

PROJECT DESCRIPTION

NEW 44 SQFT BATHROOM AND BAR ADDED TO EXISTING FAMILY ROOM. NEW 116 SQFT ATTACHED UPPER DECK AND SPIRAL STAIRCASE.

PROJECT DIRECTORY

PROPERTY OWNER: MIKE ROBERTSON
116 BAHAMA REEF
NOVATO, CA 94949
415-846-8977
MROBERTSON001@GMAIL.COM

DESIGNER IN RESPONSIBLE CHARGE: AFFORDABLE DRAFTING
3383 AIRWAY DR
SANTA ROSA, CA 95403
BRAGANO@GMAIL.COM
707 292 6427

ENGINEER: PAUL DURAND ENGINEERING
4750 RINCONADA DR
SANTA ROSA, CA 95409
SPEEDYENGINEER@YAHOO.COM
707-799-6447

PROJECT INFORMATION

PROJECT LOCATION: 116 BAHAMA REEF
NOVATO, CA 94949

PROJECT JURISDICTION: COUNTY OF MARIN

APN: 157-391-10

ZONING: BFC-RSP-5.8 - RESIDENTIAL SINGLE FAMILY

LAND USE: 11-SINGLE FAMILY RESIDENTIAL

OCCUPANCY GROUP: R3

BUILDING HEIGHT: 22.5 FT

CONSTRUCTION TYPE: TYPE V-B

LOT SIZE: .26 ACRES

LAT/LONG: 38.08001114602712, -122.5067787153431

FIRE SPRINKLERS: NO

BUILDING AREAS: EXISTING LEVEL 1 (CONDITIONED): 1,421 SF
EXISTING LEVEL 2 (CONDITIONED): 1,293 SF
TOTAL EXISTING CONDITIONED: 2,714 SF
EXISTING GARAGE: 437 SF

PROPOSED BATHROOM AREA: 44 SF
PROPOSED ATTACHED UPPER DECK: 116 SF

CODE SUMMARY: CALIFORNIA RESIDENTIAL CODE (2022 CRC)
CALIFORNIA BUILDING CODE (2022 CBC)
CALIFORNIA MECHANICAL CODE (2022 CMC)
CALIFORNIA PLUMBING CODE (2022 CPC)
CALIFORNIA ELECTRICAL CODE (2022 CEC)
CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE (2022 CEESC)
CALIFORNIA GREEN BUILDING STANDARDS CODE (2022 CALGREEN)
CALIFORNIA FIRE CODE (2022 CFC)
CALIFORNIA ADMINISTRATIVE CODE (2022)
CALIFORNIA REFERENCED STANDARDS CODE (2022)
MARIN COUNTY MUNICIPAL CODE

DEFERRED SUBMITTALS: NONE

SYMBOLS

SECTION KEY

SECTION LETTER: A
SHEET NUMBER: 101

ELEVATION KEY

ELEVATION NUMBER: A1
SHEET NUMBER: 1

DOOR TAG

WINDOW TAG

KEY NOTE

220-240V OUTLET @ +15" U.N.O.
ARC FAULT CIRCUIT INTERRUPTOR OUTLET U.N.O.
ARC FAULT & GROUND FAULT CIRCUIT INTERRUPTOR OUTLET U.N.O.
WEATHER PROOF GFCl OUTLET U.N.O.

LIGHT SWITCH
3-WAY LIGHT SWITCH
CO & SMOKE DETECTOR COMBO
ELECTRICAL SWITCH WIRE
EXISTING
NEW
REPLACE
NEW INT WALL - 2x4 DF STUD w/ 1/2" GYP BD ON EA SIDE.
EXISTING WALL
EXTERIOR - 2x4 STUD, 1/2" T1-11 SHTNG/SIDING, R15 BATT INS, 1/2" GYP BD INT FIN.
INTERIOR - 2x4 STUD, 1/2" GYP BD INT FIN. ON EA SIDE.

GENERAL NOTES

- THESE DRAWINGS ARE THE PROPERTY OF AFFORDABLE DRAFTING AND MAY BE REPRODUCED ONLY WITH WRITTEN PERMISSION. AUTHORIZED REPRODUCTIONS MUST BEAR THE NAME AND SIGNATURE OF THE DRAFTER.
- ALL CONSTRUCTION AND DETAILS SHALL BE COMPLETED IN COMPLIANCE WITH THE 2019 EDITION OF THE CBC, CMC, CPC, AND CEC AS AMENDED BY THE STATE OF CALIFORNIA AND ALL OTHER APPLICABLE BODIES.
- DO NOT SCALE THE DRAWINGS. DRAWING SCALES AS INDICATED ARE FOR REFERENCE ONLY AND ARE NOT INTENDED TO ACCURATELY DEPICT ACTUAL OR DESIGNATED CONDITIONS. WRITTEN DIMENSIONS SHALL GOVERN. SPECIFICATIONS SHALL GOVERN IN MATTERS OF MATERIALS OR FINISHES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL FIELD CONDITIONS AND DIMENSIONS AS THEY RELATE TO THIS PROJECT. SHOULD DISCREPANCIES EXIST BETWEEN THE WORK INDICATED AND ACTUAL FIELD CONDITIONS, NOTIFY THE DRAFTSMAN PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH SITE CONDITIONS AS THEY MAY AFFECT CARRYING OUT THE WORK AS DESCRIBED IN THESE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT, AND NOTIFY THE DRAFTSMAN OF ANY CONDITIONS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF APPROVED PERMIT DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
- THE ABSENCE OF A DETAIL DESCRIBING A PARTICULAR METHOD OF CONSTRUCTION SHALL IMPLY THAT THE CONTRACTOR SHALL CONSTRUCT SAID DETAIL IN COMPLIANCE WITH INDUSTRY STANDARDS FOR THE TYPE OF CONSTRUCTION OF THE BUILDING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITY LINES. LOCATIONS SHOWN ARE APPROXIMATE. REPAIR ALL DAMAGE TO UTILITY LINES CAUSED BY CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
- DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING NOISE, ODORS, DUST AND DEBRIS TO MINIMIZE IMPACTS ON SURROUNDING PROPERTIES AND ROADWAYS. HOURS AND DAYS OF CONSTRUCTION MAY BE LIMITED BY LOCAL ORDINANCE. CONTRACTOR SHALL VERIFY RESTRICTIONS AND COMPLY WITH ALL REQUIREMENTS.
- NO PART OF THE STRUCTURE SHALL BE OVERLOADED BEYOND ITS SAFE CARRYING CAPACITY BY THE PLACING OF MATERIALS, EQUIPMENT, TOOLS, MACHINERY OR ANY OTHER ITEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED DURING CONSTRUCTION.
- ALL EXISTING FINISHES THAT ARE DISTURBED DURING THE COURSE OF CONSTRUCTION ARE TO BE REPAIRED TO MAINTAIN ALL FIRE AND SOUND RATINGS AND TO MATCH THE ADJACENT SURFACES.

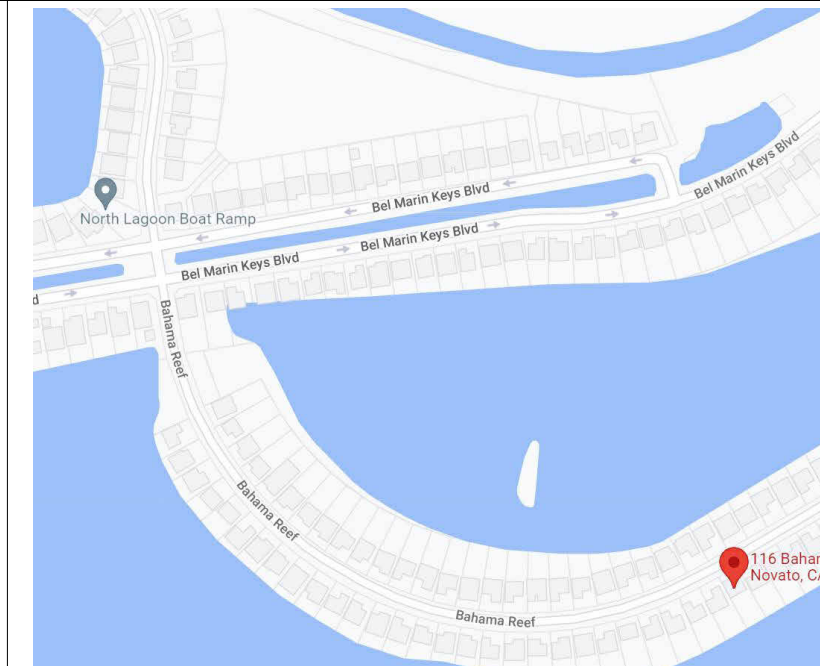
INDEX OF DRAWINGS

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- A7 NORTH & SOUTH ELEVATIONS

ABBREVIATIONS

| | | | |
|--------|------------------------|-------|-------------------------|
| ADJ | ADJACENT or ADJUSTABLE | LTG | LIGHTING |
| AB | ANCHOR BOLT | LAV | LAVATORY |
| ALUM | ALUMINUM | LF | LINEAL FEET |
| AGGR | AGGREGATE | MCH | MECHANICAL |
| AVG | AVERAGE | MM | MINIMUM |
| APPROX | APPROXIMATE | MED | MEDIUM |
| ARCH | ARCHITECTURAL | MAX | MAXIMUM |
| AVC | AIR CONDITIONING | MTL | METAL |
| | | MTD | MOUNTED |
| | | MISC | MISCELLANEOUS |
| | | MANF | MANUFACTURER |
| | | NOM | NOMINAL |
| | | ND | NUMBER |
| | | NA | NOT APPLICABLE |
| | | N | NORTH |
| | | NTS | NOT TO SCALE |
| | | NFA | NET FREE AREA |
| | | NAT | NATURAL |
| | | OPN | OPENING |
| | | OD | OUTSIDE DIAMETER |
| | | OPP | OPPOSITE |
| | | OC | ON CENTER |
| | | OF | OVER |
| | | PVC | POLYVINYL CHLORIDE |
| | | PSI | POUNDS PER SQUARE INCH |
| | | PSF | POUNDS PER SQUARE FOOT |
| | | PL | PLATE |
| | | PARTN | PARTITION |
| | | PT | PRESSURE TREATED |
| | | PLYWD | PLYWOOD |
| | | PL | PROPERTY LINE |
| | | RM | ROOM |
| | | REV | REVISION |
| | | REF | REFRIGERATOR |
| | | RECP | RECEPTACLE |
| | | REC | RECESSED |
| | | RE | REFERENCE |
| | | R | R-VALUE (INSULATION) |
| | | RO | ROUGH OPENING |
| | | REMO | REMOVE |
| | | RA | RETURN AIR |
| | | R | RADIUS |
| | | REBAR | REINFORCING STEEL BARS |
| | | RD | ROOF DRAIN |
| | | RWD | REDWOOD |
| | | REIN | REQUIRED REINFORCE |
| | | SL | SLOPE |
| | | SHT | SHEET |
| | | S | SOUTH |
| | | S | SPECIFICATIONS(S) |
| | | SCRN | SCREEN |
| | | SS | STAINLESS STEEL |
| | | SSD | SEE STRUCTURAL DRAWINGS |
| | | SD | SQUARE |
| | | SM | SIMILAR |
| | | SW | SIDEWALK |
| | | SHTNG | SHEATHING |
| | | SD | SMOKE DETECTOR |
| | | SYS | SYSTEM |
| | | SI | SQUARE INCH |
| | | STL | STEEL |
| | | STD | STANDARD |
| | | THRU | THROUGH |
| | | TEMP | TEMPERATURE |
| | | TBD | TO BE DETERMINED |
| | | T&G | TONGUE AND GROOVE |
| | | TYP | TYPICAL |
| | | TYP | TYPICAL |
| | | TOG | TOP OF GRADE |
| | | TMND | TEMPERED |
| | | THR | THICKNESS |
| | | T&B | TOP AND BOTTOM |
| | | TOC | TOP OF CONCRETE |
| | | TO | TOP OF |
| | | UNFIN | UNFINISHED |
| | | UGND | UNDERGROUND |
| | | UNO | UNLESS NOTED OTHERWISE |
| | | WT | WEIGHT |
| | | WDW | WINDOW |
| | | W/O | WITHOUT |
| | | W | WEST |
| | | WC | WALK IN CLOSET |
| | | WD | WOOD |
| | | WC | WATER CLOSET |
| | | W | WITH |

VICINITY MAP NTS



3383 AIRWAY DR
SANTA ROSA, CA 95403
BRAGANO@GMAIL.COM
707-292-6427
WWW.AFFORDABLE-DRAFTING.COM

PREPARED BY:
TONY BRAGANO
AFFORDABLE DRAFTING
3383 AIRWAY DR
SANTA ROSA, CA 95403
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707 292 6427

MIKE ROBERTSON

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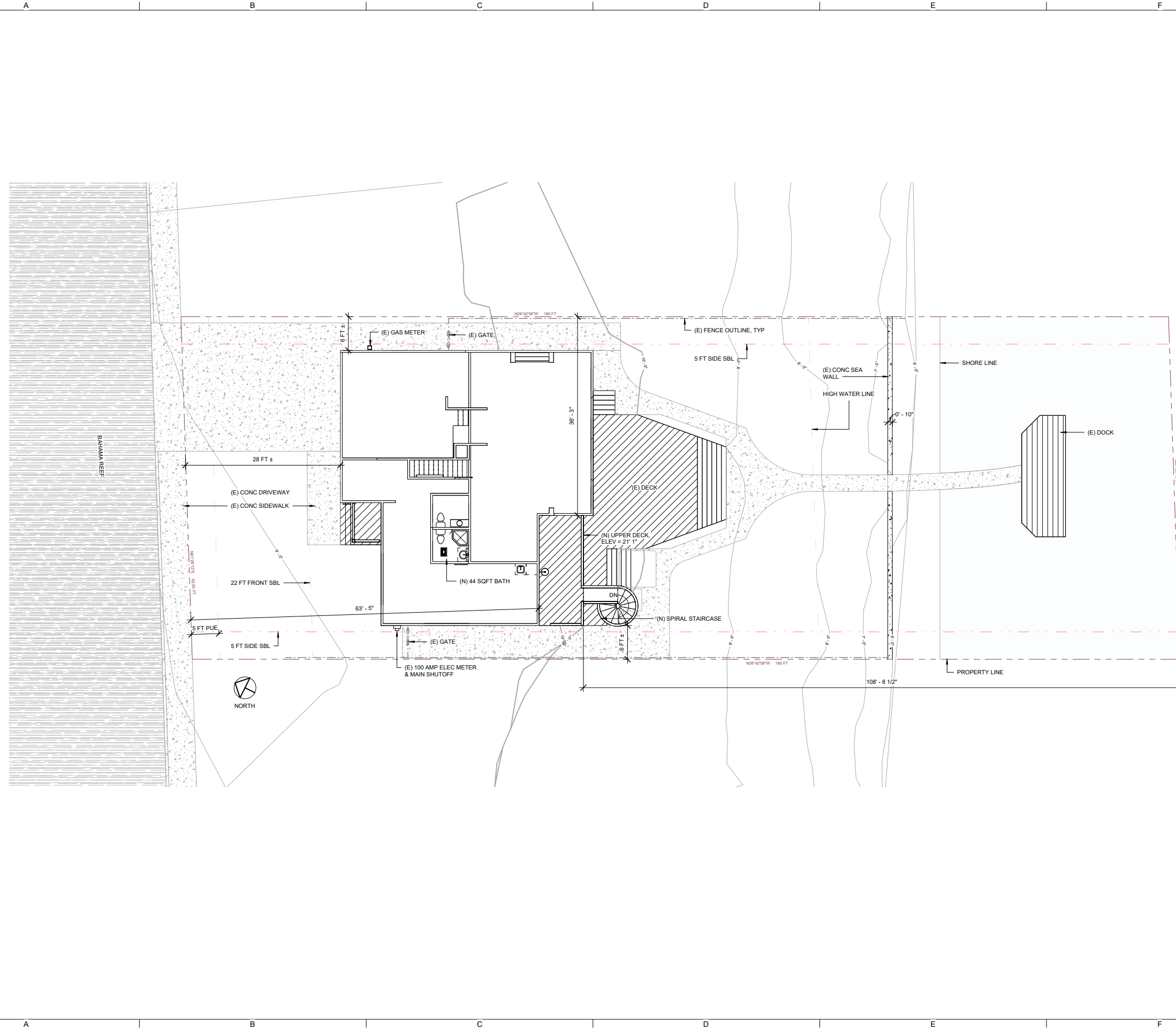
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COVER SHEET

Project number: 22010
Date: 11/17/23
Drawn by: ACB

A0

Scale: 3/8" = 1'-0"



ADS
AFFORDABLE DRAFTING SERVICES
3383 AIRWAY DR
SANTA ROSA, CA 95403
BRAGANO@GMAIL.COM
707-292-6427
WWW.AFFORDABLE-DRAFTING.COM

PREPARED BY:

TONY BRAGANO
AFFORDABLE DRAFTING
3383 AIRWAY DR
SANTA ROSA, CA 95403
BRAGANO@GMAIL.COM
707 292 6427

Tony Bragano

MIKE ROBERTSON

**BATHROOM
& DECK**

116 BAHAMA REEF
NOVATO, CA 94949
APN 157-391-10

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SITE PLAN

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| Project number | 22010 |
| Date | 11/17/23 |
| Drawn by | ACB |

A1

Scale 1/8" = 1'-0"



3383 AIRWAY DR
 SANTA ROSA, CA 95403
 BRAGANO@GMAIL.COM
 707-292-6427
 WWW.AFFORDABLE-DRAFTING.COM

PREPARED BY:

TONY BRAGANO
 AFFORDABLE DRAFTING
 3383 AIRWAY DR
 SANTA ROSA, CA 95403
 BRAGANO@GMAIL.COM
 707 292 6427

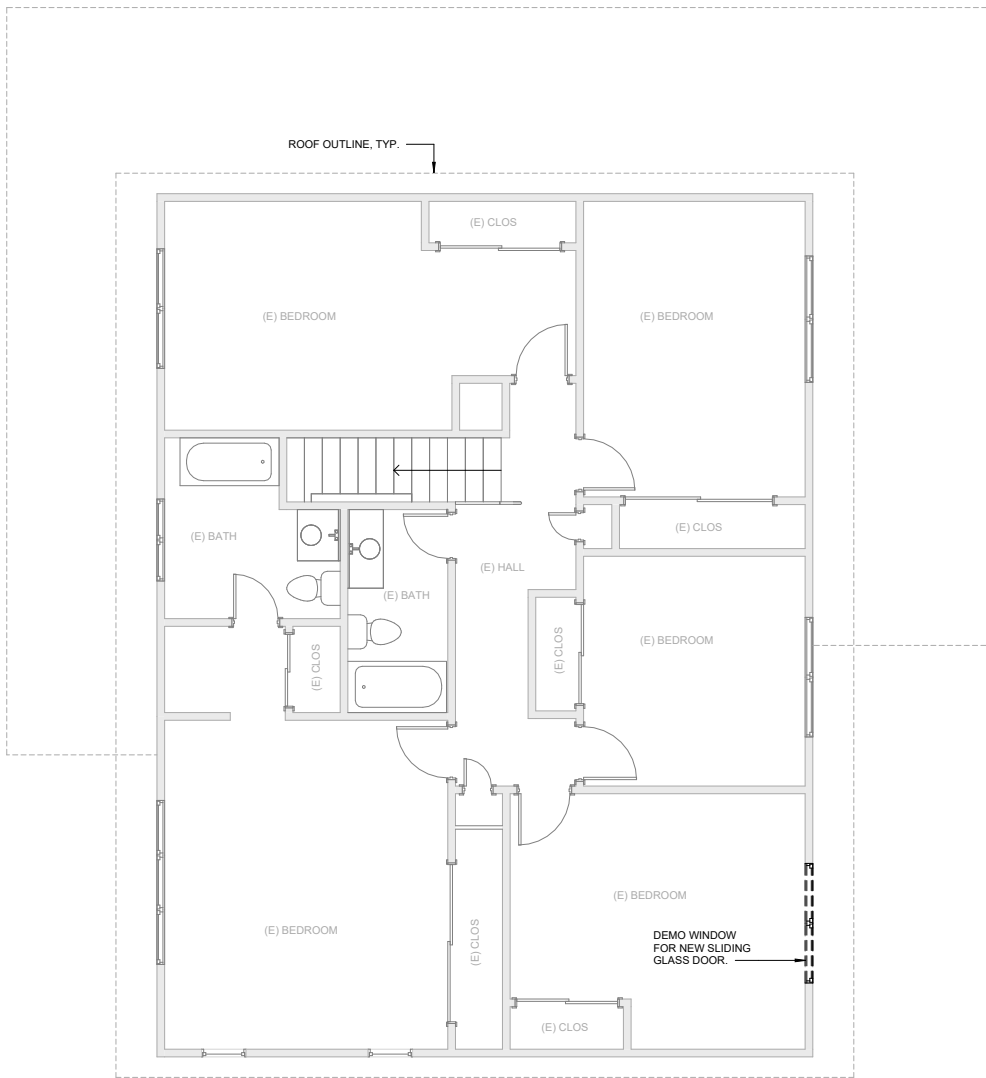
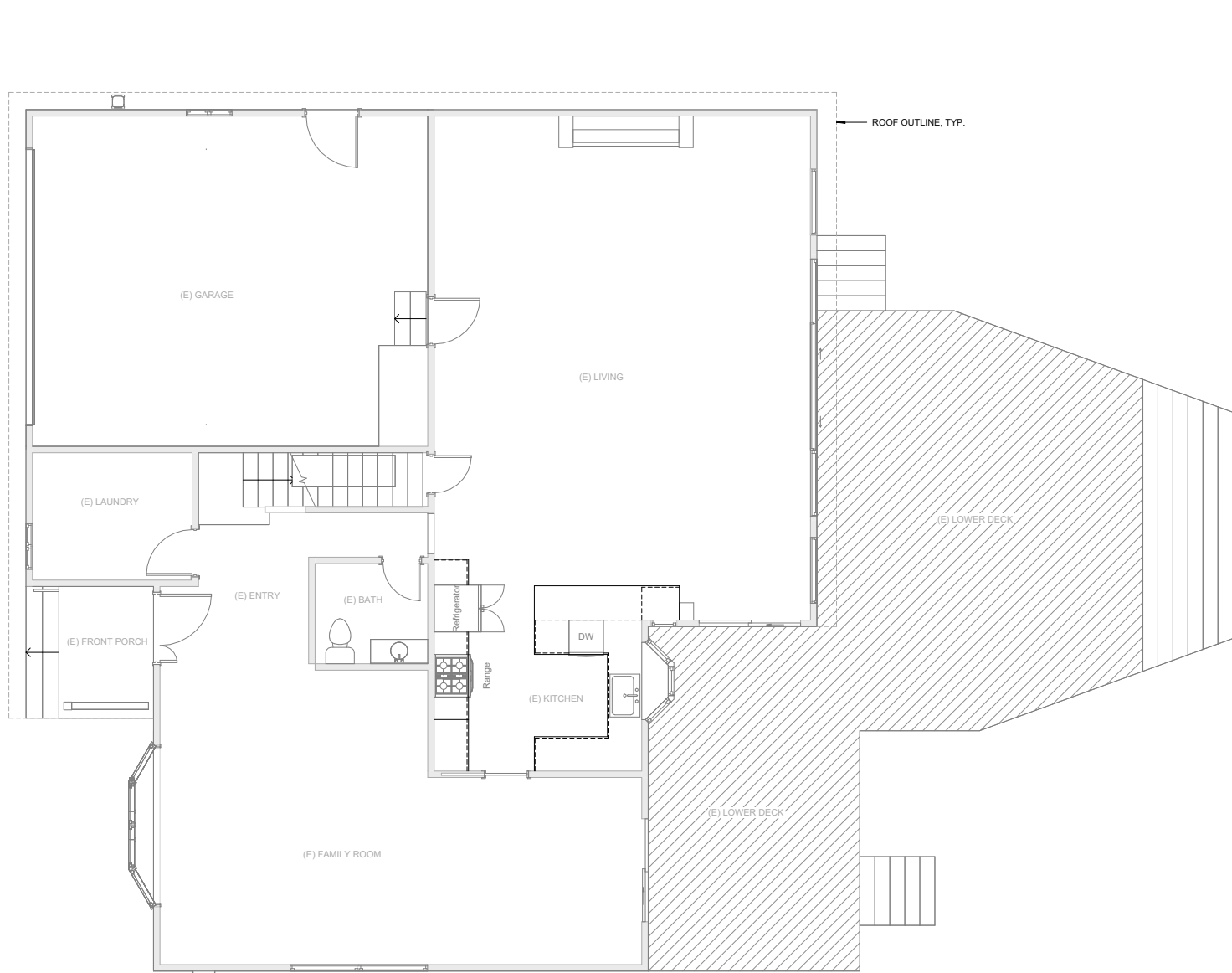
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1 EXISTING FIRST FLOOR PLAN
 1/4" = 1'-0"

2 EXISTING SECOND FLOOR PLAN
 1/4" = 1'-0"

EXISTING FLOOR PLANS

Project number 22010
 Date 11/17/23
 Drawn by ACB

A2

Scale 1/4" = 1'-0"

KEY NOTES

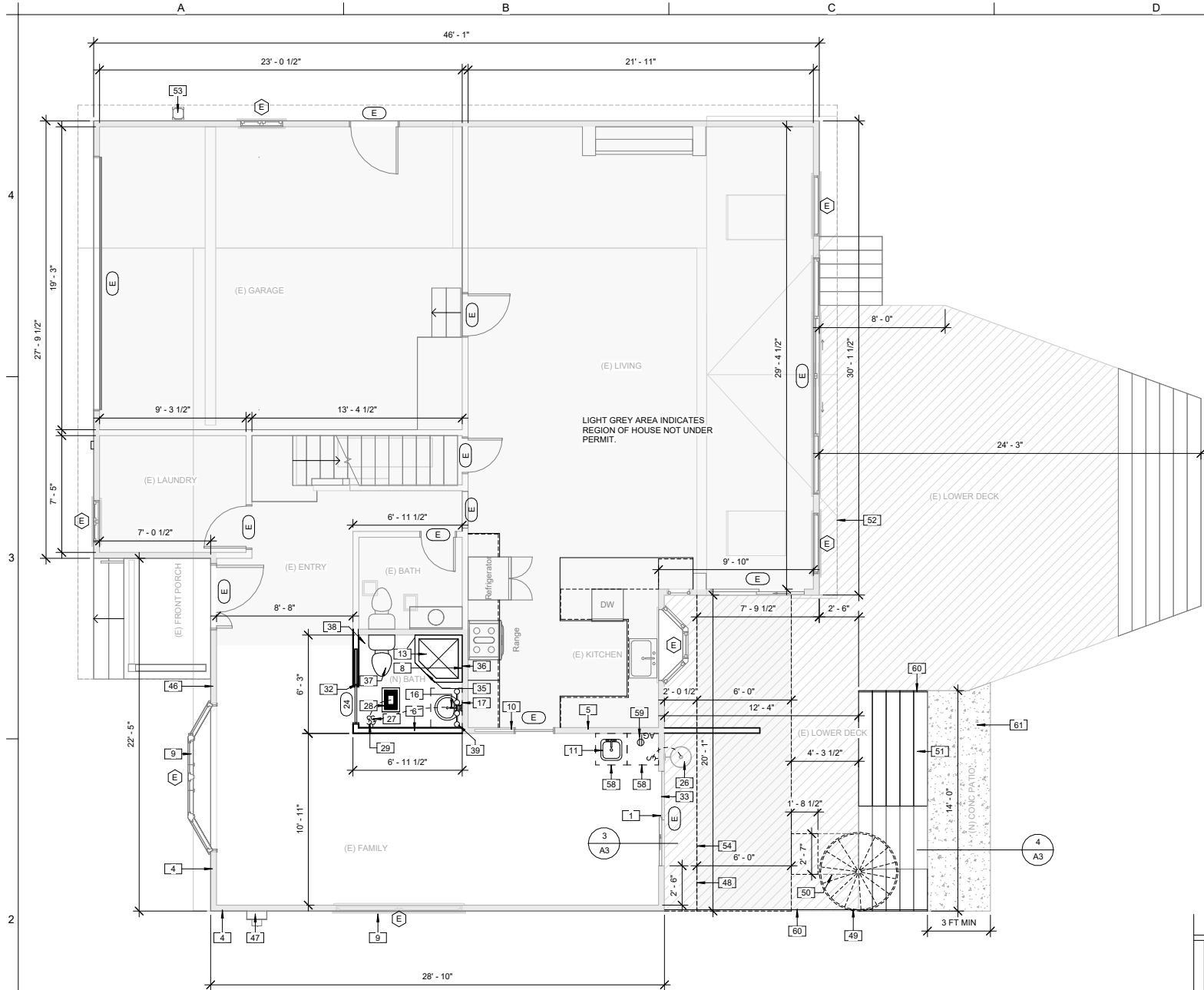
- 1 EGRESS DOOR. MIN 32" CLEAR WIDTH & 78" CLEAR HEIGHT.
- 4 EXISTING EXTERIOR WALL
- 5 EXISTING INTERIOR WALL
- 6 NEW INTERIOR WALL w/ 2x4 STUD & 1/2" GYP BD ON EA SIDE.
- 8 WATER RESISTANT FIBER CEMENT BACKER BOARD @ SHOWER ENCLOSURE WALL & CLG w/ 6 MIL MIN VAPOR BARRIER BEHIND. OR USE PREFAB SHOWER INSERT.
- 9 WINDOWS TAGGED WITH (E) TO REMAIN AS EXISTING AND UNDISTURBED.
- 10 DOORS TAGGED WITH (E) TO REMAIN AS EXISTING AND UNDISTURBED.
- 11 16"x16" BAR SINK.
- 13 SHOWER CONTROL VALVE LOCATION TO BE APPROVED PRESSURE BALANCED OR THERMOSTATIC MIXING TYPE ADJUSTED TO A MAX 120 DEGREES.
- 16 BATH FAUCET 1.2 GPM MAX FLOW RATE.
- 17 PLUMBING VENTS TO TERMINATE NOT LESS THAN 10 FT FROM OR AT LEAST 3 FT ABOVE ANY OPERABLE WINDOW, DOOR, OPENING, AIR INTAKE OR VENT SHAFT, TYP.
- 26 NEW EXTERIOR LIGHT TO BE HIGH-EFFICACY.
- 27 BATHROOM SWITCHES TO HAVE VACANCY SENSING, TYP.
- 28 50 CFM MIN BATH VENT & LIGHT COMBO. TO BE ON HUMIDISTAT.
- 29 BATHROOM RECEPTACLES TO BE ON DEDICATED CIRCUIT & BOTH GFCI & AFCI, TYP.
- 32 NEW 28"x80" SINGLE PANEL POCKET DOOR. TO HAVE MIN 1" GAP BELOW FOR IAQ VENT.
- 33 EXISTING SLIDING GLASS DOOR TO REMAIN.
- 35 SHOWER DOOR SHALL OPEN AS TO MAINTAIN NOT LESS THAN 22" UNOBSTRUCTED EGRESS OPENING. CPC 408.5
- 36 SHOWER COMPARTMENT SHALL HAVE MIN FIN INTERIOR OF 1,024 SI. CPC 408.6
- 37 15" MIN CLEARANCE ON EACH SIDE OF TOILET FROM CENTERLINE. 24" MIN CLEARANCE IN FRONT OF TOILET.
- 38 BATHROOMS & TOILET ROOMS SHALL HAVE A MIN 68" CLG HEIGHT.
- 39 LIGHT ABOVE VANITY.
- 46 EXISTING EXTERIOR WALL. 2x4 STUD, R13 BATT INS, 5/8" T1-11 & 1/2" GYP BD.
- 47 EXISTING 100 AMP ELECTRIC METER.
- 48 DASHED LINE INDICATES NEW SECOND STORY DECK. SURFACE TO BE PLYWD w/ WATERPROOF DECK MEMBRANE.
- 49 (N) SPIRAL STAIRCASE CENTERED TO EDGE OF DECK. SEE SHEET A6 FOR SPECS.
- 50 31"x31" SPYRAL STAIRCASE PLATFORM.
- 51 EXISTING DECK STAIRS TO BE EXTENDED.
- 52 ROOF OUTLINE, TYP.
- 53 EXISTING GAS METER.
- 54 DASHED LINE INDICATED CANTILEVERED SECTION ABOVE.
- 55 BEW 72"x80" SLIDING GLASS DOOR.
- 56 EDGE OF SPIRAL STAIRCASE PLATFORM.
- 57 NEW SPIRAL STAIRCASE SEE SHEET A6 FOR SPECS.
- 58 NEW 24" WIDE CABINET
- 59 RECEPTACLE AT BAR TO BE BOTH ARC FAULT AND GROUND FAULT PROTECTED.
- 60 NEW RAILING. SEE SHEET A3/4
- 61 NEW CONCRETE PATIO.

- HANDRAIL ABLE TO WITHSTAND 200 LBS APPLIED IN ANY DIRECTION AT ANY POINT ON THE RAIL.
- 1 1/2" MIN SPACING BETWEEN HANDRAIL INSIDE EDGE AND WALL. 3" MAX SPACING BETWEEN OUTSIDE HANDRAIL EDGE AND WALL.
- ROUND HANDRAIL 1 1/4" TO 2" DIA GRIP. SQUARE HANDRAIL 1 1/4" TO 2 1/4" WIDTH GRIP.
- HANDRAIL TO BE MOUNTED AT +34"-38" ABOVE TREAD NOSING.
- HANDRAIL ENDS SHALL BE RETURNED TO THE WALL USING ROUNDED TERMINATIONS OR BENDS.

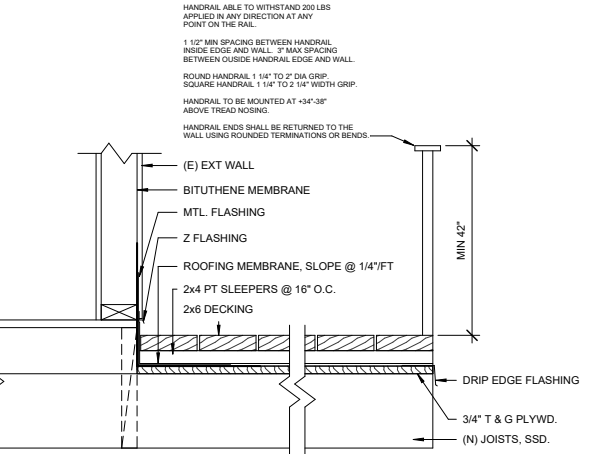
GENERAL NOTES

- STAIRWAY SHALL BE NOT LESS THAN 36" WIDTH.
- TREAD SLOPE TO BE 1:48 MAX.
- RISERS, TREADS, & NOSINGS: PROVIDE A 3/4" TO 1 1/4" NOSING WHERE THE TREADS IS < 11". ALL RISERS, TREADS, & NOSINGS MUST BE UNIFORMLY DIMENSIONED & CONSTRUCTED TO WITHIN 3/8" (COMPARING MAX & MIN OF SIMILAR ELEMENTS).
- NOSINGS ARE TO HAVE A RADIUS OF CURVATURE OF 9/16" MAX, OR A BEVEL OF 1/2" MAX.
- MIN 3FT OF LANDING SPACE AT BASE OF STAIRS. SHALL BE AT LEAST THE WIDTH OF THE STAIRS AND HAVE A 1/4"FT MAX SLOPE.

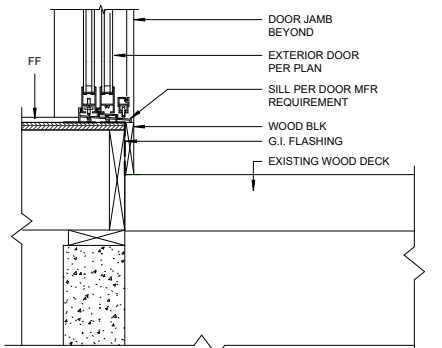
(N) CONC PATIO. 1/4" MAX SLOPE. CROSS SLOPE CANNOT CHANGE HEIGHT OF ADJACENT STAIR RISER.



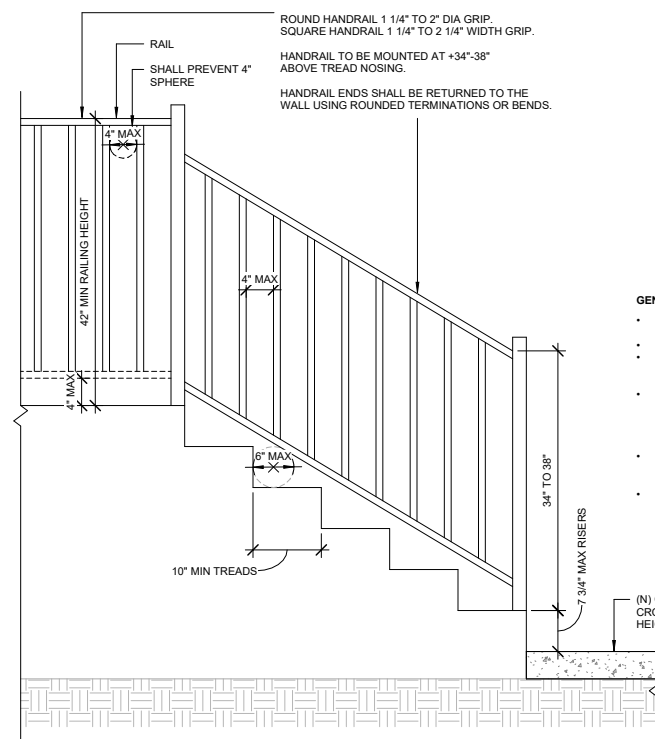
1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



2 DECK DETAIL
1 1/2" = 1'-0"



3 EXTERIOR DOOR THRESHOLD
1 1/2" = 1'-0"



4 STAIR DETAIL
1" = 1'-0"



3383 AIRWAY DR
SANTA ROSA, CA 95403
BRAGANO@GMAIL.COM
707-292-6427
WWW.AFFORDABLE-DRAFTING.COM

PREPARED BY:

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PROPOSED FIRST FLOOR PLAN

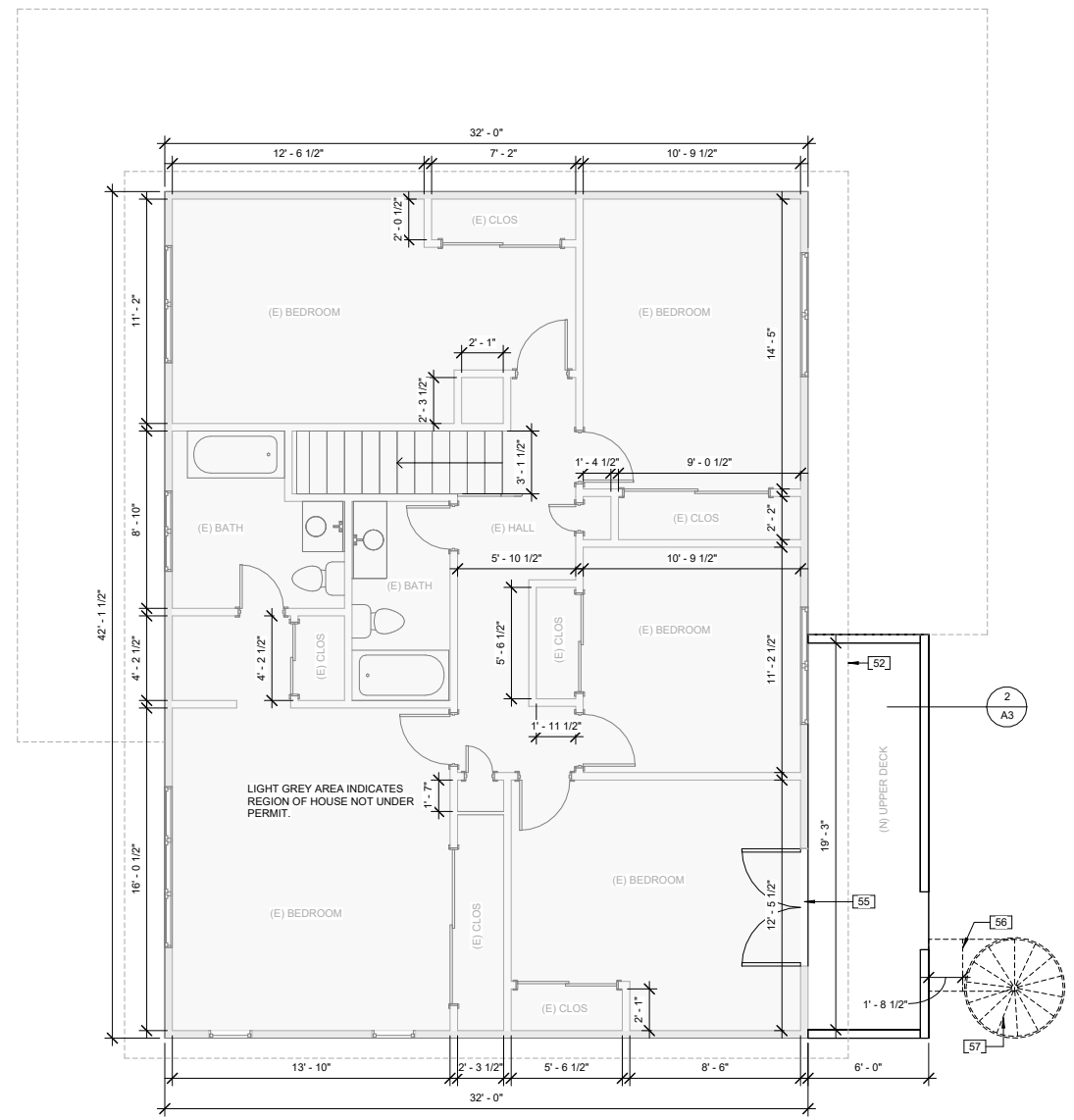
Project number 22010
Date 11/17/23
Drawn by ACB

A3

Scale As indicated

KEY NOTES

- 1 EGRESS DOOR, MIN 32" CLEAR WIDTH & 78" CLEAR HEIGHT.
- 4 EXISTING EXTERIOR WALL
- 5 EXISTING INTERIOR WALL
- 6 NEW INTERIOR WALL w/ 2x4 STUD & 1/2" GYP BD ON EA SIDE.
- 8 WATER RESISTANT FIBER CEMENT BACKER BOARD @ SHOWER ENCLOSURE WALL & CLG w/ 6 MIL MIN VAPOR BARRIER BEHIND. OR USE PREFAB SHOWER INSERT.
- 9 WINDOWS TAGGED WITH (E) TO REMAIN AS EXISTING AND UNDISTURBED.
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- 29 BATHROOM RECEPTACLES TO BE ON DEDICATED CIRCUIT & BOTH GFCI & AFCI. TYP.
- 32 NEW 28"x80" SINGLE PANEL, POCKET DOOR. TO HAVE MIN 1" GAP BELOW FOR IAQ VENT.
- 33 EXISTING SLIDING GLASS DOOR TO REMAIN.
- 35 SHOWER DOOR SHALL OPEN AS TO MAINTAIN NOT LESS THAN 22" UNOBSTRUCTED EGRESS OPENING. CPC 408.5
- 36 SHOWER COMPARTMENT SHALL HAVE MIN FIN INTERIOR OF 1.024 SI. CPC 408.6
- 37 15" MIN CLEARANCE ON EACH SIDE OF TOILET FROM CENTERLINE. 24" MIN CLEARANCE IN FRONT OF TOILET.
- 38 BATHROOMS & TOILET ROOMS SHALL HAVE A MIN 6'8" CLG HEIGHT.
- 39 LIGHT ABOVE VANITY.
- 46 EXISTING EXTERIOR WALL. 2x4 STUD, R13 BATT INS, 5/8" T1-11 & 1/2" GYP BD.
- 47 EXISTING 100 AMP ELECTRIC METER.
- 48 DASHED LINE INDICATES NEW SECOND STORY DECK. SURFACE TO BE PLYWD w/ WATERPROOF DECK MEMBRANE.
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- 51 EXISTING DECK STAIRS TO BE EXTENDED.
- 52 ROOF OUTLINE. TYP.
- 53 EXISTING GAS METER
- 54 DASHED LINE INDICATED CANTILEVERED SECTION ABOVE.
- 55 BEW 7'2"x80" SLIDING GLASS DOOR.
- 56 EDGE OF SPIRAL STAIRCASE PLATFORM.
- 57 NEW SPIRAL STAIRCASE SEE SHEET A6 FOR SPECS.
- 58 NEW 24" WIDE CABINET
- 59 RECEPTACLE AT BAR TO BE BOTH ARC FAULT AND GROUND FAULT PROTECTED.
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NOVATO, CA 94949
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PROPOSED SECOND FLOOR PLAN

Project number 22010
Date 11/17/23
Drawn by ACB

A4

Scale 1/4" = 1'-0"

A

B

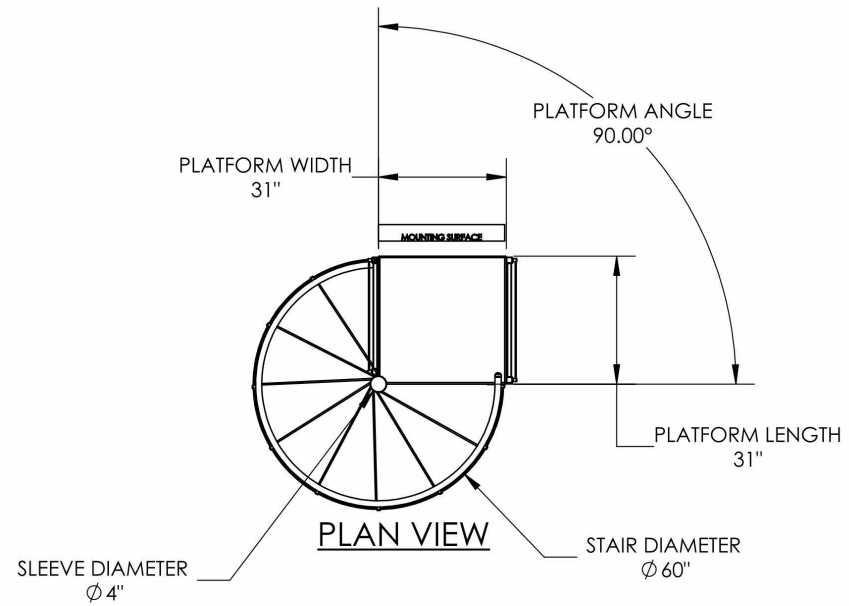
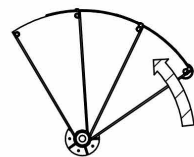
C

D

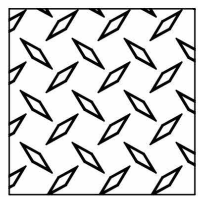
E

F

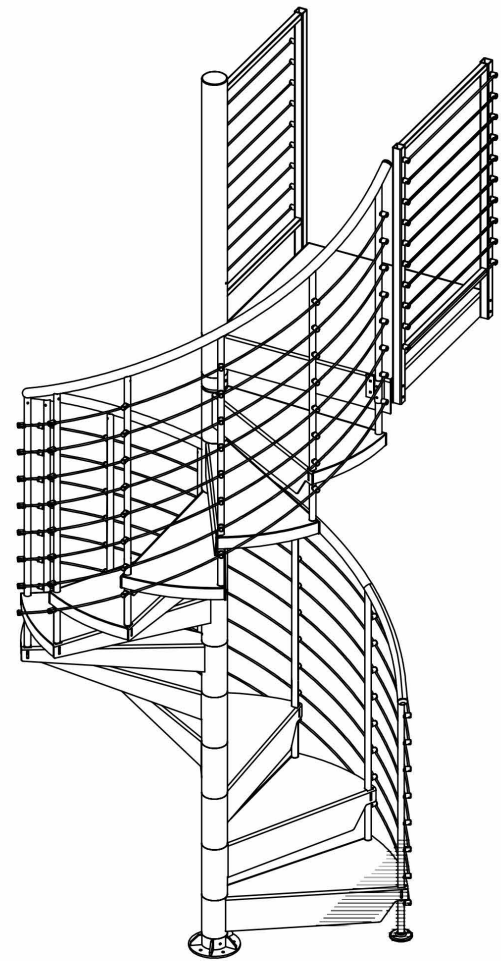
ENTER UP



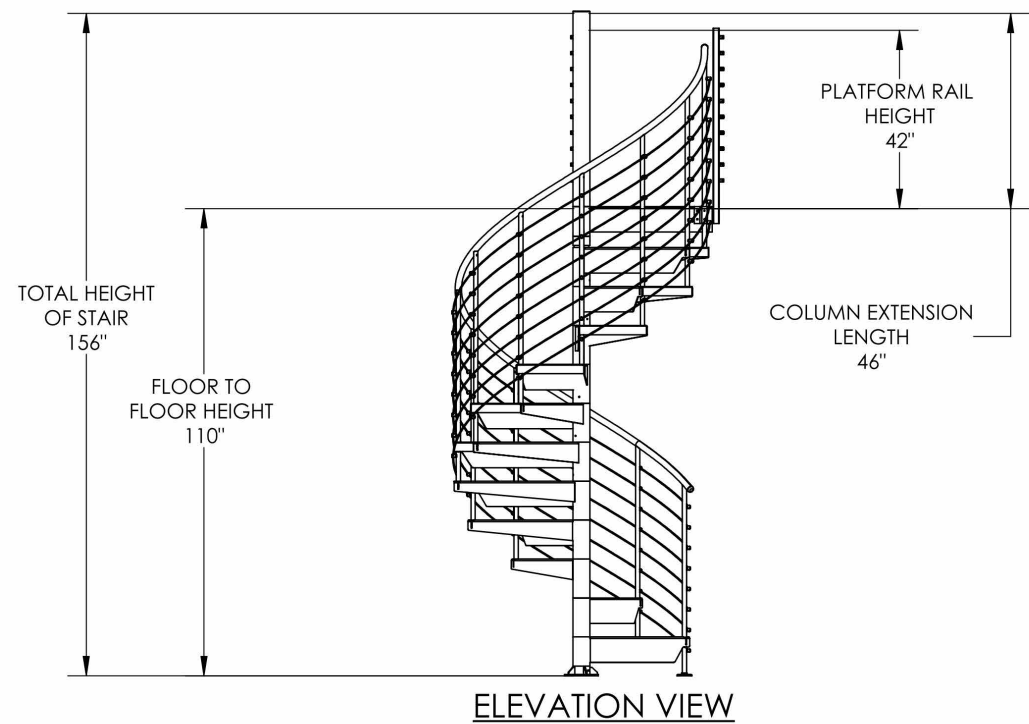
Diamond Plate



STAIR DETAILS:
 MODEL: ALUMINUM
 DIAMETER (IN.): 60
 FLOOR TO FLOOR (IN.): 110
 COLOR: RAW
 RISER HEIGHT (IN.): 9.17
 TREAD DEGREE: 30
 HEADROOM (IN.): 79.97



3D RENDERING



3383 AIRWAY DR
 SANTA ROSA, CA 95403
 BRAGANO@GMAIL.COM
 707-292-6427
 WWW.AFFORDABLE-DRAFTING.COM

PREPARED BY:

TONY BRAGANO
 AFFORDABLE DRAFTING
 3383 AIRWAY DR
 SANTA ROSA, CA 95403
 BRAGANO@GMAIL.COM
 707 292 6427

MIKE ROBERTSON

**BATHROOM
 & DECK**

116 BAHAMA REEF
 NOVATO, CA 94949
 APN 157-391-10

| No. | Description | Date |
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**SPIRAL STAIRCASE
 DETAILS**

Project number 22010
 Date 11/17/23
 Drawn by ACB

A5

Scale

A

B

C

D

E

F



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BRAGANO@GMAIL.COM
707-292-6427
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PREPARED BY:
TONY BRAGANO
AFFORDABLE DRAFTING
3383 AIRWAY DR
SANTA ROSA, CA 95403
BRAGANO@GMAIL.COM
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**EAST & WEST
ELEVATIONS**

Project number 22010
Date 11/17/23
Drawn by ACB

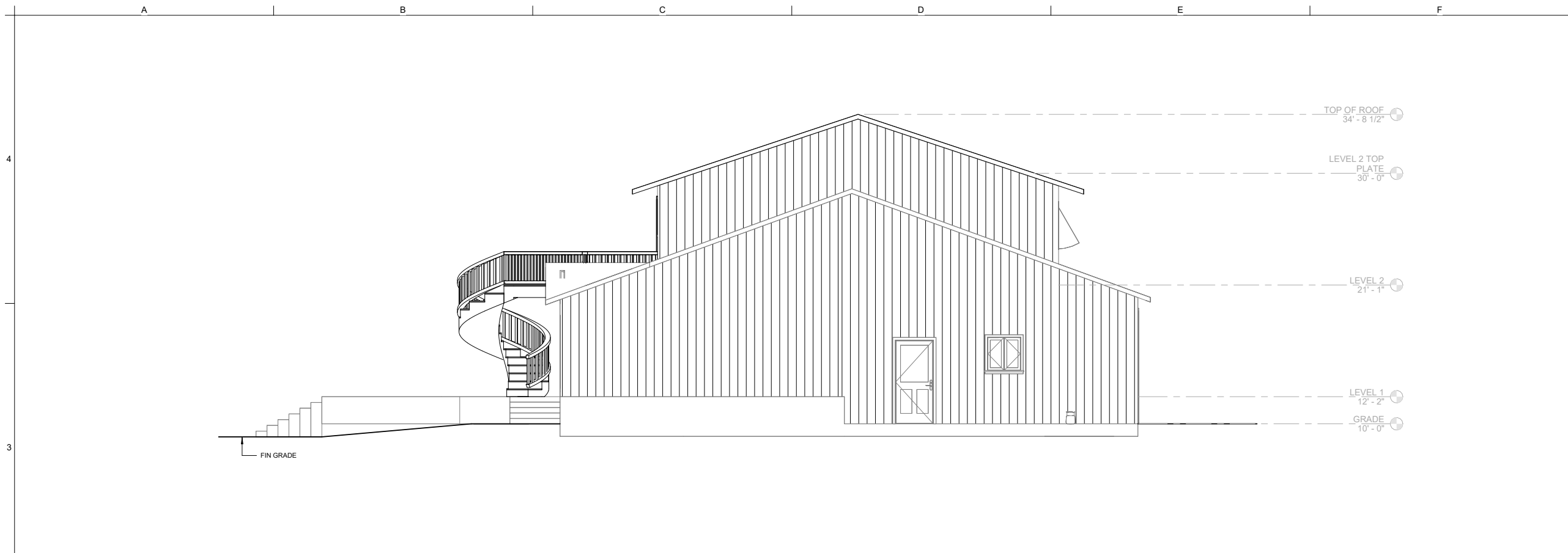
A6
Scale 1/4" = 1'-0"



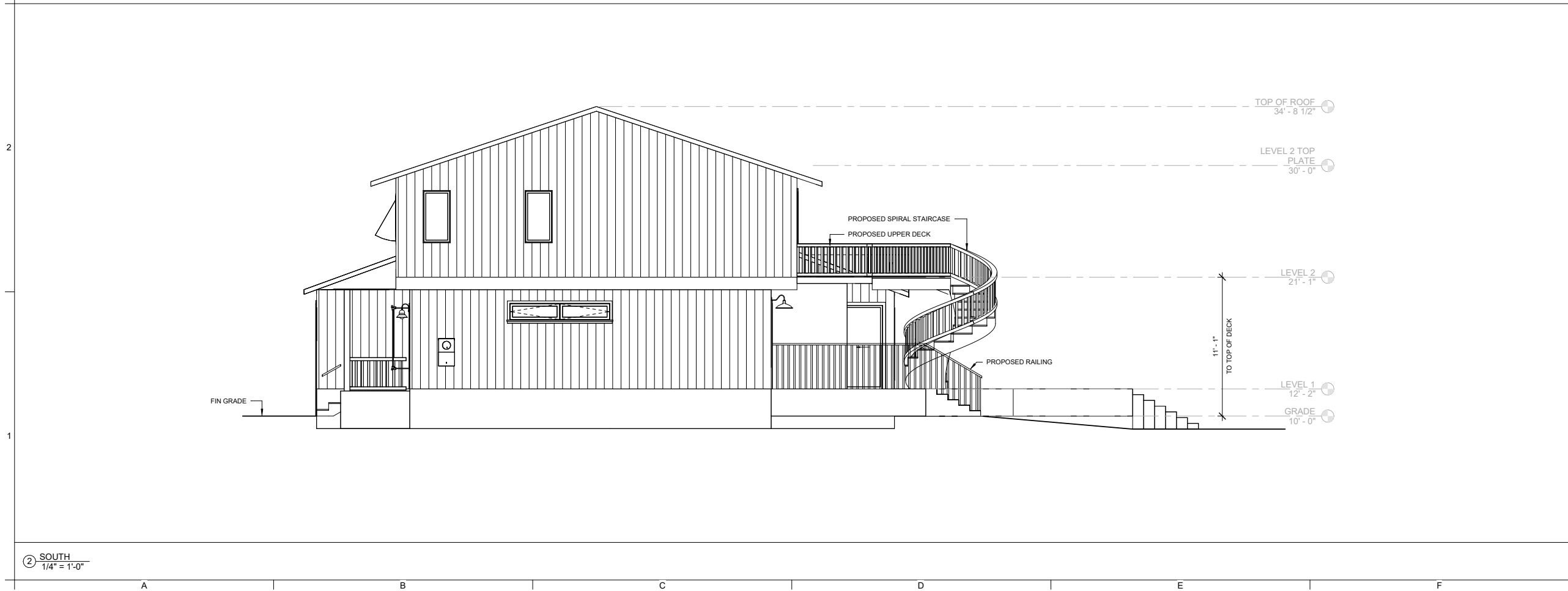
① EAST
1/4" = 1'-0"



② WEST
1/4" = 1'-0"



① NORTH
1/4" = 1'-0"



② SOUTH
1/4" = 1'-0"



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707-292-6427
WWW.AFFORDABLE-DRAFTING.COM

PREPARED BY:

TONY BRAGANO
AFFORDABLE DRAFTING
3383 AIRWAY DR
SANTA ROSA, CA 95403
BRAGANO@GMAIL.COM
707 292 6427

Tony Bragano

MIKE ROBERTSON

**BATHROOM
& DECK**

116 BAHAMA REEF
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**NORTH & SOUTH
ELEVATIONS**

Project number 22010
Date 11/17/23
Drawn by ACB

A7

Scale 1/4" = 1'-0"