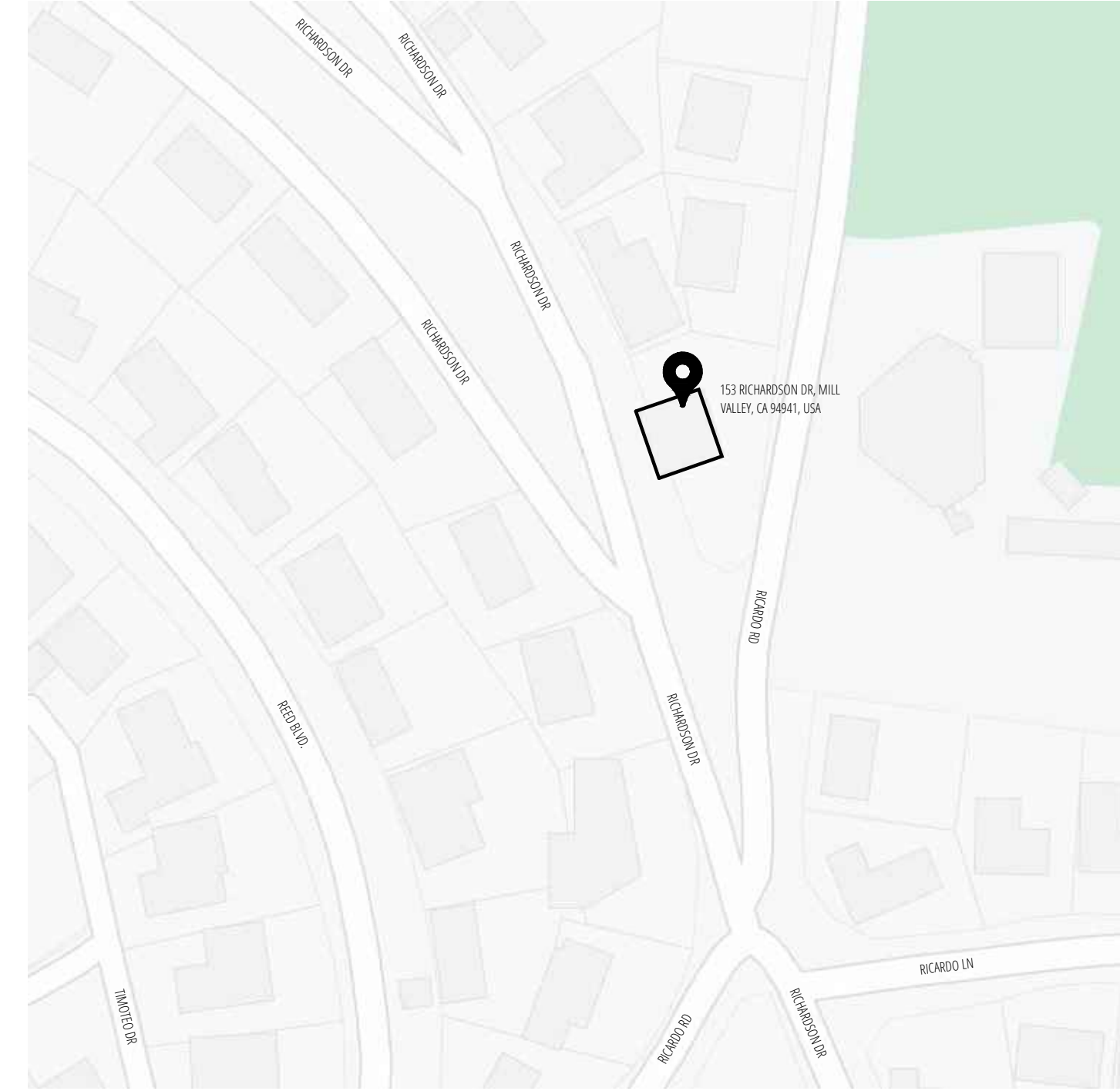


AERIAL PHOTO



VICINITY MAP



PROJECT TEAM

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SHEET INDEX

A0.0	COVER SHEET
A1.0	(P) SITE PLAN
A1.1	(E) SITE PLAN
C1	SURVEY / TOPO
C2	DRAINAGE PLAN
A1.2	STORY POLE PLAN
A1.3	(E) FAR PLAN
A1.4	(P) FAR PLAN
A1.5	(E+P) LOT COVERAGE
A1.6	(E+P) IMPERVIOUS SURFACE
A1.7	LANDSCAPE MANAGEMENT PLAN
A1.8	LANDSCAPE PLAN
A2.0	(E) FLOOR PLANS
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A2.2	(P) FLOOR PLANS
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A3.0	(E) EXTERIOR ELEVATIONS
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A4.0	(E) SITE SECTIONS
A4.1	(P) SITE SECTIONS
A4.2	(E+P) BUILDING SECTIONS
A5.0	RENDERINGS
A5.1	CONTEXT PHOTOS
A5.2	CONTEXT PHOTOS
A5.3	CONTEXT PHOTOS

PROJECT DESCRIPTION

THE PROJECT AT 153 RICHARDSON DR. PROPOSES A NEW MODERN 5-BEDROOM 5-BATH HOME AND 1-BEDROOM 1-BATH ADU ON A UNIQUE AND DIFFICULT 10,290 SQUARE FOOT LOT. THE EXTENT OF DEMOLITION TO THE EXISTING HOME REQUIRES THAT THE PROJECT BE CONSIDERED A NEW HOME ON A VACANT LOT. DUE TO THE 28% LOT SLOPE THE LOT SIZE IS SUBSTANDARD AND WOULD REQUIRE A 26,041 SQUARE FOOT LOT TO BE IN CONFORMITY WITH THE ZONING ORDINANCE. SETBACKS, LOT COVERAGE, IMPERVIOUS SURFACE, HEIGHT UP TO 40' WITH A MINIMUM OF 15' SETBACKS ARE DETERMINED THROUGH DESIGN REVIEW. THE PROJECT IS REQUESTING A VARIANCE TO FAR OF .41-.33 FOR THE PRIMARY RESIDENCE AND .07 FOR THE ADU. THERE IS NO CHANGE TO THE PARKING WITH A NEW ATTACHED 2-CAR GARAGE AND 2 DRIVEWAY PARKING SPACES.

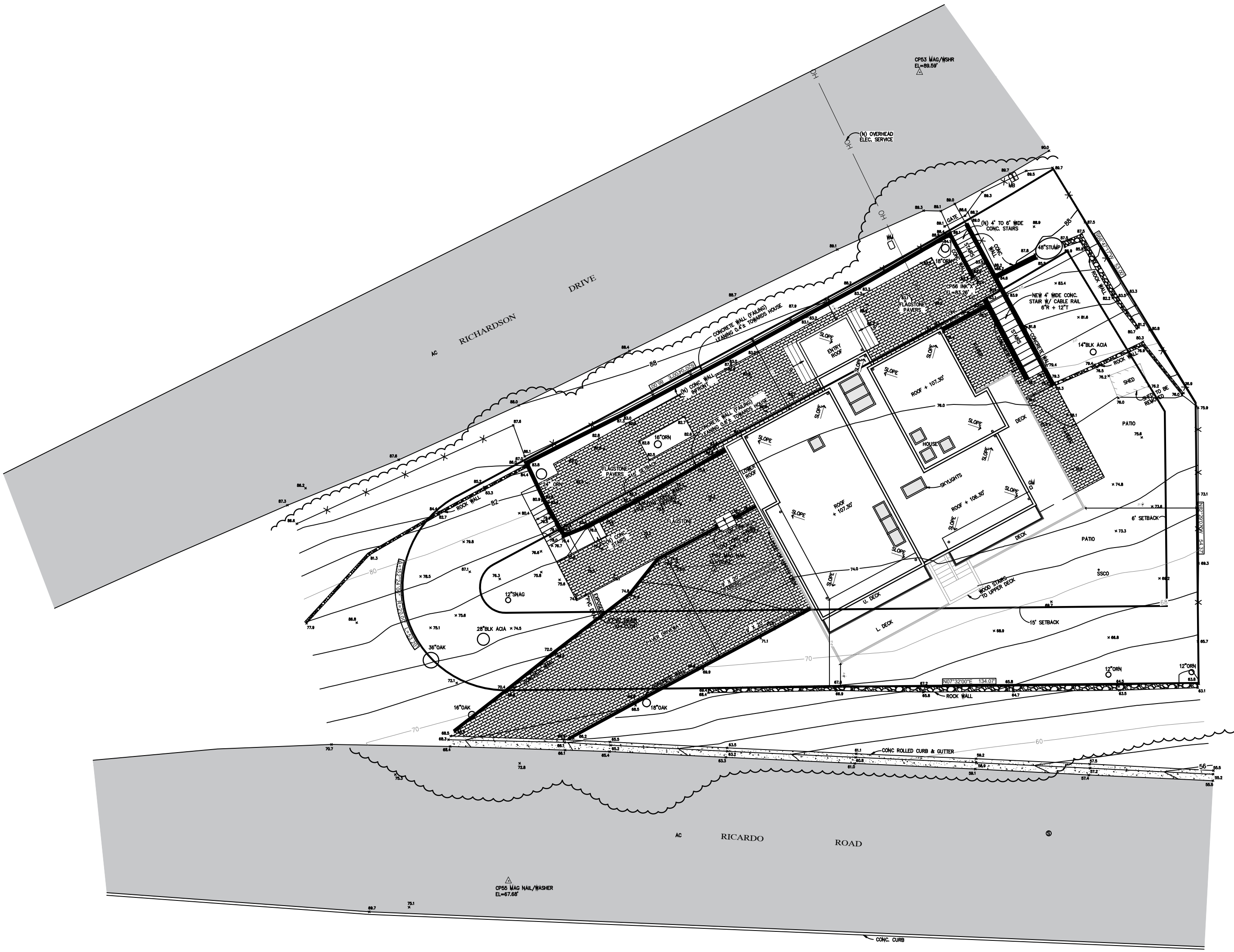
PROJECT INFO

ZONING: R-1
OCCUPANCY: R-3
CONSTRUCTION TYPE: V-B
STORIES: 3-STORIES
WILDLAND URBAN INTERFACE ZONE (WUI): NO
RESIDENTIAL FIRE SPRINKLERS REQUIRED: YES
PERCENT SLOPE: 28%
LATITUDE: 37.897
LONGITUDE: -122.507

SITE DATA TABLE

STANDARD PROJECT DATA ON SITE PLAN
BASED ON APPLICABLE DEFINITIONS IN MARIN COUNTRY CODE, INCLUDE THE FOLLOWING INFORMATION:

1.	LOT AREA		
	EXISTING		10,290 SQ. FT.
	PROPOSED		10,290 SQ. FT.
2.	BUILDING AREA		
	EXISTING		2,357 SQ. FT.
	PROPOSED		4,800 SQ. FT.
3.	FLOOR AREA		
	EXISTING		1,829 SQ. FT.
	PROPOSED	P.R. - 3501 ADU - 759	4,260 SQ. FT.
4.	FLOOR AREA RATIO		
	EXISTING		.18
	PROPOSED	P.R. - .34 ADU - .07	.41
5.	PROPOSED AREA OF ADDITIONAL DISTURBANCE		0
6.	LOT COVERAGE		
	EXISTING	2,253 SF	.22
	PROPOSED	2,935 SF	.29
7.	GRADING CALCULATIONS (CUBIC YARDS)		
	CUT		0
	FILL		0
	OFF-HAUL		0
8.	PARKING		
	EXISTING		4+
	PROPOSED		4+
9.	MINIMUM SETBACKS FOR EXTERIOR WALLS OF PROPOSED BUILDING AREA		4'
	FRONT PORCH ROOF: 11' ENCROACHMENT		
	EAST FACING DECK: 11' ENCROACHMENT		
10.	MAXIMUM HEIGHT OF PROPOSED BUILDING AREA		38' - 6 1/2"
11.	IMPERVIOUS SURFACE		
	EXISTING	4,894.29 SF	.48
	PROPOSED	2,829.01 SF	.28



(P) SITE PLAN
A0.0 SCALE: 1/16" = 1'-0"



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Date	No.	Issue Notes
04/27/22		DESIGN REVIEW

Date	Delta	Revision Notes
	△	
	△	

153 RICHARDSON-PANAHI RESIDENCE
AP # 043-071-14
Cover Sheet
153 RICHARDSON DR.
MILL VALLEY, CA 94941

Drawn By: UR Studio
Date: 04/20/2022

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A0.0



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153 RICHARDSON-PANAHI RESIDENCE
AP # 043-071-14
Proposed Site Plan

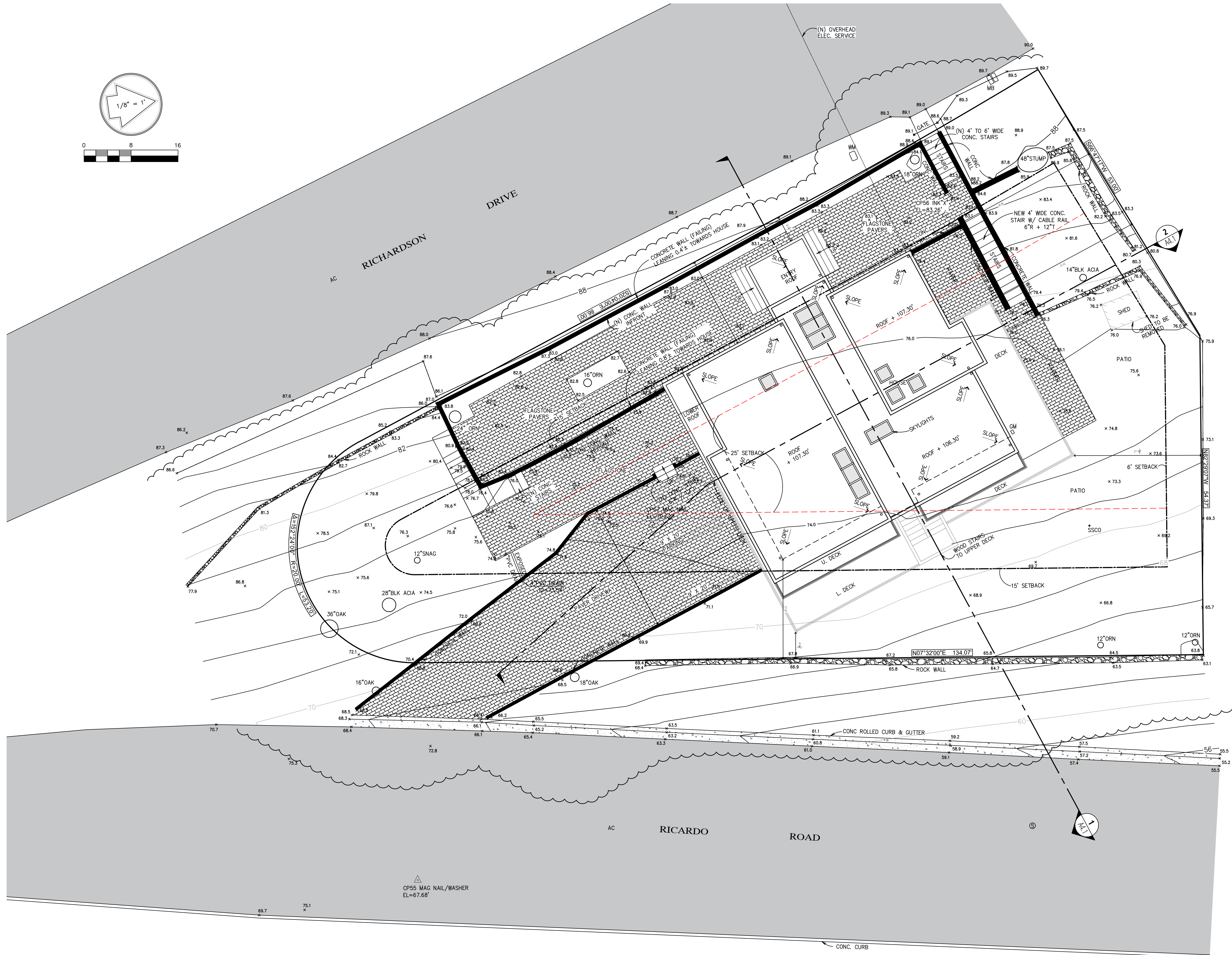
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A1.0



1 (P) SITE PLAN
SCALE: 1/8" = 1'-0"



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Date	Delta	Revision Notes

153 RICHARDSON-PANAHI RESIDENCE

AP # 043-071-14
Existing Site Plan

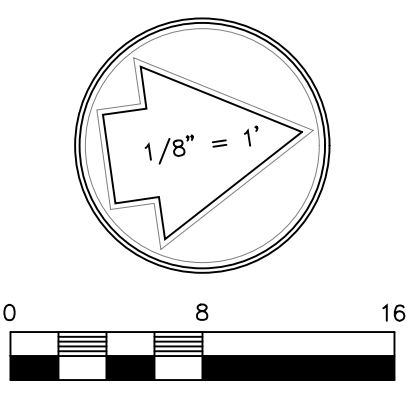
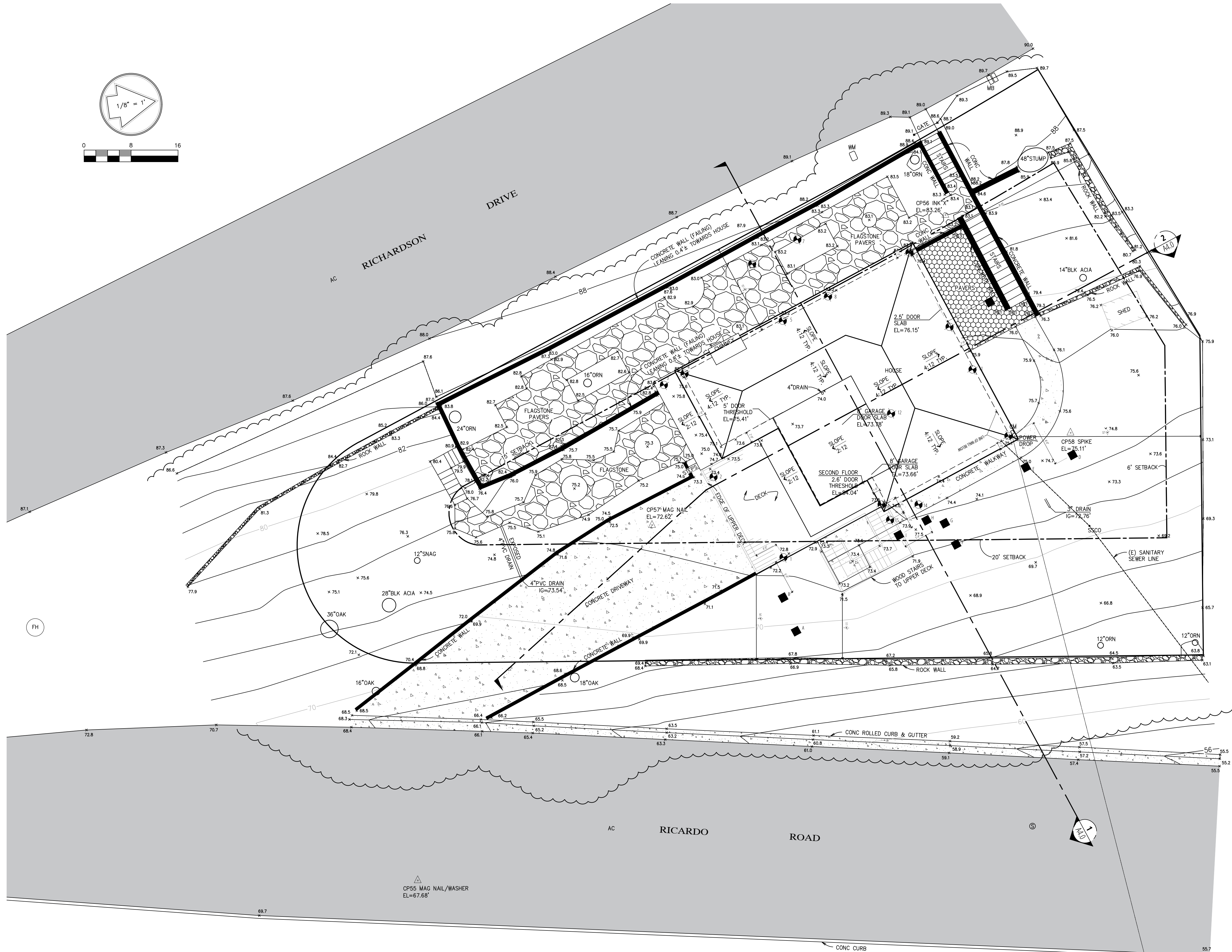
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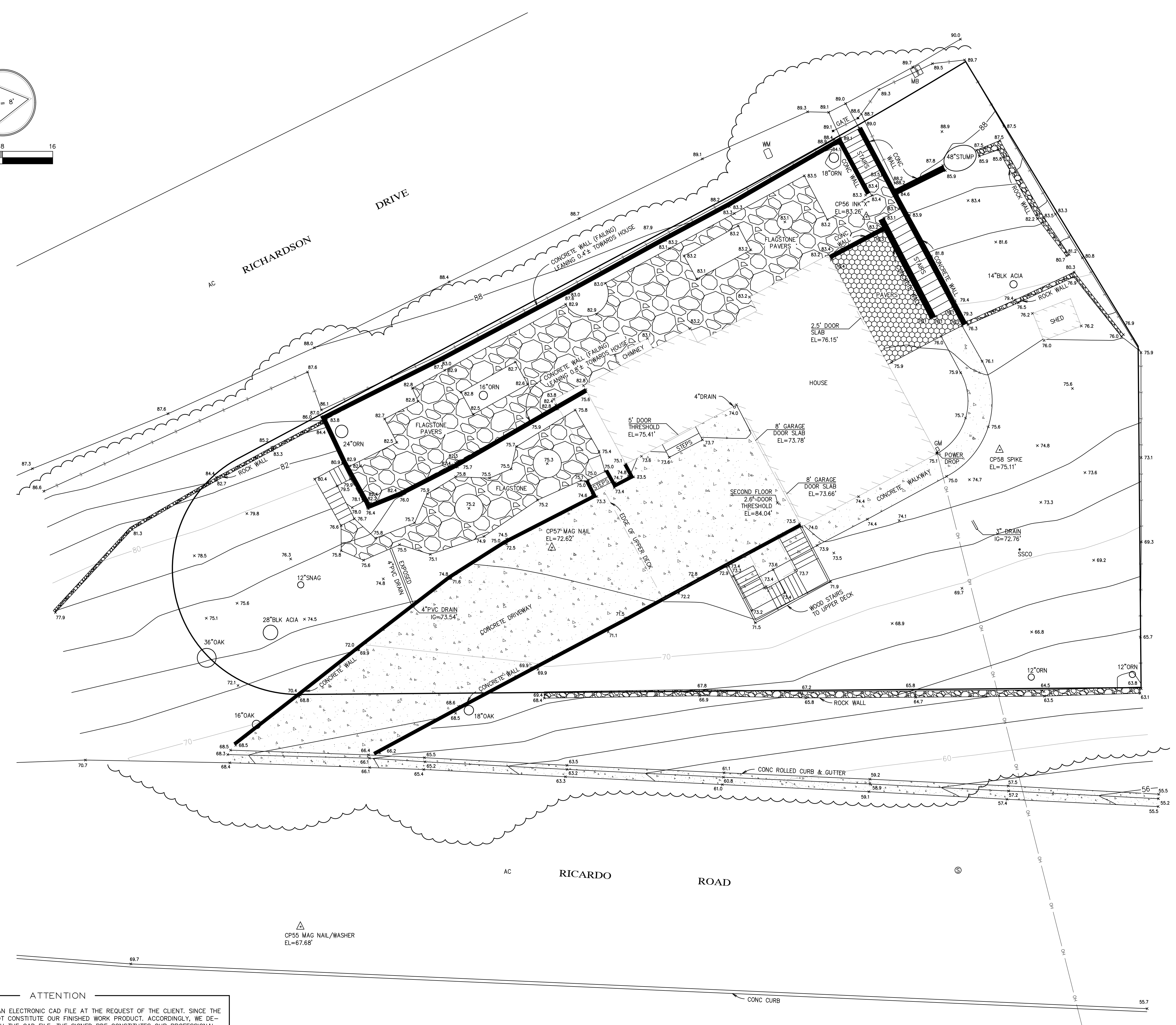
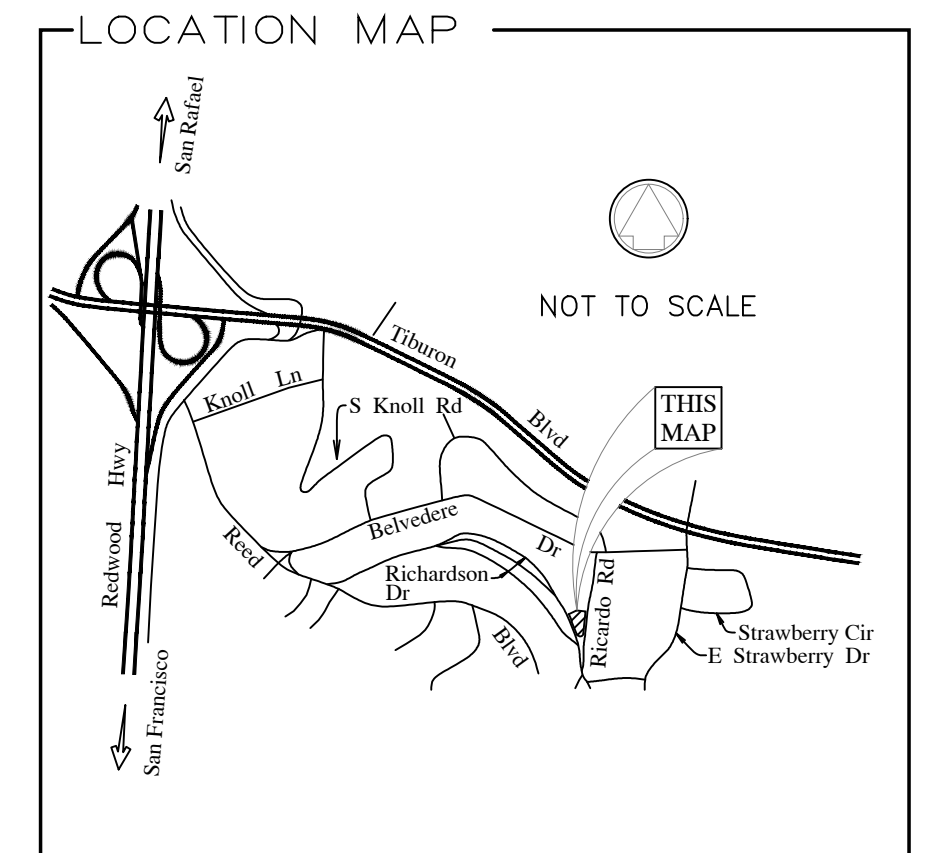
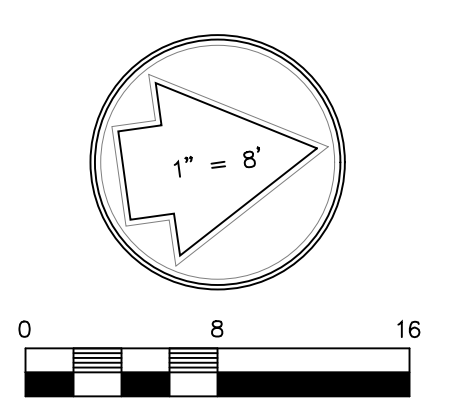
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A1.1



1 (E) SITE PLAN
A1.1 SCALE: 1/8" = 1'-0"



LEGEND

	PROPERTY LINE
	APPROXIMATE TREE DRIP LINE
	FENCE LINE
	OVERHEAD LINES
	SURVEY CONTROL POINT
	SANITARY SEWER MANHOLE
	JOINT POLE
	GUY ANCHOR
	SANITARY SEWER CLEAN OUT
	INVERT GRADE
	WATER METER
	GAS METER
	ASPHALTIC CONCRETE
	ORNAMENTAL TREE
	BLACK ACACIA TREE

MAPPING NOTES

THE ELEVATIONS AND RELATIVE POSITIONS OF FEATURES SHOWN HEREON ARE IN CONFORMANCE WITH THE NATIONAL STANDARDS OF THE AMERICAN CONGRESS ON SURVEYING AND MAPPING.

A TITLE REPORT WAS NOT SUPPLIED, THEREFORE EASEMENTS OF RECORD (IF ANY) WERE NOT PLOTTED.

PROPERTY LINES SHOWN HEREON DERIVED FROM SURVEY TIES TO MONUMENTS AS SHOWN ON "STRAWBERRY HEIGHTS, SUBDIVISION ONE, SECTION ONE, MARIN COUNTY - 6 R.M. 21 (UNLESS OTHERWISE STATED).

EASEMENTS AND SETBACK LINES SHOWN PER 6 R.M. 21 (UNLESS OTHERWISE STATED).

LOT SIZE = 10,290 SQ.FT.

BENCHMARK

BENCHMARK: NGS OPUS OBSERVATION AT CP55. ELEVATION = 86.50' (NAVD89).

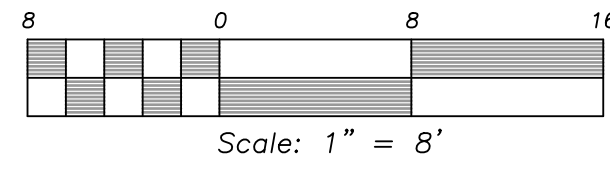
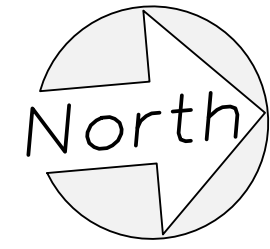
ATTENTION

THIS MAP IS BEING PROVIDED IN AN ELECTRONIC CAD FILE AT THE REQUEST OF THE CLIENT. SINCE THE CAD FILE IS ALTERABLE, IT CANNOT CONSTITUTE OUR FINISHED WORK PRODUCT. ACCORDINGLY, WE DELIVERED A SIGNED PDF ALONG WITH THE CAD FILE. THE SIGNED PDF CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IT MUST BE REFERRED TO FOR THE ORIGINAL DRAWING INFORMATION. PHELPS & ASSOCIATES, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC CAD FILE, NOR FOR ANY PRODUCTS DERIVED THEREFROM.

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APN 043-071-13

TOPOGRAPHIC MAP		
SADE PANAHI 153 RICHARDSON DRIVE, MILL VALLEY COUNTY OF MARIN STATE OF CALIFORNIA		
DATE: 10/18/2021		SHEET: 1 OF 1
SCALE: 1" = 8'		JOB No. MARIN-2021-05



Preliminary Construction Notes

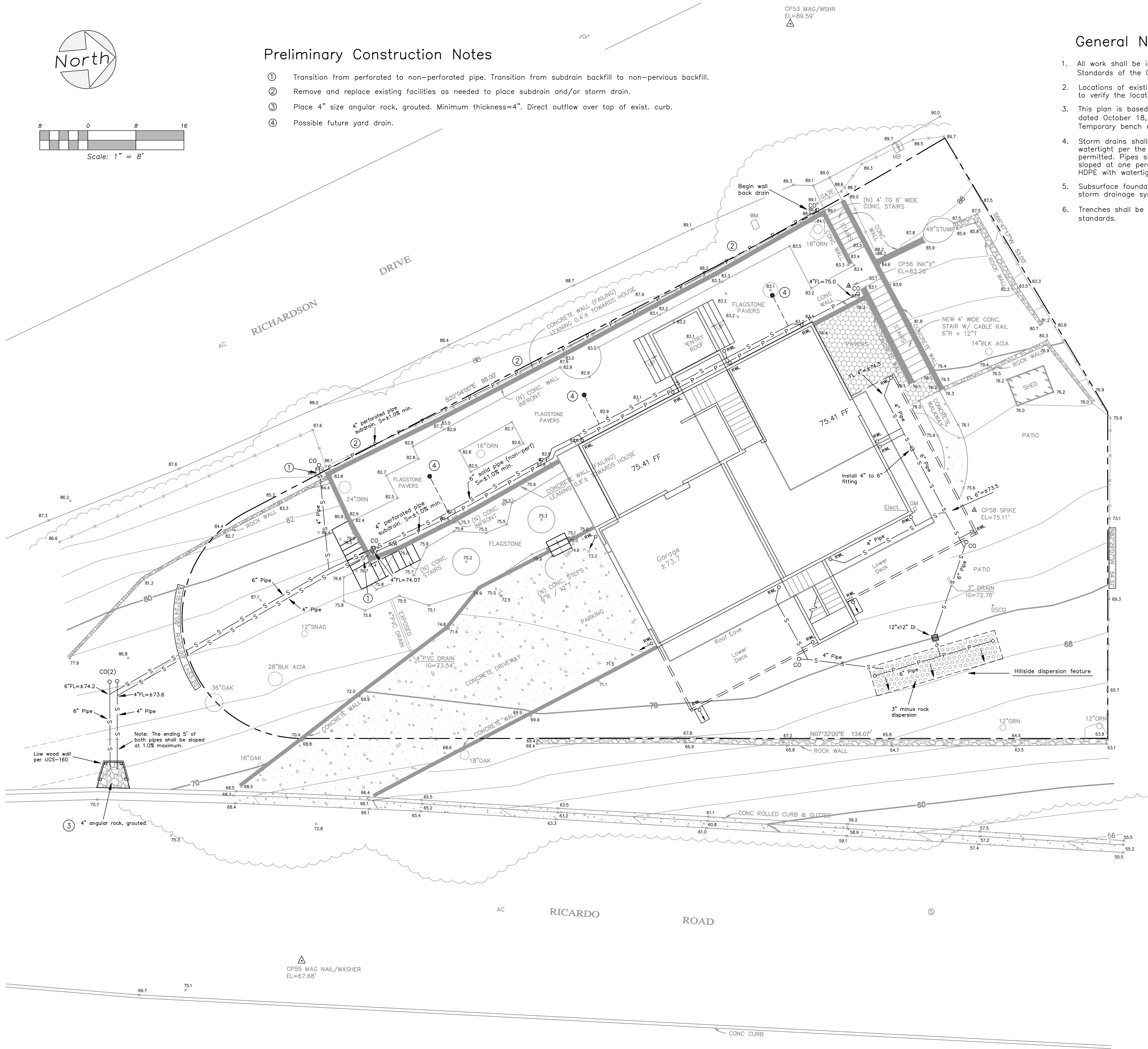
- ① Transition from perforated to non-perforated pipe. Transition from subdrain backfill to non-pervious backfill.
- ② Remove and replace existing facilities as needed to place subdrain and/or storm drain.
- ③ Place 4" size angular rock, grouted. Minimum thickness=4". Direct outflow over top of exist. curb.
- ④ Possible future yard drain.

General Notes

- 1. All work shall be in accordance with the current Standard Specifications and Uniform construction Standards of the Cities and County of Marin and County regulations.
- 2. Locations of existing utilities shown on this plan are approximate. It is the contractor's responsibility to verify the locations and depths of these facilities with the appropriate agencies prior to starting work.
- 3. This plan is based on a topographic survey and map by Phelps and Assoc., Sebastopol, CA, dated October 18, 2021. Benchmark is NGS Opus Observation at CP50. Elev. = 86.50 NAVD88. Temporary bench marks are shown on the plan.
- 4. Storm drains shall be PVC, SDR-35 or better, with manufactured elbows and fittings, glued and connected watertight per the manufacturer's recommendations. Pipes with interior corrugations or flexible pipes are not permitted. Pipes shall be sloped as shown on the plan. Where pipe grades are not given, pipes shall be sloped at one percent, minimum; and minimum pipe cover is 15 inches. Storm drains may also be HDPE with watertight joints.
- 5. Subsurface foundation drains and retaining wall backdrains shall be in a separate system from the storm drainage system and facilities, unless approved by the geotechnical engineer.
- 6. Trenches shall be shored when required by Cal/OSHA regulations. Shoring shall comply with Cal/OSHA current standards.

Legend

- Property Line
- P --- P --- 4" Perforated Pipe
- S --- S --- 4" Solid (non-perforated) Pipe
- CO Cleanout
- [Symbol] Splash Block

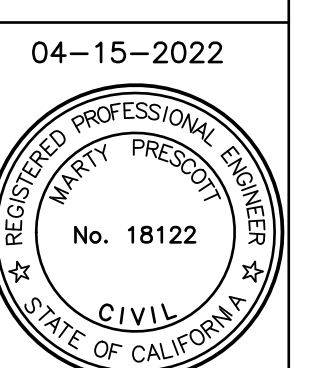
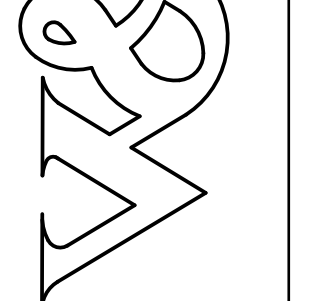


Note: Final design, details, and construction notes will be added to this plan after the Design Review process is completed, and any conditions of approval can be addressed.

For Design Review Only

REVISIONS	BY

White & Prescott
 CIVIL ENGINEERS
 & LAND SURVEYORS
 1400 Grand Ave. • Novato, CA 94945 • (415) 506-4288



M. Prescott

Panahi Residence
 153 Richardson Dr., Mill Valley, CA
 Drainage Plan—Roof and Subdrains.

AP#	043-071-14
DATE	
SCALE	As Shown
DRAWN	M.P.
JOB	22-501
SHEET	C1
OF	1 SHEETS



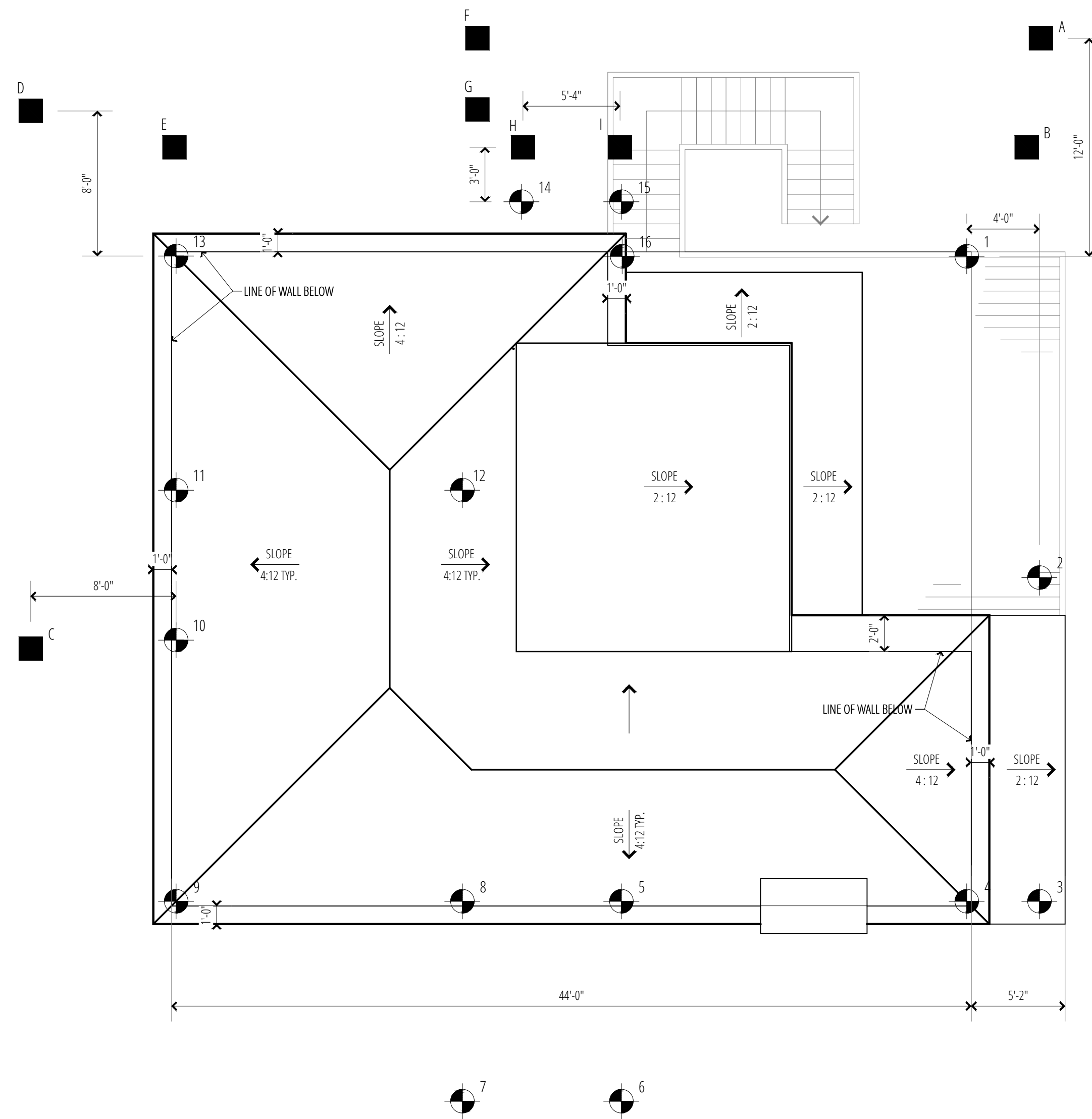
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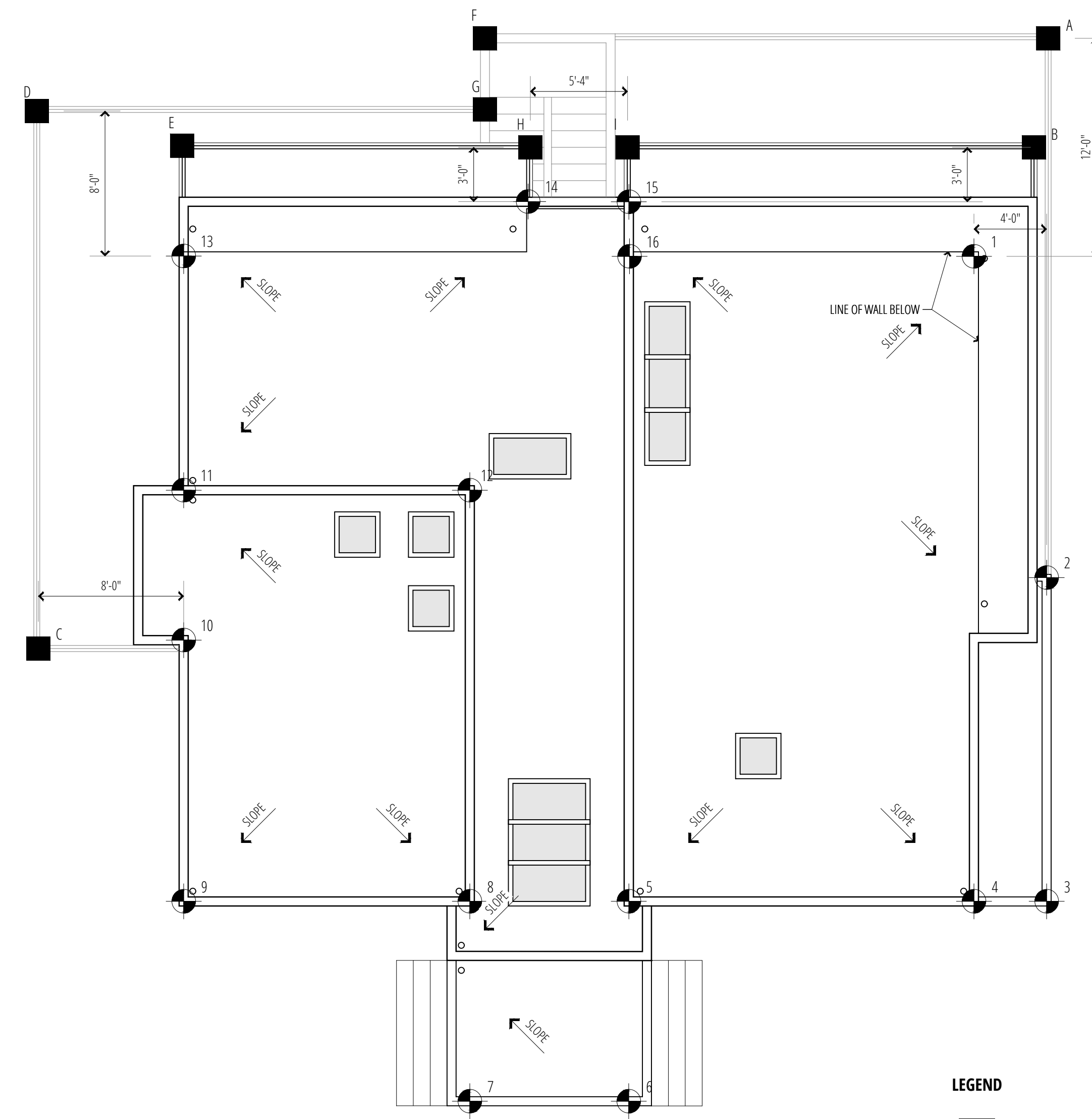
Date	No.	Issue Notes
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Date	Delta	Revision Notes
	△	
	△	

STORY POLE PLAN				
POLE # BLDG	POLE LOCATION	PROPOSED BLDG ELEV.	GRADE OR (E) BLDG ELEV.	POLE LENGTH
1	FAMILY ROOM ROOF	110.54	84.0	26' - 6 1/2"
2	BEDROOM # ROOF	98.04	84.0	14' - 1/2"
3	BEDROOM # ROOF	98.04	92.2	5' - 10"
4	BEDROOM # ROOF	110.54	92.2	18' - 4"
5	ENTRY HALL ROOF	110.54	92.2	18' - 4"
6	ENTRY PORCH ROOF	98.04	83.1	14' - 11"
7	ENTRY PORCH ROOF	98.04	83.2	14' - 10"
8	ENTRY HALL ROOF	110.54	92.2	18' - 4"
9	BEDROOM # ROOF	110.54	92.2	18' - 4"
10	BATH # ROOF	110.54	92.2	18' - 4"
11	BATH # ROOF	110.54	92.2	18' - 4"
12	POWDER ROOM ROOF	110.54	95.2	15' - 4"
13	BEDROOM # ROOF	109.54	92.2	17' - 4"
14	BEDROOM # CLOSE ROOF	109.54	92.2	17' - 4"
15	BATH # ROOF	109.54	92.2	17' - 4"
16	FAMILY ROOM ROOF	110.54	92.2	18' - 4"

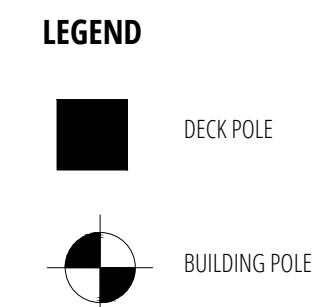
POLE LETTER DECK				
A	LIVING ROOM DECK RAIL	89.54	67.8	21' - 9"
B	FAMILY ROOM DECK RAIL	101.54	71.0	30' - 6 1/2"
C	KITCHEN DECK RAIL	89.54	76.2	13' - 4"
D	KITCHEN DECK RAIL	89.54	74.7	14' - 10"
E	BEDROOM # DECK RAIL	101.54	75.0	26' - 6 1/2"
F	EXTERIOR STAIR RAIL	89.54	71.0	18' - 6 1/2"
G	EXTERIOR STAIR RAIL	89.54	72.2	17' - 4"
H	BEDROOM # DECK RAIL	101.54	73.9	27' - 7 3/4"
I	FAMILY ROOM DECK RAIL	101.54	73.5	28' - 1/2"



1 (E) ROOF PLAN
A1.2 SCALE: 3/16" = 1'-0"



2 (P) ROOF PLAN
A1.2 SCALE: 3/16" = 1'-0"



153 RICHARDSON-PANAHI RESIDENCE
AP # 043-071-14
Story Pole Plan

153 RICHARDSON DR.
MILL VALLEY, CA 94541

Drawn By: UR Studio

Date: 04/20/2022

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A1.2

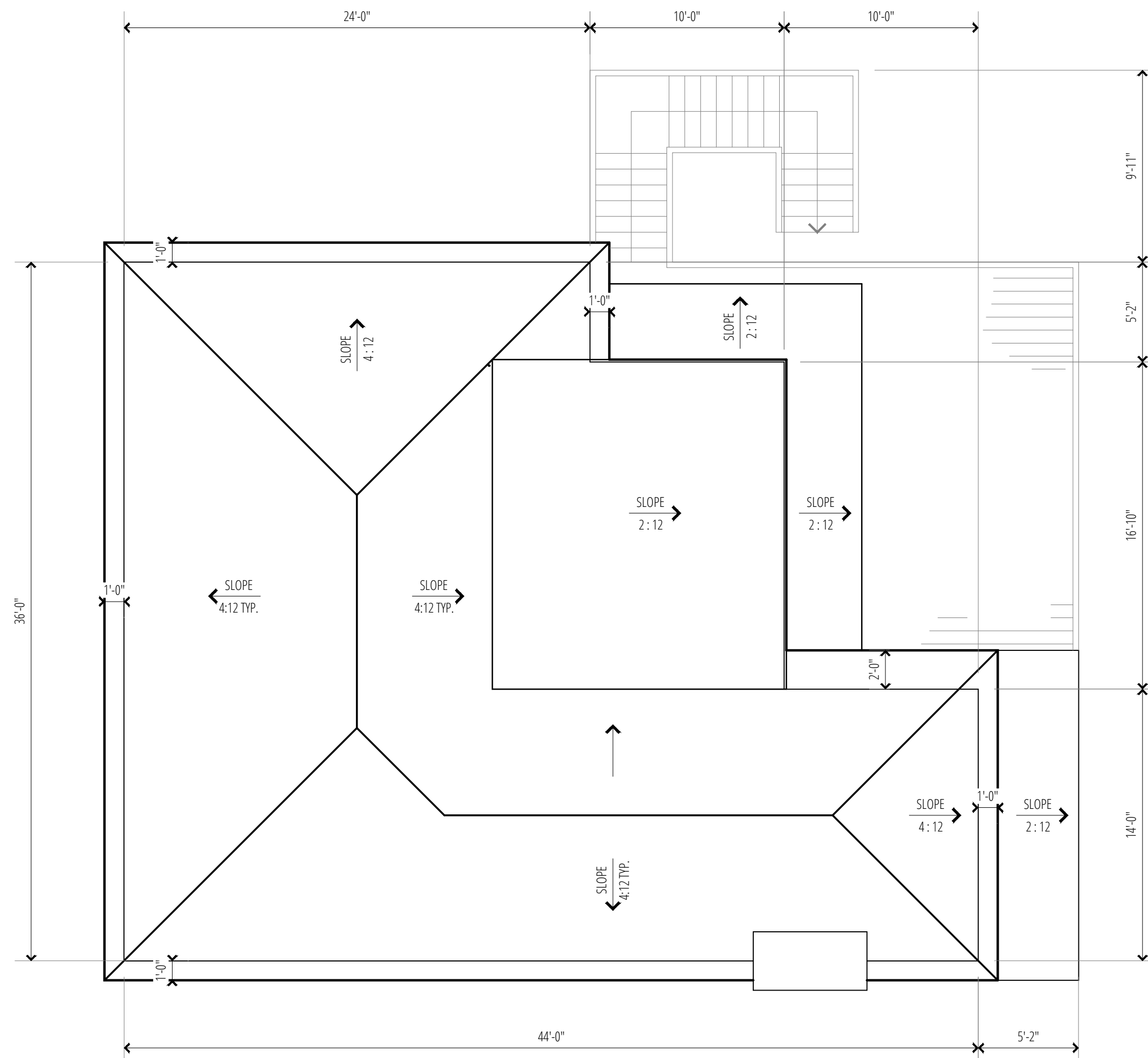


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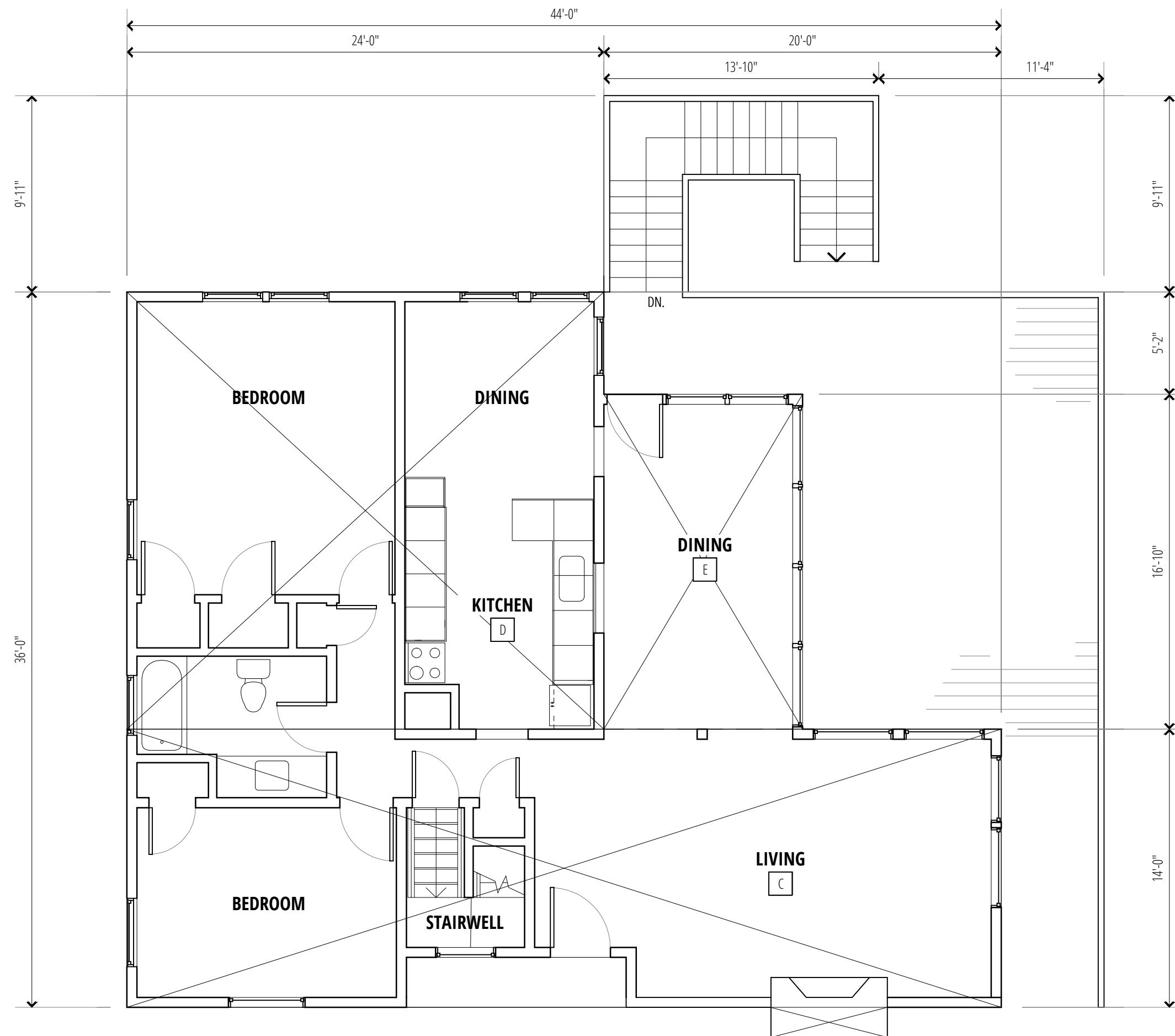
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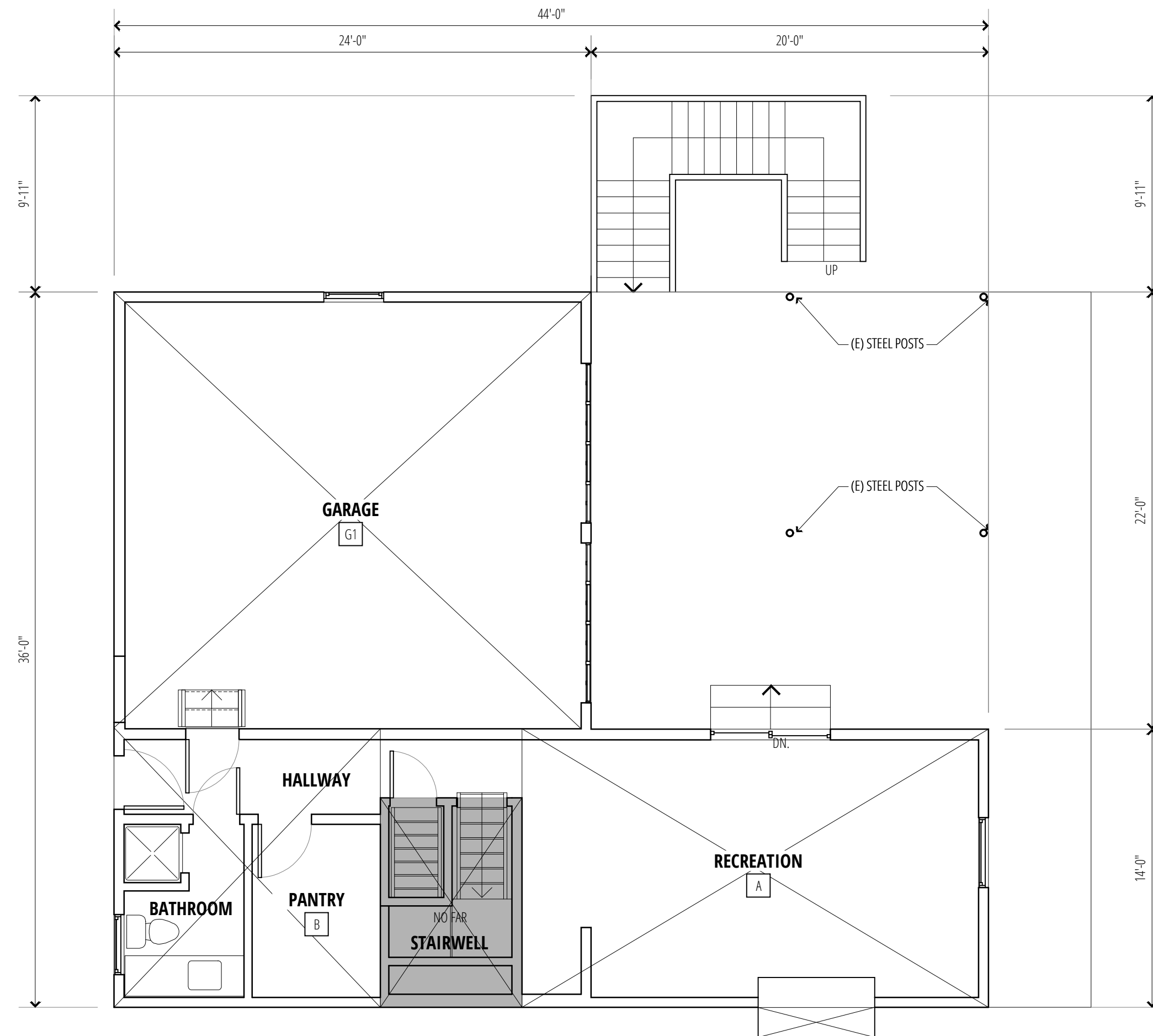
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	△	
	△	



(E) ROOF PLAN
3
A1.3 SCALE: 3/16" = 1'-0"



(E) MAIN LEVEL
2
A1.3 SCALE: 3/16" = 1'-0"



(E) LOWER LEVEL
1
A1.3 SCALE: 3/16" = 1'-0"

LOWER LEVEL AREA CALCULATIONS		
SPACE	DIMENSIONS	FLOOR AREA
A RECREATION	14'-0" x 23'-6"	328 SF
B PANTRY HALLWAY BATHROOM	13'-5" x 14'-0"	188 SF
TOTAL		516 SF

MAIN LEVEL AREA CALCULATIONS		
SPACE	DIMENSIONS	FLOOR AREA
C LIVING BEDROOM	21'-7" x 4'-8"	616 SF
D KITCHEN DINING BEDROOM	21'-7" x 4'-8"	528 SF
E DINING	21'-7" x 4'-8"	169 SF
TOTAL		1,313 SF

GARAGE LEVEL AREA CALCULATIONS		
SPACE	DIMENSIONS	FLOOR AREA
G1 GARAGE	24'-0" x 22'-0"	528 SF
TOTAL		528 SF

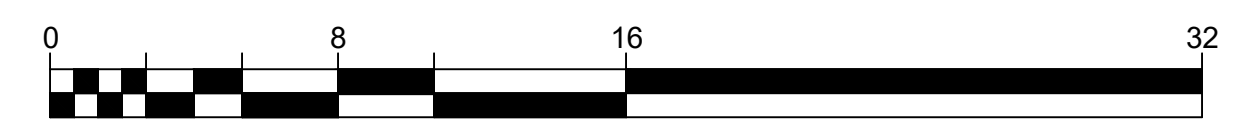
NOTE: *AREA NOT INCLUDED IN TOTAL

FAR CALCULATIONS	
SPACE	FLOOR AREA
GARAGE	528 SF
LOWER LEVEL	516 SF
MAIN LEVEL	1,313 SF
GROSS FLOOR AREA	2,357 SF
GARAGE EXEMPTION	-528 SF
ADJUSTED FLOOR AREA	1,829 SF
LOT SIZE	10,290 SF
EXISTING FAR	0.18
TOTAL DECK AREA	457 SF

LEGEND

COUNTED AS FLOOR AREA

NOT COUNTED AS FLOOR AREA



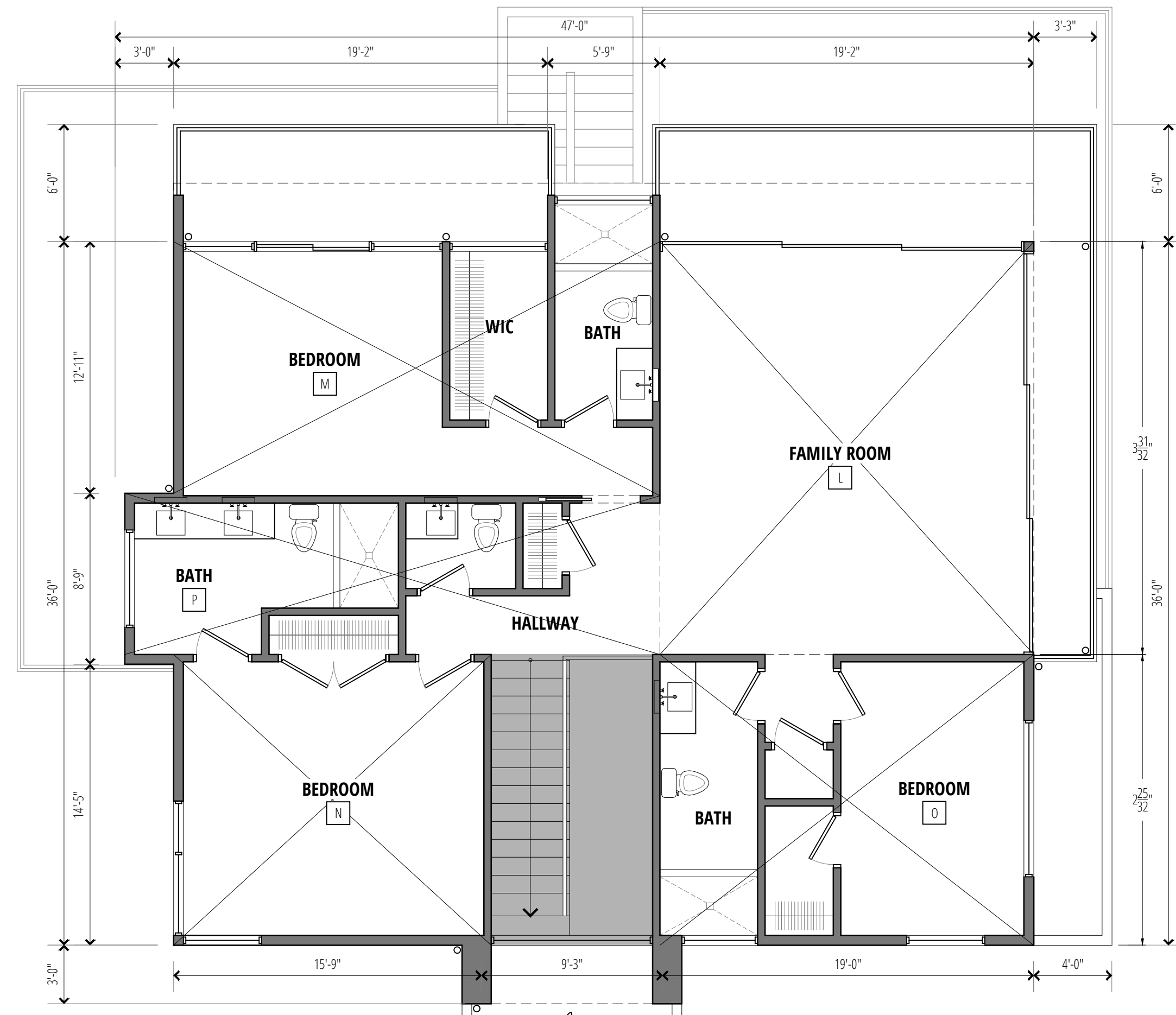
153 RICHARDSON-PANAHI RESIDENCE
AP # 043-071-14
(E) FAR

153 RICHARDSON DR.
MILL VALLEY, CA 94541

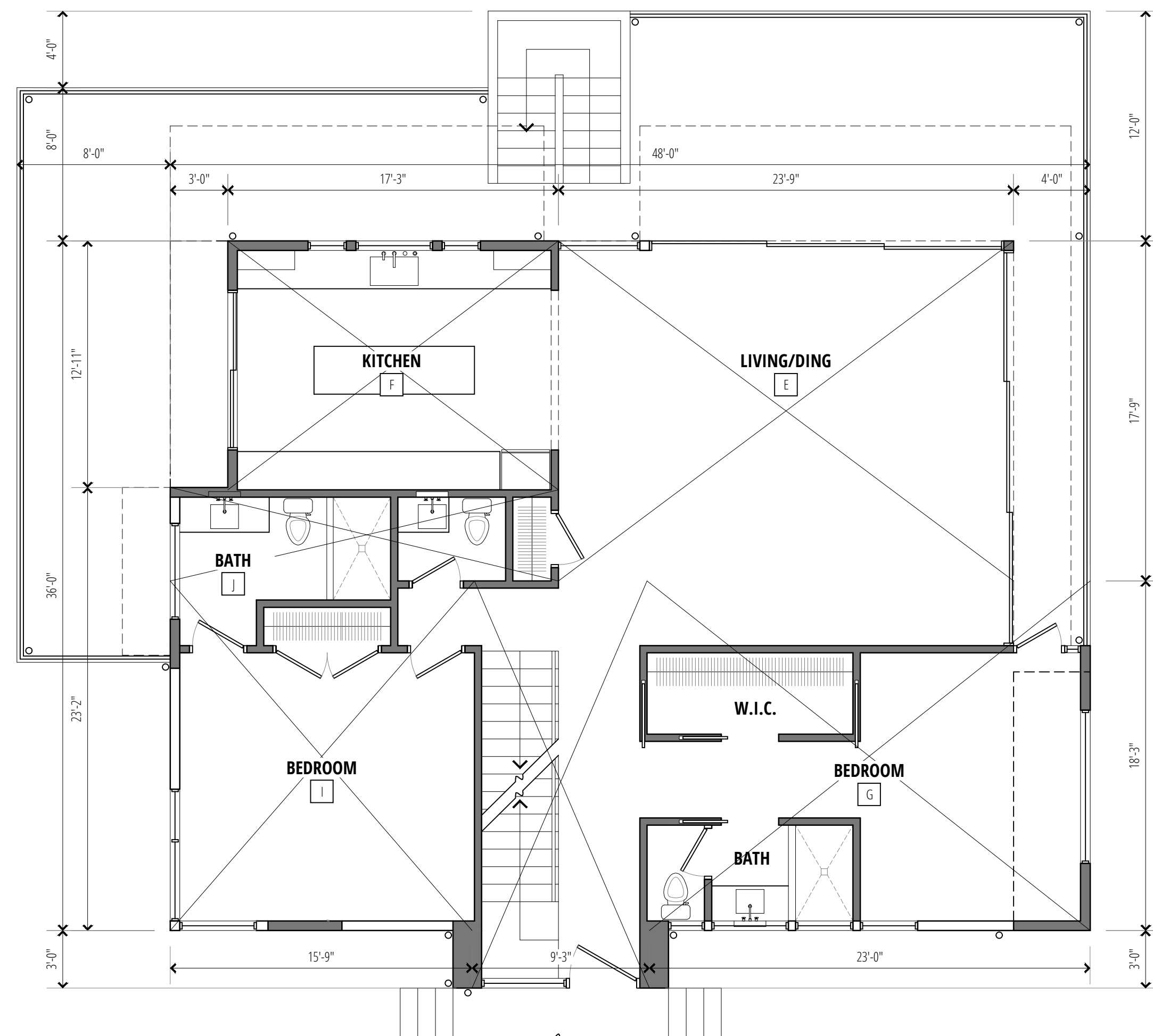
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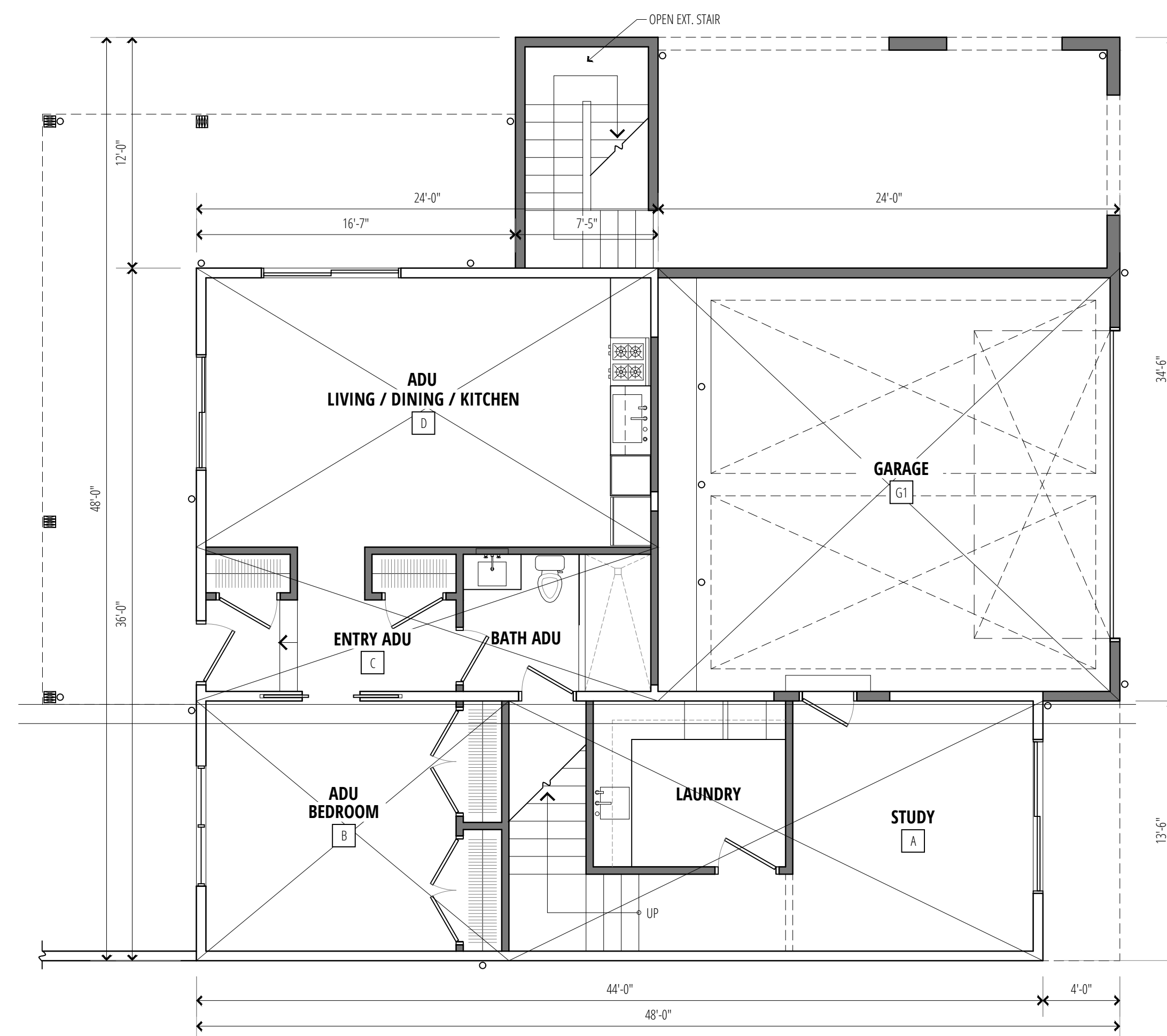
A1.3



3 (P) UPPER FLOOR
SCALE: 3/16" = 1'-0"



2 (P) MIDDLE FLOOR
SCALE: 3/16" = 1'-0"



1 (P) LOWER FLOOR
SCALE: 3/16" = 1'-0"

LOWER FLOOR AREA CALCULATIONS			
SPACE	DIMENSIONS	FLOOR AREA	
A	LAUNDRY	13'-6" x 27'-9"	375 SF
B	BEDROOM ADU	13'-6" x 16'-3"	219 SF
C	BATH ADU ENTRY ADU	8'-0" x 24'-0"	192 SF
D	LIVING ADU DINING ADU KITCHEN ADU	14'-6" x 24'-0"	348 SF
TOTAL		1,134 SF	

MIDDLE FLOOR AREA CALCULATIONS			
SPACE	DIMENSIONS	FLOOR AREA	
E	LIVING DINING	23'-9" x 17'-9"	422 SF
F	KITCHEN	13'-0" x 17'-3"	224 SF
G	BEDROOM BATH WALK IN CLOSET	23'-0" x 18'-3"	422 SF
H	STAIRWELL HALLWAY	9'-3" x 21'-3"	197 SF
I	BEDROOM	15'-9" x 18'-3"	287 SF
J	BATH	20'-3" x 4'-9"	99 SF
TOTAL		1,651 SF	

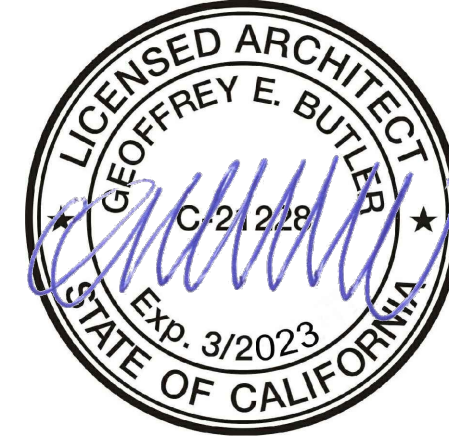
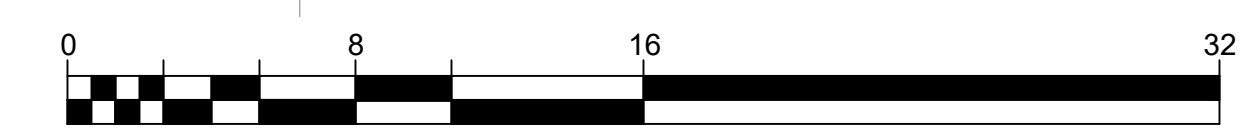
UPPER FLOOR AREA CALCULATIONS			
SPACE	DIMENSIONS	FLOOR AREA	
L	FAMILY ROOM	21'-1 1/2" x 19'-1 1/2"	404 SF
M	BEDROOM BATH WALK IN CLOSET	14'-10 1/2" x 19'-1 1/2"	323 SF
N	BEDROOM	14'-10 1/2" x 16'-3"	242 SF
O	BEDROOM BATH	13'-4 1/2" x 24'-10 1/2"	284 SF
P	BATH HALLWAY	27'-4 1/2" x 7'-9"	222 SF
TOTAL		1,475 SF	

GARAGE LEVEL AREA CALCULATIONS			
SPACE	DIMENSIONS	FLOOR AREA	
G1	GARAGE	24'-0" x 22'-6"	540 SF
TOTAL		540 SF	

NOTE: AREA NOT INCLUDED IN TOTAL

FAR CALCULATIONS		
SPACE	FLOOR AREA	
GARAGE	540 SF	
LOWER FLOOR	1,134 SF	
MIDDLE FLOOR	1,651 SF	
TOP FLOOR	1,475 SF	
GROSS FLOOR AREA		4,800 SF
GARAGE EXEMPTION		-540 SF
ADJUSTED FLOOR AREA		4,260 SF
LOT SIZE		10,290 SF
ADU FAR		
PRIMARY RES. FAR		
PROPOSED FAR TOTAL		0.41
TOTAL DECK AREA		1,115 SF

LEGEND	
	COUNTED AS FLOOR AREA
	NOT COUNTED AS FLOOR AREA



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153 RICHARDSON-PANAHI RESIDENCE
AP # 043-071-14
(P) FAR
153 RICHARDSON DR.
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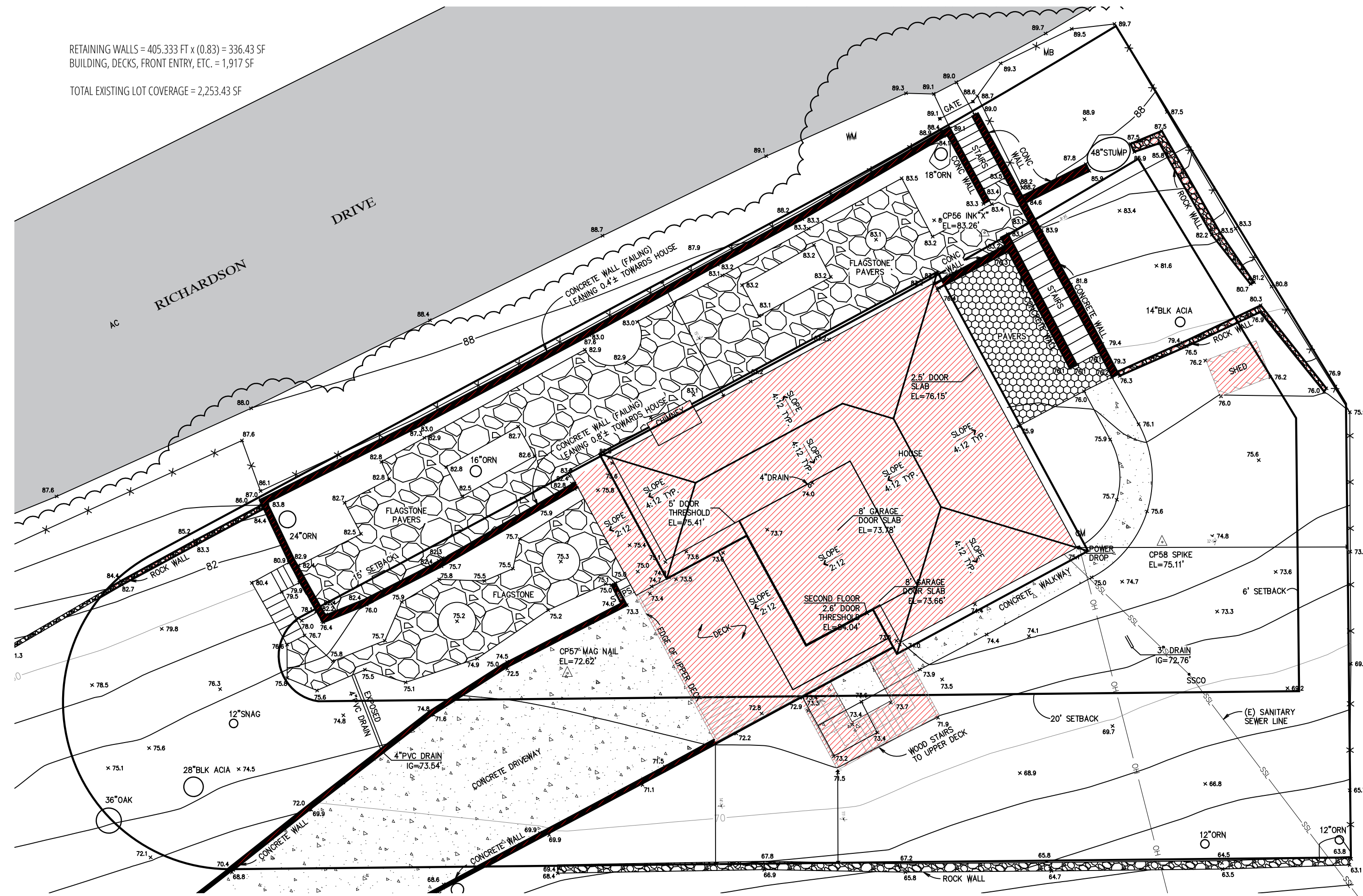
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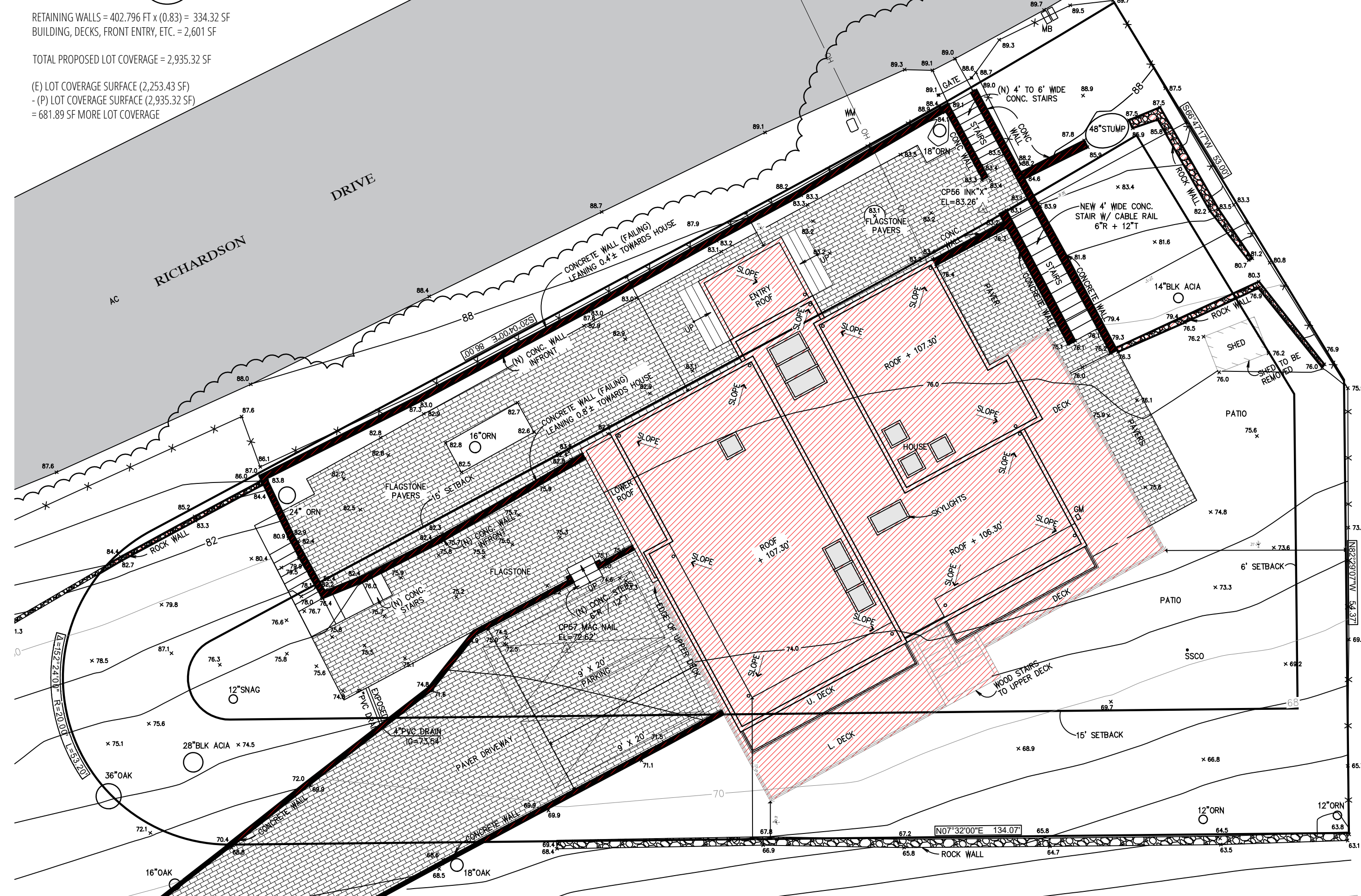
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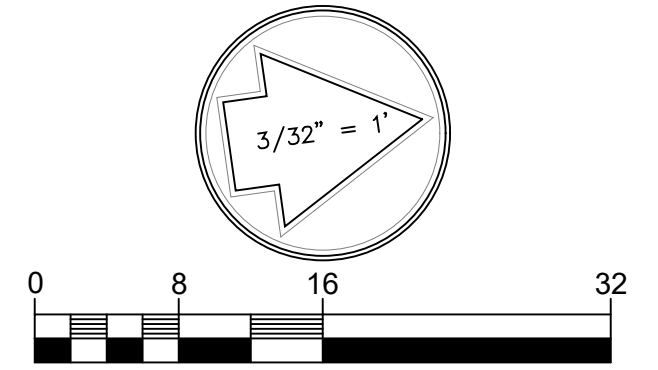
1 (E) LOT COVERAGE PLAN - SHOWN SHADED
SCALE: 3/32" = 1'-0"



2 (P) LOT COVERAGE PLAN - SHOWN SHADED
SCALE: 3/32" = 1'-0"

RETAINING WALLS = 405,333 FT x (0.83) = 336.43 SF
BUILDING, DECKS, FRONT ENTRY, ETC. = 1,917 SF
TOTAL EXISTING LOT COVERAGE = 2,253.43 SF

RETAINING WALLS = 402,796 FT x (0.83) = 334.32 SF
BUILDING, DECKS, FRONT ENTRY, ETC. = 2,601 SF
TOTAL PROPOSED LOT COVERAGE = 2,935.32 SF
(E) LOT COVERAGE SURFACE (2,253.43 SF)
(P) LOT COVERAGE SURFACE (2,935.32 SF)
= 681.89 SF MORE LOT COVERAGE



153 RICHARDSON-PANAHI RESIDENCE
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(E)+(P) Lot Coverage

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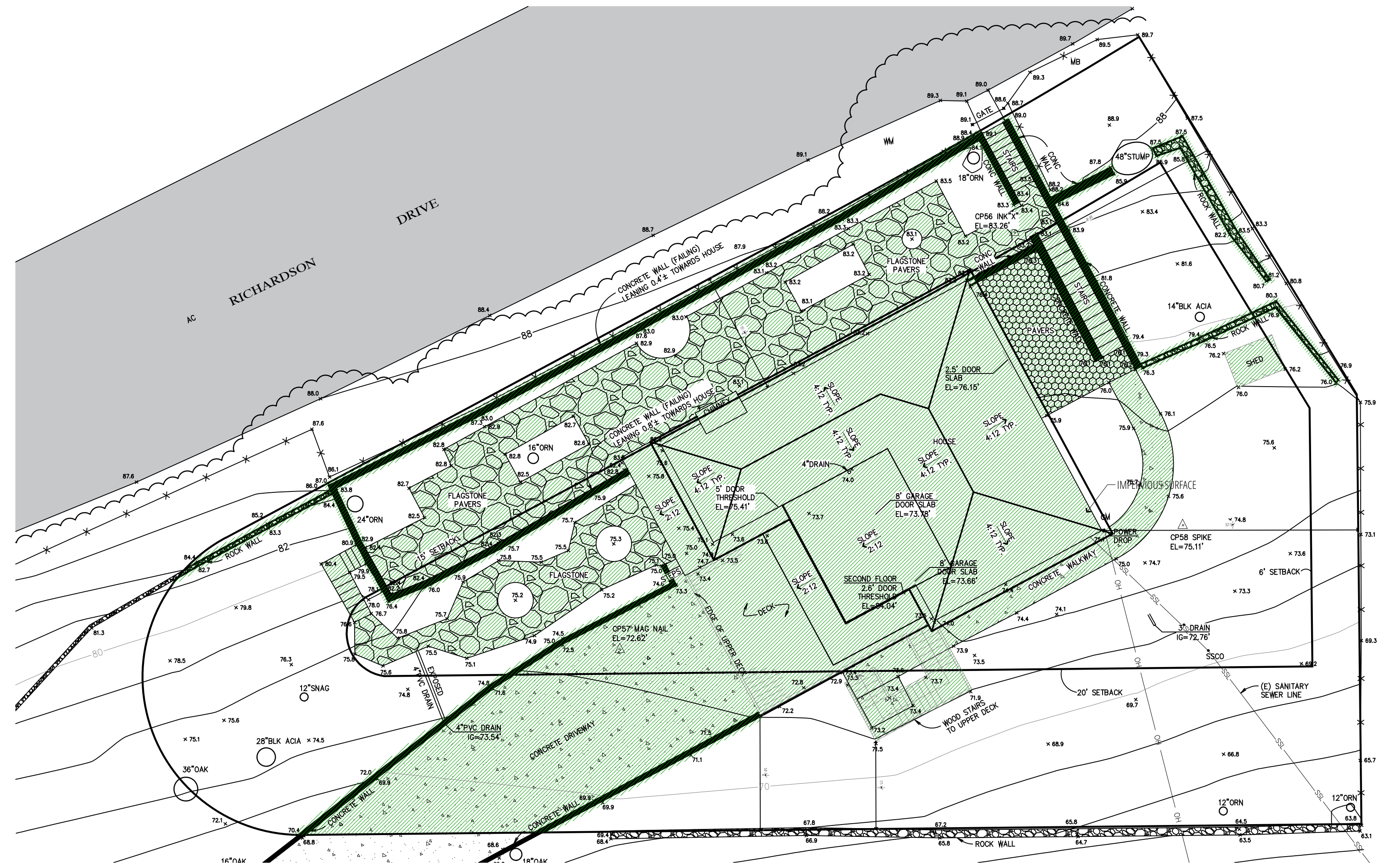


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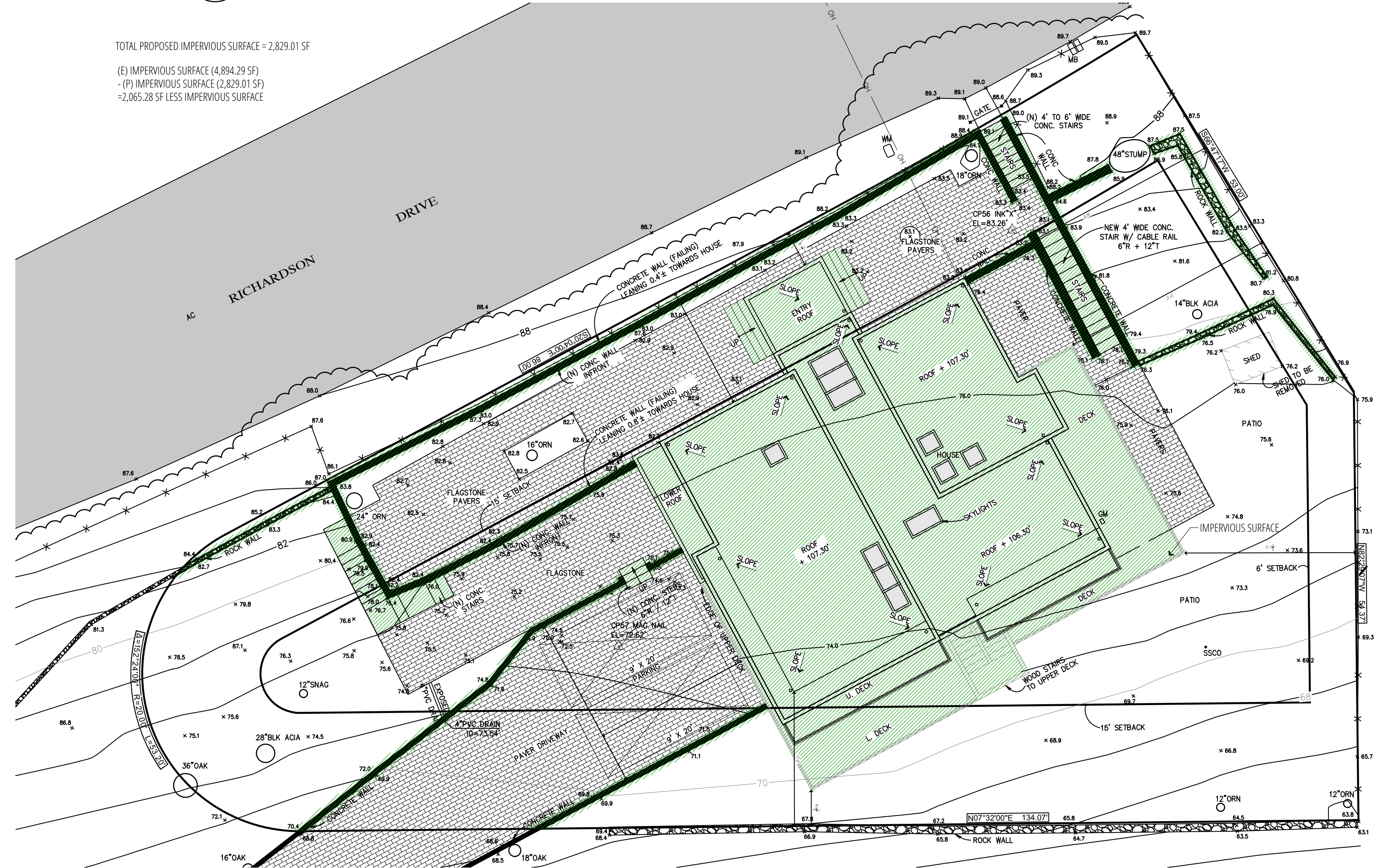
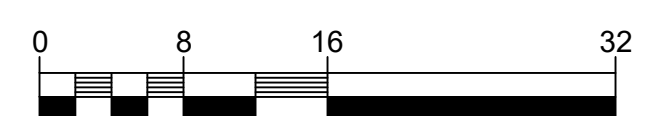
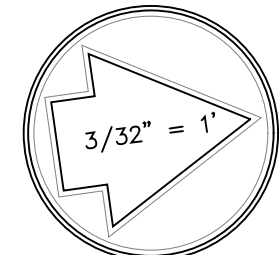
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1 (E) IMPERVIOUS SURFACE PLAN - SHOWN SHADED
A1.6 SCALE: 3/32" = 1'-0"

TOTAL PROPOSED IMPERVIOUS SURFACE = 2,829.01 SF
(E) IMPERVIOUS SURFACE (4,894.29 SF)
(P) IMPERVIOUS SURFACE (2,829.01 SF)
= 2,065.28 SF LESS IMPERVIOUS SURFACE



1 (P) IMPERVIOUS SURFACE PLAN - SHOWN SHADED
A1.6 SCALE: 3/32" = 1'-0"

153 RICHARDSON-PANAHI RESIDENCE
AP # 043-071-14
(E)+(P) Impervious Surface

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HAZARD ZONES

IMMEDIATE ZONE (ZONE 0) 0' - 5'
THE IMMEDIATE ZONE EXTENDS 0-5' FROM YOUR HOUSE. ZONE 0 IS THE AREA CLOSEST TO YOUR HOUSE, INCLUDING THE STRUCTURE ITSELF, DECKS, OUTDOOR FURNITURE, AND THE OUTSIDE WALLS AND COVERINGS. THIS AREA IS MOST VULNERABLE, AND SHOULD BE MOST AGGRESSIVELY MAINTAINED FOR FIRE RESISTANCE.

- REMOVE ANY COMBUSTIBLE OUTDOOR FURNITURE.
- REPLACE JUTE OR FIBER DOOR MATS WITH FIRE RESISTANT MATERIALS.
- REMOVE OR RELOCATE ALL COMBUSTIBLE MATERIALS, INCLUDING GARBAGE AND RECYCLING CONTAINERS, LUMBER, TRASH, AND PATIO ACCESSORIES.
- CLEAN ALL FALLEN LEAVES AND NEEDLES REGULARLY. REPEAT OFTEN DURING FIRE SEASON.
- NO VEGETATION IS RECOMMENDED WITHIN 5' OF STRUCTURES.
- REMOVE TREE LIMBS THAT EXTEND INTO THIS ZONE. FIRE-PRONE TREE VARIETIES SHOULD BE REMOVED IF THEY EXTEND WITHIN 5' OF STRUCTURES.
- DO NOT STORE FIREWOOD, LUMBER, OR COMBUSTIBLES HERE, EVEN (ESPECIALLY) UNDER DECKS OR OVERHANGS. MOVE STORED COMBUSTIBLE INSIDE, OR AT LEAST 30' AWAY FROM STRUCTURES.
- USE ONLY INORGANIC, NON-COMBUSTIBLE MULCHES SUCH AS STONE OR GRAVEL.

INTERMEDIATE ZONE (ZONE 1) 5' - 30'
THE INTERMEDIATE ZONE FROM 5' TO 30' OUT FROM BUILDINGS, STRUCTURES, DECKS, ETC. KEEP ZONE 1 "LEAN, CLEAN, AND GREEN" AND EMPLOY CAREFUL LANDSCAPING TO CREATE BREAKS THAT CAN HELP INFLUENCE AND DECREASE FIRE BEHAVIOR.

- REMOVE ALL DEAD PLANTS, GRASS, AND WEEDS (VEGETATION).
- REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES FROM YOUR YARD, ROOF AND RAIN GUTTERS.
- TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
- REMOVE BRANCHES THAT HANG OVER YOUR ROOF AND KEEP DEAD BRANCHES 10 FEET AWAY FROM YOUR CHIMNEY.
- REMOVE VEGETATION AND ITEMS THAT COULD CATCH FIRE FROM AROUND AND UNDER DECKS.
- REMOVE FIRE-PRONE PLANTS, AND CHOOSE ONLY FIRE-RESISTANT VARIETIES. IRRIGATE REGULARLY.
- REMOVE LIMBS TO A HEIGHT OF 10' ABOVE THE GROUND (OR 1/3 THE HEIGHT OF THE TREE) TO PROVIDE CLEARANCE AND TO ELIMINATE A "FIRE LADDER".
- USE ONLY INORGANIC, NON-COMBUSTIBLE MULCHES SUCH AS STONE OR GRAVEL. COMPOSTED MULCH AND LARGE BARK AND CHIPS (GREATER THAN 1/2" DIAMETER) MAY BE OK.

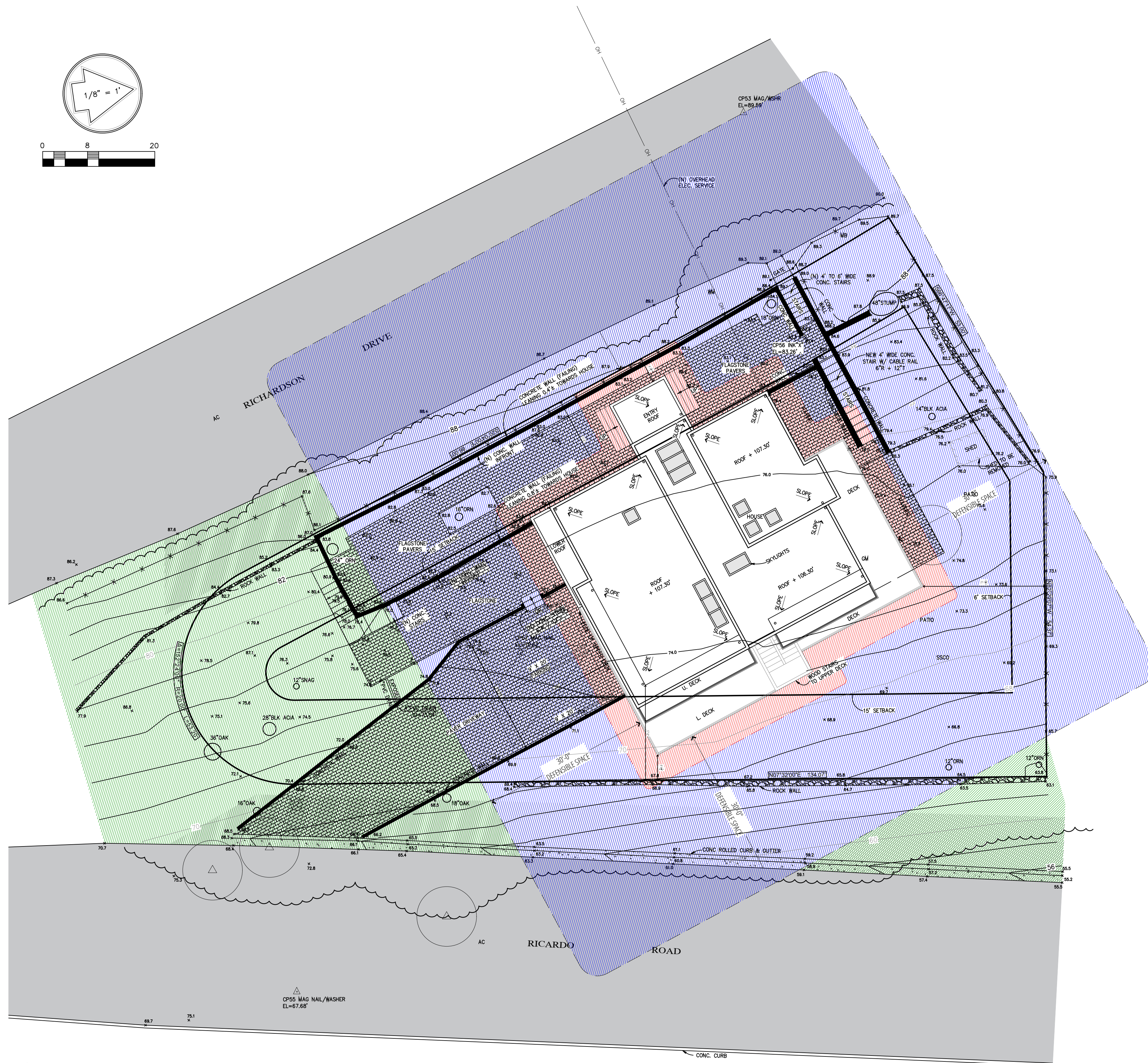
EXTENDED ZONE (ZONE 2) 30' - 100'
THE EXTENDED ZONE FROM 30' TO 100' (OR MORE, IF REQUIRED DUE TO STEEP SLOPES, NEARBY VEGETATION CONDITIONS, AND/OR YOUR LOCAL FIRE DEPARTMENT), THE GOAL HERE IS NOT TO ELIMINATE FIRE BUT TO INTERRUPT FIRE'S PATH AND KEEP FLAMES SMALLER AND ON THE GROUND. THIS ZONE SHOULD INCLUDE AT A MINIMUM:

- CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
- CREATE HORIZONTAL SPACING BETWEEN SHRUBS, TREES AND VERTICAL SPACING BETWEEN GRASS, SHRUBS AND TREES.
- REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES, AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES IF EROSION CONTROL IS AN ISSUE.

ACCESS ZONE (ZONE 4) 0' - 10'
EXTENDS 10 FEET HORIZONTALLY FROM THE EDGE ON EITHER SIDE OF THE ROAD OR DRIVEWAY.
• WITHIN THIS ZONE, PLANTINGS SHALL BE FIRE RESISTANT AND SHALL NOT EXTEND WITHIN THE 14 FOOT VERTICAL
• CLEARANCE ABOVE THE SURFACE OF THE ROADWAY OR DRIVEWAY, AS REQUIRED FOR EMERGENCY ACCESS.
• ALL LANDSCAPE SHALL MEET THE REQUIREMENTS FOR SEPARATION AS STATED IN THE ZONE 2 ABOVE

VMP NARRATIVE

- Existing Conditions**
There are currently a variety of medium to large shrubs such as Toyon and Coffee Berry, various fruit trees, mature coast redwood, a number of black acacia, coast live oaks and jacaranda. There is an abundance of low ground cover and ivy.
- Proposed Scope**
The intent of the VMP and landscape plans is to maintain the mature trees with selective pruning and removal of all dead material per fire wise standards. New native screening will supplement the restored or removed screening. Fire prone species will be removed. Existing shrubs will be thinned or removed to provide a fire break from 0'-30' from the home. New FIREsafe Marin trees are proposed in various locations to further screen the home from neighbors.
- Future Planting**
Any further plantings throughout the site will include fire-resistant, irrigated shrubs, perennials and ground covers as in the FIREsafe Marin planting lists located at www.firesafemarin.org/plants.
- Long Term Maintenance Schedule and Safety Practices**
 - All fire prone fuels and dead material will be removed within 100' of the home.
 - Remove branches beneath large trees for a 6'-minimum clearance.
 - Needles and leaves and other combustible debris and litter shall be removed from roofs and gutter at minimum twice yearly.
 - All weeds and grasses shall be cut regularly to a height of 4" or less.
 - Vegetation shall be trimmed to within 10' horizontally of roadways, and trees shall be trimmed not to overhang roadways and provide 14' of clearance vertically.
 - All dead and dying vegetation shall be removed seasonally to reduce vegetation volume and ladder fuels.
 - Coordinate with adjacent property owners to maintain tree canopies, vegetation, and ladder fuels on an annual basis.
 - No native grasses shall be planted within home ignition zones 1 and 2.
 - All planted areas inside ignition zones 1 and 2 shall be irrigated.
 - All plantings shall be selected in coordination with FIREsafe Marin planting list located at www.firesafemarin.org/plants. Other fire-resistant plants can be utilized with prior approval of the Fire Code Official.
 - Regardless of plant selection, shrubs shall be spaced so that no continuity exists between ground fuels and tree crowns, such that a ground fire will not extend into the tree canopy.



1 VEGETATION MANAGEMENT PLAN
A1.7 SCALE: 3/32" = 1'-0"

VEGETATION MGMT. LEGEND

	TREES		SHRUBS		HARDSCAPE
	TREES TO BE REMOVED		CONCRETE PAVING		

VMP PLANT LIST

(E) TREES TO REMAIN SEQUOIA SEMPERVIRENS - COAST REDWOOD ACACIA MELANIXYLON - BLACK ACACIA OVERCUS AQRFOLIA - COAST LIVE OAK JACARANDA MIMOSIFOLIA - JACARANDA	(E)+(N) TALL NATIVE SCREENING HETEROMELES ARBUTIFOLIA - TOYON RHAMNUS CALIFORNICA - COFFEE BERRY CEANOTHUSTHYRSIFLORUS - CALIFORNIAN LILAC CERCIS OCCIDENTALIS - WESTERN REDBUD
(N) TREES LAGUNARIA PATERSONII - PRIMROSE ARBUTUS MARINA - ARBUTUS TRISTANIOPSIS LAURINA - WATER GUM CELTIS RETICULATA - WESTER HACKBERRY BUTIA CAPITATA - JELLY PALM SYAGRUS ROMANZOFFIANA - QUEEN PALM	(N) LOW SCREENING BERBERIS AQUIFOLIUM - OREGON GRAPE HOLLY CARPENTERIA CALIFORNICA - BUSH ANEMONE PRUNUS LYONII - CARACUNA CHERRY RHAPHIOLEPIS INDICA - INDIAN HAWTHORN NON-COMBUSTIBLE MULCH 50% SOIL - BASED (3" MIN)

153 RICHARDSON-PANAHI RESIDENCE
AP # 043-071-14
Vegetation Management Plan

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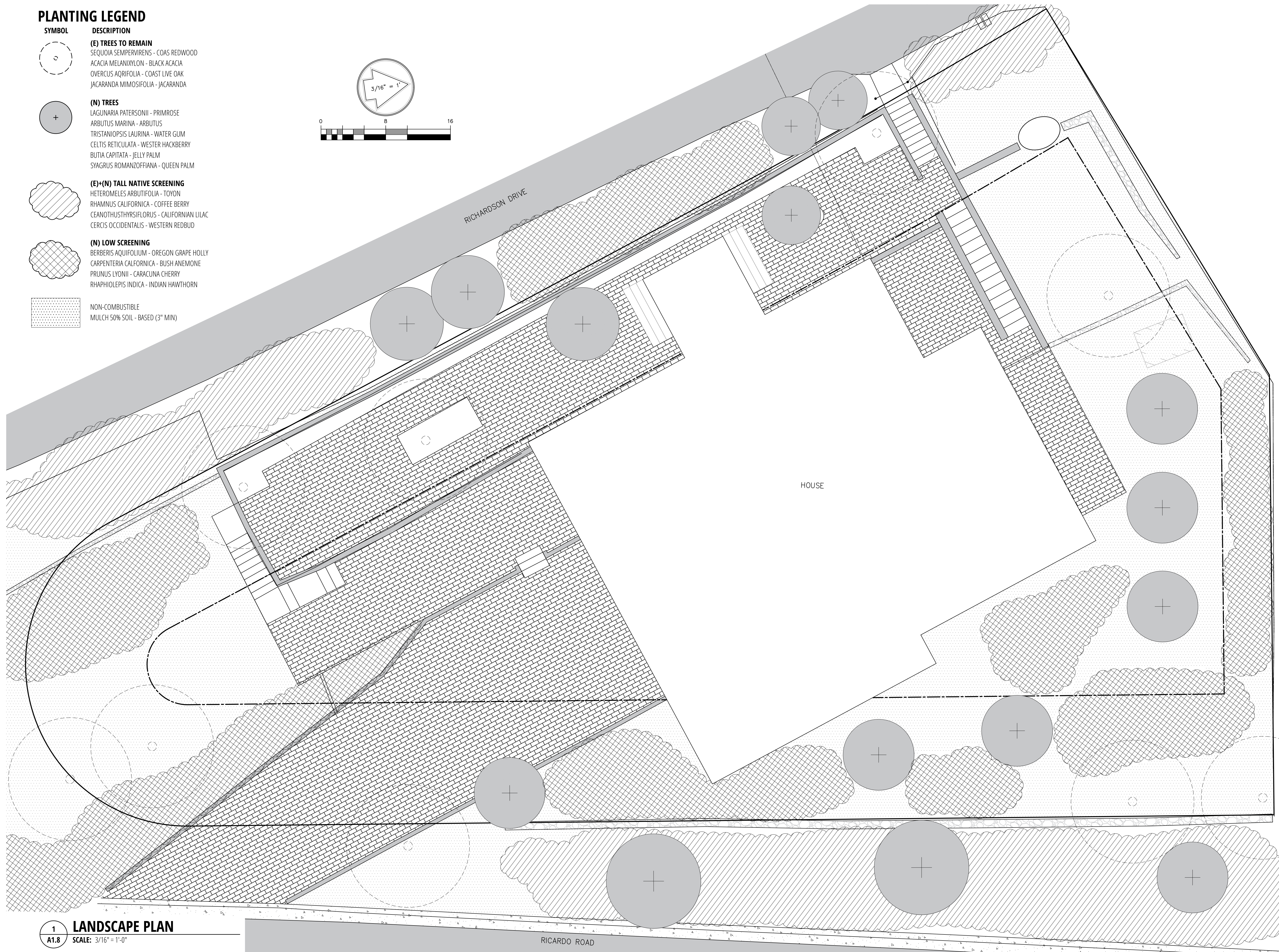
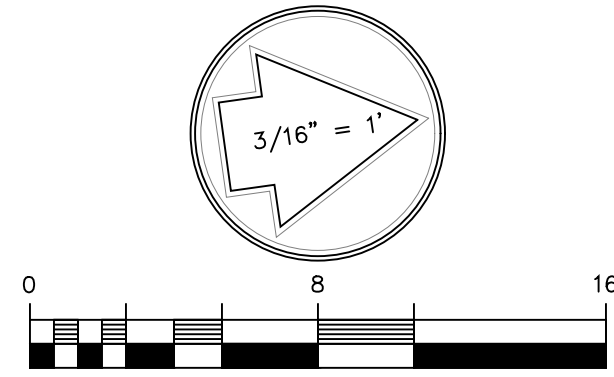
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A1.7

PLANTING LEGEND

- | SYMBOL | DESCRIPTION |
|---|---|
| (E) TREES TO REMAIN | SEQUIOIA SEMPERVIRENS - COAS REDWOOD
ACACIA MELANIXYLON - BLACK ACACIA
OVERCUS AQRIFOLIA - COAST LIVE OAK
JACARANDA MIMOSIFOLIA - JACARANDA |
| (N) TREES | LAGUNARIA PATERSONII - PRIMROSE
ARBUTUS MARINA - ARBUTUS
TRISTANIOPSIS LAURINA - WATER GUM
CELTIS RETICULATA - WESTER HACKBERRY
BUTIA CAPITATA - JELLY PALM
SYAGRUS ROMANZOFFIANA - QUEEN PALM |
| (E)+(N) TALL NATIVE SCREENING | HETEROMELES ARBUTIFOLIA - TOYON
RHAMNUS CALIFORNICA - COFFEE BERRY
CEANOTHUSTHYRSIFLORUS - CALIFORNIAN LILAC
CERCIS OCCIDENTALIS - WESTERN REDBUD |
| (N) LOW SCREENING | BERBERIS AQUIFOLIUM - OREGON GRAPE HOLLY
CARPENTERIA CALIFORNICA - BUSH ANEMONE
PRUNUS LYONII - CARACUNA CHERRY
RHAPHIOLEPIS INDICA - INDIAN HAWTHORN |
| NON-COMBUSTIBLE MULCH 50% SOIL - BASED (3" MIN) | |



1 LANDSCAPE PLAN
A1.8 SCALE: 3/16" = 1'-0"



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153 RICHARDSON-PANAHI RESIDENCE
AP # 043-071-14
Landscape Plan
153 RICHARDSON DR.
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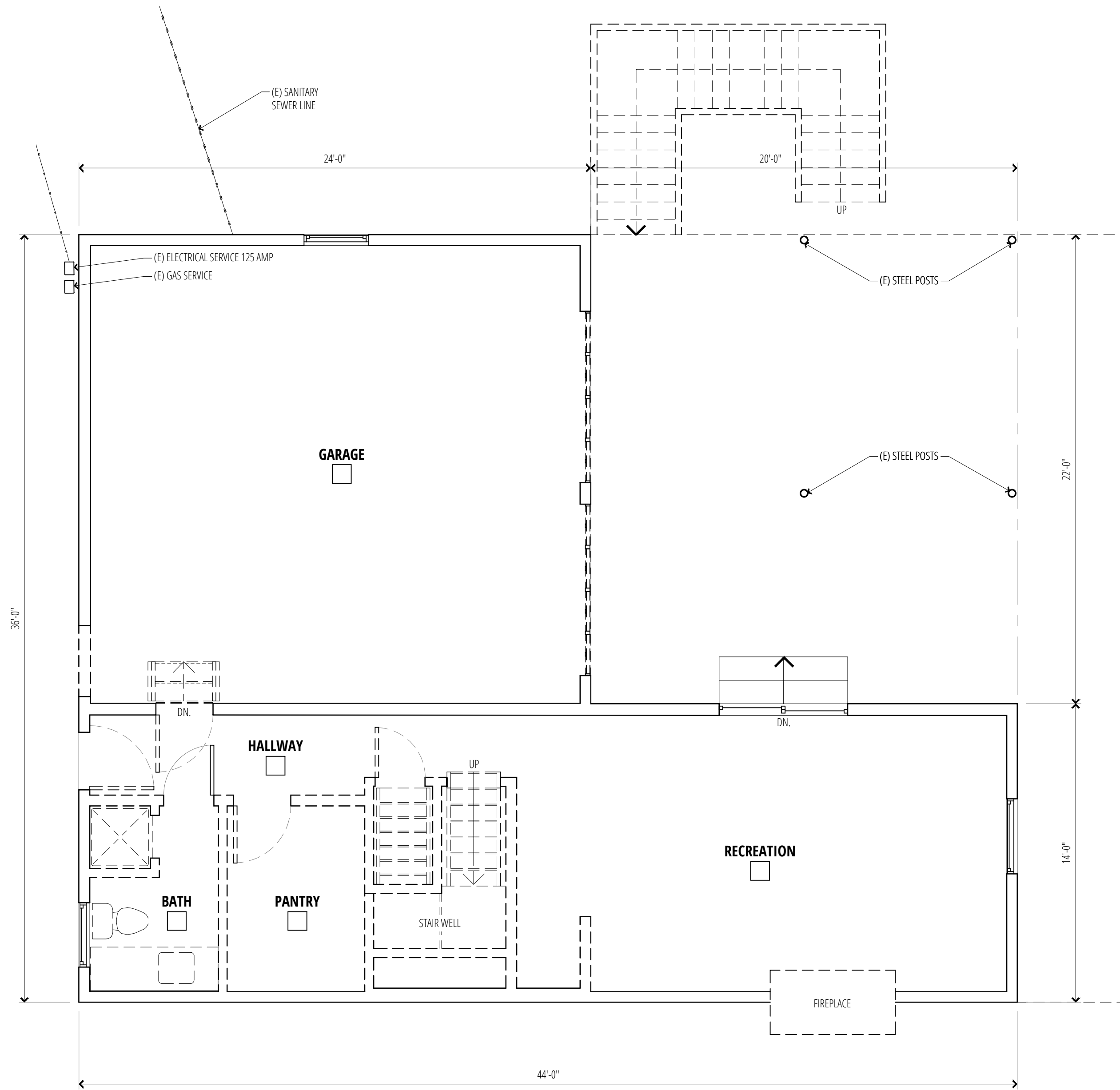
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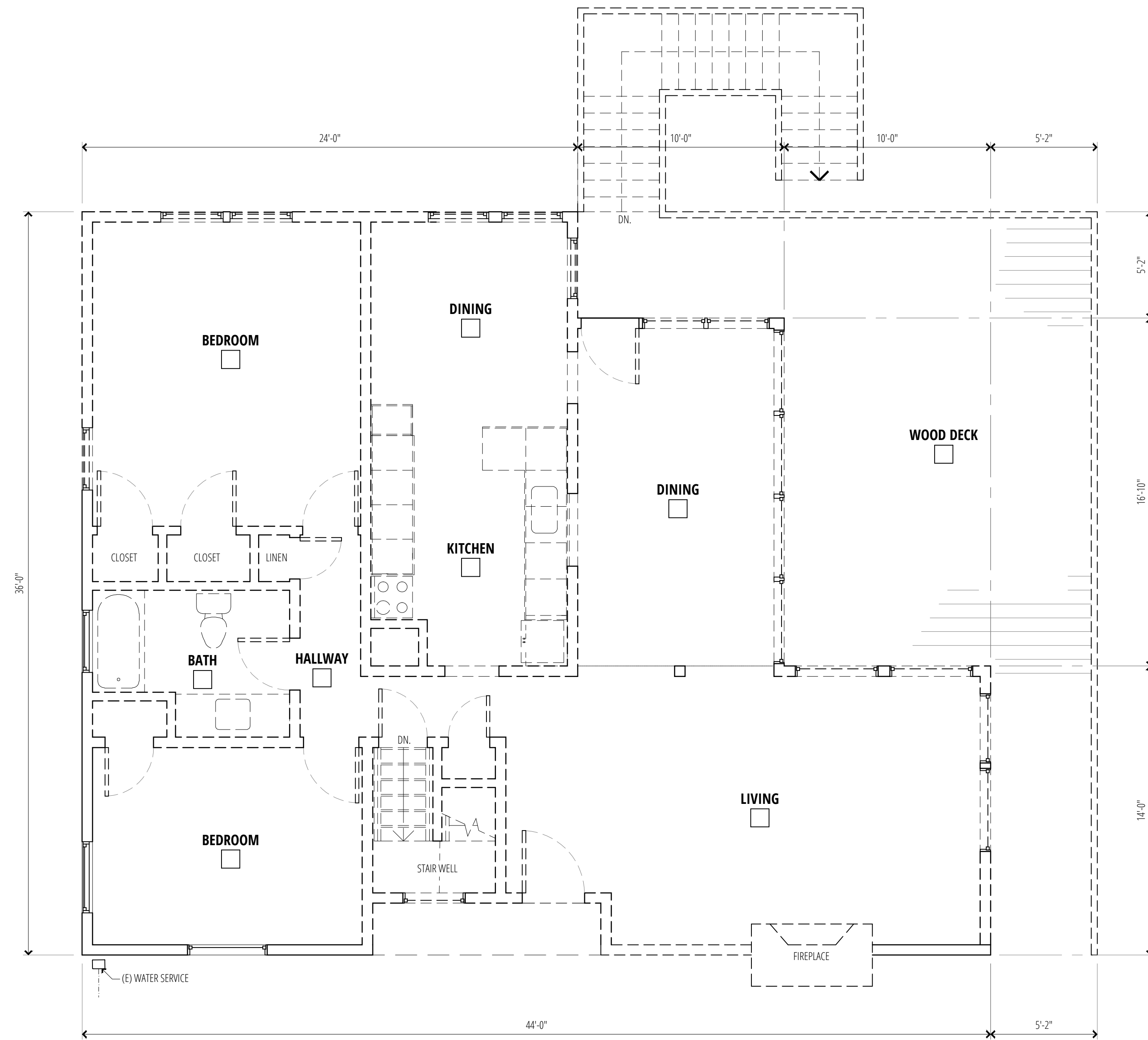
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1
A2.0
EXISTING LOWER LEVEL
SCALE: 1/4" = 1'-0"



2
A2.0
EXISTING MAIN LIVING LEVEL
SCALE: 1/4" = 1'-0"

- LEGEND:**
- WALLS TO BE DEMOLISH
 - EXISTING WALLS TO REMAIN
 - NEW WALLS



153 RICHARDSON-PANAHI RESIDENCE
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(E) Floor Plans
153 RICHARDSON DR.
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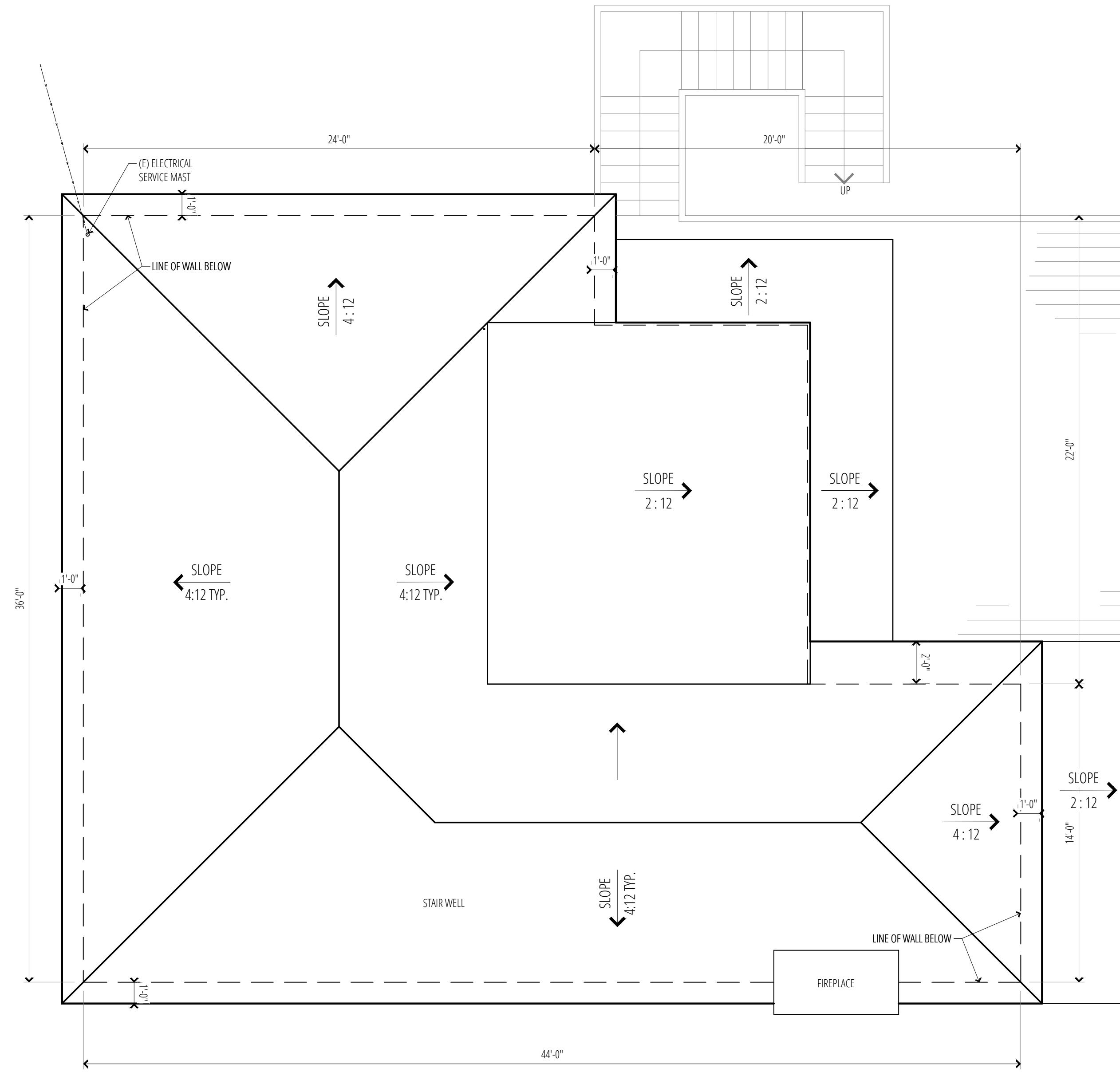


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1 **EXISTING ROOF PLAN**
A2.1 SCALE: 1/4" = 1'-0"



153 RICHARDSON-PANAHI RESIDENCE

AP # 043-071-14
(E) Roof Plan

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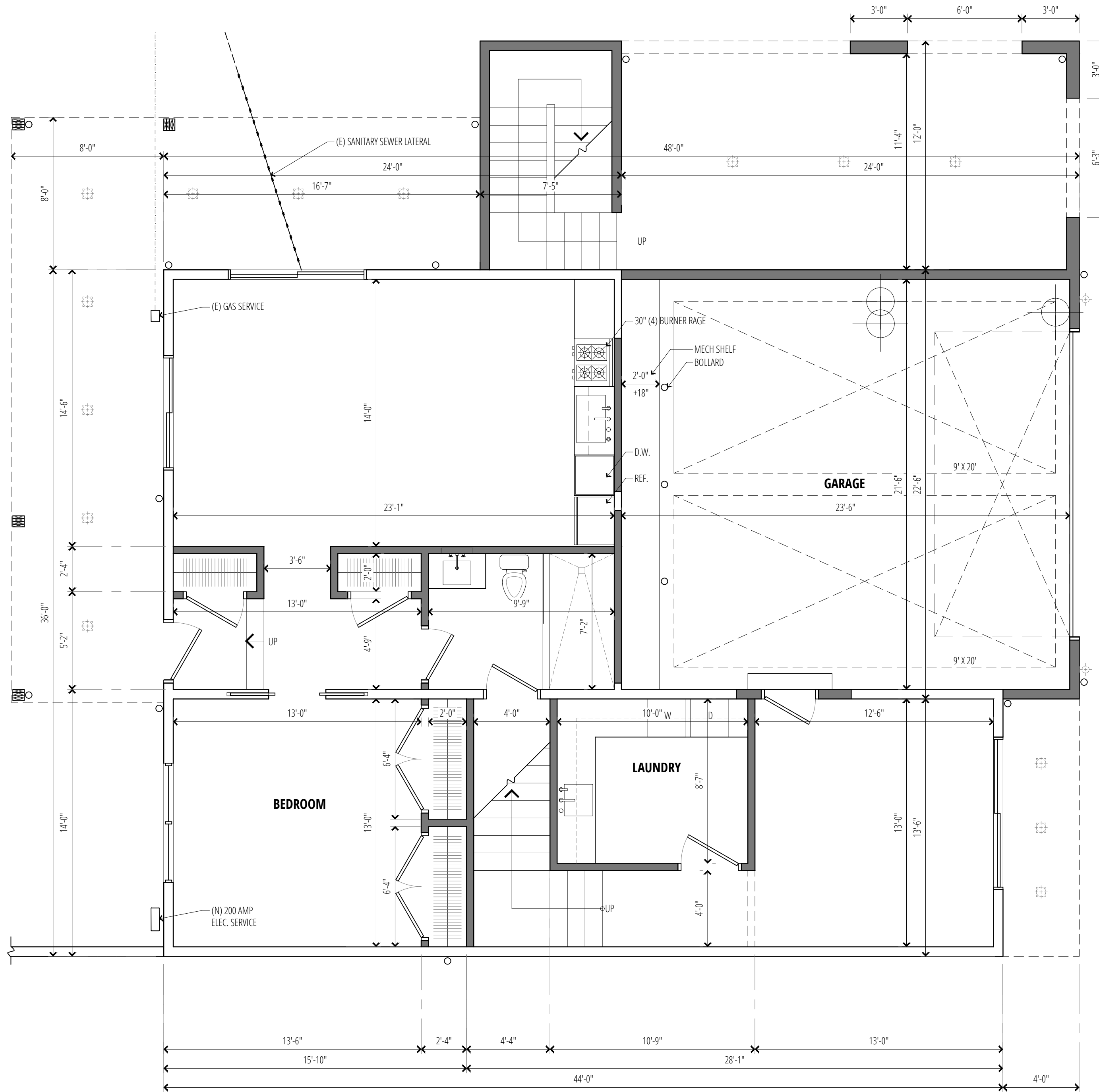
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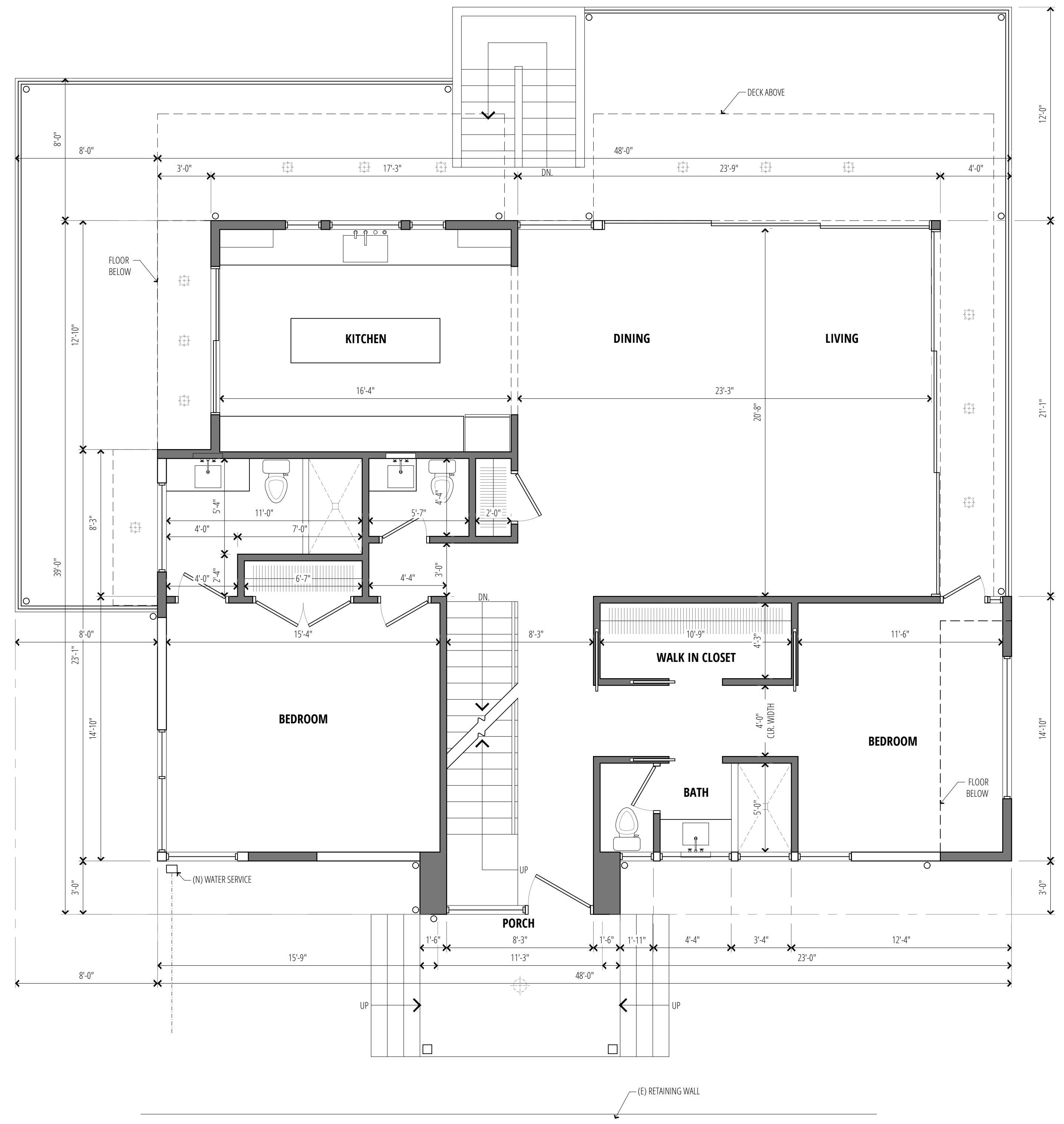
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1 LOWER LEVEL (ADU)
A2.2 SCALE: 1/4" = 1'-0"



2 MAIN LIVING LEVEL
A2.2 SCALE: 1/4" = 1'-0"

- LEGEND:**
- WALLS TO BE DEMOLISH
 - EXISTING WALLS TO REMAIN
 - NEW WALLS



153 RICHARDSON-PANAHI RESIDENCE
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(P) Floor Plans
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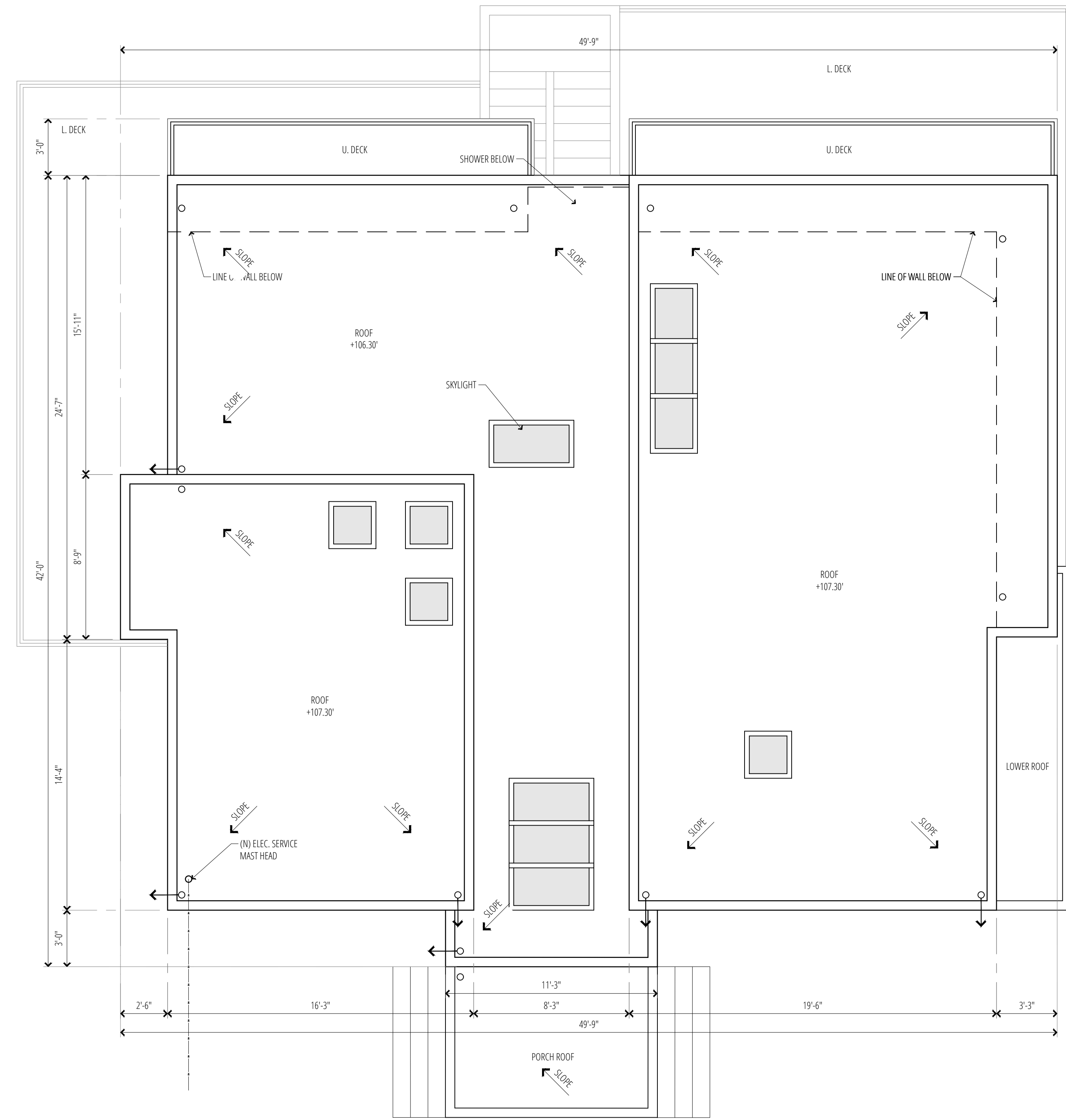


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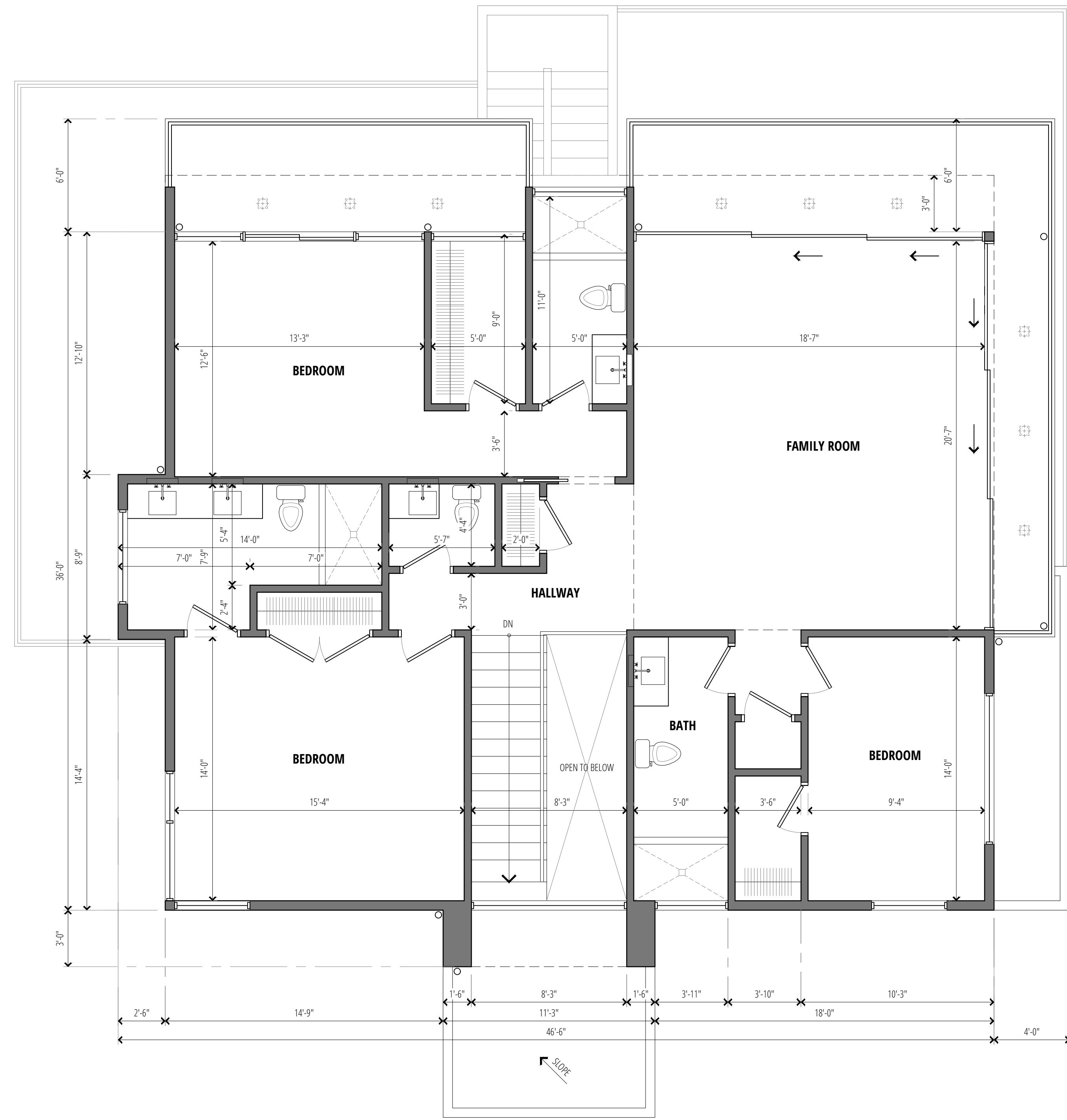
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2
A2.3 **ROOF PLAN**
SCALE: 1/4" = 1'-0"



1
A2.3 **UPPER LEVEL**
SCALE: 1/4" = 1'-0"

- LEGEND:**
- WALLS TO BE DEMOLISH
 - EXISTING WALLS TO REMAIN
 - NEW WALLS



153 RICHARDSON-PANAHI RESIDENCE
AP # 043-071-14
(P) Roof and Floor Plans
153 RICHARDSON DR.
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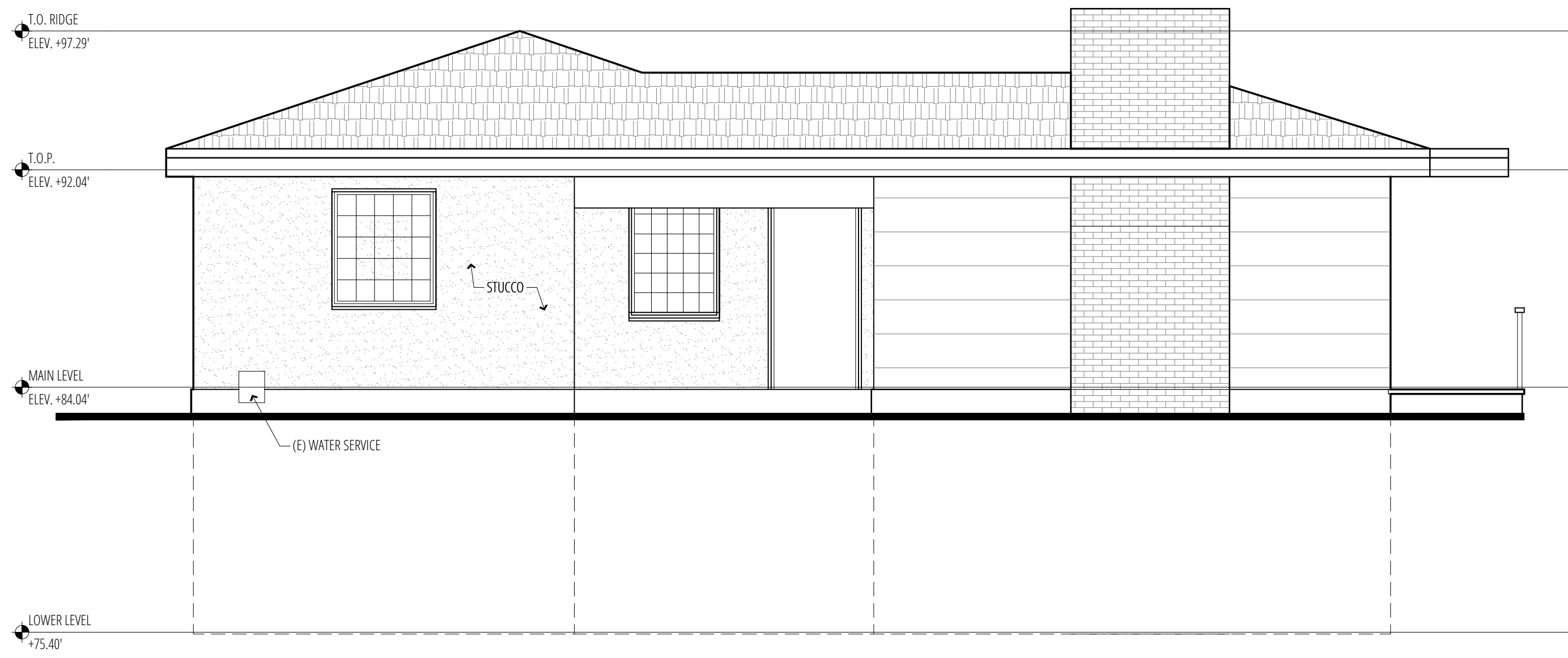
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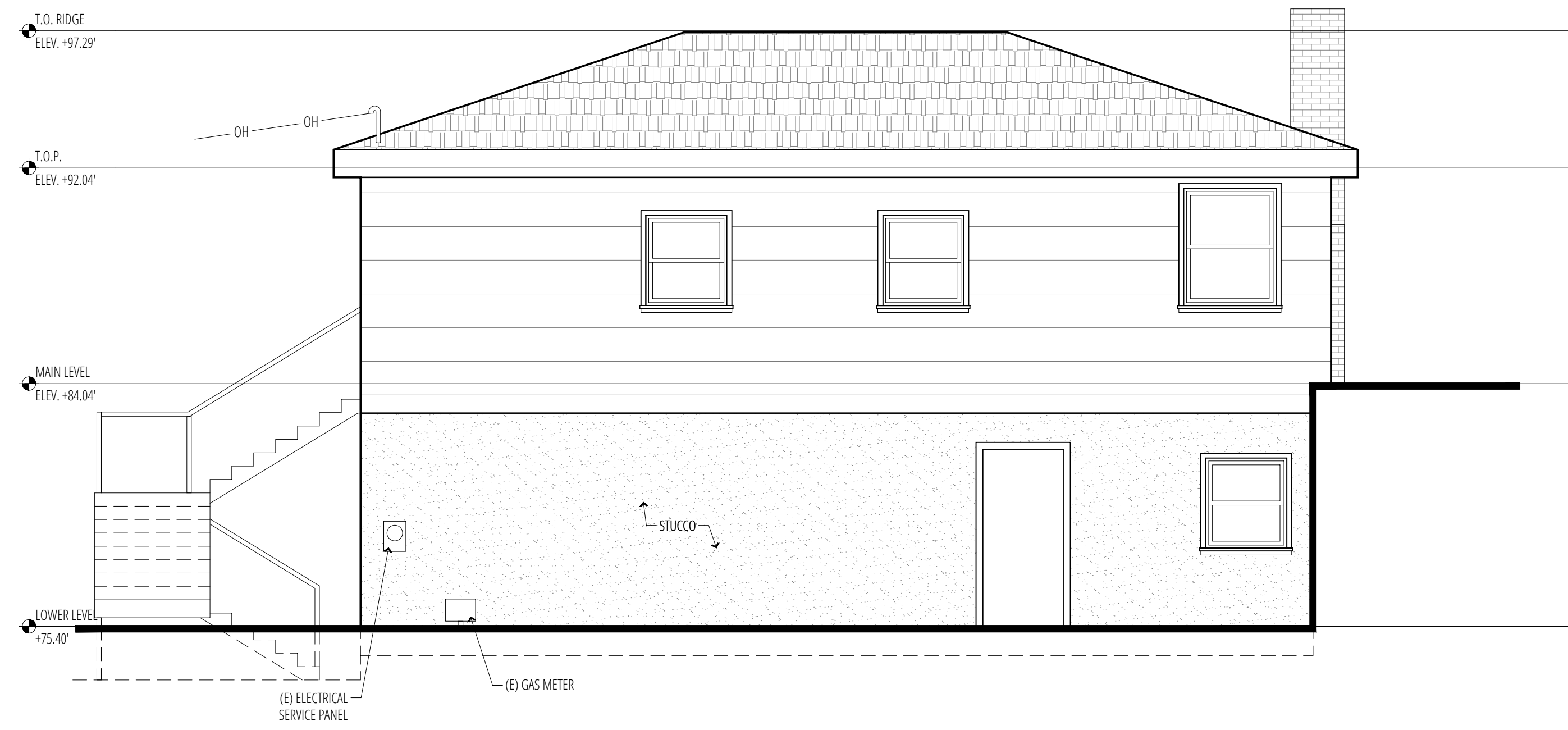
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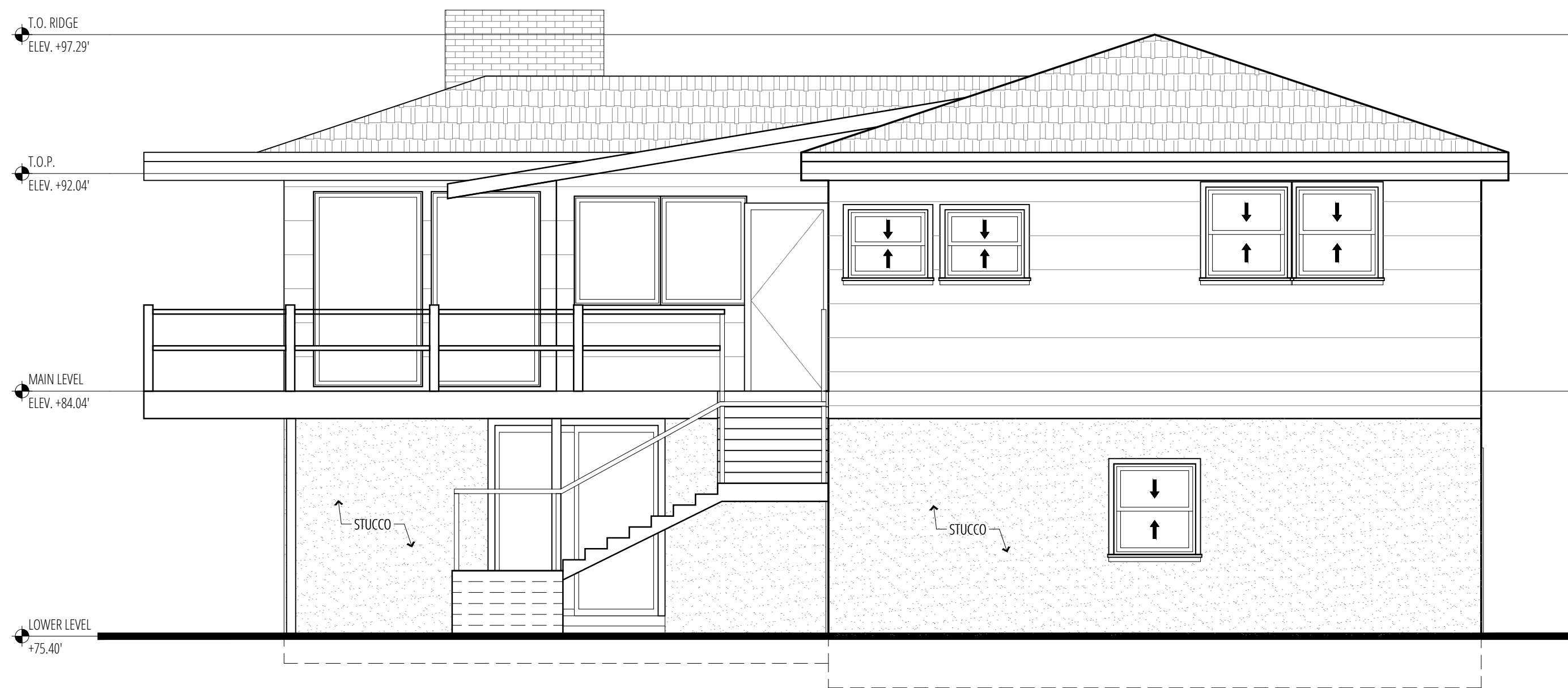
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1 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



153 RICHARDSON-PANAHI RESIDENCE
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Existing Exterior Elevations

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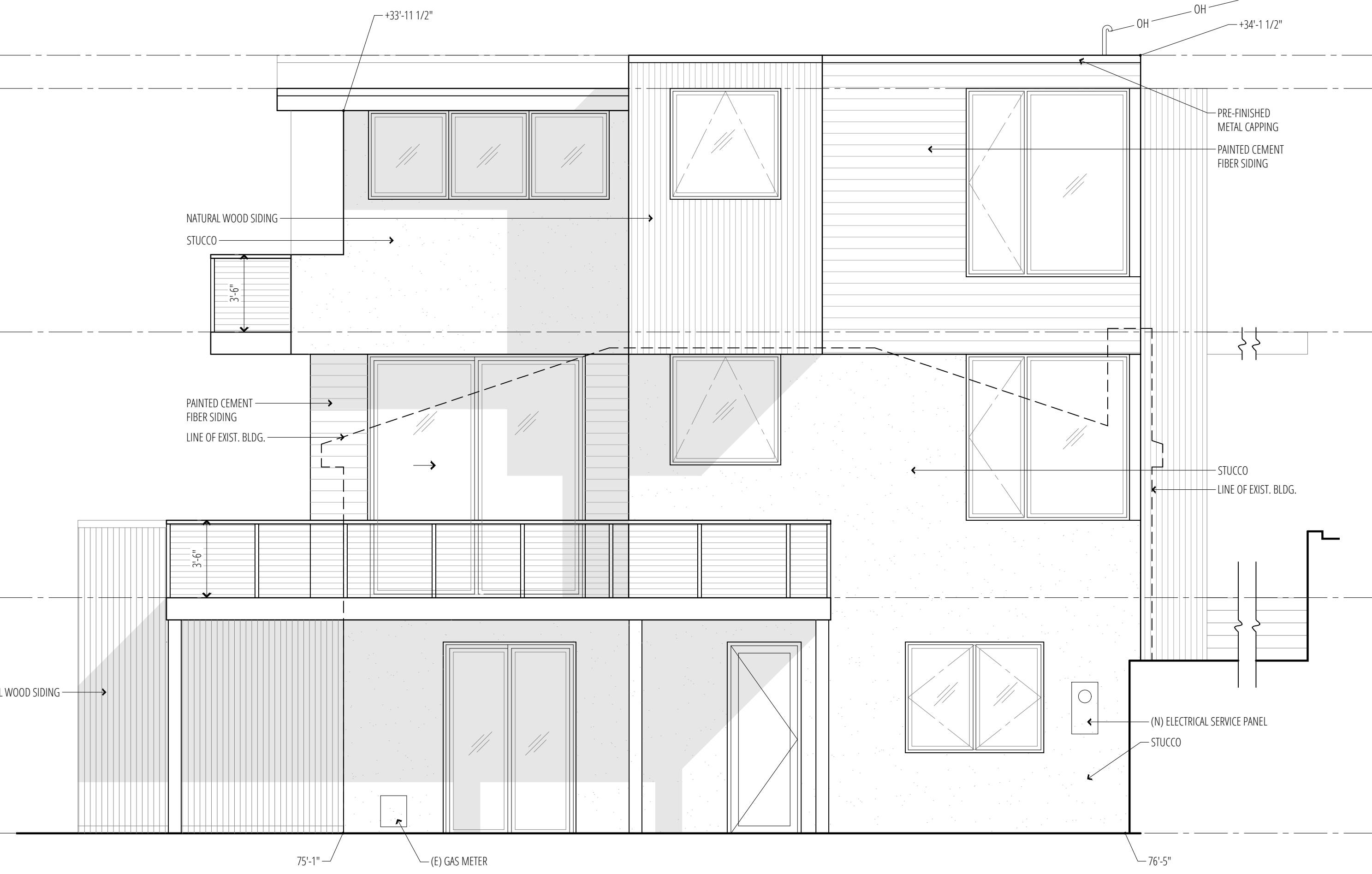
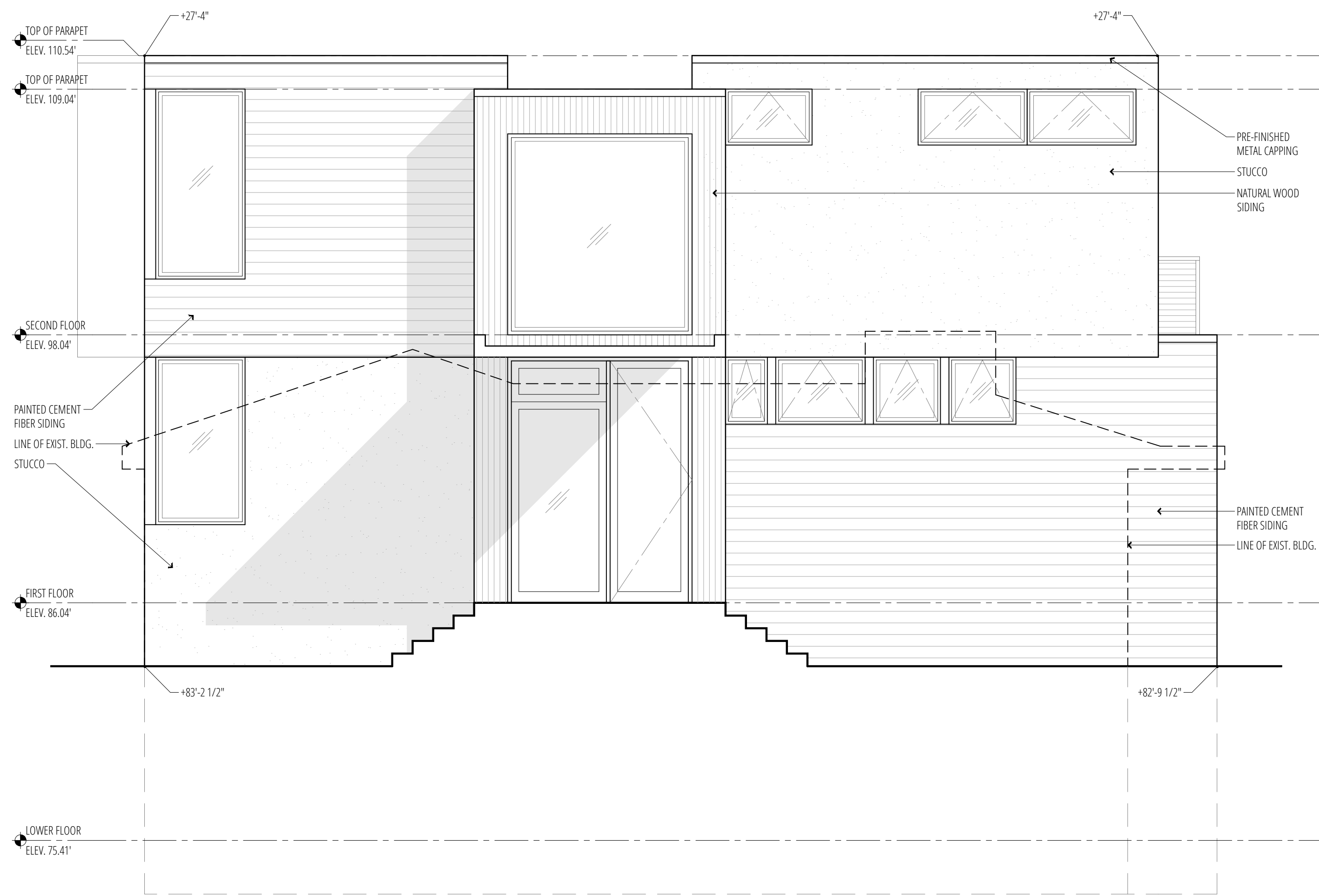
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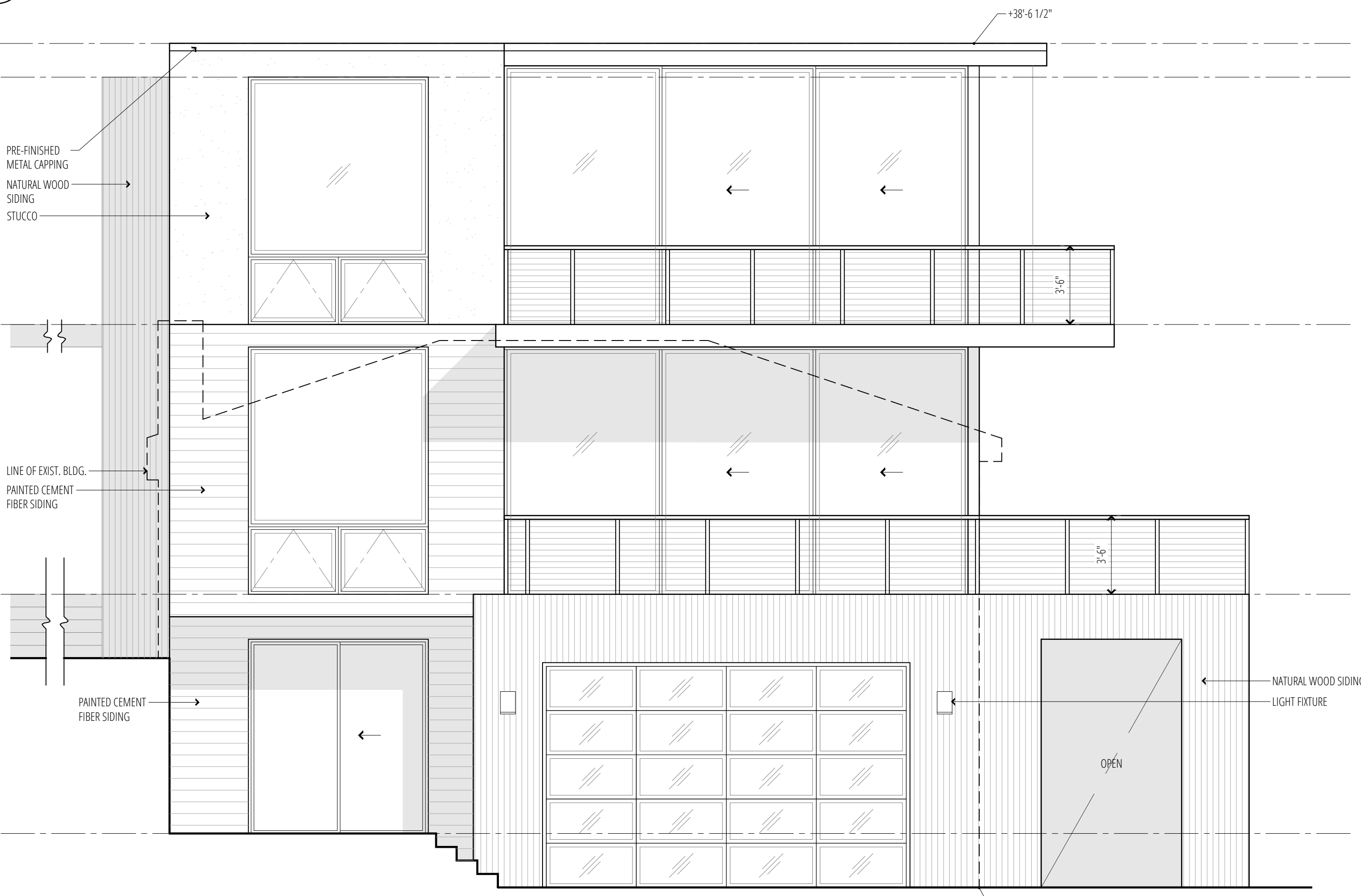
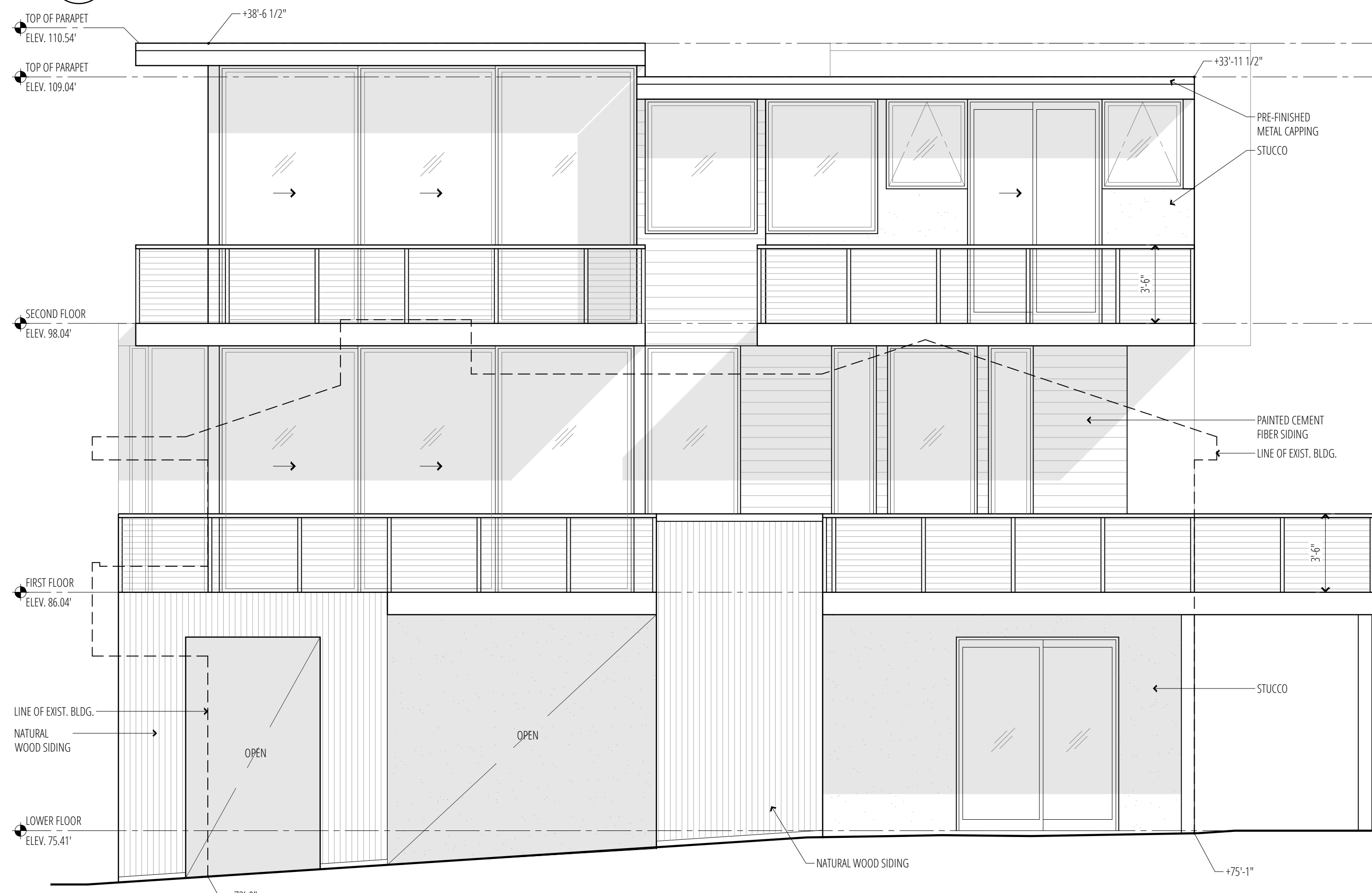
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1 PROPOSED FRONT (WEST) ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

2 PROPOSED LEFT (NORTH) ELEVATION
A3.1 SCALE: 1/4" = 1'-0"



3 PROPOSED REAR (EAST) ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

4 PROPOSED RIGHT (SOUTH) ELEVATION
A3.1 SCALE: 1/4" = 1'-0"



153 RICHARDSON-PANAHI RESIDENCE
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Proposed Exterior Elevations

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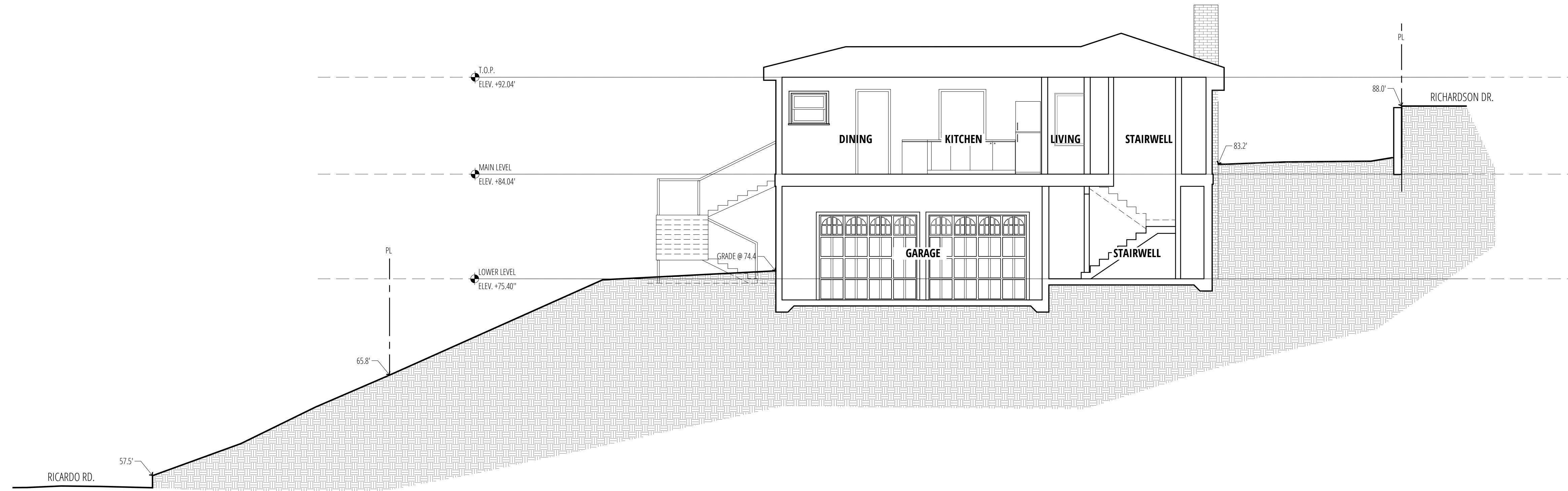
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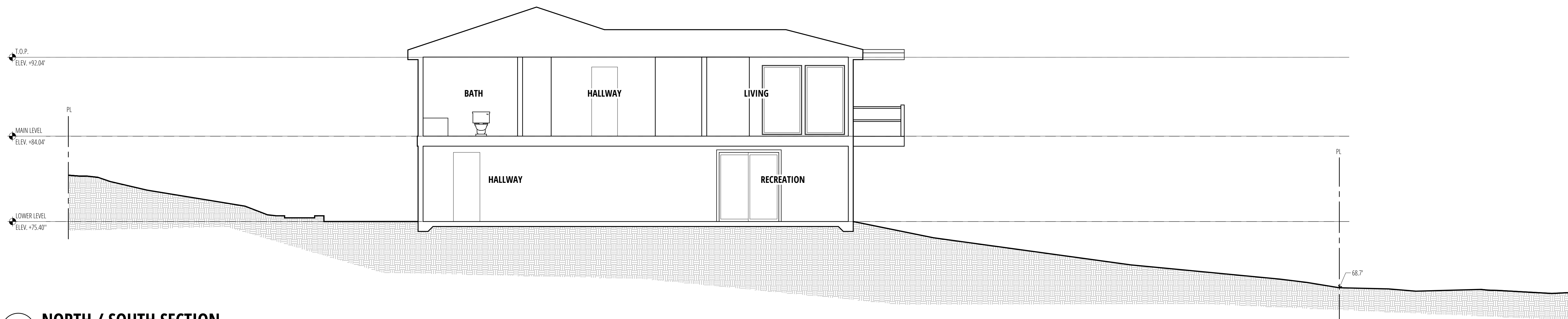
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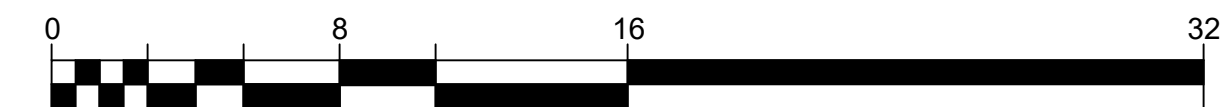
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1 EAST / WEST SECTION
A4.0 SCALE: 3/16" = 1'-0"



2 NORTH / SOUTH SECTION
A4.0 SCALE: 3/16" = 1'-0"



153 RICHARDSON-PANAHI RESIDENCE
AP # 043-071-14

(E) Site Sections

153 RICHARDSON DR.
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A4.0

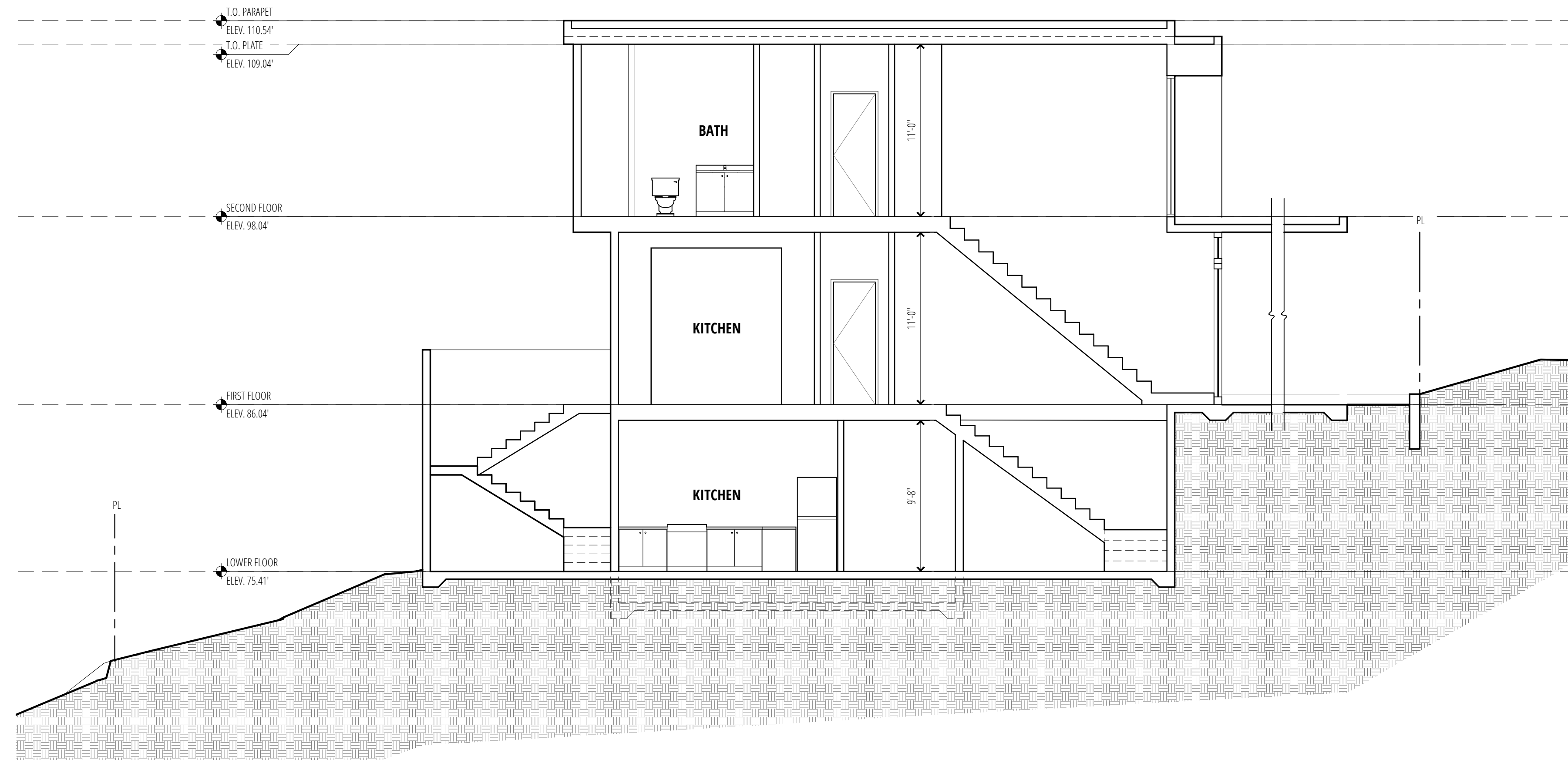


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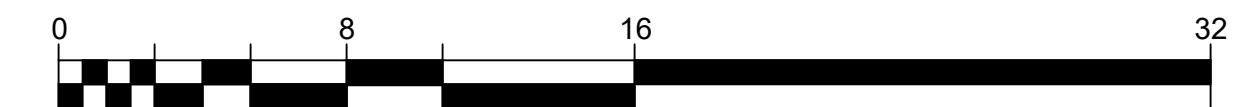
Date	Delta	Revision Notes
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1 EAST / WEST SECTION
A4.1 SCALE: 3/16" = 1'-0"



2 NORTH / SOUTH SECTION
A4.1 SCALE: 3/16" = 1'-0"



153 RICHARDSON-PANAHI RESIDENCE
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(P) Site Sections

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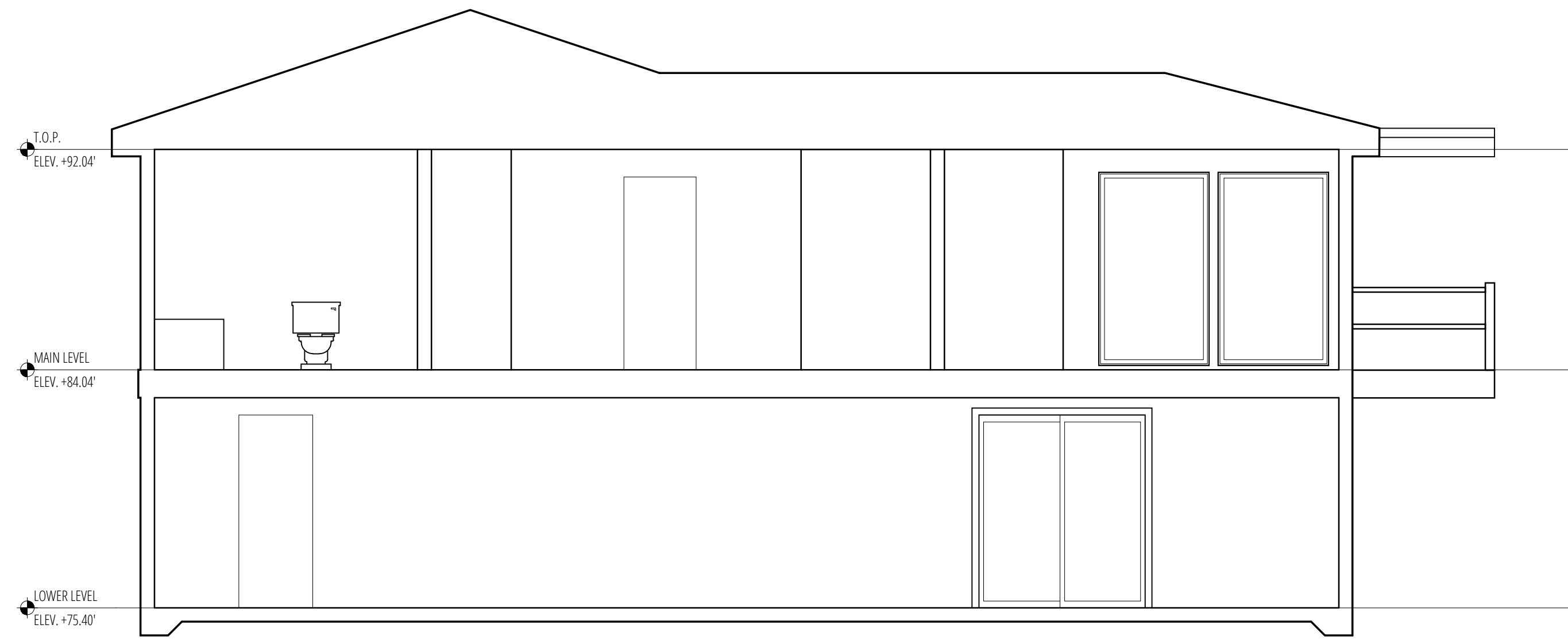
A4.1



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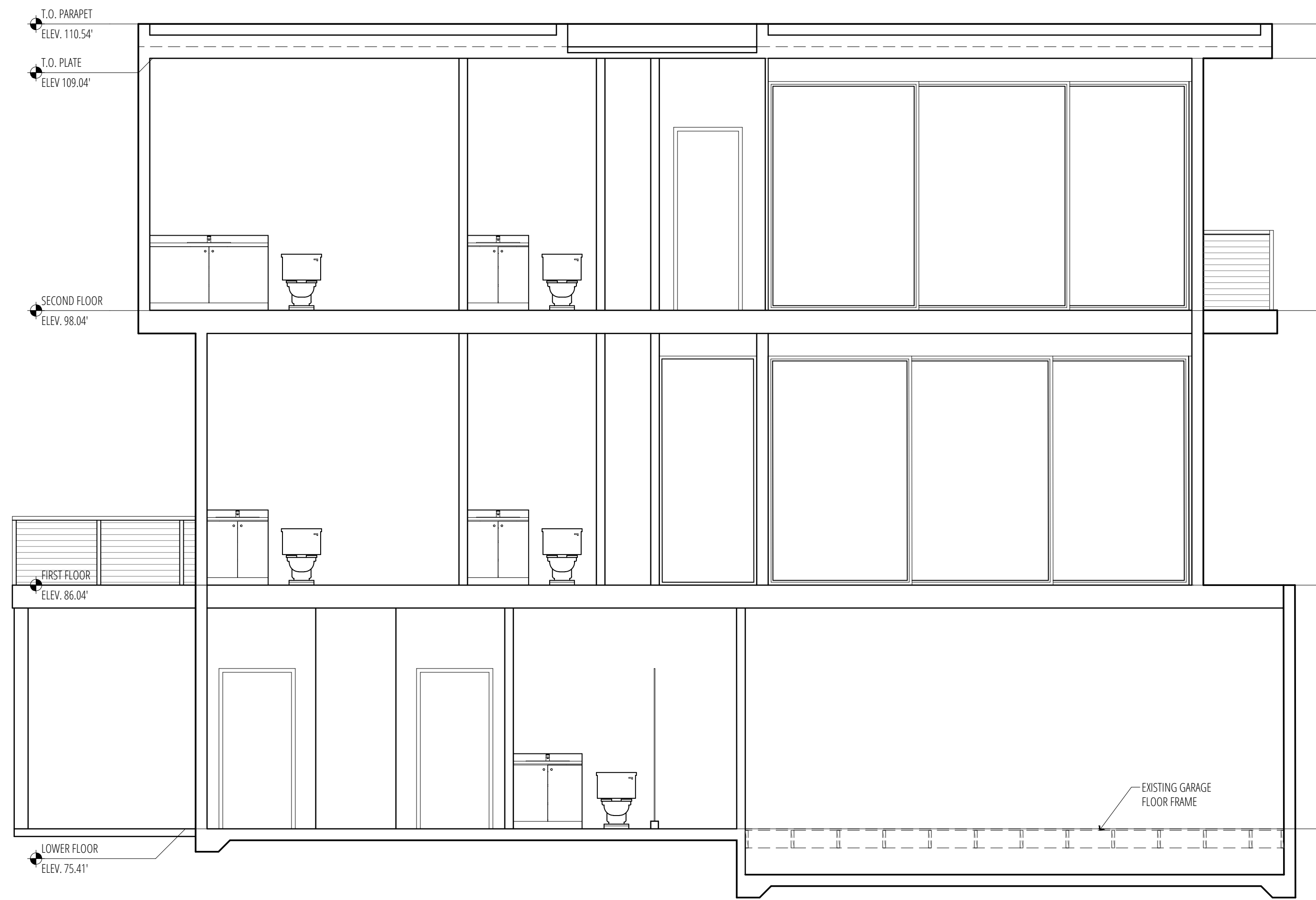
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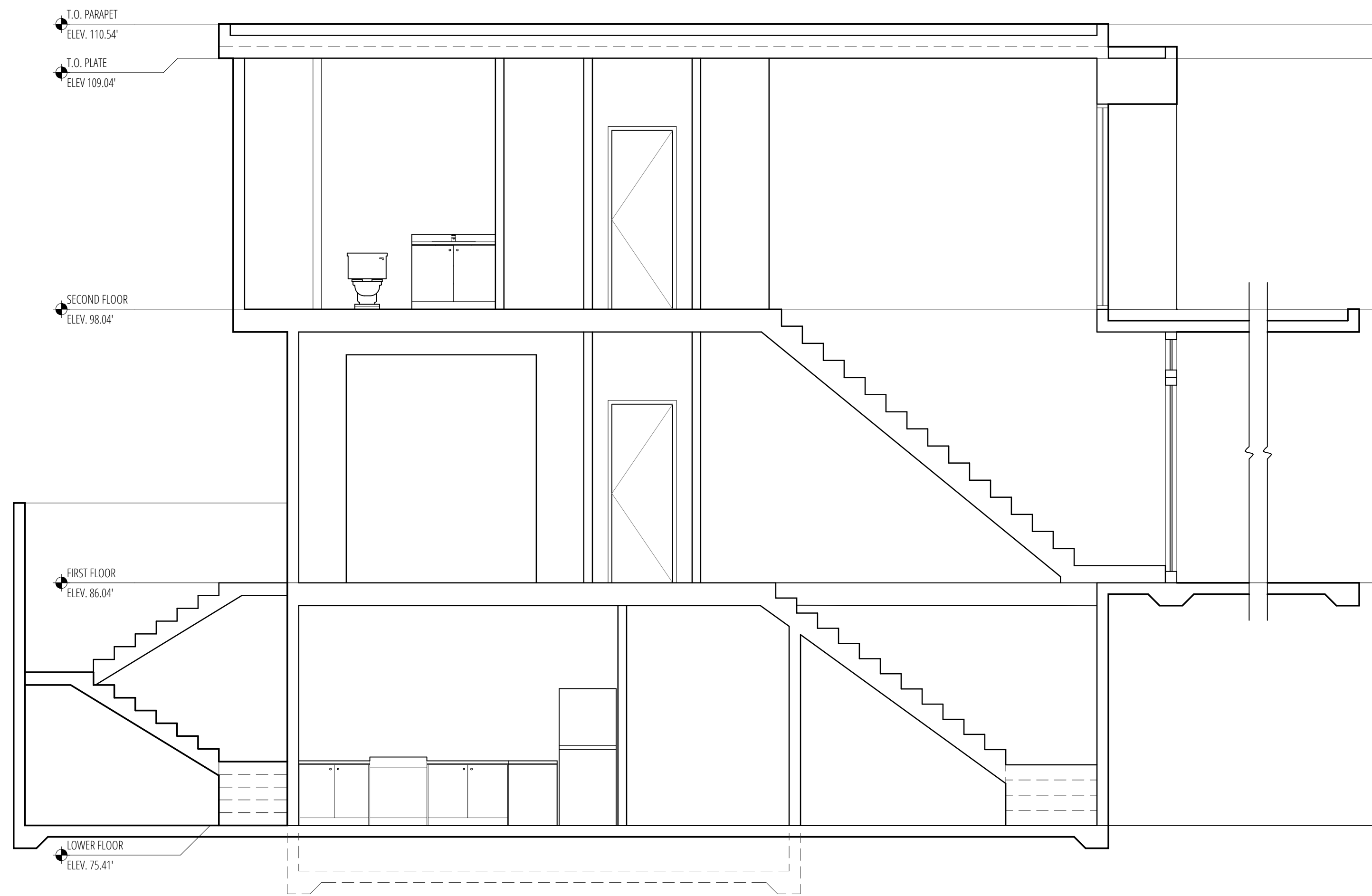
1 (E) SECTION EAST/WEST
A4.2 SCALE: 1/4" = 1'-0"



2 (E) SECTION NORTH/SOUTH
A4.2 SCALE: 1/4" = 1'-0"



3 (P) SECTION EAST/WEST
A4.2 SCALE: 1/4" = 1'-0"



4 (P) SECTION NORTH/SOUTH
A4.2 SCALE: 1/4" = 1'-0"



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(E)+(P) Building Sections

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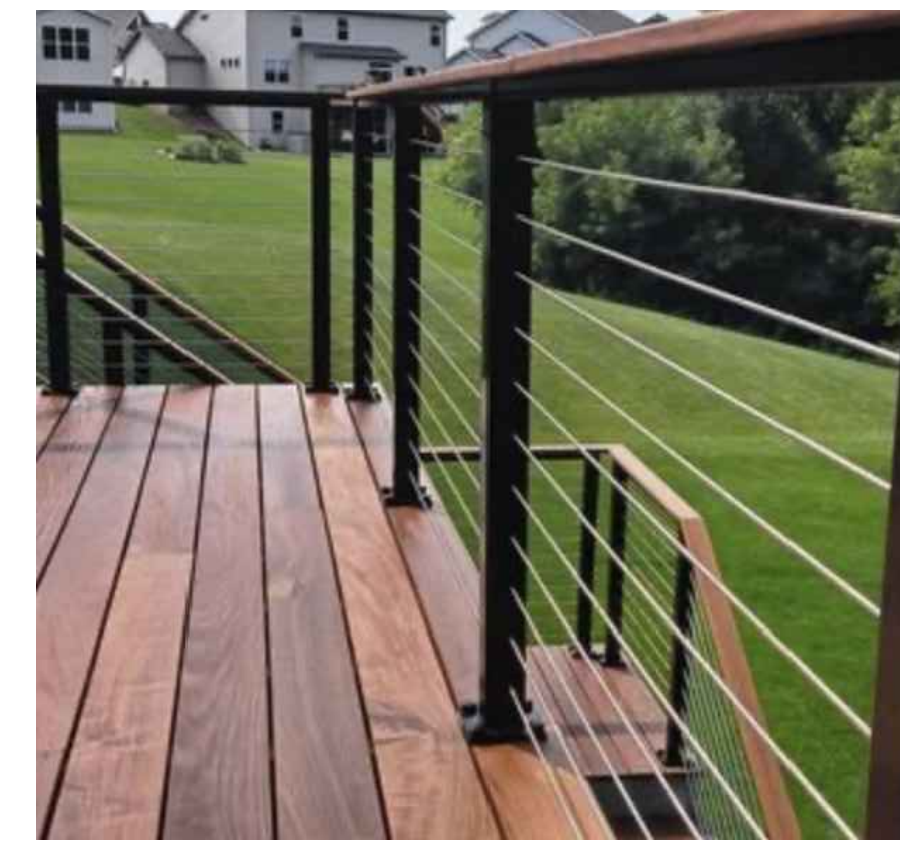
A4.2



VIEW FROM RICARDO RD.



VIEW FROM RICHARDSON DRIVE



RAILINGS
VIEW RAIL SIGNATURE CABLE RAIL
POSTS: BLACK CAP-EPE



DECK SURFACE
BISON 4'X2' EPE WOOD TILE



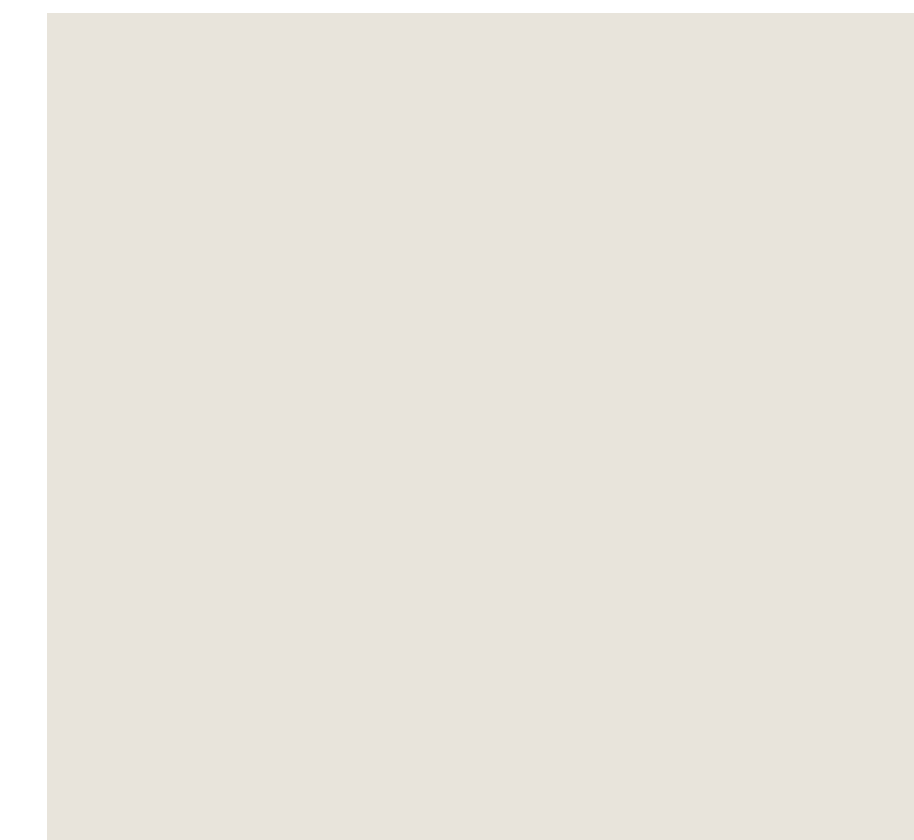
TPO ROOF MEMBRANE
CARLISLE / SYNTEC - GRAY



PERVIOUS PAVERS
TECNO-BLOC: HYDRA SHALE GREY



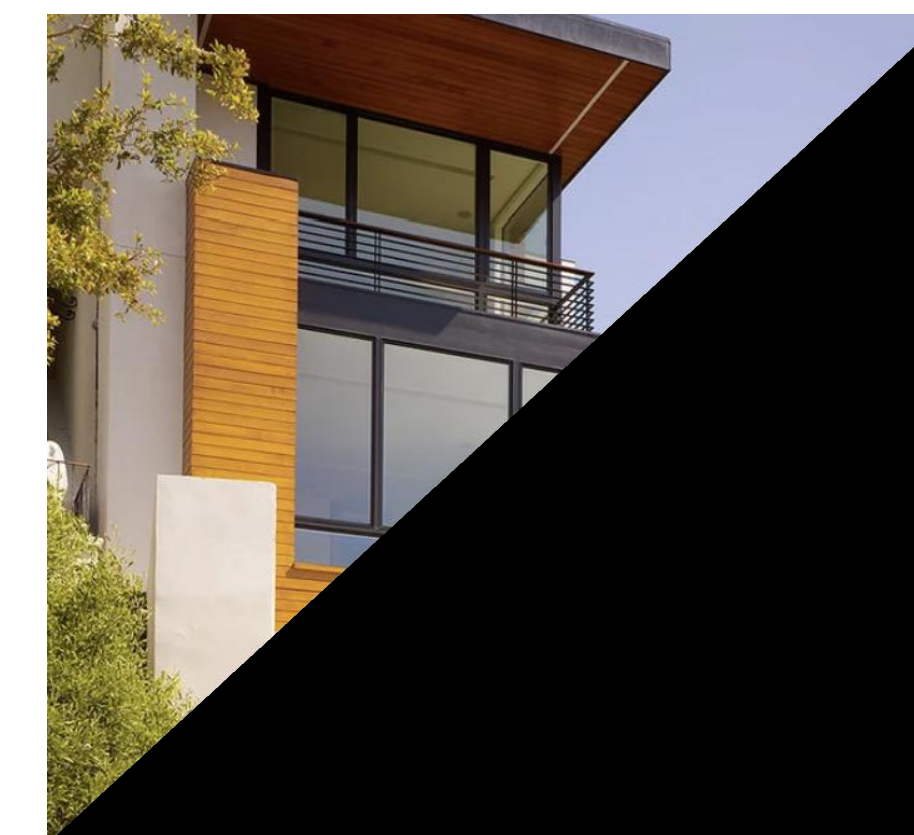
CEDAR SIDING / ROOF SOFFITS
BENJAMIN MOORE
ARBORCOAT SEMI - TRANSPARENT
NATURAL CEDAR TONE ES-45



STUCCO
BENJAMIN MOORE
SEAPEARL OC-19



ASPYRE ARTISAN SHIPLAP SIDING
BENJAMIN MOORE
CHARCOAL SLATE - HC - 178



DOORS AND WINDOWS
SIERRA PACIFIC: BLACK - 023



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Renderings
153 RICHARDSON DR.
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A5.0



Upper Floor: Living Room View East



Upper Floor: View from corner of Living Room South



Upper Floor: View from Living and Master Bedroom Room Decks



Middle Floor: View from Living Room South East



Middle Floor: View from Living Room East



View North from Ricardo Rd



View from upper Richardson Dr



View North from Richardson Dr, Ricardo Rd and Ricardo Ln



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Context Photos

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A5.1



Upper and Lower Richardson Dr.



Front Entry Roof from Richardson Dr



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Context Photos

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A5.2



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153 RICHARDSON-PANAHI RESIDENCE

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Context Photos

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A5.3