careful landscaping to create breaks that can help influence and decrease fire behavior.
• Remove all dead plants, grass, and weeds (vegetation).
• Remove dead or dry leaves and pine needles from your yard, roof and rain gutters.
• Trim trees regularly to keep branches a minimum of 10 feet from other trees.
• Remove branches that hang over your roof and keep dead branches 10 feet away from your chimney.
• Remove vegetation and items that could catch fire from around and under decks.
• Remove fire-prone plants, and choose only fire-resistant varieties. Irrigate regularly.
• Remove limbs to a height of 10' above the ground (or 1/3 the height of the tree) to provide clearance and to eliminate a "fire ladder".
• Use only inorganic, non-combustible mulches such as stone or gravel. Composted mulch and large bark and chips (greater than 1/2" diameter) may be OK.

Extended Zone (ZONE 2): 30'-100'
The extended zone from 30' to 100' (or more, if required due to steep slopes, nearby vegetation conditions, and/or the local fire department). The goal here is not to eliminate fire but to interrupt fire's path and keep flames smaller and on the ground. This zone should include at a minimum:
• Cut or mow annual grass down to a maximum height of 4 inches.
• Create horizontal spacing between shrubs, trees and vertical spacing between grass, shrubs and trees.
• Remove fallen leaves, needles, twigs, bark, cones, and small branches. However, they may be permitted to a depth of 3 inches if erosion control is an issue.

Access Zone (ZONE 3): 0'-10'
Extends 10 feet horizontally from the edge on either side of the road or driveway.
• Within this zone, plantings shall be fire resistant and shall not extend within the 14 foot vertical clearance above the surface of the roadway or driveway, as required for emergency access.
• All landscape shall meet the requirements for separation as stated in the Zone 2 above

NOTE: Standard 220 has been developed collaboratively with Fire Departments and Fire Districts throughout Marin County with the intent of providing a comprehensive and consistent application of regulations outlined in the California Code of Regulations Title 24, Part 9 (California Fire Code), Government Code, Title 5, Division 1, Part 1, Chapter 6.8, Section 4290 and 4291 of the Public Resources Code, the International Wildland Interface Code and locally adopted ordinances. Fuel modification distances, type of vegetation and topographic features are factors in determining adequate green belts and fire fuel modification around structures. This methodology is implemented for the primary purpose of providing time for fire suppression personnel and equipment to respond and establish effective operational tactics and strategies during an ensuing wildland fire.

In the event minimum required defensible space crosses property lines, the property owner will be required to obtain a "defensible space easement" from the adjoining property owner. If this cannot be obtained, the proposed structure may be required to be re-sited or other feasible mitigation measures shall be required to reduce the risk of ignition or spread of wildfire to the structure(s). For existing structures, additional fire protection measures may be required to mitigate a reduction in the required defensible space

75 Horseshoe Hill Road, Bolinas
EXISTING TREE LIST

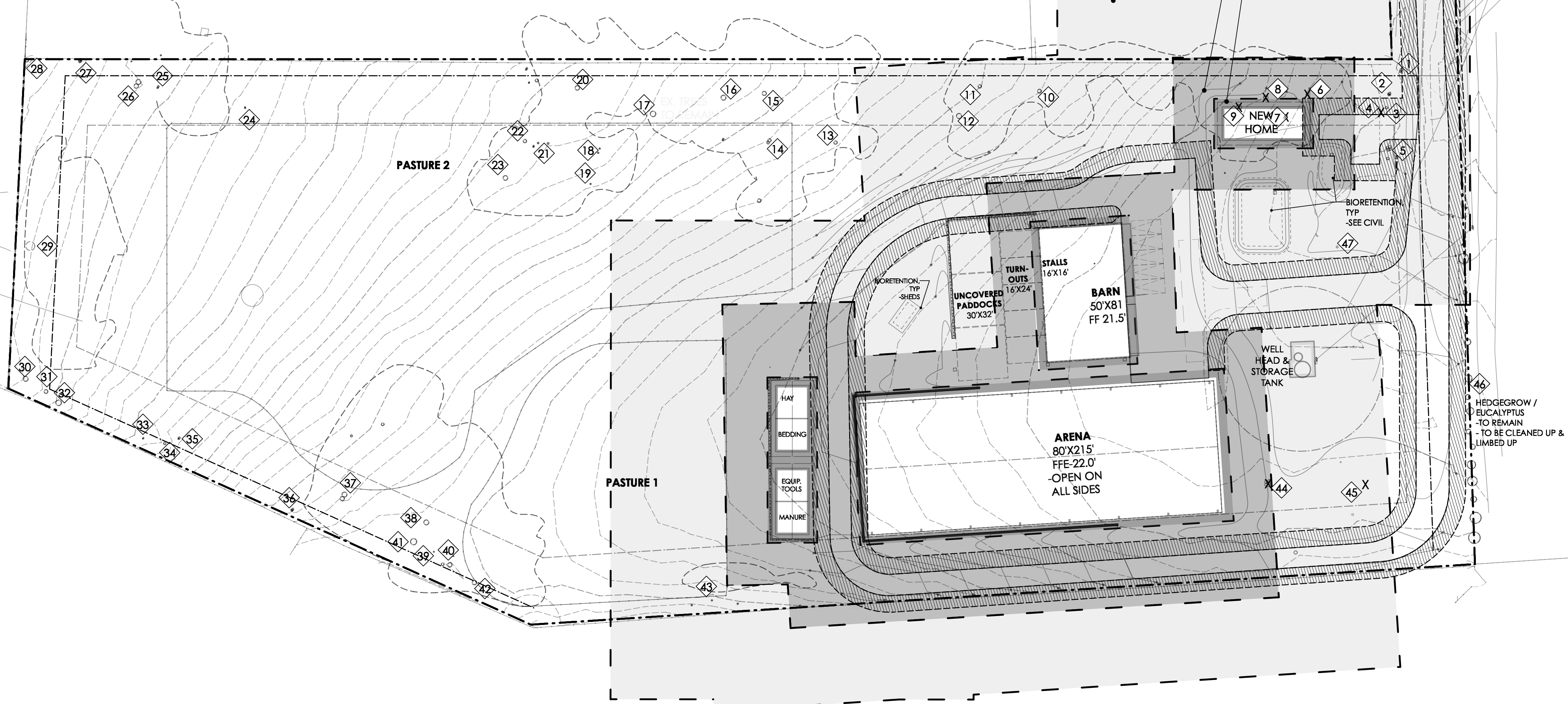
Tree Number	Common Name	Scientific Name	DBH (IN)	Action	Status	Fire
1	Coast Live Oak	Quercus agrifolia	13", 17"	Protect/Prune	Prone	Prone
2	Coast Live Oak	Quercus agrifolia	24"	Protect/Prune	Heritage	Prone
3	Coast Live Oak	Quercus agrifolia	24"	Protect/Prune	Heritage	Prone
4	Coast Live Oak	Quercus agrifolia	6"	Protect/Prune	Prone	Prone
5	Willow	Salix sp.	5", 16", 18", 20"	Remove	Prone	Prone
6	Lombardy Poplar	Populus nigra	9"	Remove	Prone	Prone
7	Lombardy Poplar	Populus nigra	15", 18"	Remove	Prone	Prone
8	Monterey Pine	Pinus radiata	30"	Remove	Prone	Prone
9	Monterey Pine	Pinus radiata	9"	Remove	Prone	Prone
10	Italian Pine	Pinus pinea	9"	Protect/Prune	Prone	Prone
11	Italian Pine	Pinus pinea	24"	Protect/Prune	Prone	Prone
12	Italian Pine	Pinus pinea	37"	Protect/Prune	Prone	Prone
13	Italian Pine	Pinus pinea	24"	Protect/Prune	Prone	Prone
14	Italian Pine	Pinus pinea	17", 24"	Protect/Prune	Prone	Prone
15	Italian Pine	Pinus pinea	30"	Protect/Prune	Prone	Prone
16	Italian Pine	Pinus pinea	36"	Protect/Prune	Prone	Prone
17	Italian Pine	Pinus pinea	40"	Protect/Prune	Prone	Prone
18	Italian Pine	Pinus pinea	9"	Protect/Prune	Prone	Prone
19	Coast Live Oak	Quercus agrifolia	10"	Protect/Prune	Prone	Prone
20	Monterey Pine	Pinus radiata	32"	Protect/Prune	Prone	Prone
21	Coast Live Oak	Quercus agrifolia	10", 7", 10"	Protect/Prune	Prone	Prone
22	Monterey Pine	Pinus radiata	24"	Protect/Prune	Prone	Prone
23	Monterey Pine	Pinus radiata	34"	Protect/Prune	Prone	Prone
24	Coast Live Oak	Quercus agrifolia	7"	Protect/Prune	Prone	Prone
25	Coast Live Oak	Quercus agrifolia	10", 12"	Protect/Prune	Prone	Prone
26	Monterey Pine	Pinus radiata	32", 36"	Protect/Prune	Prone	Prone
27	Silver Dollar Gum	Eucalyptus polyanthemos	9", 12", 15"	Protect/Prune	Prone	Prone
28	Silver Dollar Gum	Eucalyptus polyanthemos	22"	Protect/Prune	Prone	Prone
29	Monterey Pine	Pinus radiata	65"	Remove	Dead	Prone
30	Monterey Pine	Pinus radiata	36"	Protect/Prune	Prone	Prone
31	Monterey Pine	Pinus radiata	27"	Protect/Prune	Prone	Prone
32	Monterey Pine	Pinus radiata	40"	Protect/Prune	Prone	Prone
33	Coast Live Oak	Quercus agrifolia	8", 4"	Protect/Prune	Prone	Prone
34	Monterey Pine	Pinus radiata	17"	Protect/Prune	Prone	Prone
35	Coast Live Oak	Quercus agrifolia	4", 6", 13"	Protect/Prune	Prone	Prone
36	Coast Live Oak	Quercus agrifolia	6", 9", 9", 12"	Protect/Prune	Prone	Prone
37	Monterey Pine	Pinus radiata	36", 32"	Protect/Prune	Prone	Prone
38	Monterey Pine	Pinus radiata	36"	Protect/Prune	Prone	Prone
39	Monterey Pine	Pinus radiata	45"	Protect/Prune	Prone	Prone
40	Coast Live Oak	Quercus agrifolia	7"	Protect/Prune	Prone	Prone
41	Monterey Pine	Pinus radiata	31"	Protect/Prune	Prone	Prone
42	Monterey Pine	Pinus radiata	32"	Protect/Prune	Prone	Prone
43	Coast Live Oak	Quercus agrifolia	10", 9", 10"	Protect/Prune	Prone	Prone
44	Willow	Salix sp.	11", 16", 24", 20", 26"	Remove	Prone	Prone
45	Willow	Salix sp.	9"	Remove	Prone	Prone
46	Eucalyptus Hedgerow	Eucalyptus polyanthemos	14 trees, 30" to 84"	Protect/Prune	Prone	Prone
47	Sequoia sempervirens	Redwood	14"	Remove	Dead	Prone
48						
49						
50						

LEGEND

◇ TREE NUMBER
SEE EX. TREE SCHEDULE

● (E) TREE TO REMAIN-
PROTECT FROM CONSTRUCTION IMPACTS

✘ (E) TREES TO BE REMOVED

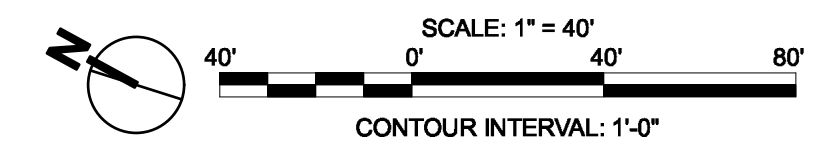


EXTENDED ZONE (ZONE 2)

ACCESS ZONE (ZONE 3)

INTERMEDIATE ZONE (ZONE 1)

IMMEDIATE ZONE (ZONE 0)





PLANTING & SOIL PREPARATIONS NOTES

- EXCAVATE ALL PLANTING AREAS TO EXPOSE SUB-SOIL.
- SCARIFY NATIVE SOIL / SUBSOIL FOR UNIFORM ROOT ZONE TO ANTICIPATED DEPTHS FOR ROOT BOX DEPTHS, KEEPING IN MINF ROOT ZONE PROTECTION FOR EXISTING TREES.
- PLANTING SOIL TO BE A LOCAL BLEND OF ORGANIC COMPOSTED GREENWASTE MATERIAL AND OTHER SPECIFIED ORGANIC AMENDMENTS AND FERTILIZERS, PER RATES DETERMINED BY APPROVED SOIL TESTING LABORATORY FROM SITE SOIL SAMPLES.
- COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL SELECTION, APPROVAL AND PURCHASING OF ALL PLANT MATERIAL.
- LANDSCAPE ARCHITECT TO VERIFY PLANT LOCATIONS AS STAKED IN FIELD BY LANDSCAPE CONTRACTOR PRIOR TO DIGGING OF PLANTING HOLES.
- DIG PLANTING HOLES 2 TIMES WIDER THAN DIAMETER OF CONTAINER. BACKFILL PLANTING HOLE WITH AMENDED SOIL MIXTURE AS RECOMMENDED BY SOIL TESTING ANALYSIS. TEST ALL PLANTING PITS FOR DRAINAGE.
- PRIOR TO PLANTING ALL SPECIFIED PLANTS, TEST DRAIN ALL PLANTING AREAS AS FOLLOWS:
 - PLANT OR TREE PITS: FILL WITH 12 INCHES OF WATER. WATER SHALL DRAIN COMPLETELY IN 48 HOURS.
 - PLANT BEDS: IRRIGATE UNTIL SOIL IS SATURATED. SATURATED CONDITION SHALL NOT REMAIN AFTER 24 HOURS.
- DO NOT BURY THE CROWN OF THE PLANTS. THE SOIL LEVEL OF THE CONTAINER SHOULD BE MIN. 1" HIGHER THAN EXISTING GRADE FOLLOWING PLANTING. DO NOT BURY CROWN OF PLANT WITH BACKFILL MATERIAL.
- MULCH TO BE FIBROUS SHREDDED OR CHIPPED BARK, SAMPLE TO BE APPROVED BY LANDSCAPE ARCHITECT. APPLY TO ALL PLANTED AREAS FOLLOWING PLANTING TO A MINIMUM DEPTH OF 3". DO NOT PLACE MULCH AGAINST THE CROWN OR BASE OF PLANT. LEAVE A 4" GAP BETWEEN BASE OF PLANT AND MULCH.
- PLANTING IS SCHEMATIC. FINAL PLANT PLACEMENT AND LAYOUT TO BE DONE IN THE FIELD WITH LANDSCAPE ARCHITECT.
- STAKE ALL TREES PER THE FOLLOWING GUIDELINES:
 - (3) STAKES PER TREE WITH 2 ON THE WINDWARD SIDE OF THE TREE
 - PLACE STAKES AS LOW AS POSSIBLE BUT NO HIGHER THAN 2/3 THE HEIGHT OF THE TREE.
 - MATERIALS USED TO TIE THE TREE TO THE STAKE SHOULD BE FLEXIBLE AND ALLOW FOR MOVEMENT ALL THE WAY DOWN TO THE GROUND.
 - REMOVE ALL STAKING MATERIAL AFTER ROOTS HAVE ESTABLISHED. THIS SHOULD BE NO LONGER THAN ONE GROWING SEASON.
- INCORPORATE COMPOST OR NATURAL FERTILIZER INTO THE SOIL TO A MINIMUM DEPTH OF 8" AT A MINIMUM RATE OF 6 CUBIC YARDS PER 1,000 SQUARE FEET OR PER SPECIFIC AMENDMENT RECOMMENDATIONS FROM A SOILS LABORATORY REPORT.

PLANTING SCHEDULE

TREES								
ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Type	WUCOL	Notes
PLA RAC-1	8	Platanus racemosa	California Sycamore	24" box	30'0"	Trees	Low	Native deciduous riparian tree
QUE AGR	8	Quercus agrifolia	Coast Live Oak	1.5 gal	30'0"	Trees	Low	Native evergreen oak
SHRUBS / PERENNIALS								
ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Type	WUCOL	Notes
CEA RAY	8	Ceanothus 'Ray Hartman'	Calif. Wild Lilac Tree	5 gal	8'0"	Shrubs	Low	Multifl - Protect from Deer
HET ARB	8	Heteromeles arbutifolia	Toyon	1.5 gal	8'0"	Shrubs	Low	Multifl - Stem shrub
MYR CAL	31	Myrica californica	Pacific Wax Myrtle	1.5 gal	5'0"	Shrubs	Moderate	Evergreen Native shrub
SCHEDULE NOTES:								
[1] QUANTITIES ON PLANT SCHEDULE ARE TO BE USED AS GUIDELINES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE AND VERIFY THE ACTUAL QUANTITY OF ALL PLANT MATERIALS.								
[2] ASTERISK DENOTES THAT PLANT DOES NOT APPEAR ON WUCOLS LIST AND WATER USE IS BASED ON CLASSIFICATION OF SIMILAR PLANT SPECIES								

FENCING TYPES

- PERIMETER FENCE- RANCH FENCING- WIRE W/ WOOD POSTS- 6' MAX.
- PASTURE FENCE- 5 BOARD
- TURN OUT FENCE- PIPE RAIL



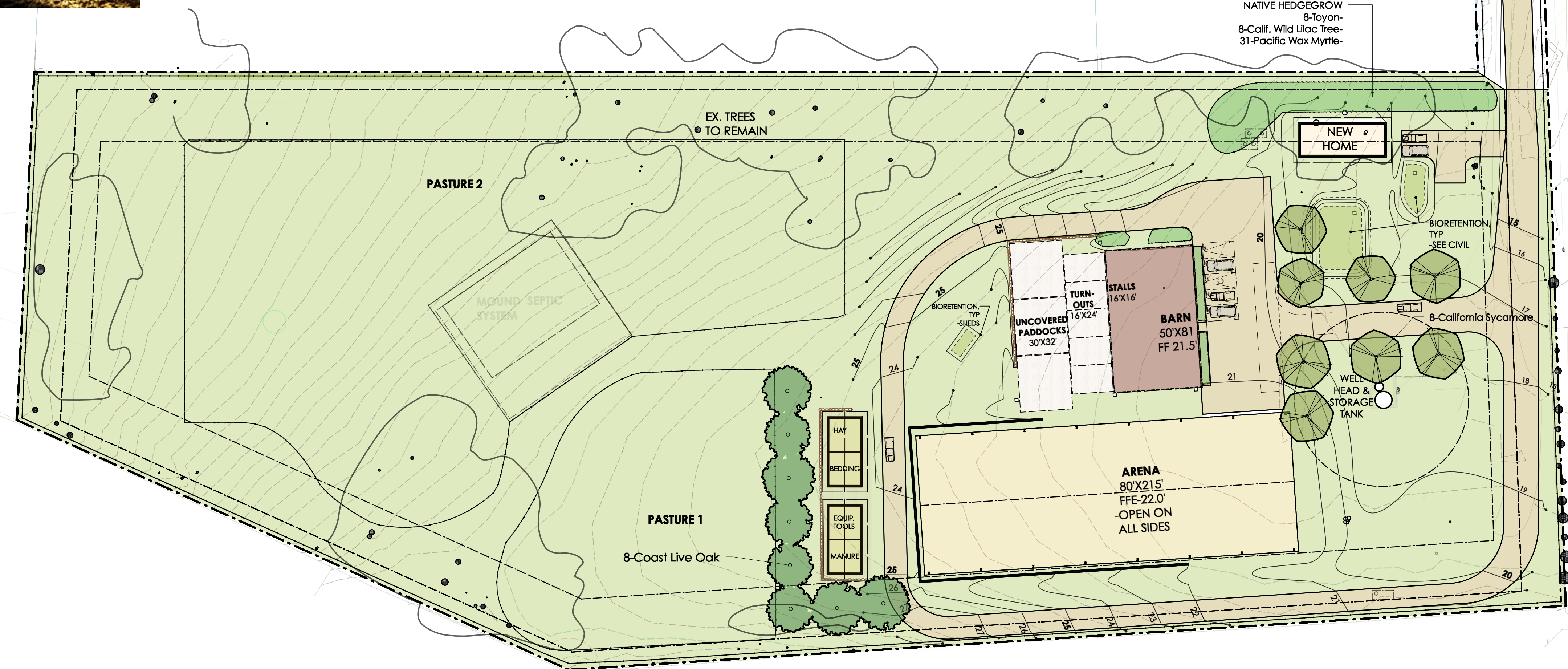
SURFACING TYPES

- ROADWAY- PARK TREAD OR ROAD BASE
- TURNOUTS- SUBDRAINED LOOSE GRAVEL
- ARENA- ATTWOOD EQUESTRIAN SURFACES- PINNACLE



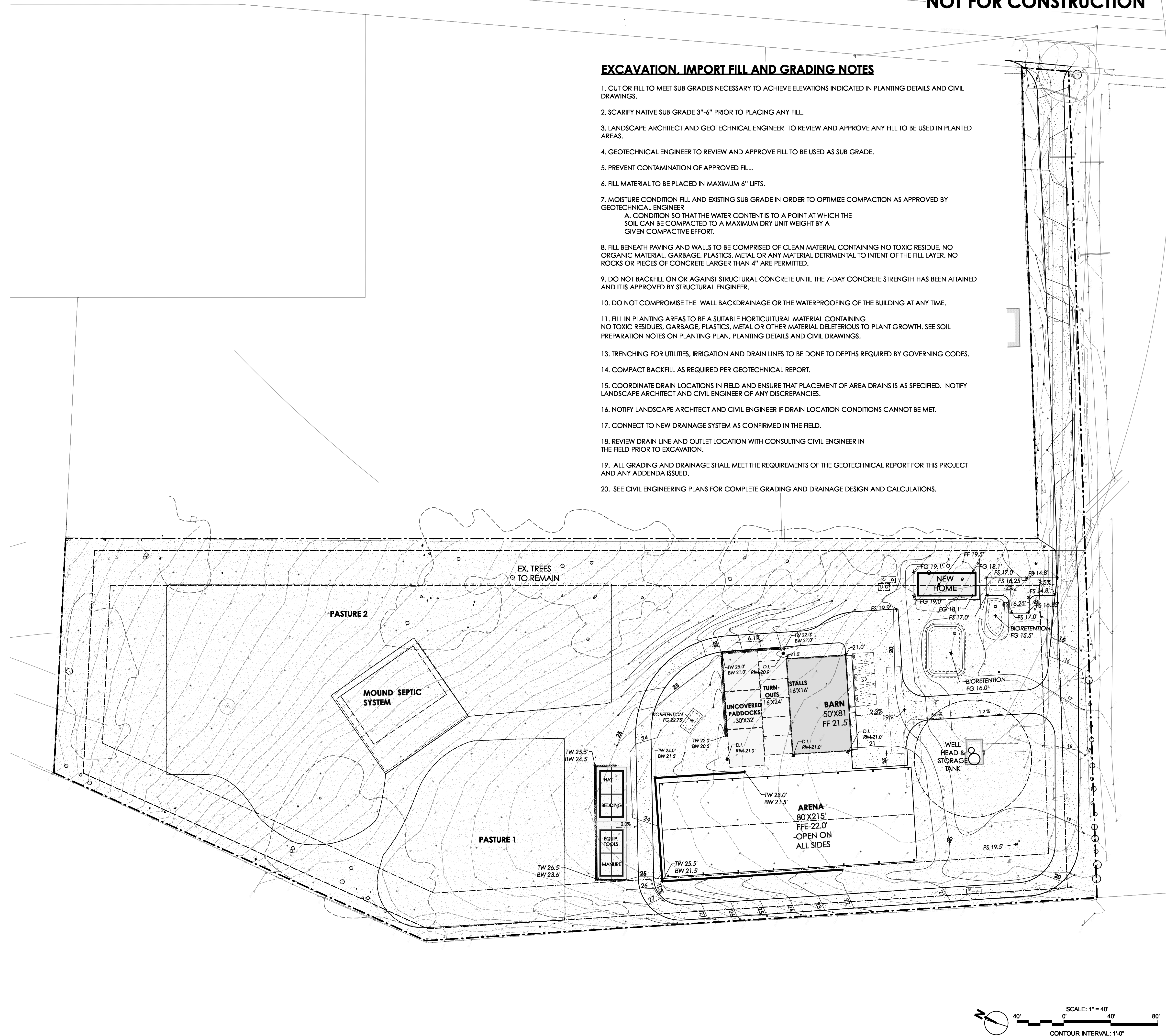
ENTRY GATE

- RANCH GATE W/ KEYPAD AND AUTOMATIC OPEN



EXCAVATION, IMPORT FILL AND GRADING NOTES

1. CUT OR FILL TO MEET SUB GRADES NECESSARY TO ACHIEVE ELEVATIONS INDICATED IN PLANTING DETAILS AND CIVIL DRAWINGS.
2. SCARIFY NATIVE SUB GRADE 3"-6" PRIOR TO PLACING ANY FILL.
3. LANDSCAPE ARCHITECT AND GEOTECHNICAL ENGINEER TO REVIEW AND APPROVE ANY FILL TO BE USED IN PLANTED AREAS.
4. GEOTECHNICAL ENGINEER TO REVIEW AND APPROVE FILL TO BE USED AS SUB GRADE.
5. PREVENT CONTAMINATION OF APPROVED FILL.
6. FILL MATERIAL TO BE PLACED IN MAXIMUM 6" LIFTS.
7. MOISTURE CONDITION FILL AND EXISTING SUB GRADE IN ORDER TO OPTIMIZE COMPACTION AS APPROVED BY GEOTECHNICAL ENGINEER
 - A. CONDITION SO THAT THE WATER CONTENT IS TO A POINT AT WHICH THE SOIL CAN BE COMPACTED TO A MAXIMUM DRY UNIT WEIGHT BY A GIVEN COMPACTIVE EFFORT.
8. FILL BENEATH PAVING AND WALLS TO BE COMPRISED OF CLEAN MATERIAL CONTAINING NO TOXIC RESIDUE, NO ORGANIC MATERIAL, GARBAGE, PLASTICS, METAL OR ANY MATERIAL DETRIMENTAL TO INTENT OF THE FILL LAYER. NO ROCKS OR PIECES OF CONCRETE LARGER THAN 4" ARE PERMITTED.
9. DO NOT BACKFILL ON OR AGAINST STRUCTURAL CONCRETE UNTIL THE 7-DAY CONCRETE STRENGTH HAS BEEN ATTAINED AND IT IS APPROVED BY STRUCTURAL ENGINEER.
10. DO NOT COMPROMISE THE WALL BACKDRAINAGE OR THE WATERPROOFING OF THE BUILDING AT ANY TIME.
11. FILL IN PLANTING AREAS TO BE A SUITABLE HORTICULTURAL MATERIAL CONTAINING NO TOXIC RESIDUES, GARBAGE, PLASTICS, METAL OR OTHER MATERIAL DELETERIOUS TO PLANT GROWTH. SEE SOIL PREPARATION NOTES ON PLANTING PLAN, PLANTING DETAILS AND CIVIL DRAWINGS.
13. TRENCHING FOR UTILITIES, IRRIGATION AND DRAIN LINES TO BE DONE TO DEPTHS REQUIRED BY GOVERNING CODES.
14. COMPACT BACKFILL AS REQUIRED PER GEOTECHNICAL REPORT.
15. COORDINATE DRAIN LOCATIONS IN FIELD AND ENSURE THAT PLACEMENT OF AREA DRAINS IS AS SPECIFIED. NOTIFY LANDSCAPE ARCHITECT AND CIVIL ENGINEER OF ANY DISCREPANCIES.
16. NOTIFY LANDSCAPE ARCHITECT AND CIVIL ENGINEER IF DRAIN LOCATION CONDITIONS CANNOT BE MET.
17. CONNECT TO NEW DRAINAGE SYSTEM AS CONFIRMED IN THE FIELD.
18. REVIEW DRAIN LINE AND OUTLET LOCATION WITH CONSULTING CIVIL ENGINEER IN THE FIELD PRIOR TO EXCAVATION.
19. ALL GRADING AND DRAINAGE SHALL MEET THE REQUIREMENTS OF THE GEOTECHNICAL REPORT FOR THIS PROJECT AND ANY ADDENDA ISSUED.
20. SEE CIVIL ENGINEERING PLANS FOR COMPLETE GRADING AND DRAINAGE DESIGN AND CALCULATIONS.



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Roth LaMotte
Landscape Architecture
CONSULTANT

MEGAN & SCOTT WEISS
75 HORSESHOE HILL
BOLINAS, CA
APN: 188-150-70



FINE GRADING PLAN

Date: 7/13/23
File name: 75HH_RLLA_Design.wvx

NO.	DATE	ISSUE NOTES

NO.	DATE	REV. NOTES

DATE:
July 14, 2023

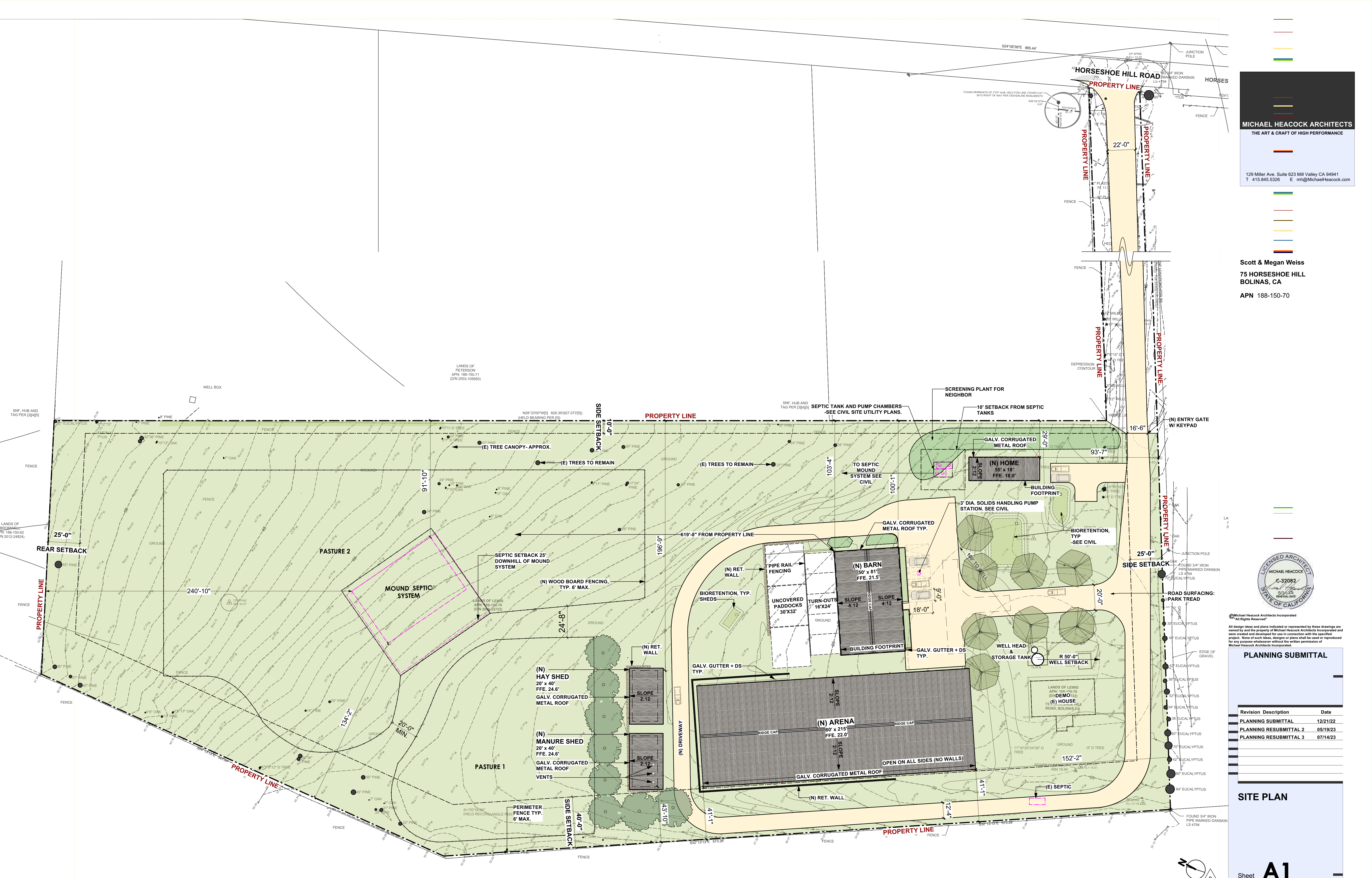
SCALE:
AS SHOWN

DESIGNED BY
SL

DRAWN BY
GAR

CHECKED BY
SL

L2.0



SITE PLAN

SCALE: 1" = 30'-0"

MICHAEL HEACOCK ARCHITECTS
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PLANNING SUBMITTAL

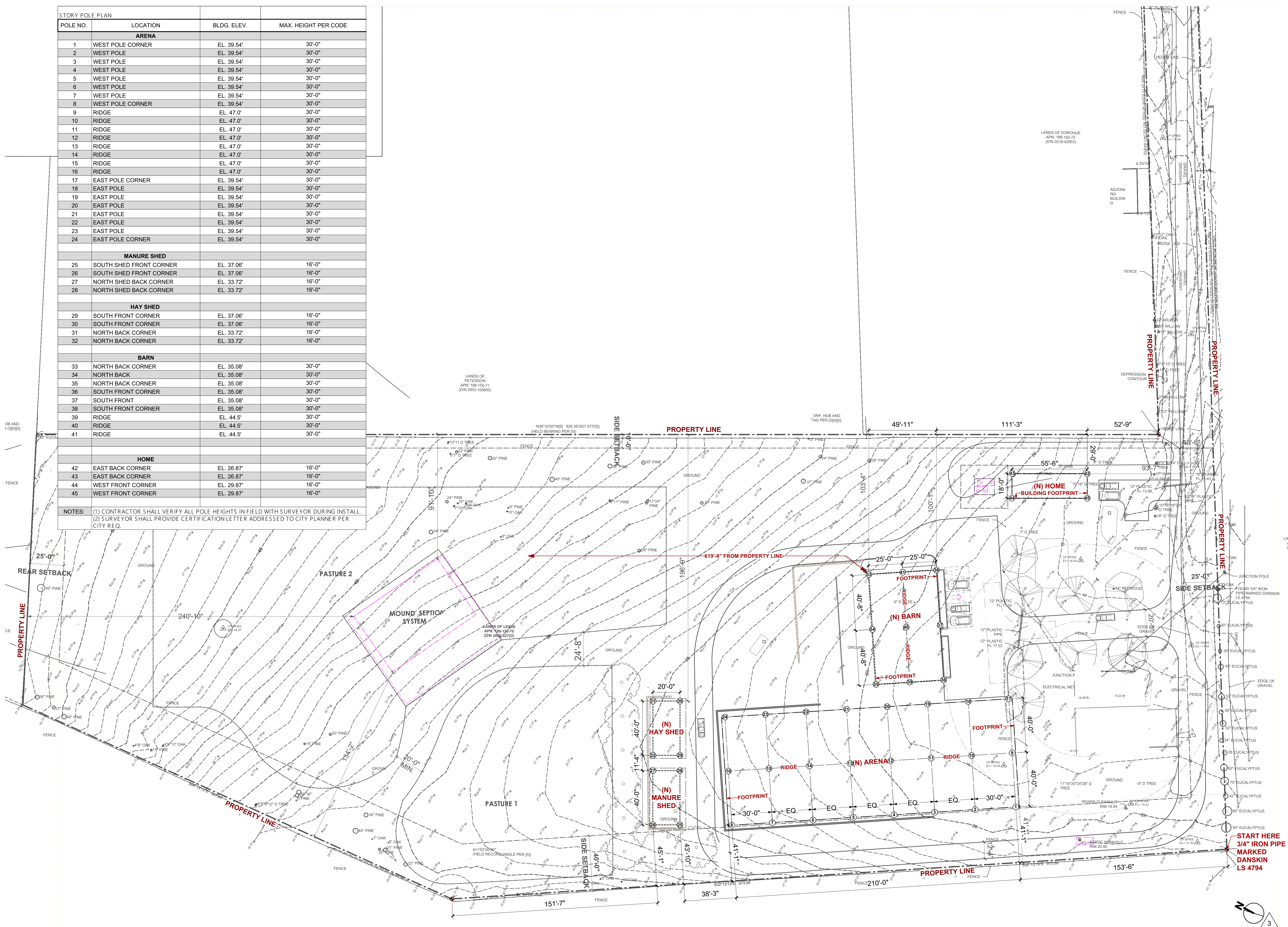
Revision	Description	Date
1	PLANNING SUBMITTAL	12/21/22
2	PLANNING RESUBMITTAL 2	05/19/23
3	PLANNING RESUBMITTAL 3	07/14/23

SITE PLAN

Sheet **A1**
Scale: 1" = 30'-0"

STORY POLE PLAN			
POLE NO.	LOCATION	BLDG. ELEV.	MAX. HEIGHT PER CODE
ARENA			
1	WEST POLE CORNER	EL. 39.54'	30'-0"
2	WEST POLE	EL. 39.54'	30'-0"
3	WEST POLE	EL. 39.54'	30'-0"
4	WEST POLE	EL. 39.54'	30'-0"
5	WEST POLE	EL. 39.54'	30'-0"
6	WEST POLE	EL. 39.54'	30'-0"
7	WEST POLE	EL. 39.54'	30'-0"
8	WEST POLE CORNER	EL. 39.54'	30'-0"
9	RIDGE	EL. 47.0'	30'-0"
10	RIDGE	EL. 47.0'	30'-0"
11	RIDGE	EL. 47.0'	30'-0"
12	RIDGE	EL. 47.0'	30'-0"
13	RIDGE	EL. 47.0'	30'-0"
14	RIDGE	EL. 47.0'	30'-0"
15	RIDGE	EL. 47.0'	30'-0"
16	RIDGE	EL. 47.0'	30'-0"
17	EAST POLE CORNER	EL. 39.54'	30'-0"
18	EAST POLE	EL. 39.54'	30'-0"
19	EAST POLE	EL. 39.54'	30'-0"
20	EAST POLE	EL. 39.54'	30'-0"
21	EAST POLE	EL. 39.54'	30'-0"
22	EAST POLE	EL. 39.54'	30'-0"
23	EAST POLE	EL. 39.54'	30'-0"
24	EAST POLE CORNER	EL. 39.54'	30'-0"
MANURE SHED			
25	SOUTH SHED FRONT CORNER	EL. 37.06'	16'-0"
26	SOUTH SHED FRONT CORNER	EL. 37.06'	16'-0"
27	NORTH SHED BACK CORNER	EL. 33.72'	16'-0"
28	NORTH SHED BACK CORNER	EL. 33.72'	16'-0"
HAY SHED			
29	SOUTH FRONT CORNER	EL. 37.06'	16'-0"
30	SOUTH FRONT CORNER	EL. 37.06'	16'-0"
31	NORTH BACK CORNER	EL. 33.72'	16'-0"
32	NORTH BACK CORNER	EL. 33.72'	16'-0"
BARN			
33	NORTH BACK CORNER	EL. 35.08'	30'-0"
34	NORTH BACK	EL. 35.08'	30'-0"
35	NORTH BACK CORNER	EL. 35.08'	30'-0"
36	SOUTH FRONT CORNER	EL. 35.08'	30'-0"
37	SOUTH FRONT	EL. 35.08'	30'-0"
38	SOUTH FRONT CORNER	EL. 35.08'	30'-0"
39	RIDGE	EL. 44.5'	30'-0"
40	RIDGE	EL. 44.5'	30'-0"
41	RIDGE	EL. 44.5'	30'-0"
HOME			
42	EAST BACK CORNER	EL. 26.87'	16'-0"
43	EAST BACK CORNER	EL. 26.87'	16'-0"
44	WEST FRONT CORNER	EL. 29.87'	16'-0"
45	WEST FRONT CORNER	EL. 29.87'	16'-0"

NOTES: (1) CONTRACTOR SHALL VERIFY ALL POLE HEIGHTS IN FIELD WITH SURVEYOR DURING INSTALL.
(2) SURVEYOR SHALL PROVIDE CERTIFICATION LETTER ADDRESSED TO CITY PLANNER PER CITY REQ.



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PLANNING SUBMITTAL

Revision	Description	Date
PLANNING SUBMITTAL		12/21/22
PLANNING RESUBMITTAL 2		05/19/23
PLANNING RESUBMITTAL 3		07/14/23

STORY POLE PLAN

Sheet **A1.1**
Scale: 1"=30'-0"



(N) HOME COLOR & MATERIAL BOARD

REJUVENATION



Carson 12" Wall Sconce
 Cooper Wiring
 Item #A7232
<http://www.rejuvenation.com/a1874>

Specification Detail

Item # A7232

Width 11-1/2"

Height 13"

Projection 18"

Canopy Diameter 5"

Number of Sockets 1

Wattage 100W

Price as shown: \$287.00
 Shipping and handling fees apply.

1

EXT. LED SCONCE

NOTE: ALL EXTERIOR LIGHTING SHALL BE NIGHT SKY COMPLIANT ON ALL THE NEW STRUCTURE

EL CAPITAN LED

DESCRIPTION	DETAIL	
CATALOG NUMBER LOGIC	Part #s: 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.	

2

EXT. LED SCONCE

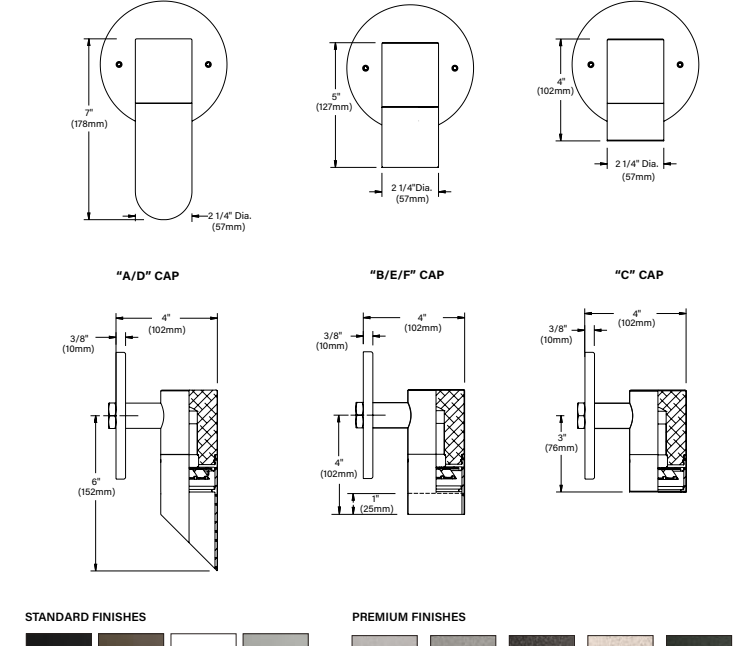
B-K LIGHTING

EL CAPITAN LED

DESCRIPTION	DETAIL
ACCESSORIES	Carson 12" Wall Sconce
SPECIFICATIONS	<p>ELECTRICAL</p> <p>WIRE TYPE: 12 AWG</p> <p>WIRE SIZE: 12 AWG</p> <p>WIRE COLOR: WHITE</p> <p>WIRE TYPE: 12 AWG</p> <p>WIRE SIZE: 12 AWG</p> <p>WIRE COLOR: WHITE</p> <p>PHYSICAL</p> <p>MATERIALS: GALV. METAL ROOFING, STAINED WOOD SIDING, STAINED WOOD DOORS, DARK BRONZE DOORS + WINDOWS</p> <p>ROOF: GALV. METAL ROOFING</p> <p>SIDING: STAINED WOOD SIDING</p> <p>DOORS: STAINED WOOD DOORS</p> <p>WINDOWS: DARK BRONZE DOORS + WINDOWS</p> <p>FINISHES</p> <p>WOOD FINISH: STAINED WOOD SIDING, STAINED WOOD DOORS</p> <p>METAL FINISH: DARK BRONZE DOORS + WINDOWS</p> <p>INSTALLATION</p> <p>WALL MOUNTING: CARSON 12" WALL SCONCE</p> <p>MAINTENANCE</p> <p>CLEANING: REGULAR CLEANING</p>

B-K LIGHTING

EL CAPITAN LED



STANDARD FINISHES

FINISH	DESCRIPTION
1	White
2	Black
3	Dark Grey
4	Medium Grey
5	Light Grey
6	Dark Blue
7	Medium Blue
8	Light Blue
9	Dark Green
10	Medium Green
11	Light Green
12	Dark Red
13	Medium Red
14	Light Red
15	Dark Yellow
16	Medium Yellow
17	Light Yellow
18	Dark Purple
19	Medium Purple
20	Light Purple

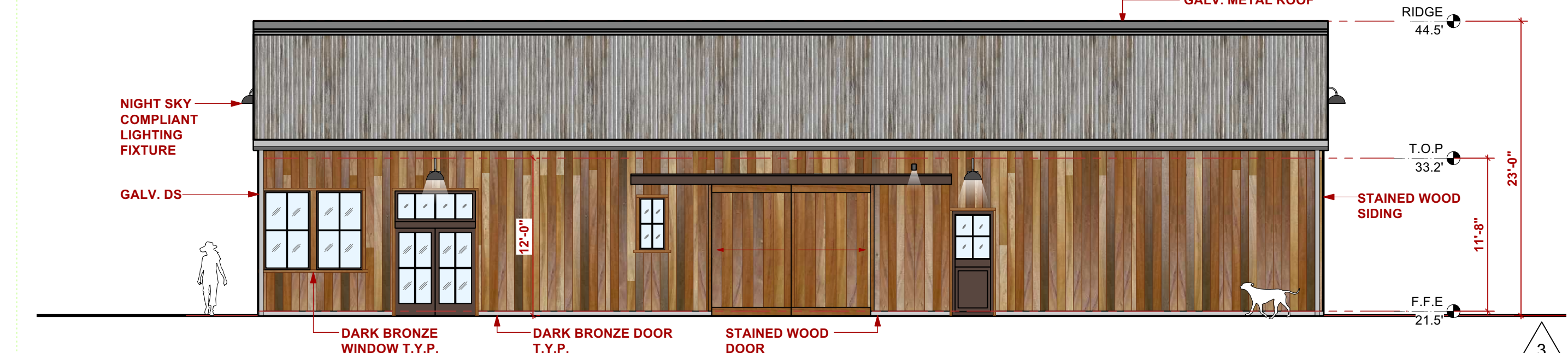
B-K LIGHTING

LAMP & DRIVER DATA

Model	Wattage	Beam Spread	Color Temp.	Dimming	Notes
100	100W	30°	3000K	Yes	
101	100W	30°	4000K	Yes	
102	100W	30°	5000K	Yes	
103	100W	30°	6000K	Yes	
104	100W	30°	7000K	Yes	
105	100W	30°	8000K	Yes	
106	100W	30°	9000K	Yes	
107	100W	30°	10000K	Yes	
108	100W	30°	11000K	Yes	
109	100W	30°	12000K	Yes	
110	100W	30°	13000K	Yes	
111	100W	30°	14000K	Yes	
112	100W	30°	15000K	Yes	
113	100W	30°	16000K	Yes	
114	100W	30°	17000K	Yes	
115	100W	30°	18000K	Yes	
116	100W	30°	19000K	Yes	
117	100W	30°	20000K	Yes	
118	100W	30°	21000K	Yes	
119	100W	30°	22000K	Yes	
120	100W	30°	23000K	Yes	
121	100W	30°	24000K	Yes	
122	100W	30°	25000K	Yes	
123	100W	30°	26000K	Yes	
124	100W	30°	27000K	Yes	
125	100W	30°	28000K	Yes	
126	100W	30°	29000K	Yes	
127	100W	30°	30000K	Yes	
128	100W	30°	31000K	Yes	
129	100W	30°	32000K	Yes	
130	100W	30°	33000K	Yes	
131	100W	30°	34000K	Yes	
132	100W	30°	35000K	Yes	
133	100W	30°	36000K	Yes	
134	100W	30°	37000K	Yes	
135	100W	30°	38000K	Yes	
136	100W	30°	39000K	Yes	
137	100W	30°	40000K	Yes	
138	100W	30°	41000K	Yes	
139	100W	30°	42000K	Yes	
140	100W	30°	43000K	Yes	
141	100W	30°	44000K	Yes	
142	100W	30°	45000K	Yes	
143	100W	30°	46000K	Yes	
144	100W	30°	47000K	Yes	
145	100W	30°	48000K	Yes	
146	100W	30°	49000K	Yes	
147	100W	30°	50000K	Yes	
148	100W	30°	51000K	Yes	
149	100W	30°	52000K	Yes	
150	100W	30°	53000K	Yes	
151	100W	30°	54000K	Yes	
152	100W	30°	55000K	Yes	
153	100W	30°	56000K	Yes	
154	100W	30°	57000K	Yes	
155	100W	30°	58000K	Yes	
156	100W	30°	59000K	Yes	
157	100W	30°	60000K	Yes	
158	100W	30°	61000K	Yes	
159	100W	30°	62000K	Yes	
160	100W	30°	63000K	Yes	
161	100W	30°	64000K	Yes	
162	100W	30°	65000K	Yes	
163	100W	30°	66000K	Yes	
164	100W	30°	67000K	Yes	
165	100W	30°	68000K	Yes	
166	100W	30°	69000K	Yes	
167	100W	30°	70000K	Yes	
168	100W	30°	71000K	Yes	
169	100W	30°	72000K	Yes	
170	100W	30°	73000K	Yes	
171	100W	30°	74000K	Yes	
172	100W	30°	75000K	Yes	
173	100W	30°	76000K	Yes	
174	100W	30°	77000K	Yes	
175	100W	30°	78000K	Yes	
176	100W	30°	79000K	Yes	
177	100W	30°	80000K	Yes	
178	100W	30°	81000K	Yes	
179	100W	30°	82000K	Yes	
180	100W	30°	83000K	Yes	
181	100W	30°	84000K	Yes	
182	100W	30°	85000K	Yes	
183	100W	30°	86000K	Yes	
184	100W	30°	87000K	Yes	
185	100W	30°	88000K	Yes	
186	100W	30°	89000K	Yes	
187	100W	30°	90000K	Yes	
188	100W	30°	91000K	Yes	
189	100W	30°	92000K	Yes	
190	100W	30°	93000K	Yes	
191	100W	30°	94000K	Yes	
192	100W	30°	95000K	Yes	
193	100W	30°	96000K	Yes	
194	100W	30°	97000K	Yes	
195	10				



(N) BARN NORTH ELEVATION SCALE: 1/8" = 1'-0"



(N) BARN SOUTH ELEVATION SCALE: 1/8" = 1'-0"



(N) BARN COLOR & MATERIAL BOARD

REjuvenation

Carson 12" Wall Sconce
Copper Finish
Item # A7232
Width 11-1/2"
Height 13"
Projection 16"
Canopy Diameter 5"
Number of Sockets 1
Voltage 100W
Price as shown: \$287.00
Shipping and handling fees apply.

EL CAPITAN LED

Carson 12" Wall Sconce
Copper Finish
Item # A7232
Width 11-1/2"
Height 13"
Projection 16"
Canopy Diameter 5"
Number of Sockets 1
Voltage 100W
Price as shown: \$287.00
Shipping and handling fees apply.

STANDARD FINISHES

PREMIUM FINISHES

SPECIALTY FINISHES

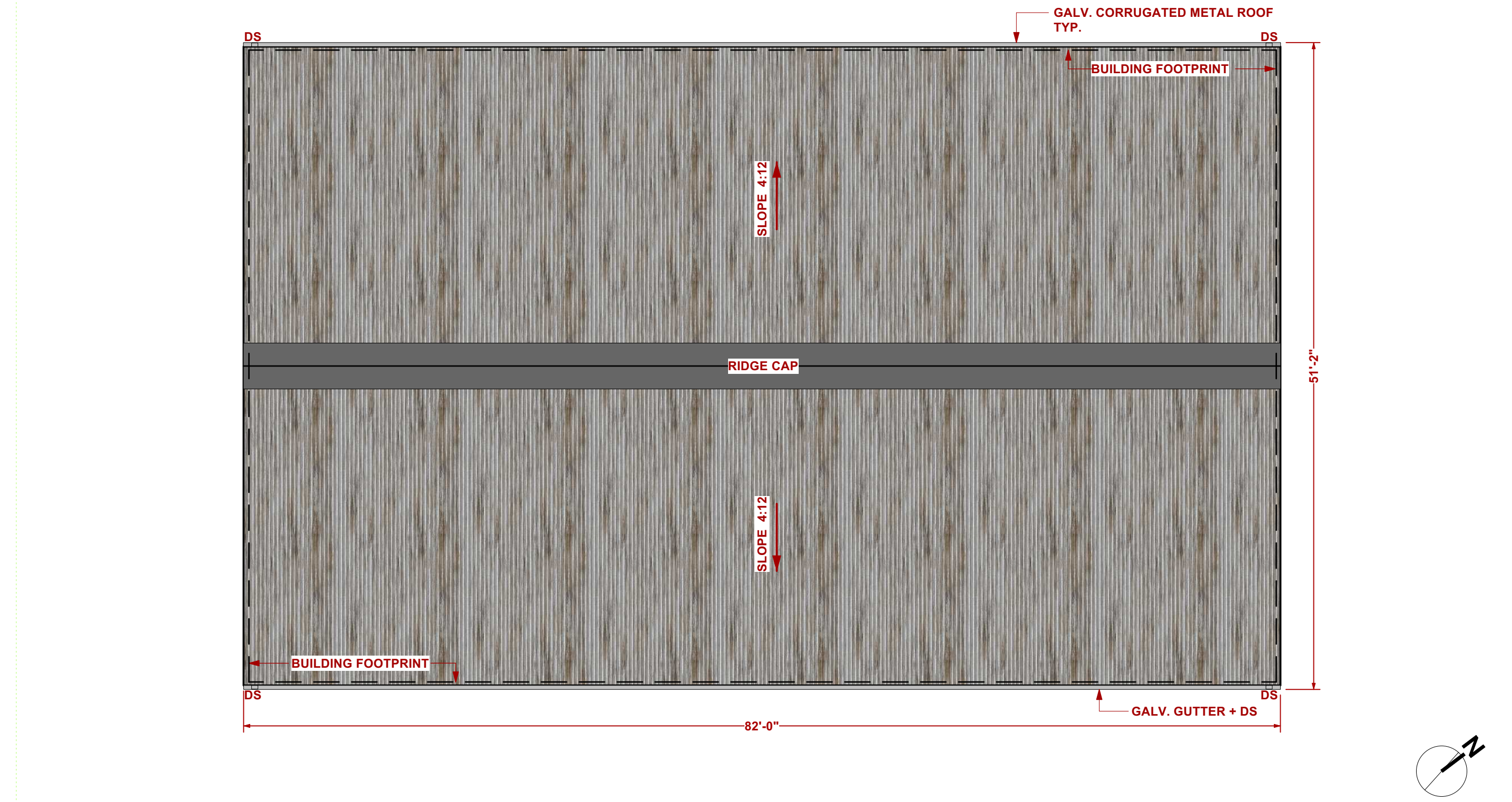
EL CAPITAN LED

1" CAP
2" CAP
3" CAP

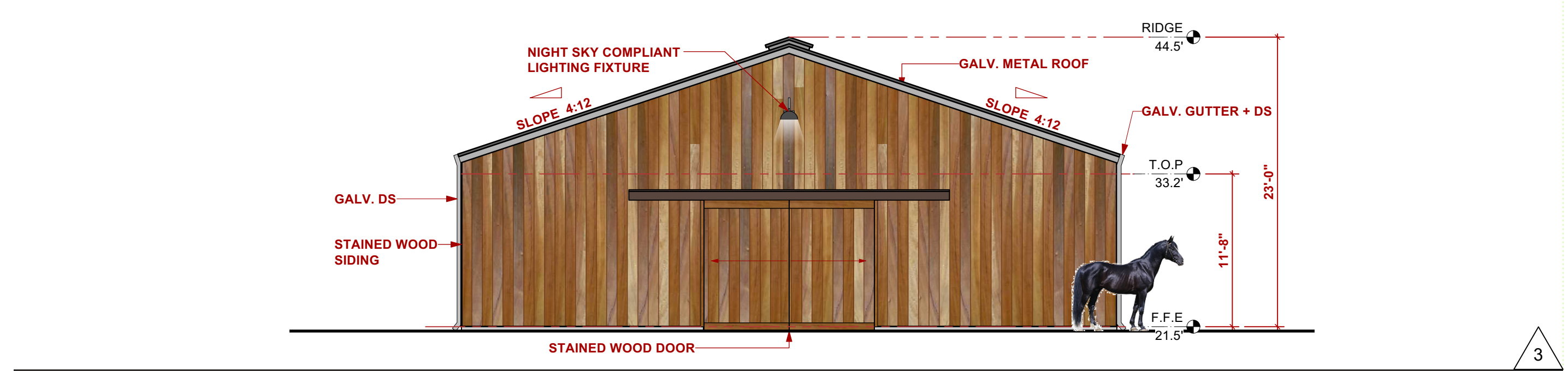
EL CAPITAN LED

1" CAP
2" CAP
3" CAP

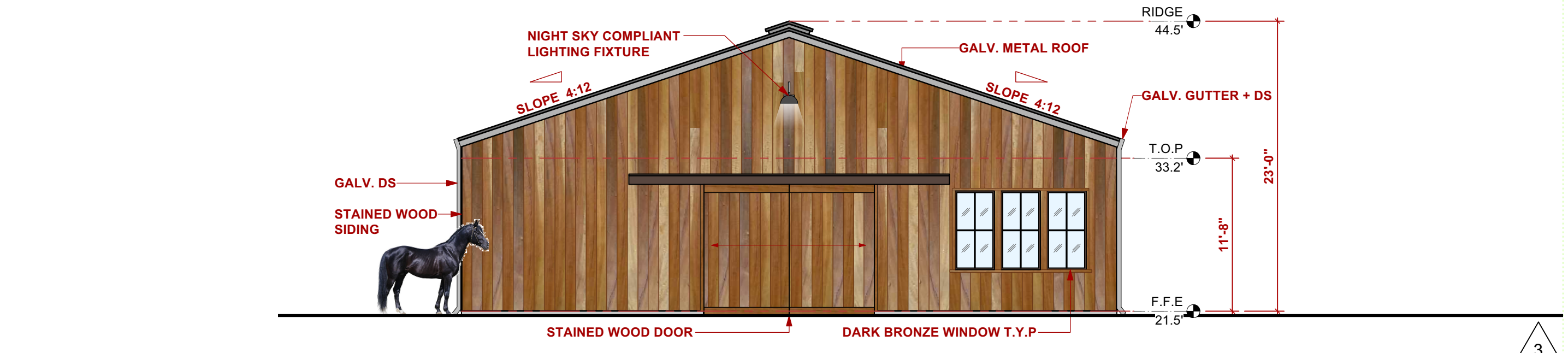
(N) BARN EXTERIOR LIGHT FIXTURES



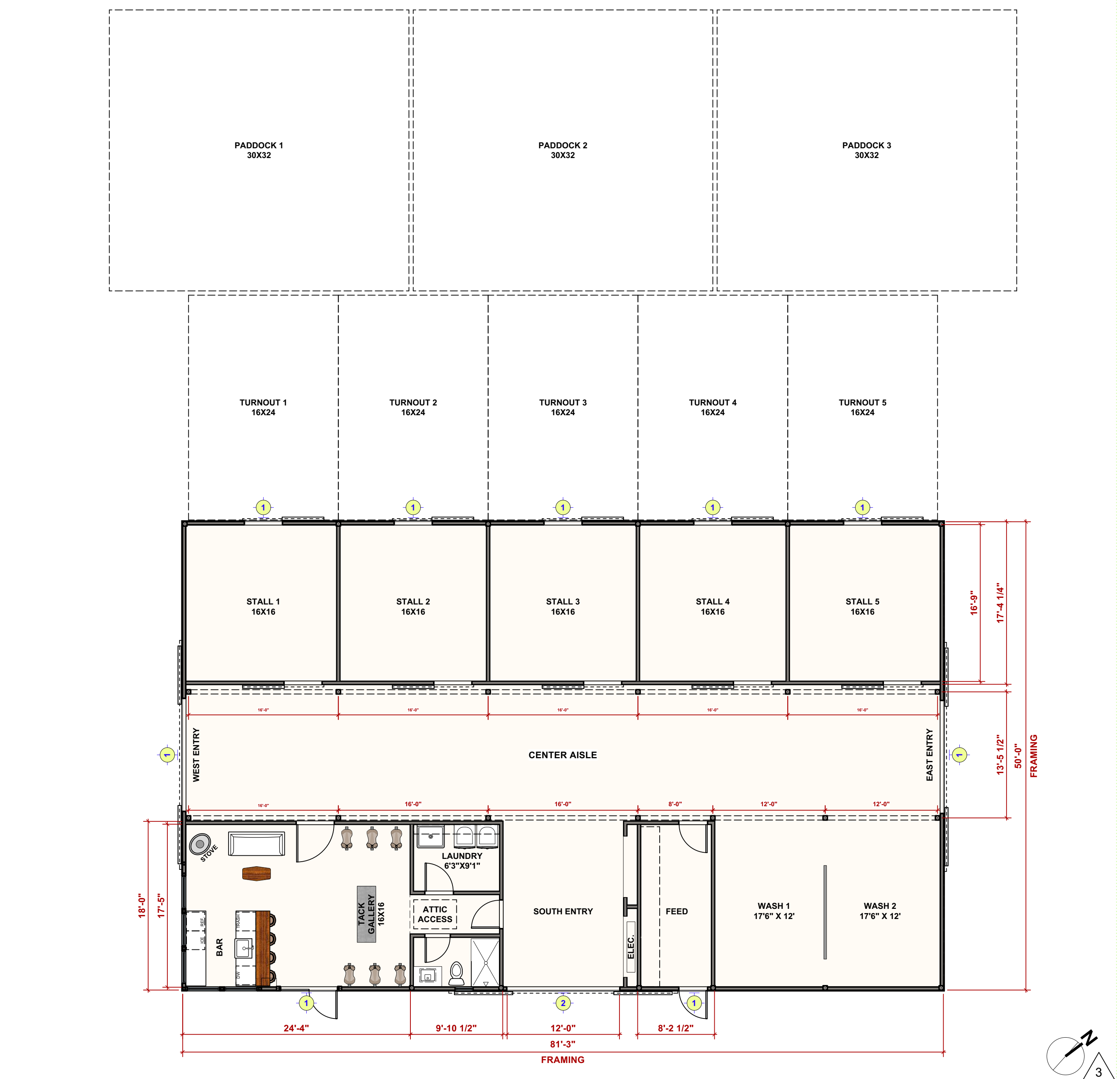
(N) BARN ROOF PLAN SCALE: 1/8" = 1'-0"



(N) BARN EAST ELEVATION SCALE: 1/8" = 1'-0"



(N) BARN WEST ELEVATION SCALE: 1/8" = 1'-0"



(N) BARN FLOOR PLAN SCALE: 1/8" = 1'-0"

MICHAEL HEACOCK ARCHITECTS
THE ART & CRAFT OF HIGH PERFORMANCE

129 Miller Ave. Suite 623 Mill Valley CA 94941
T 415.845.5326 E mh@MichaelHeacock.com

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75 HORSESHOE HILL
BOLINAS, CA
APN 188-150-70

LICENSED ARCHITECT
MICHAEL HEACOCK
C-32092
5/1/25
RENEWAL DATE

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PLANNING SUBMITTAL

Revision	Description	Date
PLANNING SUBMITTAL		12/21/22
PLANNING RESUBMITTAL 2		05/19/23
PLANNING RESUBMITTAL 3		07/14/23

(N) BARN

Sheet **A 3**

Scale: 1/8" = 1'-0"



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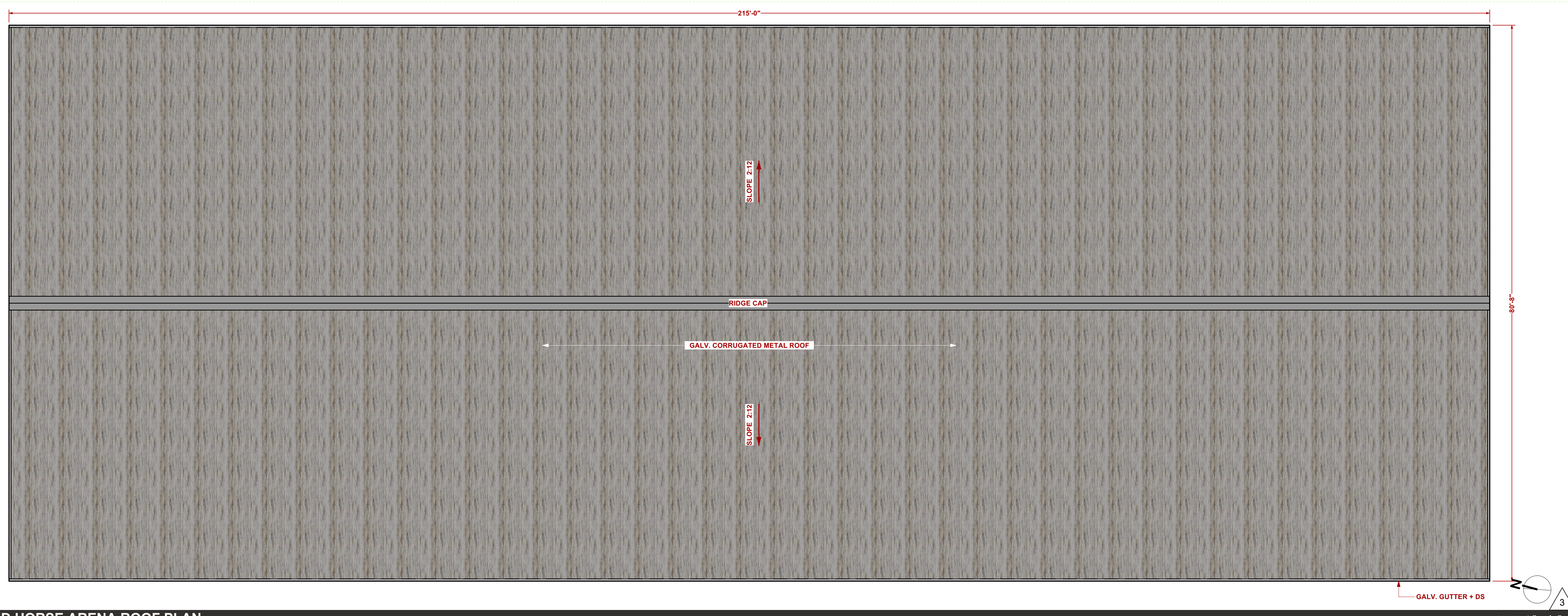
PLANNING SUBMITTAL

Revision	Description	Date
1	PLANNING SUBMITTAL	12/21/22
2	PLANNING RESUBMITTAL 2	05/19/23
3	PLANNING RESUBMITTAL 3	07/14/23

(N)
COVERED HORSE
ARENA FLOOR AND
ROOF PLAN

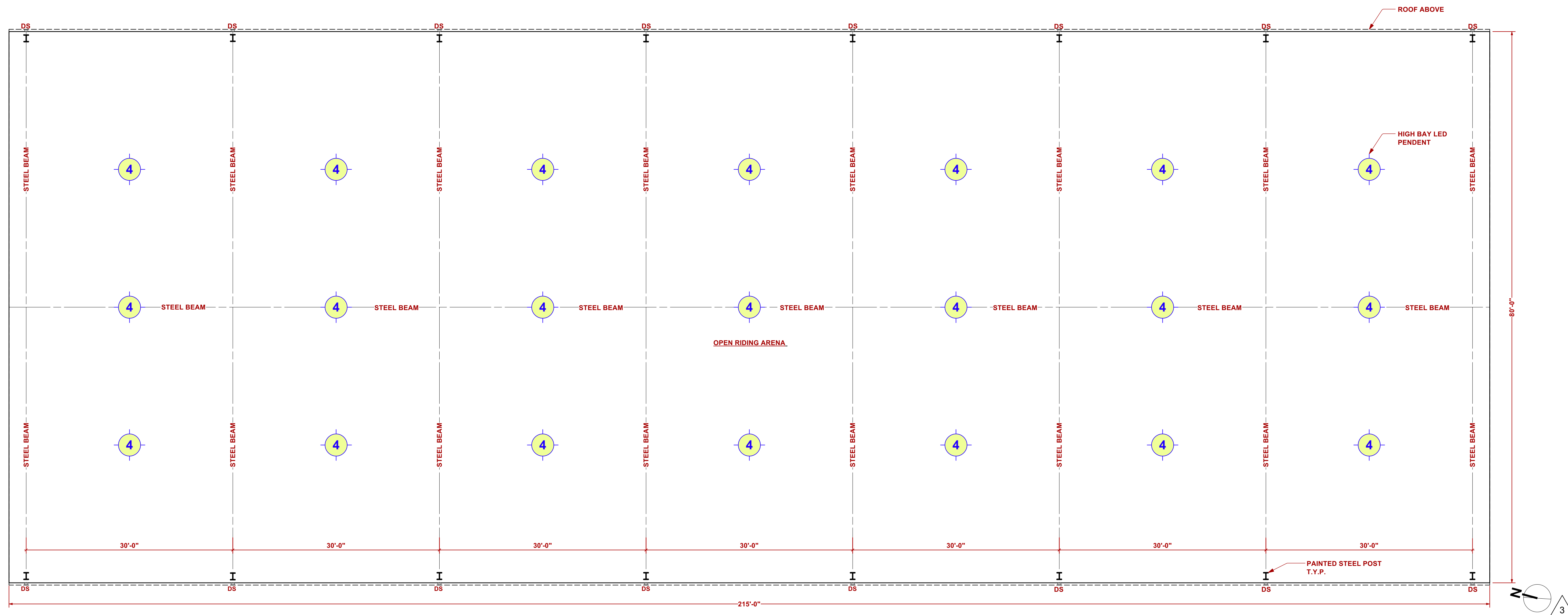
Sheet **A 5**

Scale: 1/8" = 1'-0"



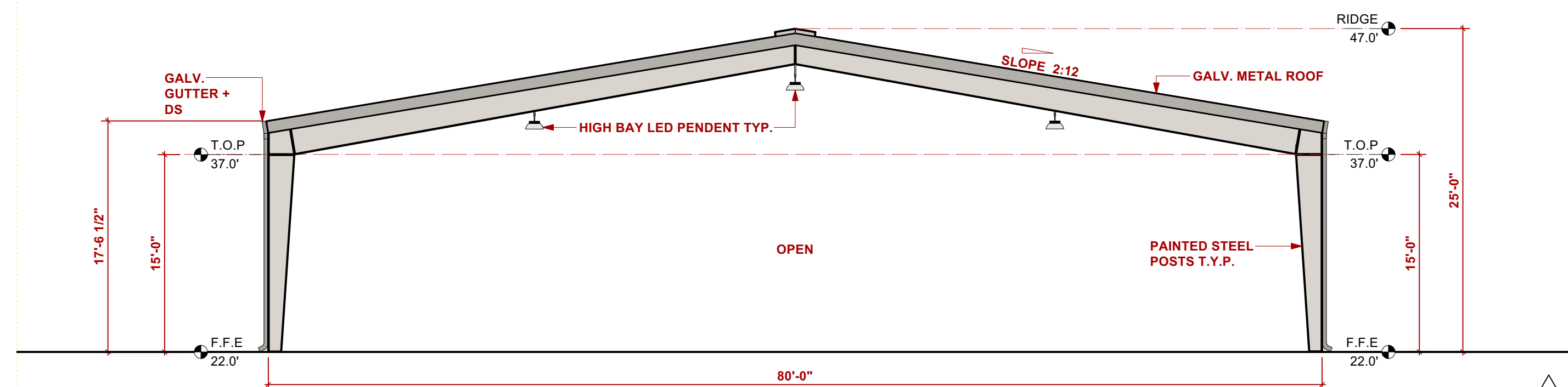
(N) COVERED HORSE ARENA ROOF PLAN

SCALE: 1/8" = 1'-0"

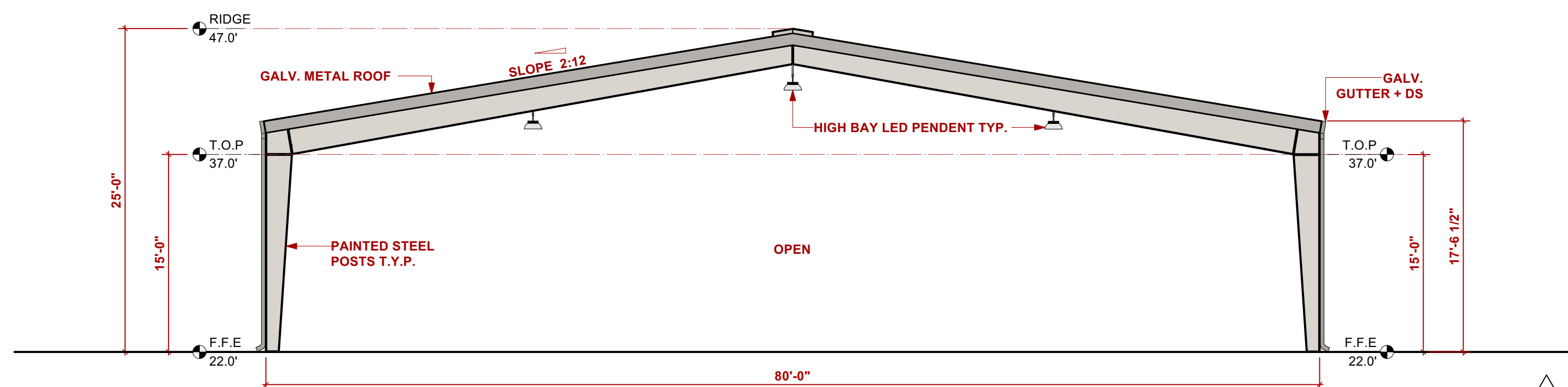


(N) COVERD HORSE ARENA FLOOR PLAN

SCALE: 1/8" = 1'-0"



(N) COVERED HORSE ARENA NORTH ELEVATION SCALE: 1/8" = 1'-0"



(N) COVERED HORSE ARENA SOUTH ELEVATION SCALE: 1/8" = 1'-0"



(N) COVERED HORSE ARENA COLOR & MATERIAL BOARD (N) COVERED HORSE ARENA INTERIOR LIGHT FIXTURE

lightpoles PLUS
LED High Bay

Powered by **OSRAM** **LEDVANCE** **PHILIPS** **GE** **OSRAM** **LEDVANCE** **PHILIPS** **GE**

A unique feature is the quick disconnected cable, it can quickly separate the driver from the LED module for easy maintenance. The unit has built-in heat sink and comes with a hook made of die cast aluminum for a strong and easy installation.

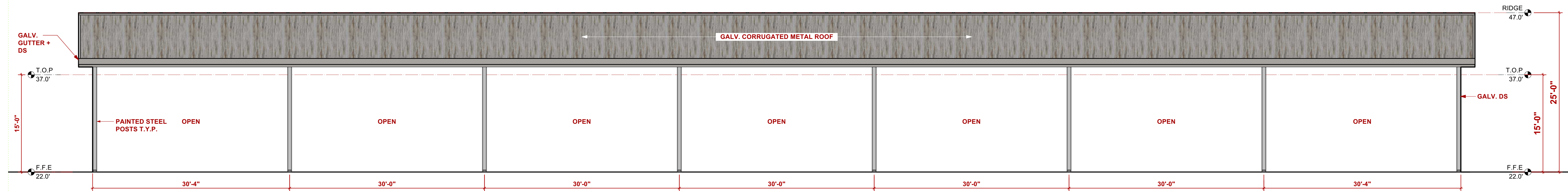
AVAILABLE OPTIONS

- Hook
- Optional clamp band and flat glass

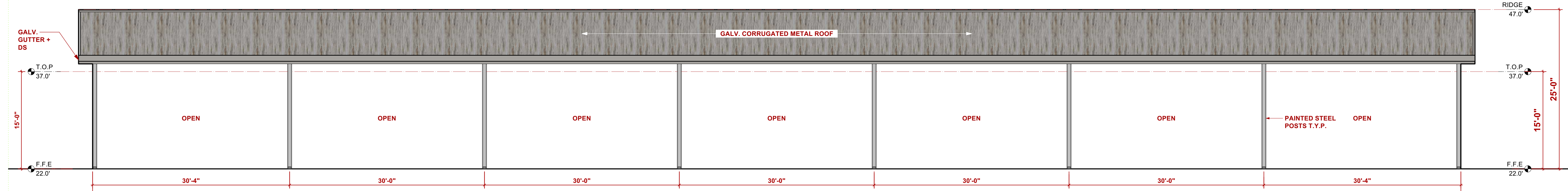
FEATURES	SPECIFICATION
LISTING	Model No. DL-16-1600A-10-10-00-0-0 DL-16-1600A-20-10-00-0-0
UL and CUL listed for damp locations	Bay Size 6 6ft 2ft
HOUSING	Bay Length 6 6ft
Superior heavy duty die cast aluminum construction	Bay Width 6 26.93 in**
Anodized aluminum reflector	Color 6 6000K
OPTIONS	MA 6 780MA 800MA
Optional 347V with adder	Voltage 6 120-277V
Optional clamp band and flat glass with adder	CR 6 78
	Starting Temp 6 -40°C
	Equivalent 6 250W MH 400W MH

DIMENSIONS **LINE DRAWING**

4 HIGH BAY LED PENDANT



(N) COVERED HORSE ARENA EAST ELEVATION SCALE: 1/8" = 1'-0"



(N) COVERED HORSE ARENA WEST ELEVATION SCALE: 1/8" = 1'-0"



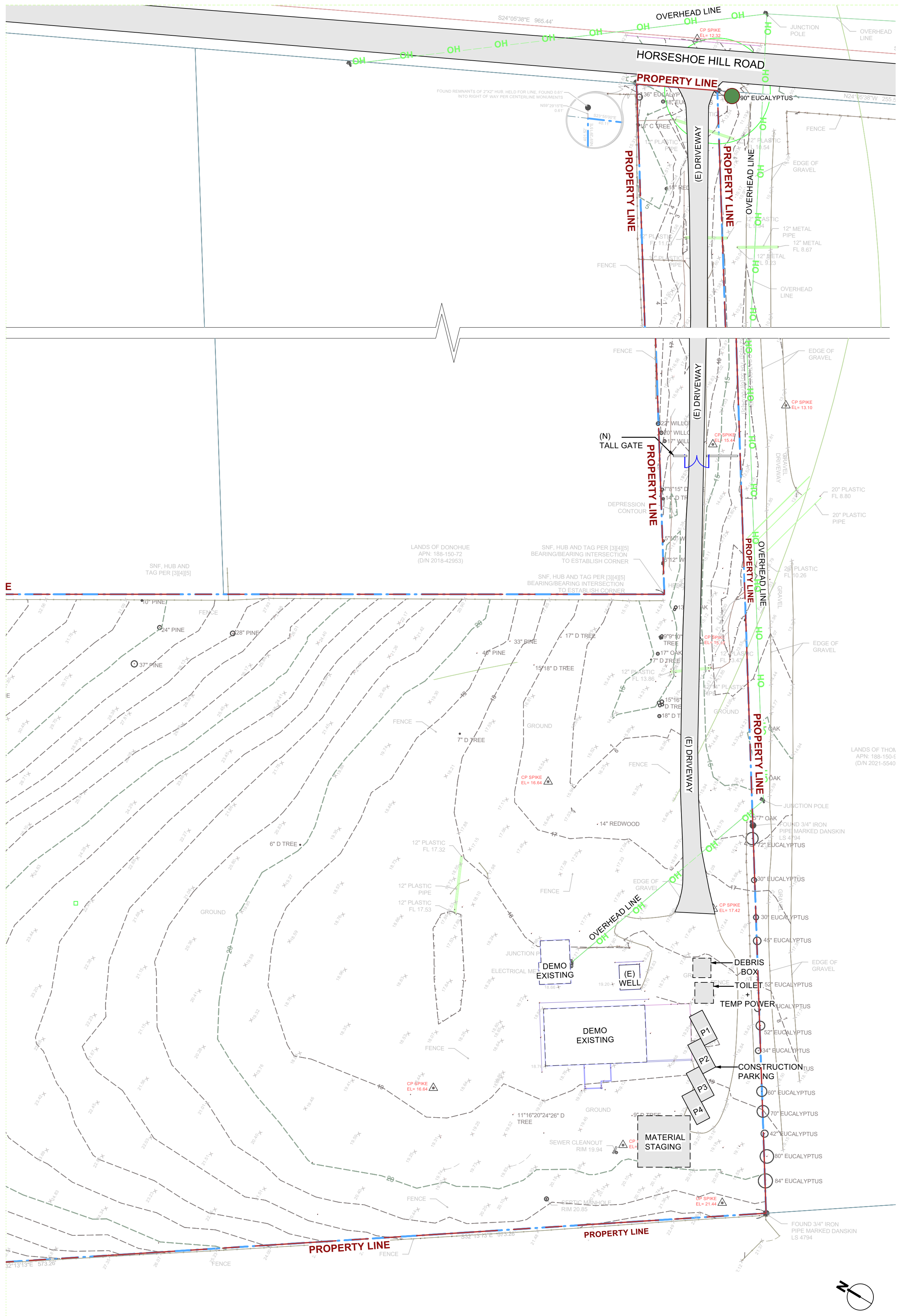
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PLANNING SUBMITTAL

Revision	Description	Date
1	PLANNING SUBMITTAL	12/21/22
2	PLANNING RESUBMITTAL 2	05/19/23
3	PLANNING RESUBMITTAL 3	07/14/23

(N) COVERED HORSE ARENA ELEVATIONS

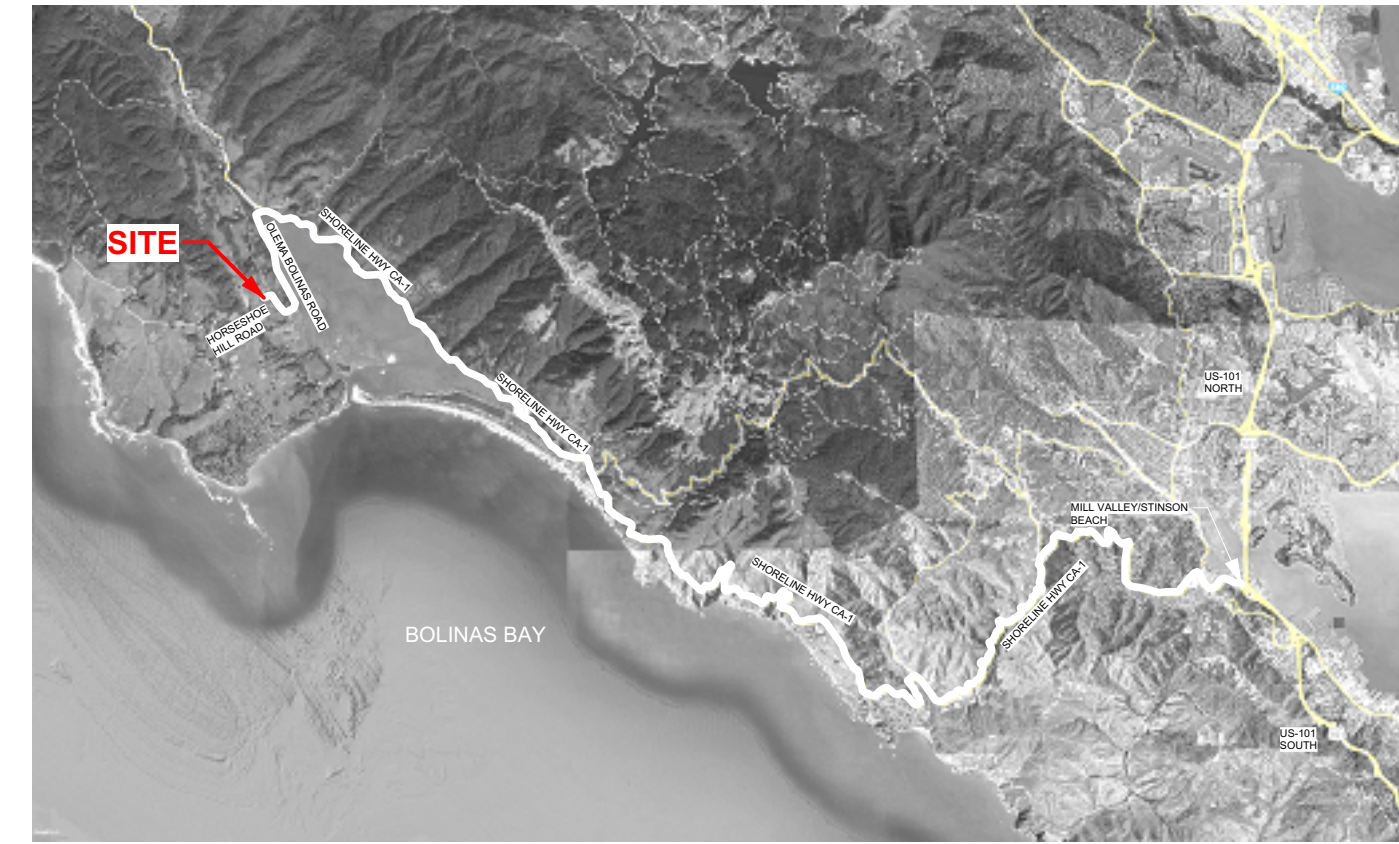


CONSTRUCTION MANAGEMENT PLAN

CONSTRUCTION SCHEDULE

CONSTRUCTION START	MOBILIZE/ DEMO	UNDERGROUND	FOUNDATION	FRAMING	FINISH CONSTRUCTION EN
Aug-23	Aug-23	Sep-23	Oct-23	Nov-23	May-24

**CONSTRUCTION MANAGEMENT PLAN
CONSTRUCTION TRAFFIC / TRUCK ROUTE**



- FROM US101 TO 75 HORSESHOE HILL, BOLINAS, CA 94924**
- FROM US-101 TAKE EXIT 445B FOR CA-1 TOWARD MILL VALLEY/STINSON BEACH
 - CONTINUE ONTO CA-1 NORTH FOR 0.3 MILES
 - TURN LEFT TO STAY ON CA-1 NORTH FOR 15.9 MILES
 - TURN LEFT AT BOLINAS FAIRFAX RD/FAIRFAX-BOLINAS RD.
 - TURN LEFT AFTER 0.1 MILES ONTO OLEMA BOLINAS RD.
 - TURN RIGHT AFTER 0.3 MILES ONTO HORSESHOE HILL RD.
 - DESTINATION WILL BE ON THE RIGHT
- FROM 75 HORSESHOE HILL, BOLINAS, CA 94924 TO US101**
- HEAD WEST TOWARD HORSESHOE HILL ROAD FOR 0.1 MILE
 - TAKE RIGHT INTO HORSESHOE HILL RD. AND GO ON FOR 0.3 MILES
 - TURN LEFT ONTO OLEMA BOLINAS RD. AND GO ON FOR 1.2 MILES
 - TURN RIGHT TOWARDS CA-1 SOUTH AND CONTINUE FOR 17 MILES
 - MERGE ONTO US101 TOWARD DESIRED DIRECTION

CMP SIGNAGE:
PROVIDE A 24" X 36" WEATHERPROOF SIGN AT THE JOB SITE LOCATED SO AS TO BE CLEARLY READABLE FROM THE PUBLIC RIGHT-OF-WAY.

PRE-CONSTRUCTION MEETING:
A PRE-CONSTRUCTION MEETING SHALL BE REQUIRED PRIOR TO THE START OF ANY SITE WORK AND/OR THE ISSUANCE OF A BUILDING OR GRADING PERMIT. SCHEDULING THE MEETING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REQUIRED ATTENDANCE SHALL BE CITY STAFF, THE PROPERTY OWNER, GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS. THE PURPOSE OF THE MEETING WILL BE TO REVIEW THE CMP AND ALL OTHER CONSTRUCTION MANAGEMENT REQUIREMENTS. THE REQUIRED CMP SIGN SHALL BE AVAILABLE FOR REVIEW BY THE CITY AT THE PRE-CONSTRUCTION MEETING.

CONSTRUCTION HOURS:
7 AM TO 6 PM MONDAY THROUGH FRIDAY, 9 AM TO 5 PM ON SATURDAY. POWER TOOLS AND EQUIPMENT USE IS LIMITED FROM 8 AM TO 5 PM MONDAY THROUGH FRIDAY, CONSTRUCTION WORK IS NOT ALLOWED ON WEEKENDS AND HOLIDAYS.

DELIVERIES AND OFF-HAUL
(INCLUDING EQUIPMENT, MATERIALS, REMOVAL OF SOIL, REFUSE OR DEMOLITION DEBRIS) FOR SITES IN IMPACTED NEIGHBORHOODS IS LIMITED TO WEEKDAYS BETWEEN THE HOURS OF 7 AM AND 5 PM. ALL DRIVERS SHALL BE ADVISED OF THE DESIGNATED PROJECT TRUCK ROUTE, INCLUDING APPROVED TURNAROUND LOCATIONS, PRIOR TO ANY DELIVERIES OR MATERIAL REMOVAL.

ROAD AND OR LANE CLOSURES:
ROAD CLOSURES SHALL ONLY BE PERMITTED BY THE DEPARTMENT OF PUBLIC WORKS (DPW). APPLICANTS SHALL APPLY TO DPW WELL ENOUGH IN ADVANCE TO PROCESS THE REQUEST. APPLICANT SHALL PROVIDE SIGNAGE A MINIMUM OF 48 HOURS NOTICE IN ADVANCE OF THE PROPOSED DATE. COPIES OF THESE PERMITS MUST BE MAINTAINED AT THE JOB SITE FOR THE DURATION OF THE CLOSURE. NOTICE SHALL INCLUDE DATE(S) AND DURATION OF PROPOSED CLOSURE, THE TRAFFIC CONTROL PLAN, AS WELL AS ANY DETOURS THAT MAY BE AVAILABLE. EVIDENCE OF SUCH WRITTEN NOTIFICATION TO AFFECTED RESIDENTS AND PROPERTY OWNERS SHALL BE PROVIDED TO DPW.

WORKER AUTO PARKING SPACE LOCATIONS/CONSTRUCTION PARKING:
ALL WORKER VEHICLES MUST BE PARKED AT TO JOB SITE OR CARPOOL. IDENTIFY ALL OFF-SITE WORKER PARKING LOCATIONS, AND CARPOOL PICK-UP AND DROP-OFF LOCATIONS. VEHICLE PARKING IN THE PUBLIC RIGHT-OF-WAY AT OR NEAR THE JOB WORK SITE WILL REQUIRE A PARKING PLACARD FROM THE MARIN COUNTY SHERIFF'S OFFICE.

ENFORCEMENT:
IT SHALL BE THE RESPONSIBILITY OF THE PROJECT APPLICANT OR THEIR DESIGNATED REPRESENTATIVE TO ADVISE THE CITY OF ANY MODIFICATIONS TO THE CMP. TO NOTIFY THE NEIGHBORING PROPERTY OWNERS OF MODIFICATIONS TO THE CMP AND TO POST ANY MODIFICATIONS OF THE CMP ON THE JOB SITE SIGN

FIRST OFFENSE VIOLATION OF ANY PORTION OF THE APPROVED CMP OR OTHER APPLICABLE CONSTRUCTION MANAGEMENT REQUIREMENTS WILL BE ADDRESSED BY A WRITTEN WARNING FROM THE COUNTY, ANY FURTHER SUBSEQUENT VIOLATIONS WILL BE ADDRESSED BY A "STOP WORK ORDER."

ANY MODIFICATIONS TO THE CMP MUST BE APPROVED BY THE DPW.

GENERAL CONTRACTOR:
TBD

ARCHITECT:
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129 MILLER AVE., SUITE 623
MILL VALLEY, CA 94941
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EMERGENCY CONTACT:
KRISTEN WALKER, PROJECT MANAGER
PH: (415) 699-0475

COUNTY OF MARIN CODE ENFORCEMENT OFFICE:
PH. (415) 473-7250



Pre-Construction and Demolition Recycling Plan

Recycling Construction and Demolition (C&D) Materials is REQUIRED.

Project Name: _____
 Project Location: _____
 Building Permit #: _____ Project Sq. Ft: _____
 Owner Name: _____ Contractor Name: _____
 Telephone: _____ Email Address: _____

EASY METHOD

STEP 1	STEP 2	STEP 3
Project owners, contractors or other permit applicants must complete this form and sign on the next page. Turn in pages EZ-1&2 prior to construction.	Self-haul or have your debris box hauler deliver C&D materials to a Certified Facility for recycling.	Collect receipts from Certified Facilities for all loads and staple them to the "Post Construction Recycling Documentation" form (EZ-3). Turn in completed EZ-3 along with Certified Facility receipts prior to final inspection.

ADVANCED METHOD

STEP 1	STEP 2	STEP 3
Project owners, contractors or other permit applicants must review CALGreen code Title 24 and understand the requirements of Section 4.408, 5.408, 301.1.1 and 301.3. Turn in pages EZ-1&2 prior to construction.	Develop a Construction Waste Management Plan (CWMP) using the Advanced Method form template (AD-1&2).	Implement your CWMP. Using pages AD-3&4 from the Advanced Method form, provide complete documentation of recycling prior to final inspection. Turn in pages AD-1-4 prior to final inspection.

PARTICIPATING JURISDICTIONS: BELVEDERE, CORTE MADERA, FAIRFAX, LARKSPUR, MILL VALLEY, ROSS, SAN ANSELMO, SAN RAFAEL, SAUSALITO, TIBURON, AND MARIN COUNTY
 Forms are available electronically at ZeroWasteMarin.org/CD Page EZ-1



Pre-Construction and Demolition Recycling Plan

I certify under penalty of perjury that I will recycle C&D materials from my project via (check one):

THE EASY METHOD: Direct C&D materials to a Certified Facility and submit weight tickets with pages EZ-3&4 prior to final inspection showing material is recycled from Certified Facilities.

- Reuse and/or deconstruct first.
- Direct all C&D materials to a Certified C&D Facility or building materials reuse business. A list is available online: ZeroWasteMarin.org/CD
- Save documentation of recycling (C&D Facility receipts) and submit prior to final inspection.

THE ADVANCED METHOD: Ensure and prove recycling of C&D materials via your CWMP. Requires submission of detailed information per CALGreen code, careful tracking of all materials generated by your project, and submission of documentation of recycling prior to final inspection. Use the "Advanced Method" form template.

I certify that I have read the Advanced Method form template and that I will abide by its requirements and the requirements of CALGreen code. I will turn in pages EZ-1&2 prior to construction and AD-1-4 prior to final inspection.

- I will use the Advanced Method form template as required and described under CALGreen code Title 24. The template is available at your building counter or at: ZeroWasteMarin.org/CD.
- I hereby certify (through selecting "Advanced Method" and signing below) that this project will adhere to the requirements stated on AD-1&2.
- Construction material generated by this project will be: (check appropriate box)
 - Sorted on-site
 - Deconstructed and/or reused
 - Below the CALGreen threshold of disposal per square foot

PRINT NAME _____ SIGNATURE _____ DATE _____

MICHAEL HEACOCK ARCHITECTS
 THE ART & CRAFT OF HIGH PERFORMANCE

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PLANNING SUBMITTAL

Revision	Description	Date
PLANNING SUBMITTAL		12/21/22
PLANNING RESUBMITTAL 2		05/19/23
PLANNING RESUBMITTAL 3		07/14/23

CONSTRUCTION MANAGEMENT PLAN

Sheet **CMP**
 Scale: N.T.S