

MATCH RESIDENT PAINT COLORS (STUCCO AS WELL AS WINDOW JAMB

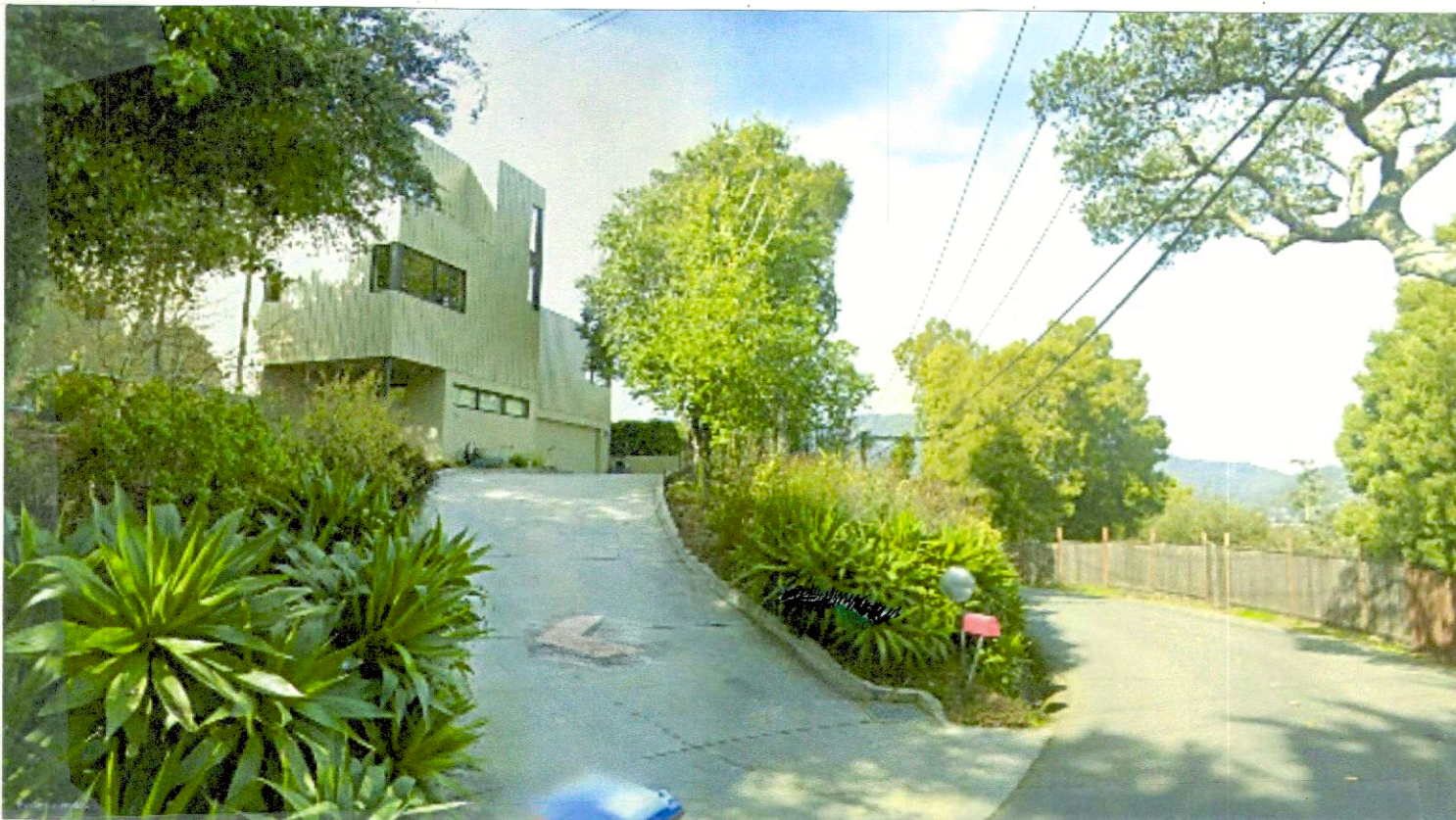
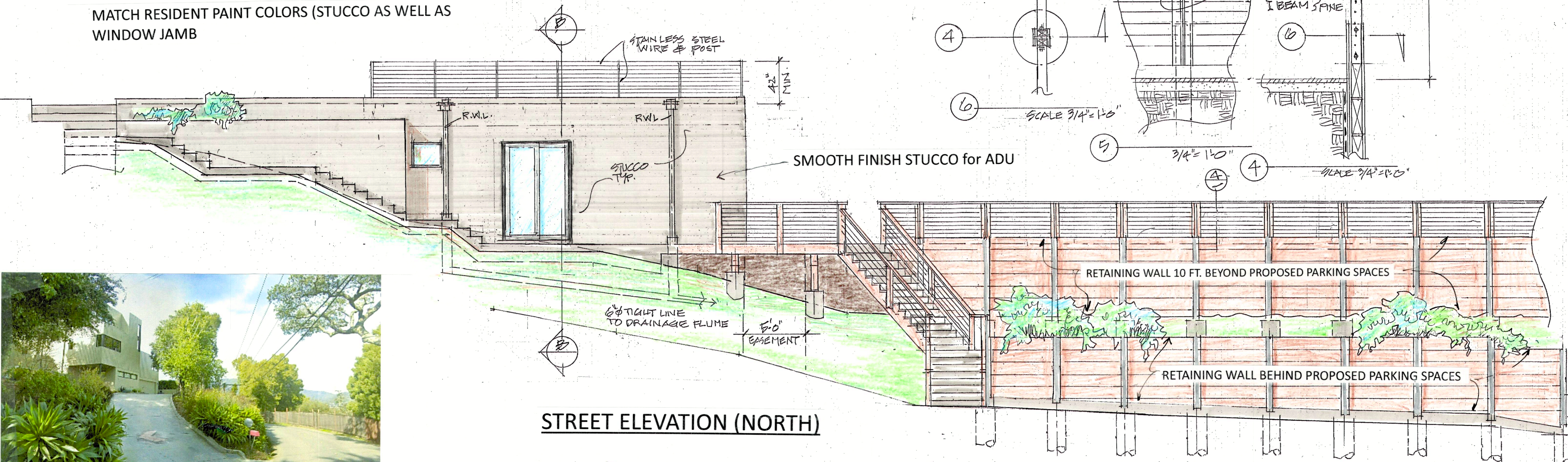


PHOTO VIEW OF RESIDENCE FROM BOTTOM of DRIVEWAY



ARTIFICIAL PERMEABLE TURF for ADU ROOF



MATCH THESE RESIDENT PAINT COLORS As well as WINDOW JAMBS



TYPICAL WOOD RETAINING WALL



ARIAL VIEW OF SUBJECT PROPERTY

**LOT DESCRIPTION**

16 LORING AVE.  
 MILL VALLEY CA. 94941  
 A.P.# 048-123-48, Zone R-1 B-1  
 Latitude: 37° 53' 31.7004"; Longitude: -122° 32' 9.6396"

LOT AREA ..... 20,212 sq.ft.

**EXISTING AREAS:**

Residence Foot Print..... 1463sq.ft.  
 Living Area..... 2948 sq.ft.  
 Deck / Patio..... 1000 sq.ft.  
 Garage ..... 462 sq.ft.  
 Impervious ground area: ..... 3652 sq.ft.  
 Pervious ground area: ..... 16,559 sq.ft.  
 Patio..... 1000 sq.ft.  
 Driveway ..... 1328 sq.ft.

**NEW DETACHED ADU FLOOR AREAS:**

Living Area ..... 1110 sq.ft.  
 Patio (adjacent to ADU) Impervious area..... 836 sq.ft.  
 Impervious ground area: ..... +1334 sq.ft. = 4937 sq.ft.

Pervious ground area: ..... - 1334 = 15225 sq.ft.  
 Max. Height of ADU = ..... 12 ft.  
 Excavation/ CUT: ..... (cubic yards) ± 500  
 FILL: ..... (cubic yards) ± 275  
 OFF HAUL: ..... (cubic yards) ± 225  
 OFF HAUL DESTINATION:  
 Marin Resource Recovery Center, San Rafael

TOTAL COMBINED LIVING AREA ..... 4058 sq.ft.  
 FAR.: 4058/20212= 20%  
 COVERAGE: 1463 + 1110 = 2573/20212= 13%

TITLE  
 COLOR BOARD

PRINTING:  
 DATE 3/26/24  
 PURPOSE D.R.

SCALE: SHOWN

DRAWN: DL

JOB #:  
 SHEET No.

of 6

**GENERAL NOTES for MAIN HOUSE**

**SCOPE OF WORK**

- Construction of a detached 1110 square foot Accessory Dwelling Unit (ADU). Together with providing two off-street parking spaces on Loring Ave.
- ADU will be a single-story dwelling constructed on a slab foundation with a permeable turf roof that will be an extension (at the same level) of the existing permeable turf. (see site plan)
- ADU will consist of a laundry, two bedrooms, two bathrooms, kitchen, dining and living room.
- ADU will require an EXCAVATION of approximately 500 cubic yards, 275 of which will be used as FILL and 230 cubic yards to OFF HAUL.
- An area of 2036 sq.ft. will be provided at the West end of the property for a playfield. (Much of the excavation will be compacted to create this area.) This will be accomplished by constructing retaining walls that will provide terracing parallel to Loring Ave. (see site plan)
- New permeable turf roof to drain to down spouts leading to downhill drainage outlet.

**CODE & WORKMANSHIP NOTES:**

- California Residential Code (CRC), the 2022 edition of the California Plumbing Code (CPC), the 2022 edition of the California Mechanical Code (CMC), the 2022 edition of the California Electric Code (CEC), the 2022 edition of the California Fire Code (CFC), and the 2022 Title 24 Energy Efficiency Standards.
- GPS Coordinates: (latitude) N 37° 53' 31.7004" (longitude) -122° 32' 9.6396"
- Existing building located in 'Wildland-Urban-Interface' (WUI) district, to comply with Chapter 7a of CBC.
- TYPE OF CONSTRUCTION: 5B, OCCUPANCY CLASS: R-3, Residential

**WILDLAND-URBAN-INTERFACE (WUI) NOTES:**

- Prior to building permit final approval, the property shall be in compliance with the vegetation clearance requirements prescribed in California Fire Code Section 4906. CRC §R327.1.5
- Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter. CRC §R327.5.4.
- Provide new spray polyurethane foam (R30) insulation between ceiling joists and at all exterior walls.
- Windows, window walls, glazed doors, and glazed openings in exterior doors shall be insulating glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes when tested according to NFPA 257. CRC §R327.8.2.1. (SEE WINDOW SCHEDULE)
- The exterior wall covering shall be a noncombustible material. CRC §R327.7.3.
- Extent of exterior wall covering: Exterior wall coverings shall be one inch stucco to match existing residence. (SPRINKLER PLANS TO BE SUBMITTED ON A SEPARATE PERMIT).

**ELECTRICAL NOTES:**

- Outdoor lighting attached to the building: Use high efficacy or controlled by a motion sensor and photo motion. Metal Halide is also a high efficacy option. Outdoor lighting shall be labeled 'Suitable for wet locations'. All the exterior lighting fixtures must be dark sky compliant (fully shielded and emit no light above the horizontal plane with no sag or drop lenses, side light panels or up light panels) as well as compliance with color temperature to minimize blue rich lighting. The lighting shall not emit direct offsite illumination and shall be the minimum necessary for safety. (see sheet # 2 for site light fixture locations.)
- Provide kitchen with at least two 20-amp small appliance circuits. Receptacles at countertops must be installed such that no point along the wall line is more than 24 inches from a receptacle. Countertop receptacles shall not be installed in a face up position and not more than 20" above nor 12" below the countertop surface. All receptacles serving countertops in kitchen shall be GFCI protected.
- Where separate circuits for the garbage disposal and the dishwasher are terminated in the same box, the receptacles shall be labeled as to which appliance they serve, and the circuit breakers shall have a handle tie at the service panel. No other receptacle shall be installed in this box.
- All new residential 125 volt, 15-amp and 20-amp circuits not required to be GFCI protected must be AFCI protected. Also, all new 125 volt, 15 and 20 amp rated receptacles must be of the tamper-resistant type.
- Listed combination type arc fault circuit interrupters shall protect all branch circuits serving any electrical outlets in bedrooms.
- Bathroom lighting shall be controlled by an occupancy sensor with manual on switch or by high efficacy lighting.
- Provide one additional dedicated 20-amp circuit to supply bathroom receptacle outlets. This circuit shall have no other outlets. Receptacle must be installed within 36" of the sink.
- Provide one additional dedicated 20-amp circuit to supply laundry receptacle outlets. This circuit shall have no other outlets.
- Provide electrical outlets at wall lines to be a maximum of 6 feet from openings and 12 feet on center maximum.
- All recessed lighting fixtures in spaces where insulation is required shall be "IC" rated and shall be labeled "airtight".
- Laundry to be provided with exhaust fan (minimum 50 cfm) to be ducted to the exterior.)

**PLUMBING/HEATING NOTES:**

- Termination of all environmental air ducts shall be a minimum of 3 feet from any openings into the building (i.e. exhaust fans, etc., must be 3 feet away from doors, windows, opening skylights or attic vents).
- Hot water pipes shall be thermally insulated.
- Toilet shall use not more than 1.28 gallons of water per flush.
- The maximum hot water temperature discharging from the shower shall be limited to 120° F. All shower valves must be temperature balanced.
- All plumbing fixtures to meet the Cal Green Code low flow requirements.
- When the gas piping system is altered, or a new gas appliance is installed, a seismic gas shut-off valve shall be installed.
- New AC heat pump unit, energy factor: 92 % size to be determined in field.
- Gas shut-off must be located within 6ft. of appliance and must be accessible and shall not be located behind appliance.
- (SPRINKLER PLANS TO BE SUBMITTED ON A SEPARATE PERMIT).

**MISCELLANEOUS NOTES:**

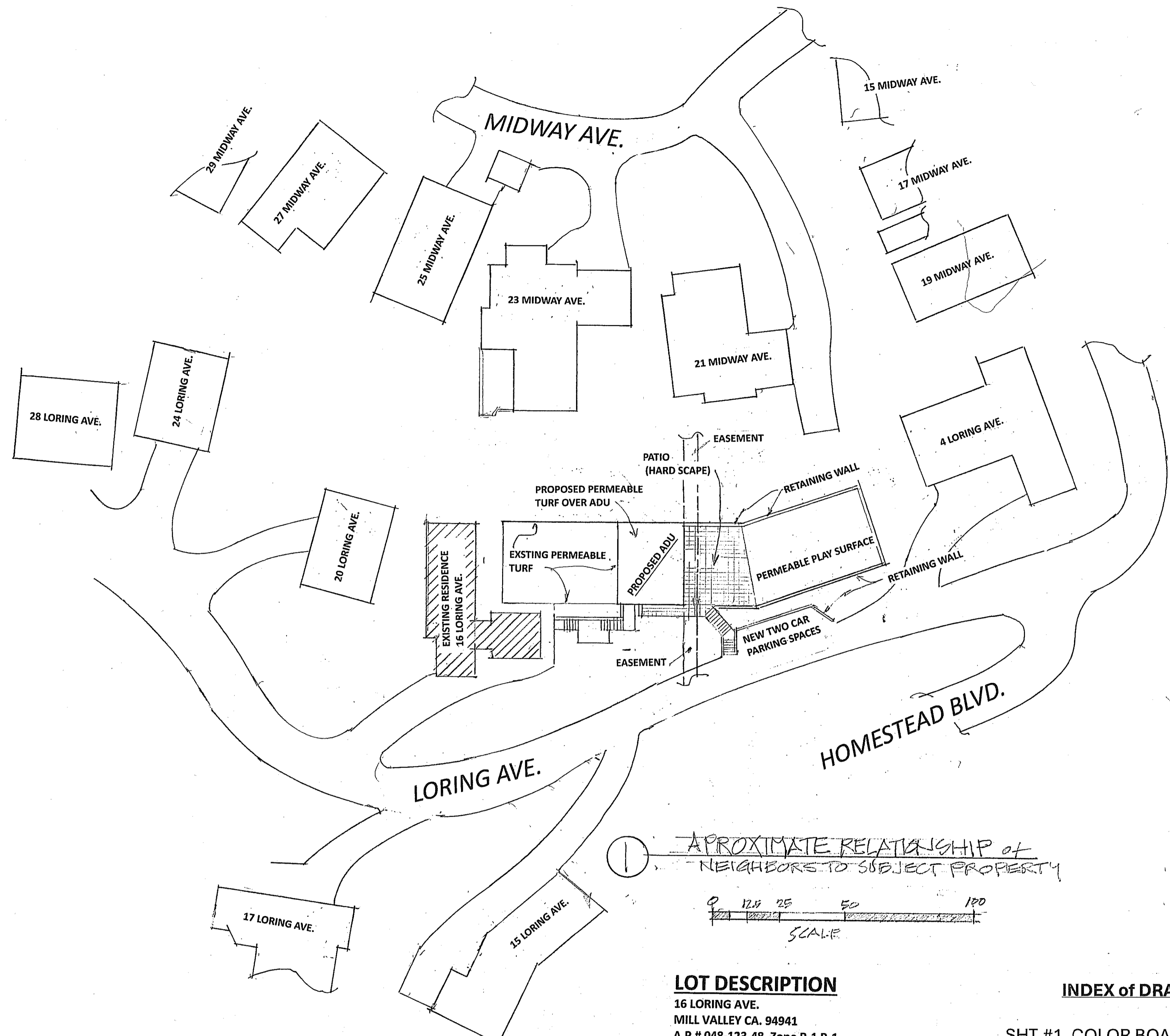
- Shower walls shall be provided with a moisture resistant underlayment and to be finished with a tile surface to a min. height of 72 inches above the drain inlet.
- Shower enclosures to be temp. glass.
- Shower doors a minimum clear space of 22 inches.
- The finish floor of the shower receptor shall slope uniformly from the sides toward the drain not less than 1/4" per foot or more than 1/2" per foot.
- All dimensions shown on plan are to face of framing (face of stud) unless otherwise noted.
- Handrails @ stairs to be 34 inches to 38 inches above the nose of tread. The handgrip portion of handrails shall be not less than 1-1/4" in diameter or more than 2" in cross-sectional dimension. Guard rails to be 42 inches above finish walking surfaces.

**FIRE DEPARTMENT:**

- All smoke alarms in this building shall be provided with AC power and be interconnected for simultaneous alarm. Alarms shall be located in each sleeping room, outside of sleeping rooms centrally located in the corridor and over the center of all stairways with a minimum of one alarm per story of the occupied portion of the residence.
- Carbon Monoxide Alarms shall be installed in the following locations: Outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s), on every level of a dwelling unit including basements.
- Address numbers at least 4" tall must be in place adjacent to the front door. If not clearly visible from the street, additional numbers are required. Residential numbers must be internally illuminated (backlit). Placed close to a light source controlled by a photocell that can be switched off only by a breaker so it will remain illuminated all night.
- (SPRINKLER PLANS TO BE SUBMITTED ON A SEPARATE PERMIT).

WORKING DRAWINGS BY:  
Dennis Ludlow  
5 Sierra Ave.  
San Anselmo, Calif 94960  
Office: (415) 482-8823  
deludlow@comcast.net

Addition (ADU) to the: Rutberg Residence  
16 Loring Ave. Mill Valley, Ca., 94941, A.P.# 048-123-48, Zone: R-1-B1,



**LOT DESCRIPTION**

16 LORING AVE.  
MILL VALLEY CA. 94941  
A.P.# 048-123-48, Zone R-1 B-1  
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Garage .....	462 sq.ft.
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Pervious ground area: .....	16,559 sq.ft.
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Driveway.....	1328 sq.ft.

**NEW DETACHED ADU FLOOR AREAS:**

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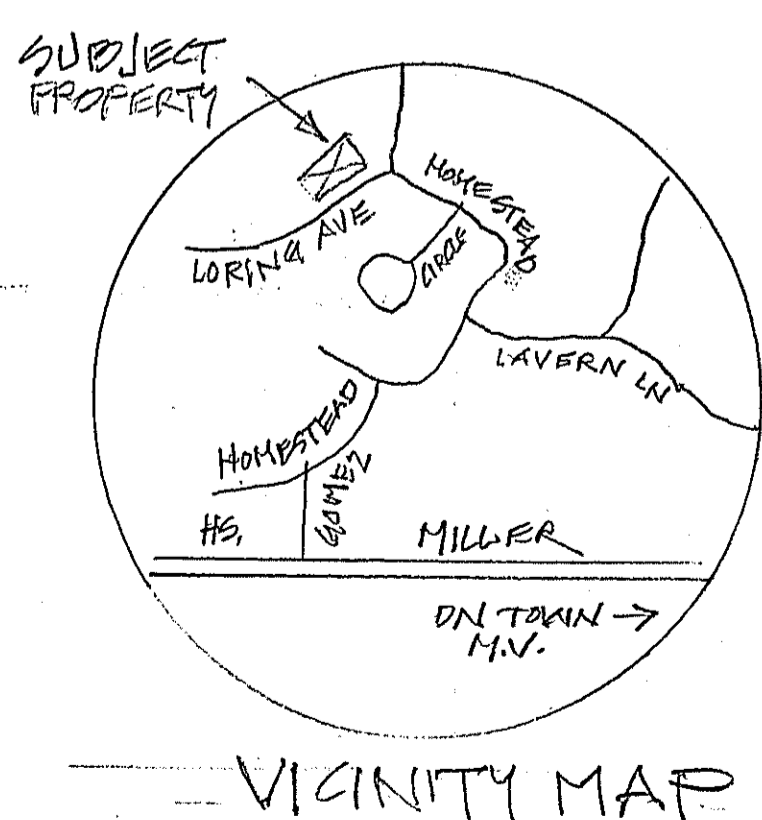
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Max. Height of ADU = .....	12 ft.
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FILL: .....	(cubic yards) ± 275
OFF HAUL: .....	(cubic yards) ± 230

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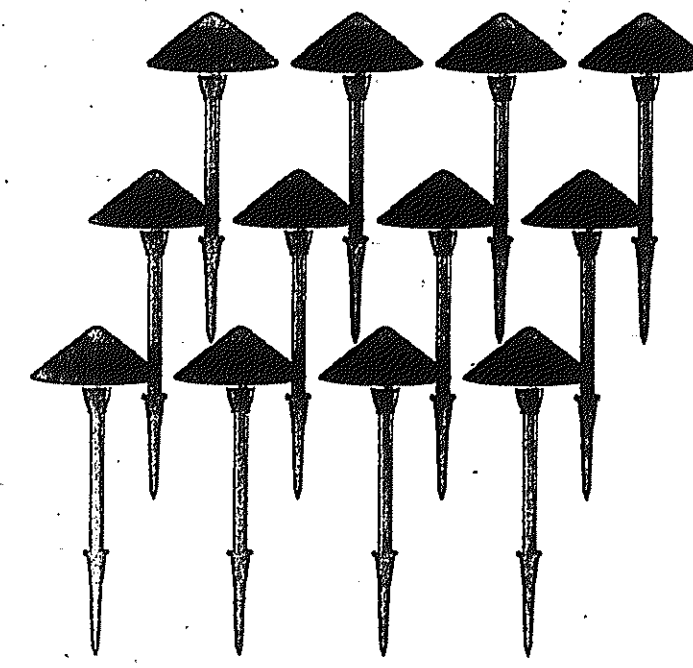
**INDEX of DRAWINGS for PROPOSED ADU:**

- SHT.#1, COLOR BOARD showing PAINT COLORS, RETAINING WALL & TURF COLORS.
- SHT.#2, ARIAL VIEW OF SITE INCLUDING NEIGHBOR'S RESIDENCES, GENERAL NOTES, VICINITY MAP & LOT DISCRPTION.
- SHT.#3, SITE PLAN, showing COVERAGE of all BUILDING STRUCTURES EXISTING and PROPOSED, MAX. HEIGHT of ADU ELEVATIONS along with SITE LIGHTING.
- SHT.#4, SITE PLAN #2, showing PROPOSED TWO CAR PARKING SPACES with SITE SECTIONS, SITE RETAINING WALL ELEVATIONS & SITE DRAINAGE & DETAILS.
- SHT.#5. PROPOSED ADU FLOOR PLAN & BUILDING SECTIONS.
- SHT.#6, PROPOSED ADU EXTERIOR ELEVATIONS.

NOTE: TOPOGRAPHY along with SPOT RETAINING WALL ELEVATION have been derived from: Lawrence DOYLE LAND SURVEY dated: 9/28/22 (415) 388-9585



TITLE • ARIAL VIEW NEIGHBORS. • VICINITY MAP • LOT DESCRIPTION • GEN. NOTES	
PRINTING: DATE: 3/20/24 PURPOSE: D.R.	
SCALE: SHOWN	
DRAWN: DGL	
JOB #:	
SHEET No. <b>2</b> of 6	



All the exterior lighting fixtures must be dark sky compliant (fully shielded and emit no light above the horizontal plane with no sag or drop lenses, side light panels or up light panels) as well as compliance with color temperature to minimize blue rich lighting. The lighting shall not emit direct offsite illumination and shall be the minimum necessary for safety.

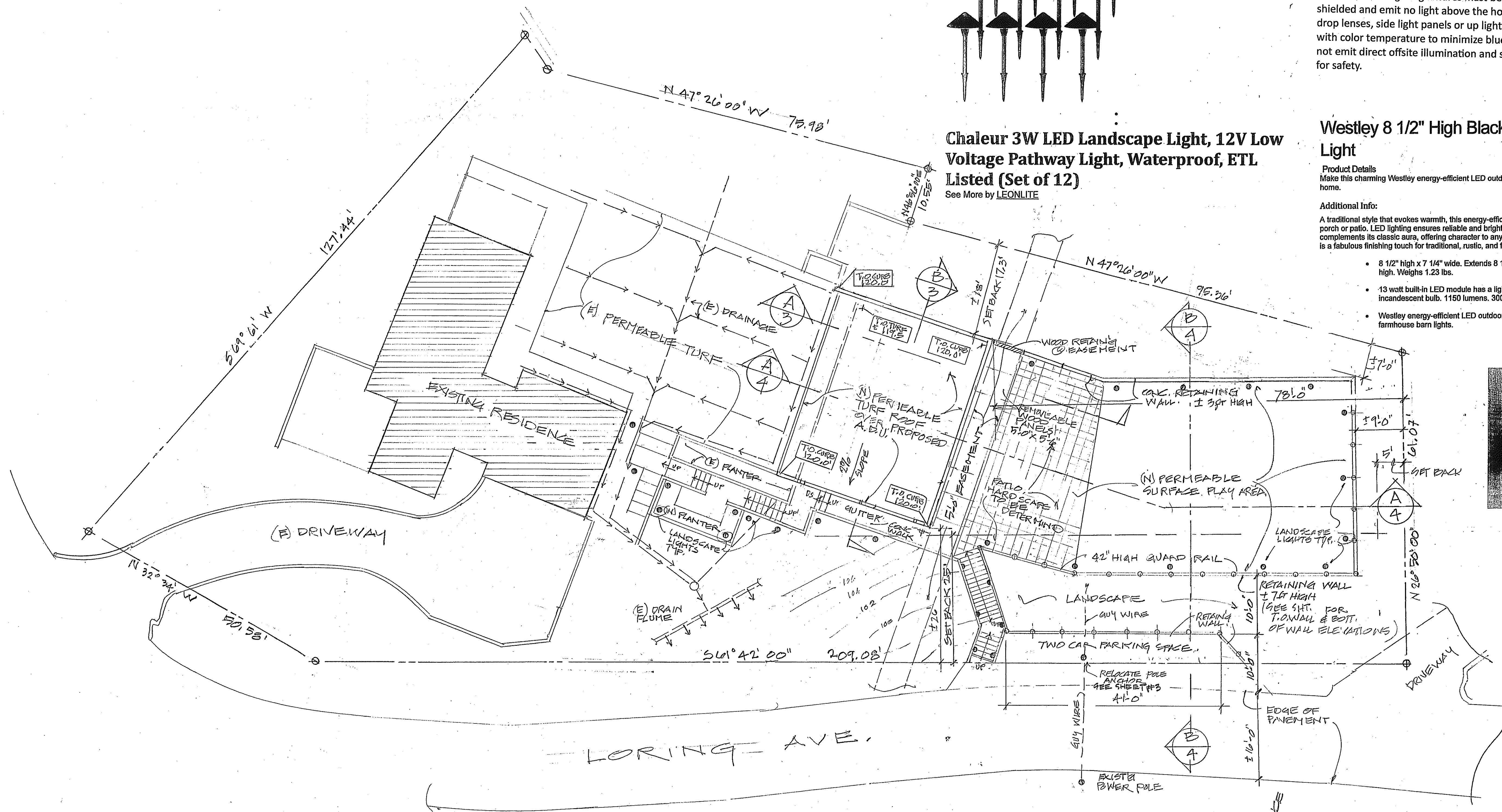
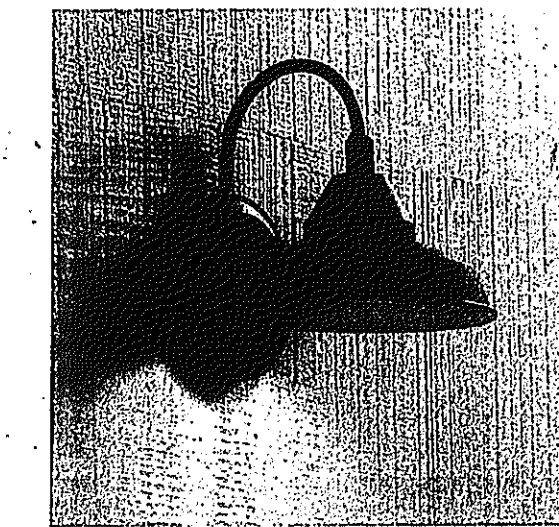
**Chaleur 3W LED Landscape Light, 12V Low Voltage Pathway Light, Waterproof, ETL Listed (Set of 12)**  
 See More by LEONLITE

**Westley 8 1/2" High Black LED Outdoor Wall Light**

**Product Details**  
 Make this charming Westley energy-efficient LED outdoor wall light a lovely feature outside your home.

**Additional info:**  
 A traditional style that evokes warmth, this energy-efficient LED outdoor wall light looks great on a porch or patio. LED lighting ensures reliable and bright illumination. An oil-rubbed black finish complements its classic aura, offering character to any exterior. Gooseneck arm, barn-style lighting is a fabulous finishing touch for traditional, rustic, and farmhouse styles.

- 8 1/2" high x 7 1/4" wide. Extends 8 1/2" from the wall. Backplate is 5" wide x 1" high. Weighs 1.23 lbs.
- 13 watt built-in LED module has a light output comparable to a 75 watt incandescent bulb. 1150 lumens. 3000K. 80 CRI. LED is not dimmable.
- Westley energy-efficient LED outdoor wall light inspired by industrial and farmhouse barn lights.

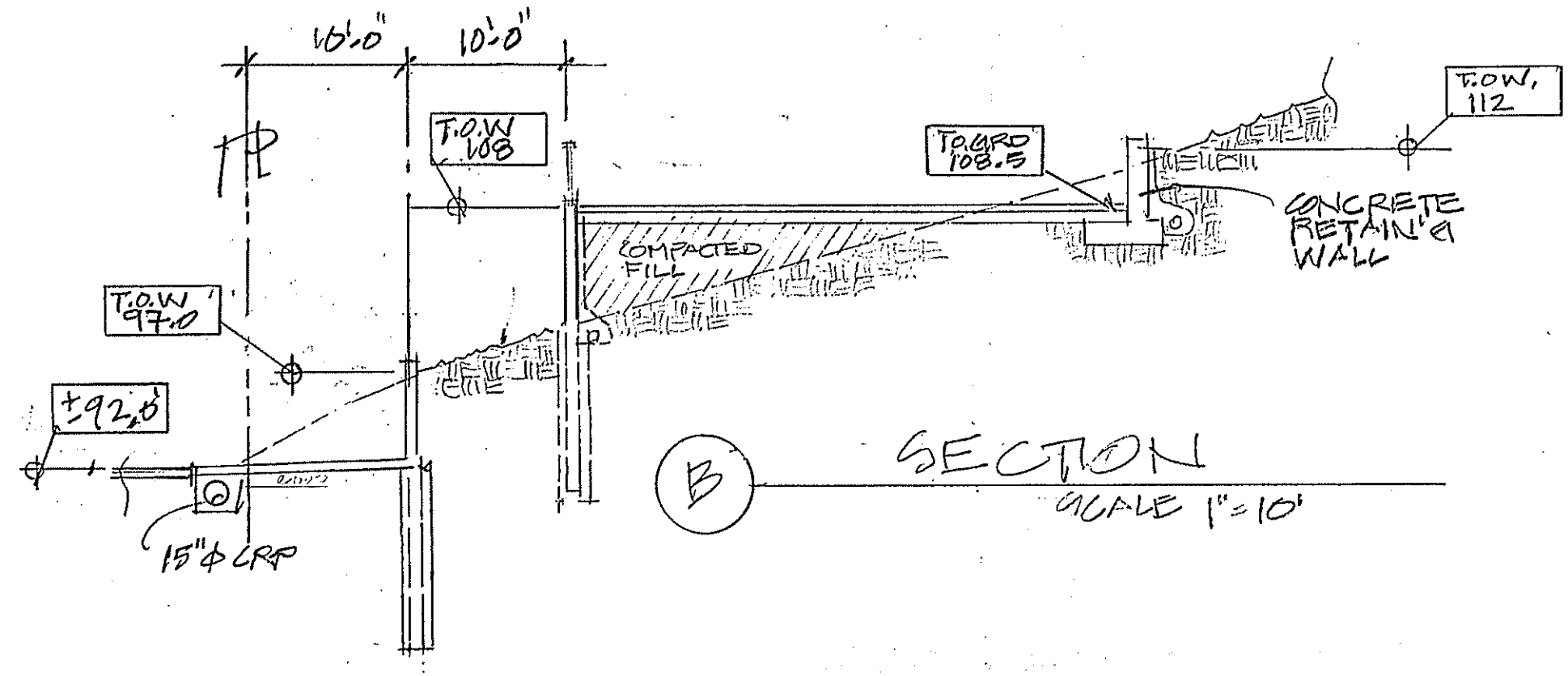
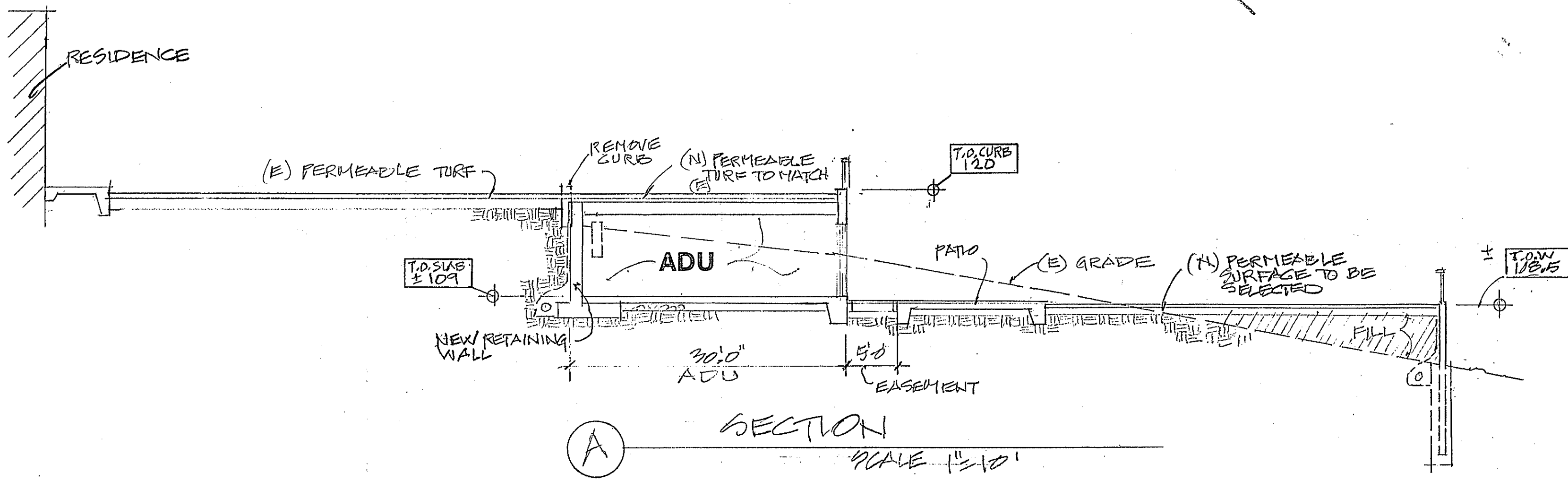


1 SITE PLAN  
 SCALE 1" = 10'

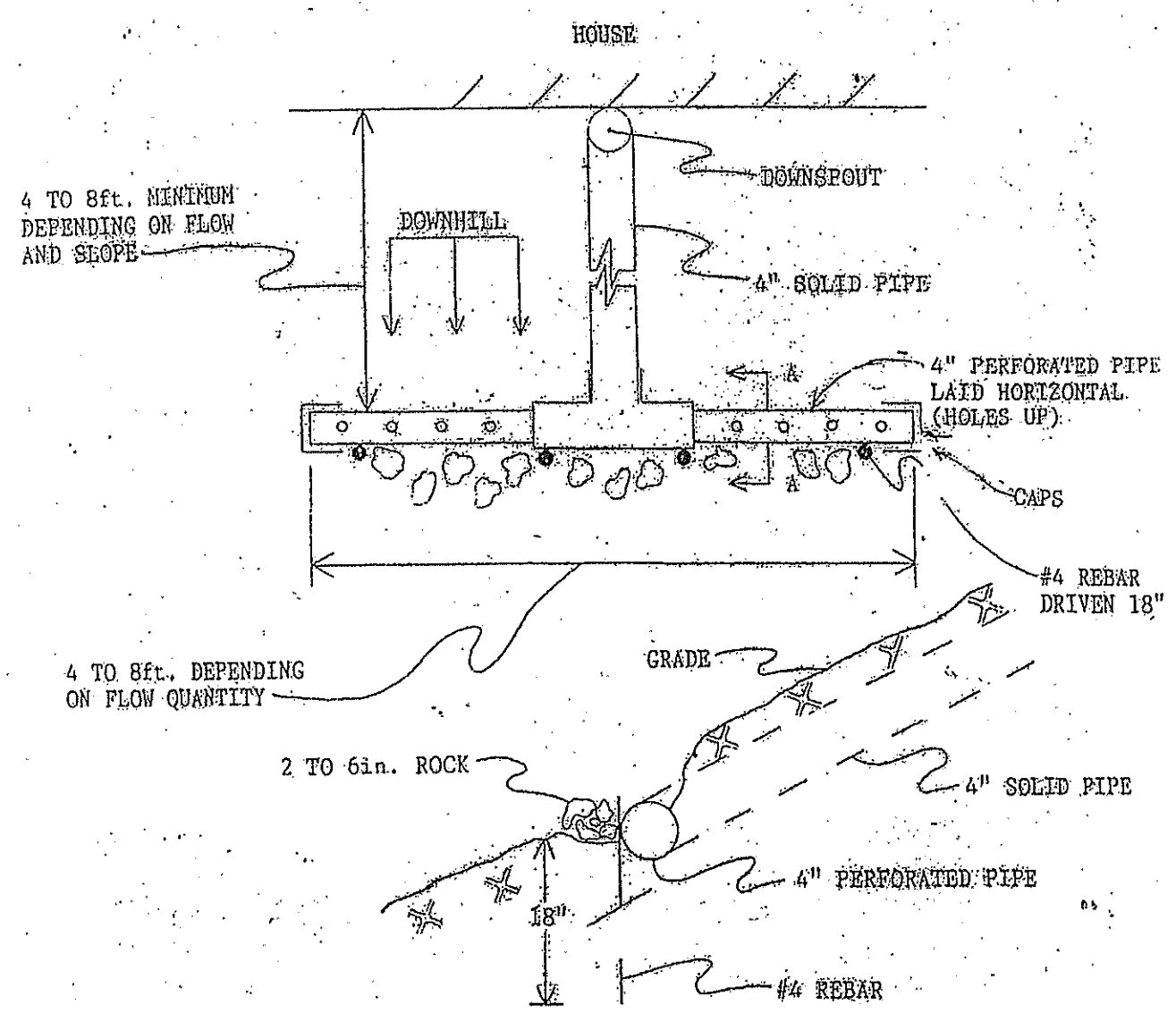
Addition (ADU) to the: **Rutberg Residence**  
 16 Loring Ave. Mill Valley, Ca., 94941, A.P.# 048-123-48, Zone: R1-B1.

TITLE	
SITE PLAN - LANDSCAPE LIGHTING.	
PRINTING:	
DATE	PURPOSE
3/26/24	DR.
SCALE: SHOWN	
DRAWN: DEL	
JOB #:	
SHEET No.	
<div style="font-size: 2em; font-weight: bold;">3</div>	
of 6	

Addition (ADU) to the: **Rutberg Residence**  
 16 Loring Ave. Mill Valley, Ca., 94941, AP# 048-123-48, Zone: R1-B1,

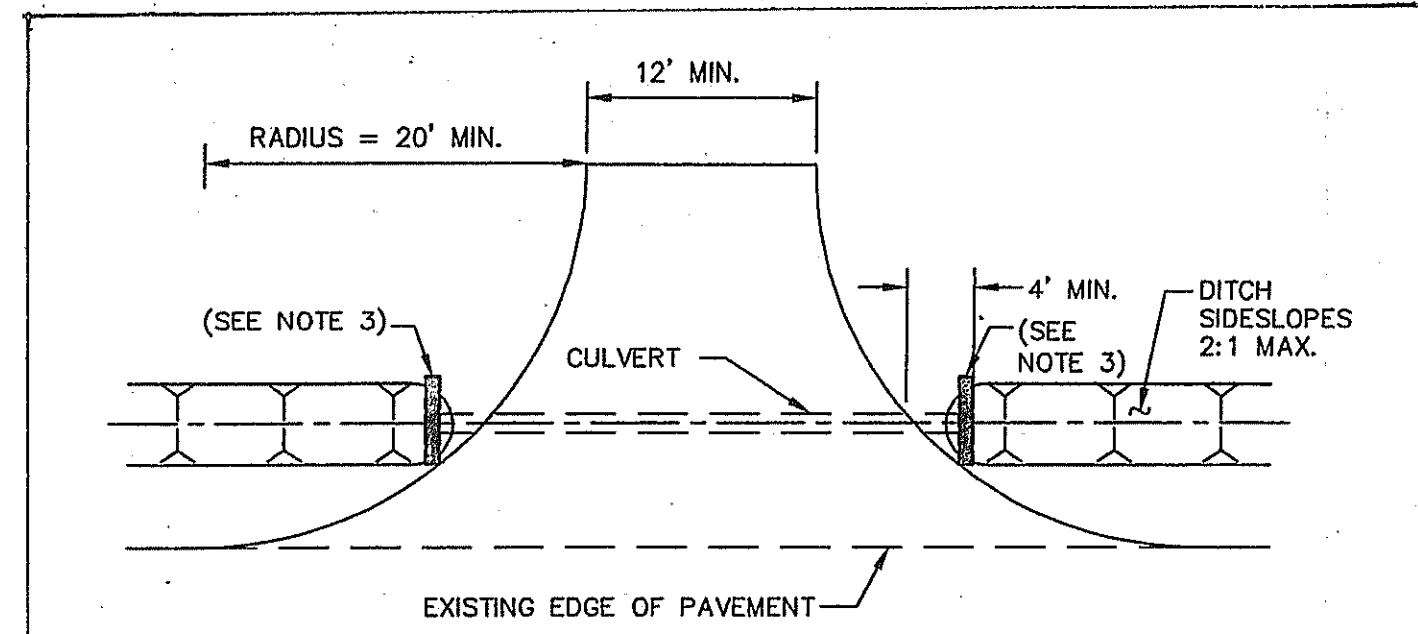


PG&E CABLE POLE & MC ROADS SIGN TO BE RELOCATED



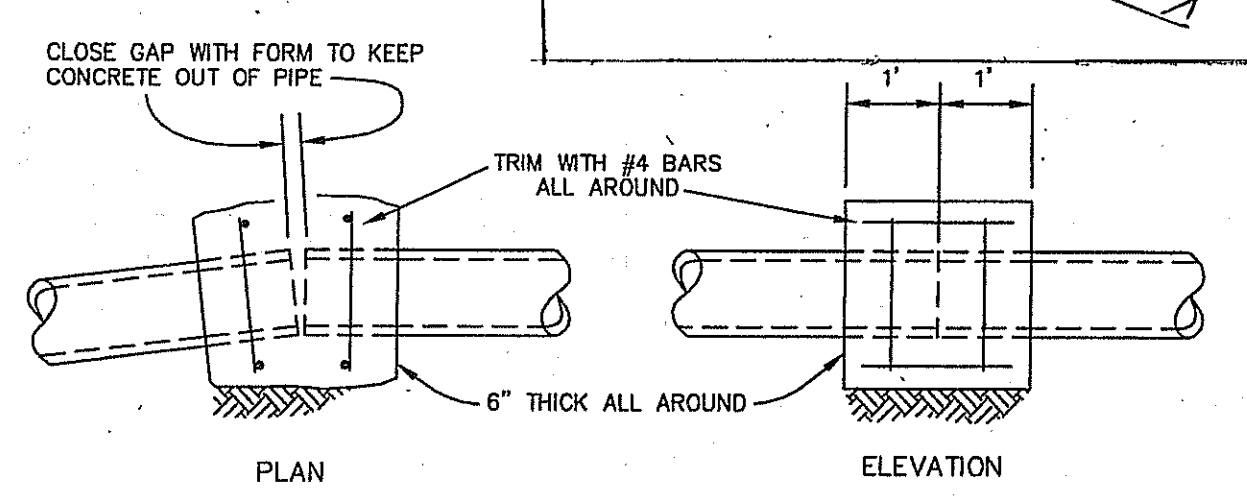
**PERFORATED PIPE DISPERSION FLUME Notes:**  
 1. Drainage should be dispersed at as many points as feasible. Concentrated discharge points should be avoided.  
 2. Wall back drains may empty on landscape or may join the main drainage.

- DRAINAGE NOTES**
- 1 FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MIN. OF 5% FOR THE FIRST 10 FT. AWAY FROM THE BUILDING AND THEN SHALL CONTINUE TO SLOPE TO TOWARDS POSITIVE OUTFALL.
  - 2 MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES, U.O.N. -TYP.
  - 3 PROVIDE 1% - TYP. (0.4% MIN.) SLOPE ACROSS FLATWORK AND/OR PAVING AND SLOPE TO DAYLIGHT. REFER TO ARCHITECTS PLANS FOR PAVEMENT TYPE, LAYOUT, AND FINISH. -TYP.
  - 4 CONNECT (N) ROOF DOWNSPOUT (DS) LEADERS TO 4" PVC (SDR-35) STORM DRAIN TIGHTLINE 1% - TYP. (0.5% MIN.).
  - 5 INSTALL NEW PERFORATED SUBDRAIN LINE BEHIND RETAINING WALL AND AROUND NEW HOUSE FOUNDATION. USE 4" PVC (SDR-35 OR BETTER) WITH HOLES FACING DOWN.
  - 6 4" PVC (SDR-35) STORM DRAIN 1% - TYP. (0.5% MIN.).
  - 7 EXISTING PG&E POLE ANCHOR TO BE RELOCATED. (PG&E HAS BEEN NOTIFIED AND WILL BE PROVIDING CONSULTATION FOR RELOCATION.)
  - 8 EXISTING ROAD SIGN ('NARROW ROAD AHEAD') TO BE RELOCATED. (COUNTY OF MARIN ROADS DEPARTMENT WILL BE PROVIDING CONSULTATION FOR RELOCATION.)
  - 9 CLEAN OUT

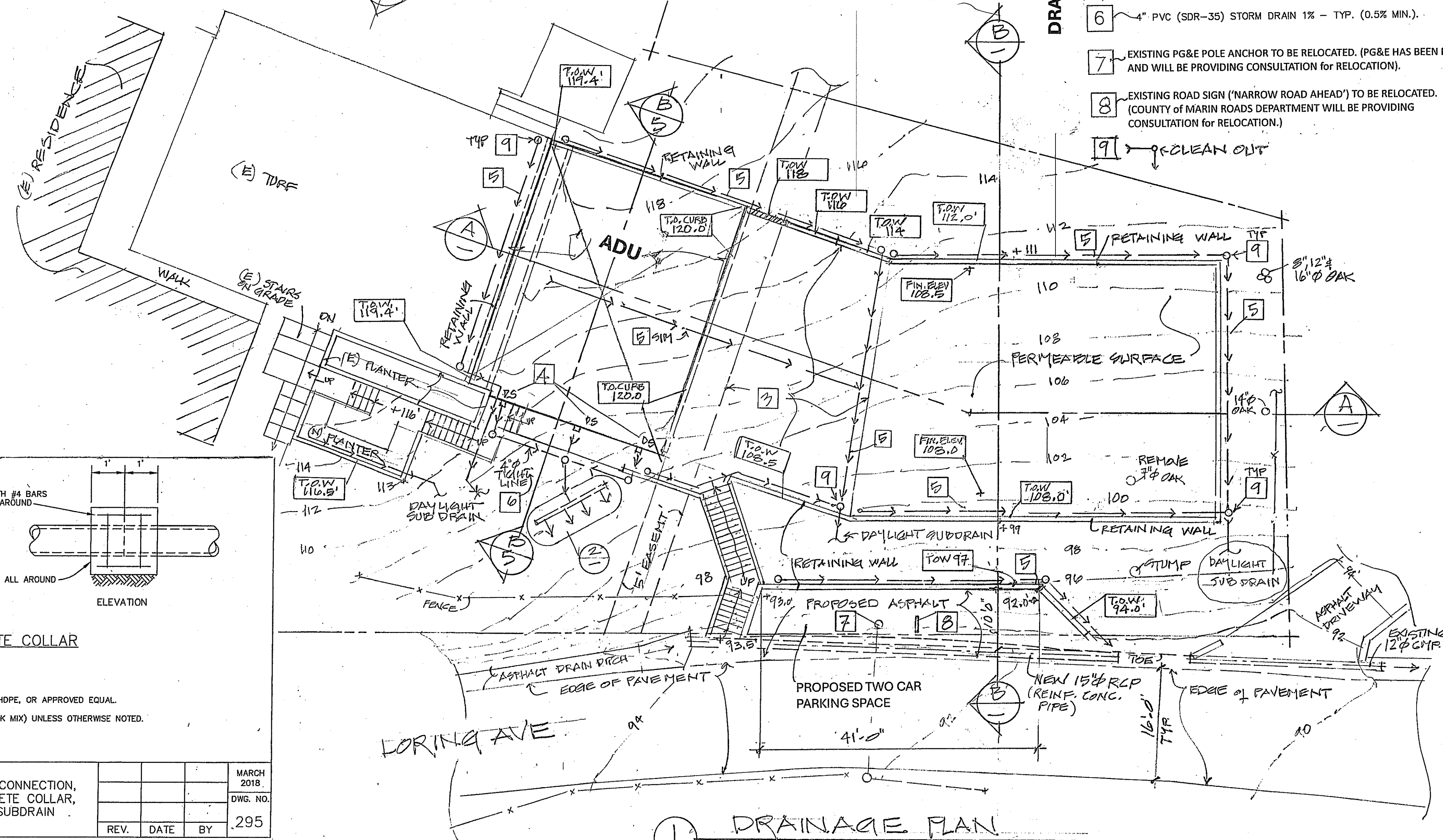


- NOTE:**
1. SUBJECT TO APPROVAL OF AGENCY ENGINEER, INDICATED DRIVEWAY CONFIGURATION MAY BE MODIFIED TO BETTER ACCOMMODATE TOPOGRAPHIC CONSTRAINTS.
  2. CULVERT SHALL BE A MINIMUM 15 INCH DIAMETER AND BE PLACED IN LINE WITH ROADSIDE DITCH.
  3. FOR CMP\* OR HDPE\* CULVERTS, A HEADWALL IS REQUIRED AT EACH END. FOR RCP\* CULVERTS, HEADWALLS ARE RECOMMENDED BUT NOT REQUIRED.
  4. MINIMUM 1 FOOT COVER IS REQUIRED FOR CMP\*, HDPE\* OR CLASS III RCP CULVERT. MINIMUM 6 INCH COVER IS REQUIRED FOR CLASS IV RCP CULVERT.
  5. RADIUS MAY BE SMALLER THAN 20' IF REQUIRED TO MEET FIELD CONDITIONS AND APPROVED BY AGENCY ENGINEER.

\*CMP - CORRUGATED METAL PIPE  
 \*HDPE - HIGH DENSITY POLYETHYLENE PIPE  
 \*RCP - REINFORCED CONCRETE PIPE



- NOTES:**
1. PERFORATED PIPE SHALL BE SCH. 40 PVC, HDPE, OR APPROVED EQUAL.
  2. ALL CONCRETE SHALL BE CLASS "B" (5 SACK MIX) UNLESS OTHERWISE NOTED.



1 DRAINAGE PLAN SCALE 1"=10'

UNIFORM STANDARDS ALL CITIES AND COUNTY OF MARIN	DRIVEWAY APPROACH NO CURB & GUTTER	MARCH 2018 DWG. NO. 135
REV.	DATE	BY

UNIFORM STANDARDS ALL CITIES AND COUNTY OF MARIN	BLIND CONNECTION, CONCRETE COLLAR, & SUBDRAIN	MARCH 2018 DWG. NO. 295
REV.	DATE	BY

TITLE  
 SITE DRAINAGE PLAN.

PRINTING:  
 DATE 7/26/24 PURPOSE D.R.

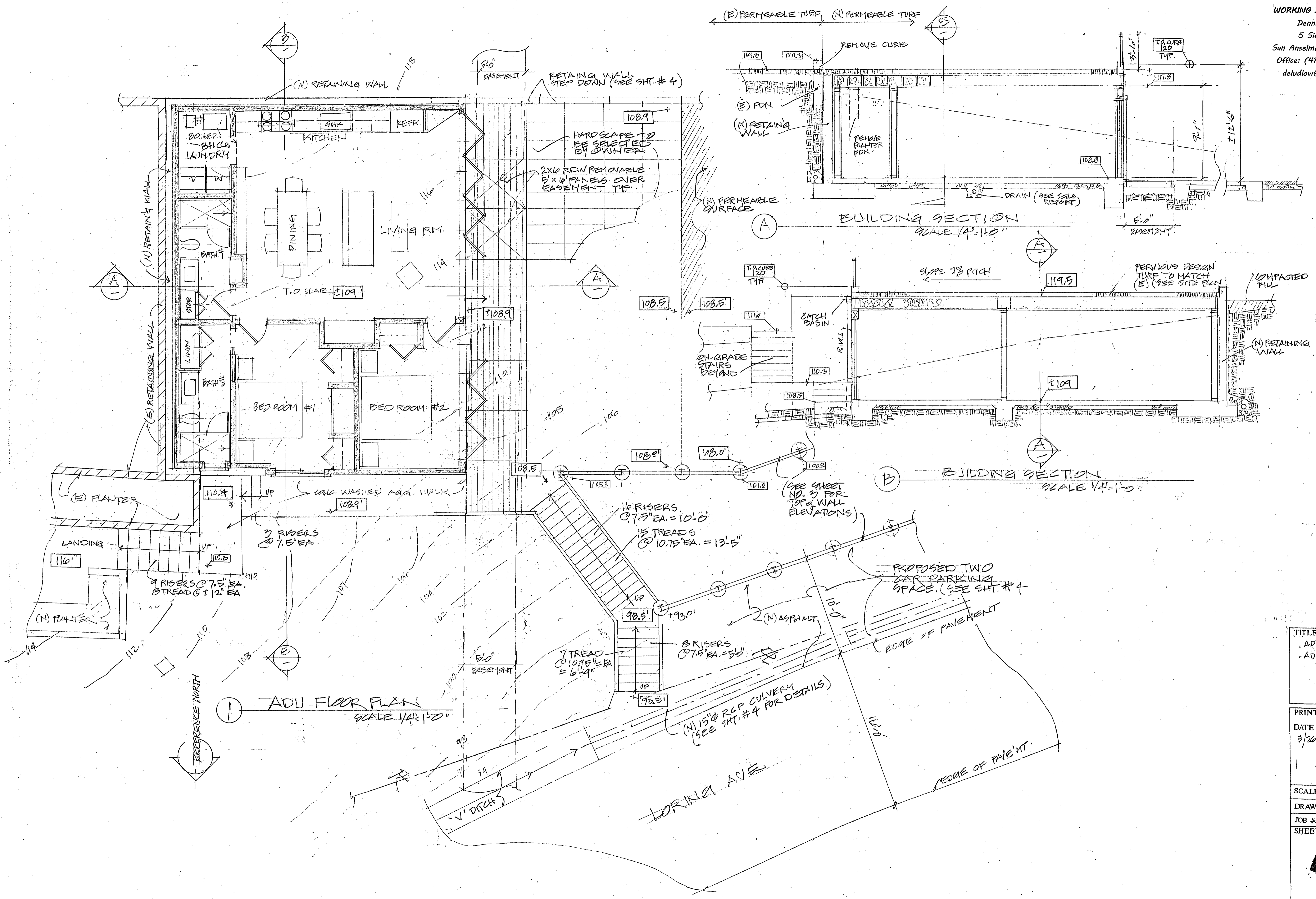
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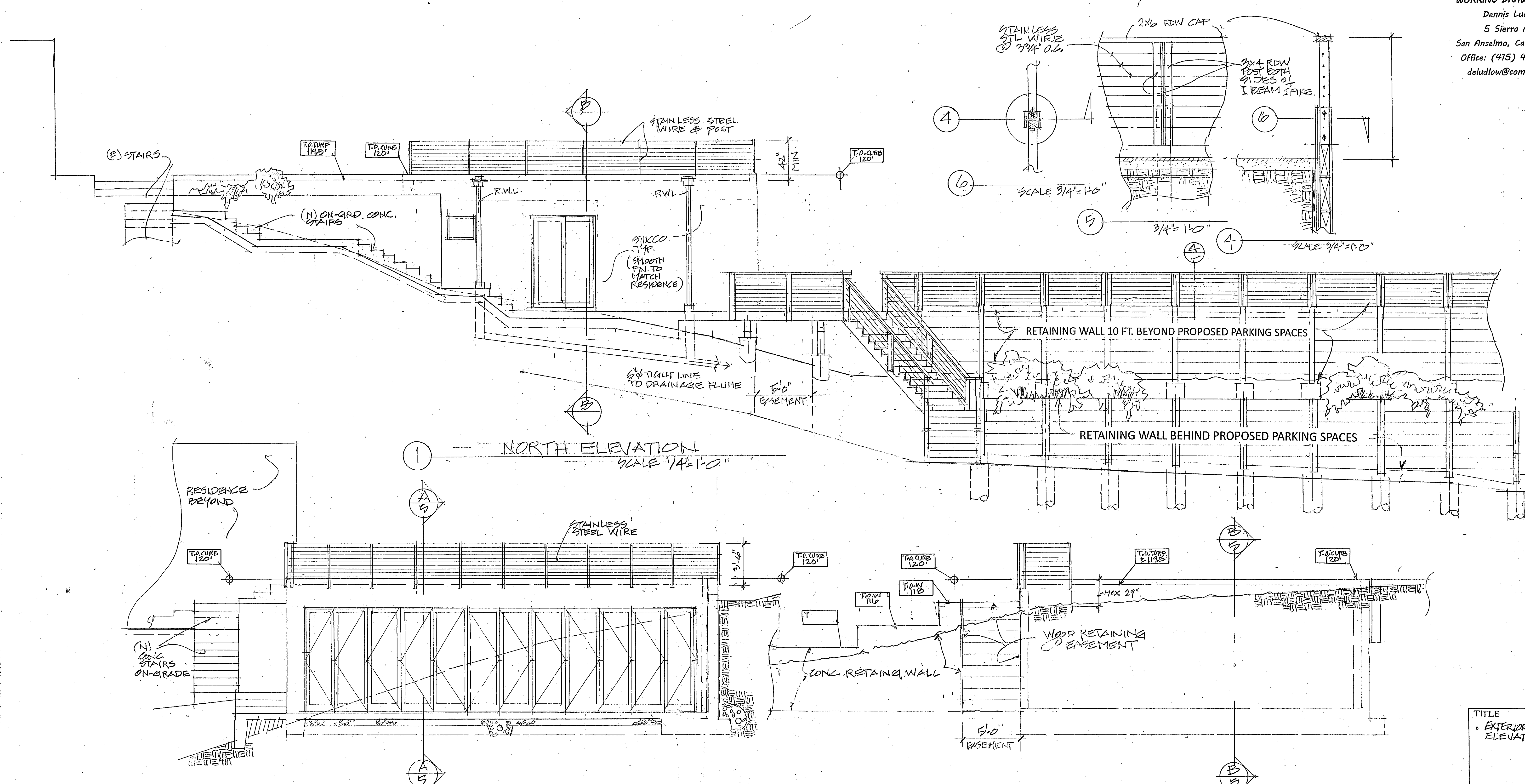
SHEET No.  
4

of 6



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WORKING DRAWINGS BY:  
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 San Anselmo, Calif 94960  
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Addition (ADU) to the: **Rutberg Residence**  
 16 Loring Ave. Mill Valley, Ca., 94941, A.P.# 078-123-48, Zone: R-1-D1

TITLE	
EXTERIOR ELEVATIONS	
PRINTING:	
DATE	PURPOSE
7/26/24	D.R.
SCALE: SHOWN	
DRAWN: DEL	
JOB #:	
SHEET No.	
6	
of 6	