

812 SPRING ROAD - NEW RESIDENCE

REVISIONS	BY:
R-1 5-15-22	PM

GENERAL NOTE(S):

- THESE GENERAL NOTES SHALL APPLY TO ALL SUBCONTRACTORS AND SUPPLIERS ON THIS PROJECT. THE WORD "CONTRACTOR" SHALL HEREAFTER APPLY EQUALLY AND WITHOUT EXCEPTION TO ALL SUBCONTRACTORS AND SUPPLIERS.
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THESE CURRENTLY ADOPTED CODES:

2019 CALIFORNIA RESIDENTIAL CODE (CRC)
 2019 CALIFORNIA BUILDING ENERGY CODE (CEC)
 2019 CALIFORNIA BUILDING CODE (CBC)
 2019 CALIFORNIA GREEN BUILDING CODE
 2019 CALIFORNIA ELECTRIC CODE (CEC).
 2019 CALIFORNIA ENERGY CODE
 COUNTY OF MAIN MUNICIPAL CODE (LATEST EDITION)
 2019 CALIFORNIA FIRE CODE (CFC)
 2019 CALIFORNIA PLUMBING CODE (CPC)
 2019 CALIFORNIA MECHANICAL CODE (CMC)

AND ALL OTHER REQUIREMENT PRESCRIBED BY AUTHORITIES HAVING JURISDICTION. ALL MANDATORY REQUIREMENT OF THE CALIFORNIA ADMINISTRATIVE CODE. TITLE 24, PART 2, CHAPTER 2-53 SHALL BE MET.

- PROVIDE GALVANIZED METAL PAN AT ALL EXTERIOR DOORS.

- ADDRESS NUMBER: ADDRESS NUMBERS AT LEAST 4" TALL MUST BE PLACED ADJACENT TO THE FRONT DOOR. IF NOT CLEARLY VISIBLE FROM THE STREET, ADDITIONAL NUMBERS ARE REQUIRED. ADDRESS NUMBERS SHALL HAVE MIN. 0.5" STROKE PER CRC R319 AND SHALL BE ILLUMINATED.

- TITLE 24 ENERGY COMPLIANCE FORMS: THIS PROJECT HAS BEEN ANALYZED FOR COMPLIANCE WITH THE STATE ENERGY CODES AND STANDARDS. SEE FORMS CF-1R AND MF-1R. ALL REQUIREMENTS AND STANDARDS LISTED IN FORMS CF-1R AND MF-1R SHALL BE INCLUDED AND INSTALLED BY THE CONTRACTOR.

- FORM CF-2R: THE ENERGY COMPLIANCE FORM CF-2R MUST BE COMPLETED AND PROVIDED TO THE TOWN AND OWNER PRIOR TO A REQUEST FOR FINAL INSPECTION.

- CARBON MONOXIDE ALARMS: INSTALL CARBON MONOXIDE ALARMS AT ALL ACCESS WAYS TO SLEEPING ROOMS PER BUILDING CODE REQUIREMENTS.

- SMOKE ALARMS: INSTALL SMOKE ALARMS IN EACH SLEEPING ROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM PER BUILDING CODE REQUIREMENTS. THERE SHALL BE AT LEAST ONE SMOKE ALARM ON EACH LEVEL.

- NEW PLUMBING FIXTURES: INSTALL NEW TOILETS, SHOWER HEADS, AND INTERIOR FAUCETS WITH THE FOLLOWING MINIMUM FLOW RATES:
 A) TOILETS/WATER CLOSETS: - 1.28 GALLONS PER FLUSH MAX.
 B) SHOWER HEADS - 1.8 GALLONS PER MIN. MAX. @ 80 PSI.
 C) INTERIOR FAUCETS - 1.2 GALLONS PER MIN. MAX. @ 80 PSI.
 D) KITCHEN FAUCETS - 1.8 GALLONS PER MIN. MAX. @ 80 PSI.

- STRUCTURAL OBSERVATION & SPECIAL INSPECTION: STRUCTURAL OBSERVATION SHALL BE PERFORMED BY THE STRUCTURAL ENGINEER AND SPECIAL INSPECTION TO BE PERFORMED BY AN APPROVED TESTING AGENCY. SEE STRUCTURAL DRAWINGS.

- INSULATION SCHEDULE: INSULATE ALL OPENED INTERIOR WALL AT GARAGE AND EXTERIOR WALLS, FLOORS AND CEILINGS WITH THE FOLLOWING MIN. FIBERGLASS BATT INSULATION:
 ROOF: R-30 FIBERGLASS BATT OR SPRAY FOAM INSULATION (R-38 MIN.)
 WALL 2x4: R-13 FIBERGLASS BATT
 WALL 2x6: R-21 FIBERGLASS BATT
 FLOORS: R-19 FIBERGLASS BATT

- PROVIDE WOOD BACKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, AND OTHER ITEMS ATTACHED TO THE WALL.
- PROVIDE FIRE STOP IN CONCEALED SPACES OF ALL STUD SPACES OVER 8'-0" HIGH WITH 2X BLOCKING.
- PROVIDE ONE-HOUR FIRE RESISTIVE CONSTRUCTION AT THE UNDERSIDE OF SOFFITS.
- PROVIDE FIRE-STOPS IN CONCEALED SPACES BETWEEN STAIR STRINGER AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH RUN OF STAIRS.
- MECHANICAL AND PLUMBING PENETRATIONS OF FLOOR AND CEILINGS SHALL BE SEALED AIRTIGHT WITH ACUSTICAL AND FIRE SEALANT AS REQUIRED.
- MAINTAIN 18" CLEAR FROM LIGHT TO COMBUSTIBLE MATERIAL IN WALK-IN CLOSETS.
- PROVIDE BACKDRAFT DAMPERS AT ALL EXHAUST FANS.
- INSULATE DUCTS NOT IN CONDITIONED SPACE W/ MIN. R-8. INSULATE THE FIRST 5 FEET OF WATER PIPES ENTERING AND LEAVING WATER HEATER 2/R4 OR GREATER.
- CEMENT, FIBER CEMENT, OR GLSS MATT GYPSUM BACKERS SHALL BE USED A BASE FOR WALL TIME IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER.
- PROVIDE MOISTURE PROTECTION BEHIND TILE AT ALL TUBS AND SHOWERS.
- ALL CONSTRUCTION SHALL BE PERFORMED BY A LICENSED GENERAL CONTRACTOR.
- FLY ASH SHALL BE UTILIZED IN THE CONCRETE PER CAL GREEN - SEE SHEET A-4.
- RECYCLING CONTENT OF MATERIALS SHALL BE PER CAL GREEN - SEE SHEET A-4.
- AN OPERATION MANUAL SHALL BE PROVIDED TO THE OWNER FOR ALL APPLIANCES, WATER HEATERS, AND FURNACES ETC.
- RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.
- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE REPORTING STANDARDS OUTLINED BY ZERO WASTE MARIN.
- POSTCONSUMER OR PRECONSUMER RECYCLED CONTENT VALUE (RCV) MATERIALS ARE USED ON THE PROJECT, NOT LESS THAN A 10 PERCENT RECYCLED CONTENT VALUE.
- CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE IN COMPLIANCE WITH AT LEAST A 65 PERCENT REDUCTION. ANY MIXED RECYCLABLES THAT ARE SENT TO MIXED-WASTE RECYCLING FACILITIES SHALL INCLUDE A QUALIFIED THIRD PARTY VERIFIED FACILITY AVERAGE DIVERSION RATE. VERIFICATION OF DIVERSION RATES SHALL MEET MINIMUM CERTIFICATION ELIGIBILITY GUIDELINES, ACCEPTABLE TO THE LOCAL ENFORCING AGENCY.
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS; PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS; AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS.
- FOR ROC AND OTHER TOXIC COMPOUNDS; DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED; CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS; 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SPECIFIED VOC CRITERIA; PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS; INSTALL VOC COMPLIANT RESILIENT FLOORING SYSTEMS. NINETY (90) PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS ESTABLISHED IN SECTION A4.504.2. THERMAL INSULATION INSTALLED IN THE BUILDING SHALL INSTALL THERMAL INSULATION IN COMPLIANCE WITH VOC LIMITS; MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.

PROJECT DATA:

OWNER(S): Peter Moeck
 812 Spring Drive
 Mill Valley, CA 94941

DESIGNER: Peter Moeck, P.E.
 353 Pine Hill Road
 Mill Valley, CA 94941
 (415) 845-9032

APN: 049-182-03
 ZONING: R-1-B-1
 % SLOPE LOT: 27.91%

CONSTRUCTION ZONING: VB
 HEATING SYSTEM: FORCED AIR

(E) LOT SIZE: 8,500 SF (COUNTY RECORDS)
 ACTUAL LOT SIZE PER SUBMITTED RECORD OF SURVEY AS SHOWN ON SHEET A-6.1: 9,647 SF

GARAGE AREA: 513 SF (480 SF ALLOWABLE)

FLOOR AREA SF CALCULATION FOR FAR

GARAGE AREA IN EXCESS OF 480 SF: 33 SF
 LOWER FLOOR: 1,327 SF
 MAIN FLOOR: 1,314 SF
 TOTAL FLOOR FLOOR: 2,674 SF

UNFINISHED AREA (OVER 7'-6" HEIGHT PER TAM. PLAN IN CRAWL SPACE): 0 SF

TOTAL FAR SF: 2,674 SF

ALLOWABLE SF PER TAM. VALLEY DEVELOPEMENT PLAN = 2,850 SF > 2,674 SF (OK)

DECKS AND PATIOS
 MAIN DECK: 243 SF
 MAIN DECK STAIRS: 39 SF
 FRONT ENTRANCE CATWALK: 270 SF
 LOWER CONC. PATIO: 188 SF
 TOTAL DECKS/PATIO: 740 SF

LOT COVERAGE

BUILDING FOOTPRINT: 1,568 SF
 GARAGE: 513 SF
 MAIN DECK STAIRS: 39 SF
 FRONT ENTRANCE CATWALK: 270 SF
 LOWER CONC. PATIO: 188 SF
 TOTAL LOT COVERAGE: 1,568 SF+513 SF+39 SF+270 SF+188 SF = 2,578 SF/9,647 SF = .267<.35 OK

CRAWL SPACE VENTILATION REQUIREMENTS:
 1SF PER 150 SF OF CRAWL SPACE AREA. TOTAL AREA CRAWL SPACE = 1568 SF
 VENTILATION REQUIRED: 1568 SF/150 SF = 10.11 VULCAN
 VENTS SIZE 5 1/2" X14" (535 SF)
 TOTAL VENTS REQUIRED = 10.11 SF/535 SF = 19.0
 TOTAL VENTS PROVIDED = 19 EA. - SEE ELEVATIONS PLAN DRAWINGS A-8 AND A-9



TABLE OF CONTENTS:

A-0	NOTES, PROJECT DATA, SCOPE OF WORK
A-1 TO A-4	RESERVED FOR FUTURE USE
A-5	3-D RENDERING (FRONT) AND APPROVED CERTIFICATE OF COMPLIANCE
A-6	RECORD OF SURVEY DVC GROUP DATED SEPTEMBER 2021 (JOB #15-21)
A-7	SITE PLAN W/ EXISTING CONTOURS (MAX. 30' HEIGHT VERIFICATION)
A-8	TREE REMOVAL PLAN
A-9	STORY POLE PLAN
A-10	SITE PLAN
A-11	FOUNDATION PLAN
A-12	LOWER FLOOR PLAN
A-13	MAIN FLOOR PLAN
A-14	ROOF PLAN
A-15	HOUSE ELEVATIONS
A-16	HOUSE ELEVATIONS
A-17	HOUSE ELEVATIONS
A-18	GARAGE ELEVATIONS
A-19	SECTIONS
A-20	SECTIONS
1	TOPOGRAPHIC MAP - DVC GROUP MAY 2021
C-0	COVER SHEET, NOTES
C-1	GRADING AND DRAINAGE PLAN (INCL. FIRE DEPARTMENT REQ'D FOR SPRING DRIVE IMPROVEMENTS)
C-2	VEHICLE SIGHT DISTANCE AND TURNING RADIUS
L-1	LANDSCAPE PLAN
VMP-1	VEGETATION MANAGMENT PLAN

SCOPE OF WORK:
 1. BUILD NEW 2,674 SF HOME

NOTE:
 1. A SHADE STUDY WAS NOT PERFORMED DUE TO THE DISTANCE TO NEIGHBORING HOUSES AND DUE TO THE NORTH SLOPE LOCATION - THERE IS LIMITED SUNLIGHT ON THIS SITE.

WUI REQUIREMENTS:
 THIS PROJECT FALLS WITHIN THE WUI FIRE AREA AND COMPLIANCE WITH ANY APPLICABLE MEASURES FOR NEW WORK IS REQUIRED.

SOLAR PANEL REQUIREMENTS:
 SOLAR PV SYSTEM IS REQUIRED PROVIDING AT LEAST 3.41 KW.

DEFERRED SUBMITTALS:
 A. FIRE SPRINKLER DESIGN AND DRAWINGS.
 B. GAS PIPE SIZE DIAGRAM AND VOLUME CALCULATIONS - GAS SHALL ONLY BE PROVIDED FOR THE KITCHEN RANGE AND FIREPLACE.

PETER MOECK, PE IS THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE OF THIS PROJECT.

DESIGN PROFESSIONALS

PETER MOECK, PE
 CIVIL ENGINEER
 353 PINE HILL ROAD
 MILL VALLEY, CA
 PHONE NUMBER: 415-845-9032

GEOTECHNICAL ENGINEER: DAVE OLNES, P.E. G.E.
 7915 CREST AVENUE
 OAKLAND, CA 94605
 PHONE NUMBER: 510-568-2162
 SEE GEOTECHNICAL REPORT PREPARED BY DAVE OLNES, GE DATED FEBRUARY 12, 2022 AS PART OF THESE PROJECT PLANS

BIOLOGICAL ASSESSMENT/ARBORIST
 WRA ENVIRONMENTAL
 2169 G FRANCISCO BLVD. EAST
 SAN RAFAEL, CA 94901
 415-454-8888
 ATTN: JASON YAKICH, BIOLOGIST
 PHONE NUMBER 415-202-3166

DVC GROUP, SURVEYORS
 SEE TOPOGRAPHICAL MAP BY DVC GROUP DATED MAY 2021
 PHONE NUMBER 707-473-8236

ABBREVIATIONS:

A/C	AIR CONDITIONING	FIN.	FINISH
ADJ.	ADJUSTABLE	FL.	FLOOR
A.F.F.	ABOVE FINISH FLR.	FLOUR.	FLOURESCENT
ALUM.	ALUMINUM	F.O.F.	FACE OF FINISH
ALT.	ALTERNATE	F.O.S.	FACE OF STUD
APPROX.	APPROXIMATELY	FA.	GAUGE
ARCH.	ARCHITECTURAL	G.C.	GEN. CONTRACTOR
BA.	BATHROOM	GYP. BD.	GYPSUM BOARD
BLDG.	BUILDING	H.B.	HOSE BIB
BLKG.	BLOCKING	H.C.	HANDICAP
BM.	BEAM	HDWR.	HARDWARE
B.R.	BEDROOM	FP	HIGH POINT
CL.	CENTERLINE	H.W.	HOT WATER
CL.G.	CEILING	INSUL.	INSULATION
CLOS.	CLOSET	INT.	INTERIOR
CLR.	CLEAR	L.P.	LOW POINT
COL.	COLUMN	MECH.	MECHANICAL
CONC.	CONCRETE	MTL.	METAL
CONST.	CONSTRUCTION	(N)	NEW
C.T.	CERAMIC TILE	N.I.C.	NOT IN CONTRACT
CTR.	CENTER	NO.	NUMBER
D.	DRYER	O.C.	ON CENTER
Db	BAR DIAMETER	OPP.	OPPOSITE
DET.	DETAIL	PLYWD.	PLYWOOD
D.F.	DRINKING FOUNTAIN	R.D.	ROUGH OPENING
DEA.	DIAMETER	R.O.	ROUGH OPENING
DIM.	DIMENSION	S.C.	SOLID CORE
DN.	DOWN	S.	SUMP PUMP
DR.	DOOR	SH.	SHOWER
DWG.	DRAWING	S.S.D.	SEE STRUCTURAL DRAWINGS
(E)	EXISTING	STOR.	STORAGE
EA.	EACH	SHT.	SHEET
EL.	ELEVATION	T + G	TONGUE & GROOVE
ELC.	ELECTRICAL	TYP.	TYPICAL
EQ.	EQUAL	U.O.N.	UNLESS OTHERWISE NOTED
EQUIP.	EQUIPMENT	WA	WASHER
EXP.	EXPANSION		
EXPOS.	EXPOSED		
EXT.	EXTERIOR		
F.D.	FLOOR DRAIN		
F	FURNACE		

Peter Moeck, P.E.
 Designer + Engineer
 353 Pine Hill Road
 Mill Valley, CA 94941
 Tel. 415-845-9032 pmoeck@yahoo.com



OWNER(S):
 PETER MOECK
 808 SPRING DRIVE
 MILL VALLEY CA 94941

PROJECT:
 MOECK RESIDENCE
 812 SPRING DRIVE
 MILL VALLEY, CA 94941

APN. 049-182-03

TITLE SHEET

DATE: 1-15-2022

SCALE:
 AS NOTED

DRAWN:
 P. MOECK

SHEET:

A-0



REVISIONS	BY:
R-1 5-15-22	PM

Peter Moeck, P.E.
 Designer + Engineer
 353 Pine Hill Road
 Mill Valley, CA 94941
 Tel. 415-845-9032 pmoeck@yahoo.com



OWNER(S):
 PETER MOECK
 808 SPRING DRIVE
 MILL VALLEY CA 94941

PROJECT:
 MOECK RESIDENCE
 812 SPRING DRIVE
 MILL VALLEY, CA 94941

APN. 049-182-03

3-D
 RENDERING
 AND CERT.
 OF COMPL.

DATE: 1-15-2022

SCALE:
 AS NOTED

DRAWN:
 P. MOECK

SHEET:

A-5

WHEN RECORDED MAIL TO:
 Marin County Community Development Agency
 Planning Division
 3501 Civic Center Drive, #308
 San Rafael, Ca 94903

Attn: Immanuel Bereket, Senior Planner

COPY of Document Recorded
 8-43AM 18-Oct-2021 2021-0908476
 Has not been compared with
 original
 MARIN COUNTY RECORDER

THIS SPACE FOR RECORDER'S USE ONLY
 Record without fee per G.C. 27383

CERTIFICATE OF COMPLIANCE

The Marin County Community Development Agency has determined that the unit of real property described herein is a single legal lot of record.

Property Owner(s) of Record: Laura McBride
Record Data for Subject Property: 138701860A
Assessor's Parcel Number(s): 049-182-03
Number of Legal Lots of Record: One
Conditions: None

Description: (See Exhibit "A" attached)
 The description in Exhibit "A" attached, has been taken from Official Marin County Records, and neither the County of Marin nor any of its officers or employees assume responsibility for the accuracy of said description.

This certificate relates only to issues of compliance or noncompliance with the Subdivision Map Act and local ordinances enacted pursuant thereto. The parcel described herein may be sold, leased, or financed without further compliance with the Subdivision Map Act or any local ordinance enacted pursuant thereto. Development of the parcel may require issuance of a permit or permits, or other grant or grants of approval.

This Certificate of Compliance shall in no way affect the requirements of any other County, State, Federal, or local agency that regulates development of real property.

IN WITNESS WHEREOF, the undersigned has executed this Certificate of Compliance on the 18th of October, 2021.

Immanuel Bereket
 Senior Planner
 County of Marin

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
 County of Marin

On October 18, 2021 before me, Sarah Nicole Williamson, Notary Public
 (insert name and title of the officer)

personally appeared Immanuel Bereket
 _____, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature (Seal)



EXHIBIT A

The land referred to is situated in the unincorporated area of the County of Marin, State of California, and is described as follows

APN. 049-182-03

Being a portion of Lot 150 as shown on the Map of Tamalpais Woods Addition, Subdivision No. 1, recorded in Book 5 of Maps at Page 48, Marin County Records and being more particularly described as follows:

Beginning at a point on the northerly line of Spring Drive, said point being the corner common to lot numbers 150 and 151 as shown on said Map of Tamalpais Woods Addition;

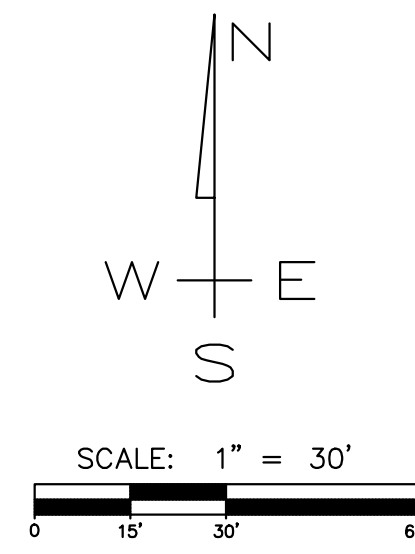
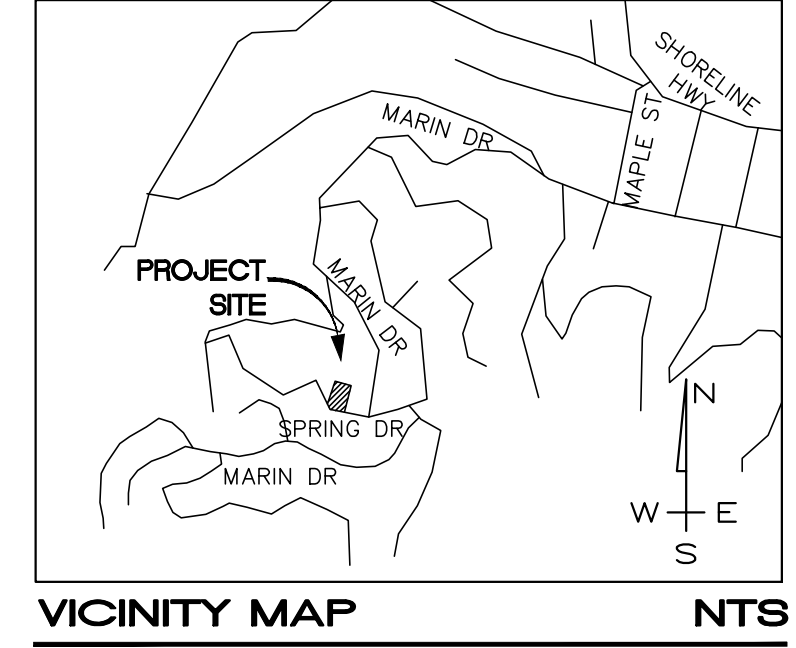
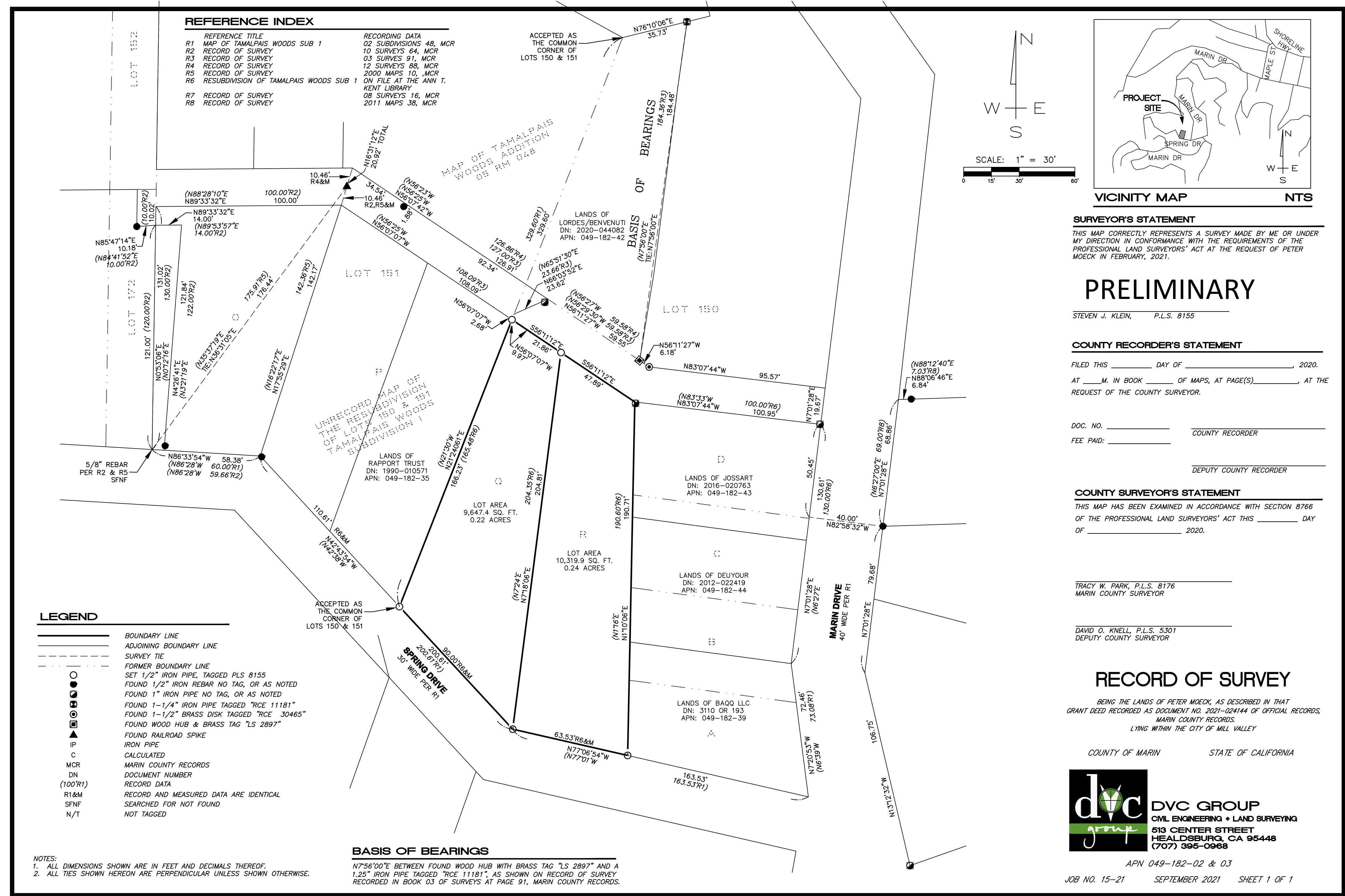
Thence along the northerly line of said Spring drive South 42°38'00" East, 90.00 feet;

Thence leaving said northerly line of Spring Drive North 7°24'00" East, 204.35 feet;

Thence to the westerly boundary line of said Lot 150 North 56°27'00" West, 32.00 feet;

Thence along said westerly boundary line of said Lot 150 South 21°30'00" West, 165.48 feet to the **Point of Beginning**.

REVISIONS	BY:
R-1 5-15-22	PM



SURVEYOR'S STATEMENT
 THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF PETER MOECK IN FEBRUARY, 2021.

PRELIMINARY

STEVEN J. KLEIN, P.L.S. 8155

COUNTY RECORDER'S STATEMENT
 FILED THIS _____ DAY OF _____, 2020.
 AT _____ M. IN BOOK _____ OF MAPS, AT PAGE(S) _____, AT THE REQUEST OF THE COUNTY SURVEYOR.

DOC. NO. _____ COUNTY RECORDER
 FEE PAID: _____ DEPUTY COUNTY RECORDER

COUNTY SURVEYOR'S STATEMENT
 THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS' ACT THIS _____ DAY OF _____ 2020.

TRACY W. PARK, P.L.S. 8176
 MARIN COUNTY SURVEYOR

DAVID O. KNELL, P.L.S. 5301
 DEPUTY COUNTY SURVEYOR

RECORD OF SURVEY

BEING THE LANDS OF PETER MOECK, AS DESCRIBED IN THAT GRANT DEED RECORDED AS DOCUMENT NO. 2021-024144 OF OFFICIAL RECORDS, MARIN COUNTY RECORDS, LYING WITHIN THE CITY OF MILL VALLEY

COUNTY OF MARIN STATE OF CALIFORNIA

DVC GROUP
 CIVIL ENGINEERING • LAND SURVEYING
 613 CENTER STREET
 HEALDSBURG, CA 95448
 (707) 395-0968

APN 049-182-02 & 03
 JOB NO. 15-21 SEPTEMBER 2021 SHEET 1 OF 1

Peter Moeck, P.E.
 Designer + Engineer
 353 Pine Hill Road
 Mill Valley, CA 94941
 Tel. 415-845-9032 pmoeck@yahoo.com



OWNER(S):
 PETER MOECK
 808 SPRING DRIVE
 MILL VALLEY CA 94941

PROJECT:
 MOECK RESIDENCE
 812 SPRING DRIVE
 MILL VALLEY, CA 94941
 APN. 049-182-03

RECORD OF SURVEY
 DATED SEPT. 2021

DATE: 1-15-2022

SCALE:
 AS NOTED

DRAWN:
 P. MOECK

SHEET:

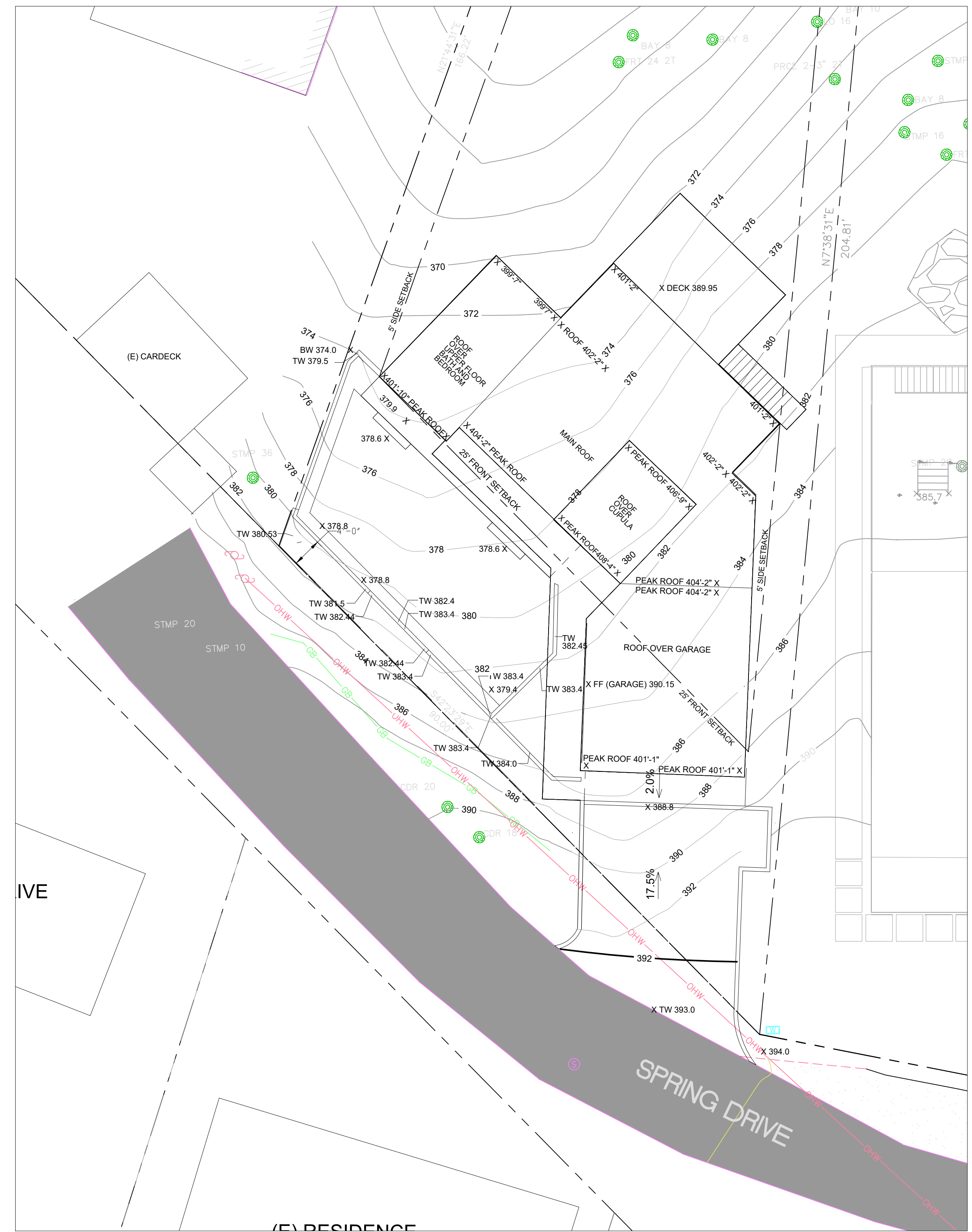
A-6

NOTE: THIS RECORD OF SURVEY FOR 812 SPRING DRIVE WAS SUBMITTED TO THE COUNTY OF MARIN FOR REVIEW ON NOVEMBER 4, 2021 BY DVC GROUP (THE SURVEYOR) AND APPROVED/RECORDED ON (SEE SNAPSHOT BELOW FROM COUNTY OF MARIN DATABASE . THE TOTAL SQUARE FOOTAGE FOR 812 SPRING DRIVE IS 9'647 SF AS SHOWN ABOVE. THIS IS THE LOT SIZE SQUARE FOOTAGE USED ON SHEET A-0 FOR FAR AND LOT COVERAGE CALCULATIONS.



SITE PLAN W/ EXISTING COUNTOUR FOR BUILDING HEIGHT VERIFICATION
SCALE 1" = 20'

NOTE: SITE PLAN WITH SMALLER SCALE SHOWN SO THAT READER CAN SEE ENTIRE PROPERTY - ALL PERTINENT DETAILS AND CALL OUTS SHOWN ON SITE PLAN ON THIS SHEET WITH SCALE 1"=10'



SITE PLAN W/ EXISTING COUNTOUR FOR BUILDING HEIGHT VERIFICATION
SCALE 1" = 10'

REVISIONS BY:

Peter Moeck, P.E.
Civil Engineer
353 Pine Hill Road
Mill Valley, CA 94941
Tel. 415-845-9032 pmoeck@yahoo.com



PROJECT:
MOECK RESIDENCE
812 SPRING DRIVE
MILL VALLEY, CA 94941
APN. 049-182-03

SITE PLAN
W/ (E)
CONTOUR
FOR BUILDING
HEIGHT
VERIFICATION

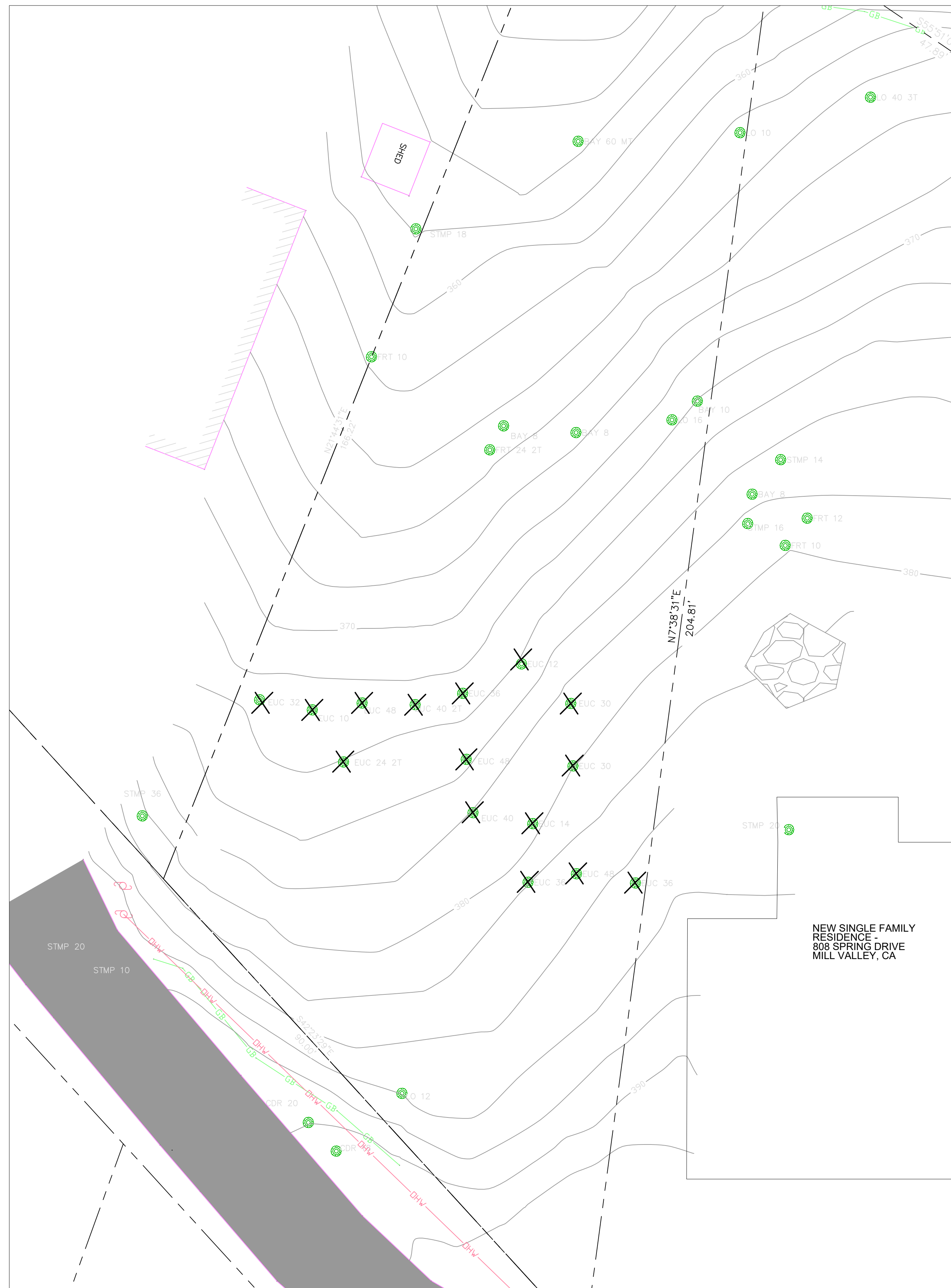
DATE:
1-15-2022

SCALE:
AS NOTED

DRAWN:
P. MOECK

SHEET:

A-7



TREE REMOVAL PLAN
SCALE 1" = 10'

X TREE TO BE REMOVED

TREES SHALL BE REMOVED PER WRA ENVIRONMENTAL REPORT DATED JANUARY 31, 2022 AS PART OF THIS PLANNING SUBMITTAL PACKAGE.

REVISIONS BY:
R-1 5-15-22 PM

Peter Moeck, P.E.
Civil Engineer
353 Pine Hill Road
Mill Valley, CA 94941
Tel. 415-845-9032 pmoeck@yahoo.com



PROJECT:
MOECK RESIDENCE
812 SPRING DRIVE
MILL VALLEY, CA 94941
APN. 049-182-03

TREE
REMOVAL
PLAN

DATE:
1-15-2022

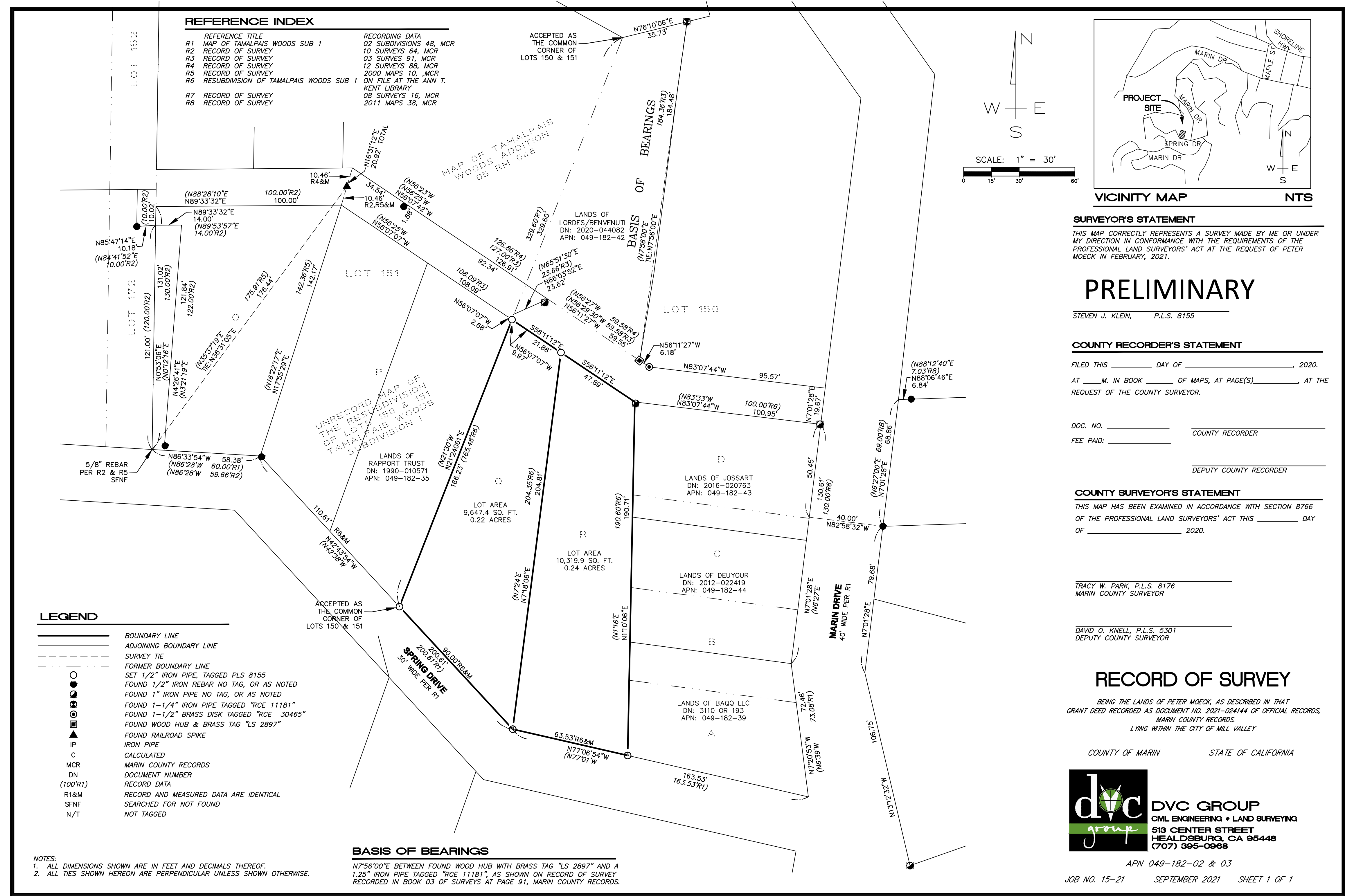
SCALE:
AS NOTED

DRAWN:
P. MOECK

SHEET:

A-8

REVISIONS	BY:
R-1 5-15-22	PM



Peter Moeck, P.E.
Designer + Engineer
353 Pine Hill Road
Mill Valley, CA 94941
Tel. 415-845-9032 pmoeck@yahoo.com



OWNER(S):
PETER MOECK
808 SPRING DRIVE
MILL VALLEY CA 94941

PROJECT:
MOECK RESIDENCE
812 SPRING DRIVE
MILL VALLEY, CA 94941
APN. 049-182-03

RECORD OF SURVEY
DATED SEPT. 2021

DATE: 1-15-2022

SCALE:
AS NOTED

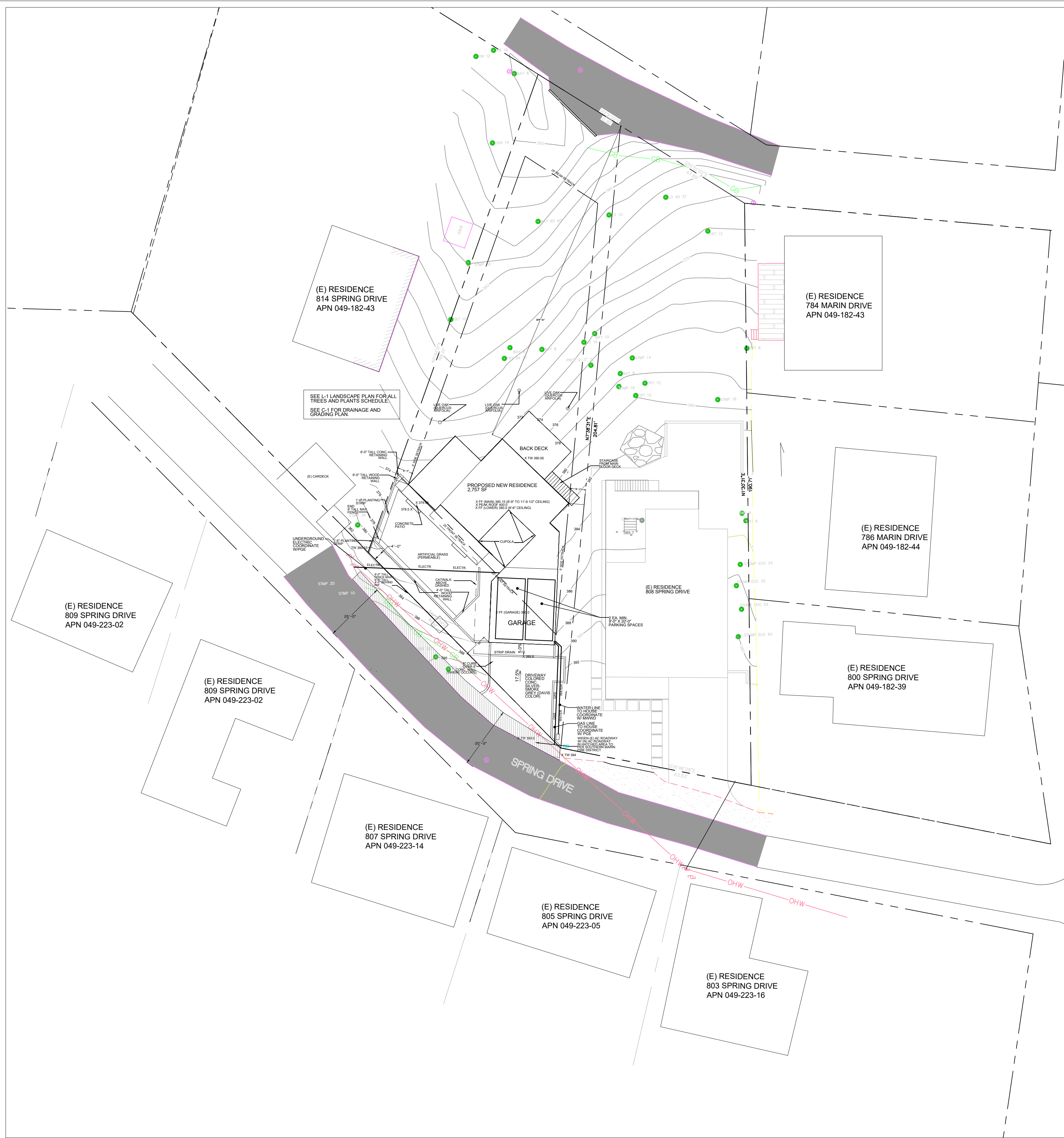
DRAWN:
P. MOECK

SHEET:

A-6

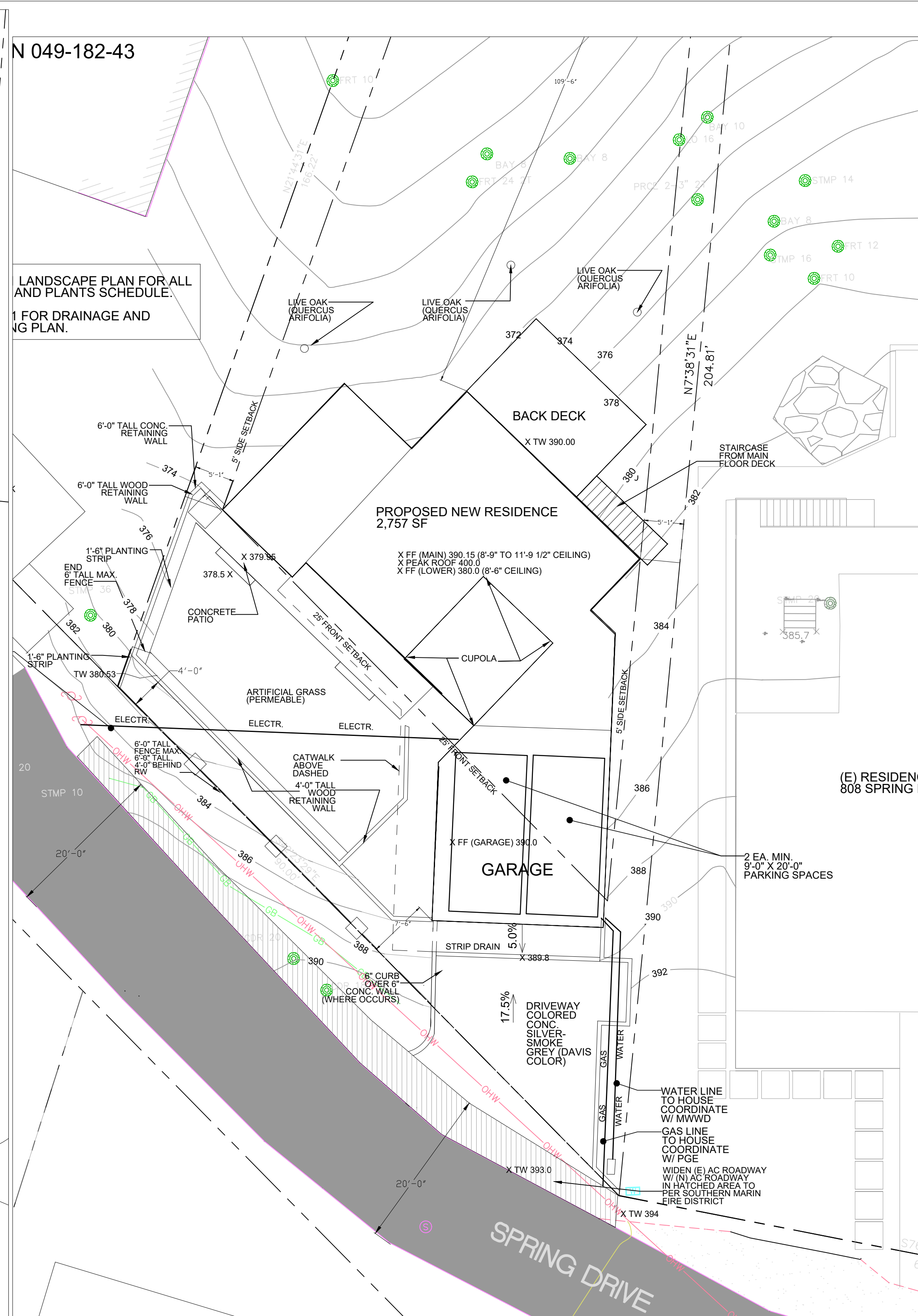
NOTE: THIS RECORD OF SURVEY FOR 812 SPRING DRIVE WAS SUBMITTED TO THE COUNTY OF MARIN FOR REVIEW ON NOVEMBER 4, 2021 BY DVC GROUP (THE SURVEYOR) AND APPROVED/RECORDED ON (SEE SNAPSHOT BELOW FROM COUNTY OF MARIN DATABASE . THE TOTAL SQUARE FOOTAGE FOR 812 SPRING DRIVE IS 9'647 SF AS SHOWN ABOVE. THIS IS THE LOT SIZE SQUARE FOOTAGE USED ON SHEET A-0 FOR FAR AND LOT COVERAGE CALCULATIONS.

DPW #	TYPE	"Lands of"	LOCATION	APN	Surveyor / Agency	PLS	Date Received	Date Recorded	Document #	Recorded Book #	Recorded Page #
21-190	RS	Moeck	Mill Valley	049-182-02 & 03	DVC Group/Munselle Engineering	8155	10/26/2021	2/4/2022	2022-004645	2022	23



SITE PLAN
SCALE 1" = 20'

NOTE: SITE PLAN WITH SMALLER SCALE SHOWN SO THAT READER CAN SEE ENTIRE PROPERTY - ALL PERTINENT DETAILS AND CALL OUTS SHOWN ON SITE PLAN ON THIS SHEET WITH SCALE 1"=10'



SITE PLAN
SCALE 1" = 10'

REVISIONS BY:

Peter Moeck, P.E.
Civil Engineer
353 Pine Hill Road
Mill Valley, CA 94941
Tel. 415-845-9032 pmoeck@yahoo.com



PROJECT:
MOECK RESIDENCE
812 SPRING DRIVE
MILL VALLEY, CA 94941
APN. 049-182-03

SITE PLAN

DATE:
1-15-2022

SCALE:
AS NOTED

DRAWN:
P. MOECK

SHEET:

A-10

REVISIONS	BY:
R-1 5-15-22	PM

Peter Moeck, P.E.
 Designer + Engineer
 353 Pine Hill Road
 Mill Valley, CA 94941
 Tel. 415-845-9032 pmoeck@yahoo.com



OWNER(S):
 PETER MOECK
 808 SPRING DRIVE
 MILL VALLEY CA 94941

PROJECT:
 MOECK RESIDENCE
 812 SPRING DRIVE
 MILL VALLEY, CA 94941
 APN. 049-182-03

FOUNDATION
 & CRAWL
 SPACE MEP

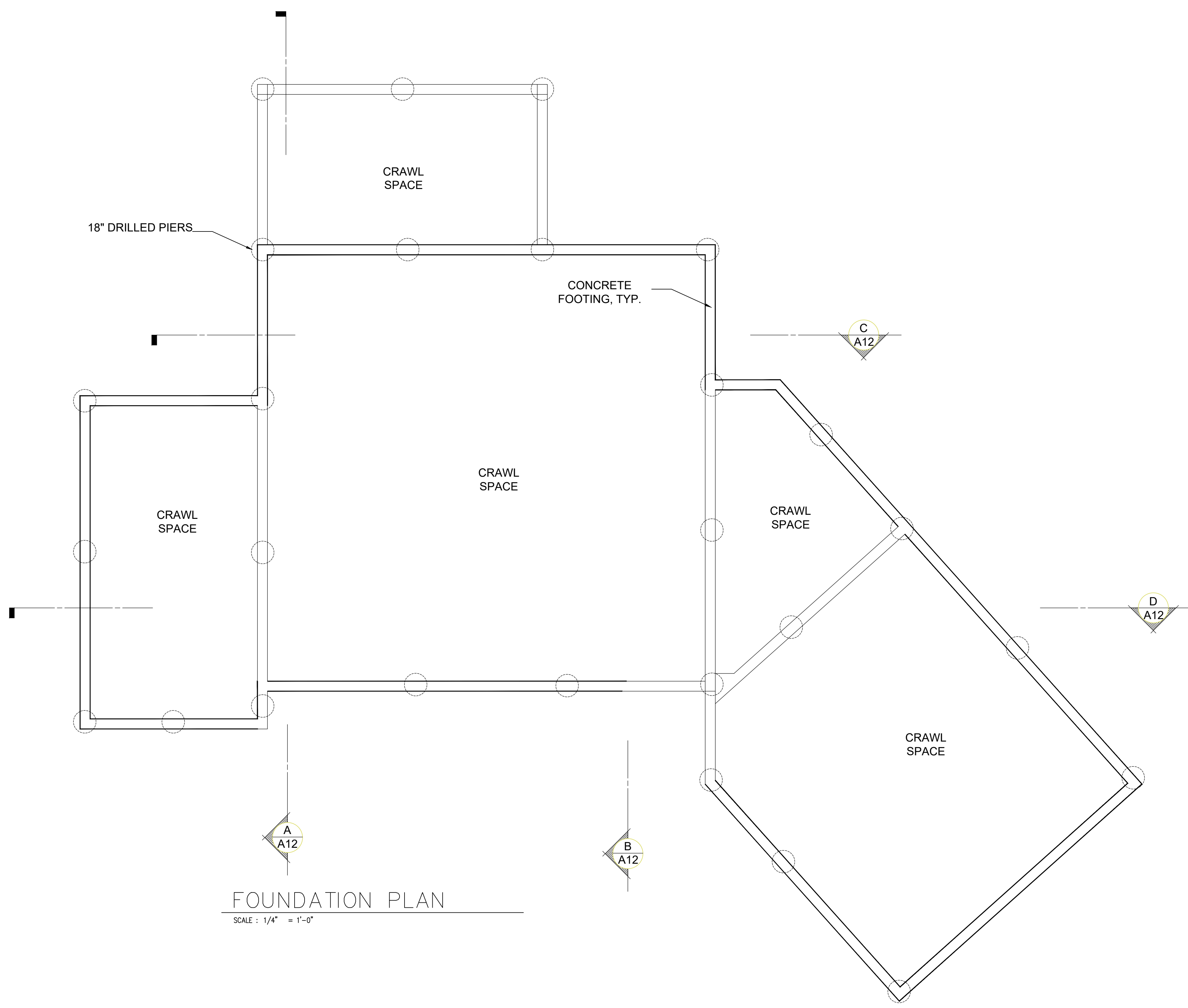
DATE: 1-15-2022

SCALE:
 AS NOTED

DRAWN:
 P. MOECK

SHEET:

A-11



FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS	BY:
R-1 5-15-22	PM

Peter Moeck, P.E.
 Designer + Engineer
 353 Pine Hill Road
 Mill Valley, CA 94941
 Tel. 415-845-9032 pmoeck@yahoo.com



OWNER(S):
 PETER MOECK
 808 SPRING DRIVE
 MILL VALLEY CA 94941

PROJECT:
 MOECK RESIDENCE
 812 SPRING DRIVE
 MILL VALLEY, CA 94941
 APN. 049-182-03

LOWER FLOOR PLAN

DATE: 1-15-2022

SCALE:
 AS NOTED

DRAWN:
 P. MOECK

SHEET:

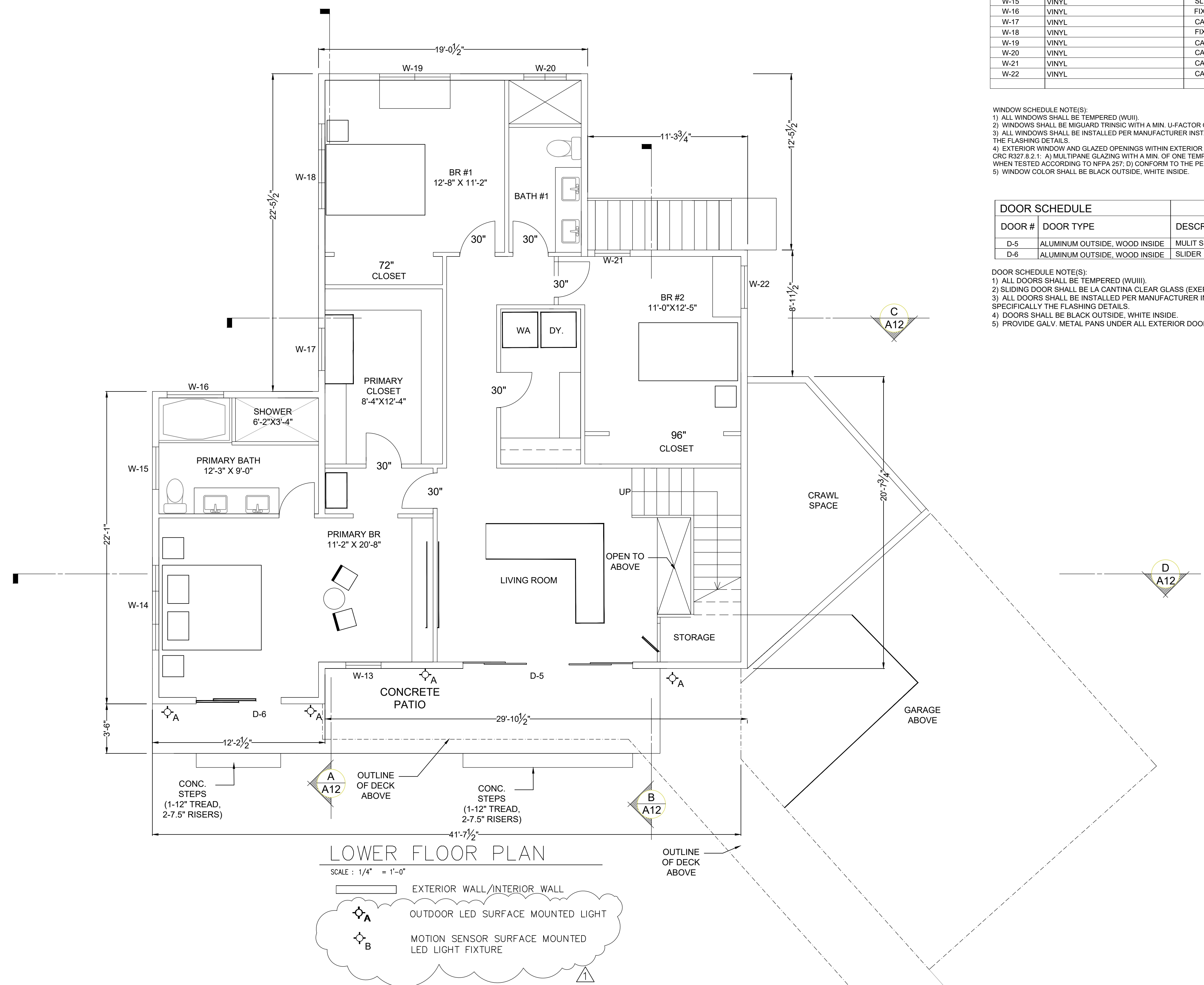
A-12

WINDOW #	WINDOW TYPE	FUNCTION	SIZE
W-13	VINYL	FIXED	2'-6"X7'-0"
W-14	VINYL	FIXED IN MIDDLE, 24" C AT ENDS	6'-0"X3'-0"
W-15	VINYL	SLIDER	3'-0"X4'-0"
W-16	VINYL	FIXED	4'-0"X4'-0"
W-17	VINYL	CASEMENT	3'-0"X4'-0"
W-18	VINYL	FIXED IN MIDDLE, 24" C AT ENDS	6'-0"X3'-0"
W-19	VINYL	CASEMENT	5'-0"X4'-6"
W-20	VINYL	CASEMENT	3'-0"X4'-6"
W-21	VINYL	CASEMENT	2'-6"X3'-6"
W-22	VINYL	CASEMENT	3'-0"X4'-0"

- WINDOW SCHEDULE NOTE(S):
 1) ALL WINDOWS SHALL BE TEMPERED (WU1).
 2) WINDOWS SHALL BE MIGUARD TRINSIC WITH A MIN. U-FACTOR OF .30, MIN. SGHC FACTOR .23.
 3) ALL WINDOWS SHALL BE INSTALLED PER MANUFACTURER INSTALLATION RECOMMENDATIONS, SPECIFICALLY THE FLASHING DETAILS.
 4) EXTERIOR WINDOW AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL ONE OF THE FOLLOWING PER CRC R327.8.2.1: A) MULTIPANE GLAZING WITH A MIN. OF ONE TEMPERED PANE; B) GLASS BLOCK UNITS; C) 20-MINUTE RATED WHEN TESTED ACCORDING TO NFPA 257; D) CONFORM TO THE PERFORMANCE REQUIREMENT OF STANDARD SFM R327.8.3.
 5) WINDOW COLOR SHALL BE BLACK OUTSIDE, WHITE INSIDE.

DOOR #	DOOR TYPE	DESCRIPTION	FUNCTION	SIZE
D-5	ALUMINUM OUTSIDE, WOOD INSIDE	MULTI SLIDE	ONE FIXED, TWO OPER. (36" PANELS)	12'-0"X8'-0"
D-6	ALUMINUM OUTSIDE, WOOD INSIDE	SLIDER	ONE FIXED, ONE OPER. (36" PANELS)	6'-0" X 8'-0"

- DOOR SCHEDULE NOTE(S):
 1) ALL DOORS SHALL BE TEMPERED (WU1).
 2) SLIDING DOOR SHALL BE LA CANTINA CLEAR GLASS (EXCEPT GARAGE AND FRONT DOOR SHALL BE PRIVACY).
 3) ALL DOORS SHALL BE INSTALLED PER MANUFACTURER INSTALLATION RECOMMENDATIONS, SPECIFICALLY THE FLASHING DETAILS.
 4) DOORS SHALL BE BLACK OUTSIDE, WHITE INSIDE.
 5) PROVIDE GALV. METAL PANS UNDER ALL EXTERIOR DOORS.



Peter Moeck, P.E.
 Designer + Engineer
 353 Pine Hill Road
 Mill Valley, CA 94941
 Tel. 415-845-9032 pmoeck@yahoo.com



OWNER(S):
 PETER MOECK
 808 SPRING DRIVE
 MILL VALLEY CA 94941

PROJECT:
 MOECK RESIDENCE
 812 SPRING DRIVE
 MILL VALLEY, CA 94941
 APN. 049-182-03

MAIN FLOOR PLAN

DATE: 1-15-2022

SCALE:
 AS NOTED

DRAWN:
 P. MOECK

SHEET:

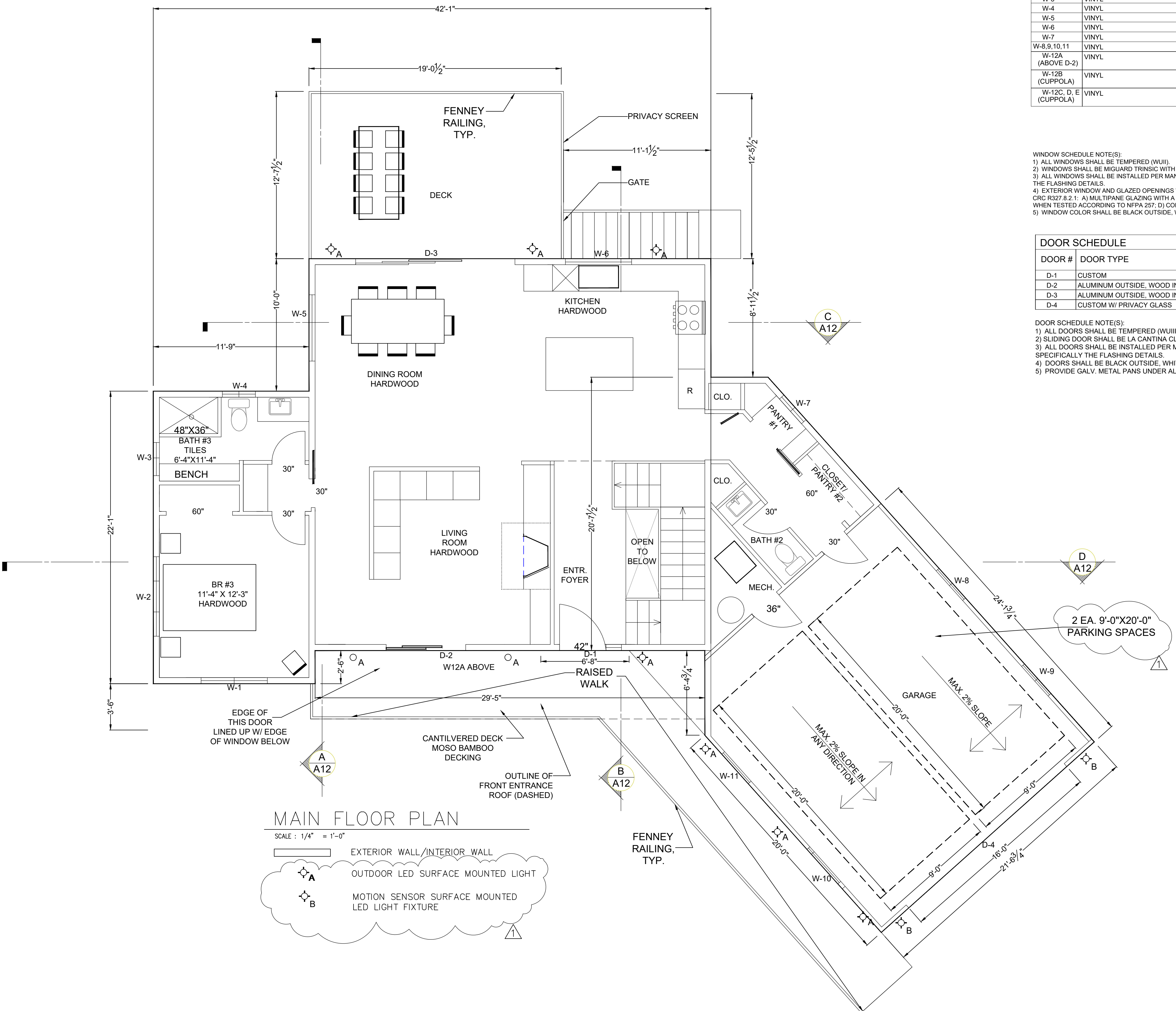
A-13

WINDOW #	WINDOW TYPE	FUNCTION	SIZE
W-1	VINYL	CASEMENT	5'-0"X5'-0"
W-2	VINYL	CASEMENT	6'-0"X4'-0"
W-3	VINYL	CASEMENT	2'-6"X4'-0"
W-4	VINYL	CASEMENT	2'-6"X4'-0"
W-5	VINYL	FIXED	5'-0"X4'-0"
W-6	VINYL	CASEMENT	5'-0"X4'-0"
W-7	VINYL	CASEMENT	2'-6"X4'-0"
W-8,9,10,11	VINYL	CASEMENT	4'-0"X5'-0"
W-12A (ABOVE D-2)	VINYL	FIXED	2'-0"X6'-0"
W-12B (CUPPOLA)	VINYL	FIXED	4'-0"X2'-0"
W-12C, D, E (CUPPOLA)	VINYL	FIXED	1'-8" X 3'-8"

WINDOW SCHEDULE NOTE(S):
 1) ALL WINDOWS SHALL BE TEMPERED (WU1).
 2) WINDOWS SHALL BE MIGUARD TRINISC WITH A MIN. U-FACTOR OF .30, MIN. SGHC FACTOR .23.
 3) ALL WINDOWS SHALL BE INSTALLED PER MANUFACTURER INSTALLATION RECOMMENDATIONS, SPECIFICALLY THE FLASHING DETAILS.
 4) EXTERIOR WINDOW AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL ONE OF THE FOLLOWING PER CRC R327.8.2.1: A) MULTIPANE GLAZING WITH A MIN. OF ONE TEMPERED PANE; B) GLASS BLOCK UNITS; C) 20-MINUTE RATED WHEN TESTED ACCORDING TO WPPA 257; D) CONFORM TO THE PERFORMANCE REQUIREMENT OF STANDARD SFM R327.8.3.
 5) WINDOW COLOR SHALL BE BLACK OUTSIDE, WHITE INSIDE.

DOOR #	DOOR TYPE	DESCRIPTION	FUNCTION	SIZE
D-1	CUSTOM	FRONT DOOR	INSWING W/ 12" SIDELIGHT	3'-6" X 8'-0"
D-2	ALUMINUM OUTSIDE, WOOD INSIDE	DBL. FRENCH	OUTSWING	6'-0"X8'-0"
D-3	ALUMINUM OUTSIDE, WOOD INSIDE	MULTI SLIDE	ONE FIXED, TWO OPER. (36" PANELS)	12'-0"X8'-0"
D-4	CUSTOM W/ PRIVACY GLASS	ROLL UP	SEE PLAN DWG. FOR MODEL	16'-0"X8'-0"

DOOR SCHEDULE NOTE(S):
 1) ALL DOORS SHALL BE TEMPERED (WU11).
 2) SLIDING DOOR SHALL BE LA CANTINA CLEAR GLASS (EXCEPT GARAGE AND FRONT DOOR SHALL BE PRIVACY).
 3) ALL DOORS SHALL BE INSTALLED PER MANUFACTURER INSTALLATION RECOMMENDATIONS, SPECIFICALLY THE FLASHING DETAILS.
 4) DOORS SHALL BE BLACK OUTSIDE, WHITE INSIDE.
 5) PROVIDE GALV. METAL PANS UNDER ALL EXTERIOR DOORS.



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 [Symbol] EXTERIOR WALL/INTERIOR WALL
 [Symbol] OUTDOOR LED SURFACE MOUNTED LIGHT
 [Symbol] MOTION SENSOR SURFACE MOUNTED LED LIGHT FIXTURE

REVISIONS	BY:
R-1 5-15-22	PM

Peter Moeck, P.E.
Designer + Engineer
353 Pine Hill Road
Mill Valley, CA 94941
Tel. 415-845-9032 pmoeck@yahoo.com



OWNER(S):
PETER MOECK
808 SPRING DRIVE
MILL VALLEY CA 94941

PROJECT:
MOECK RESIDENCE
812 SPRING DRIVE
MILL VALLEY, CA 94941

APN. 049-182-03

ROOF PLAN

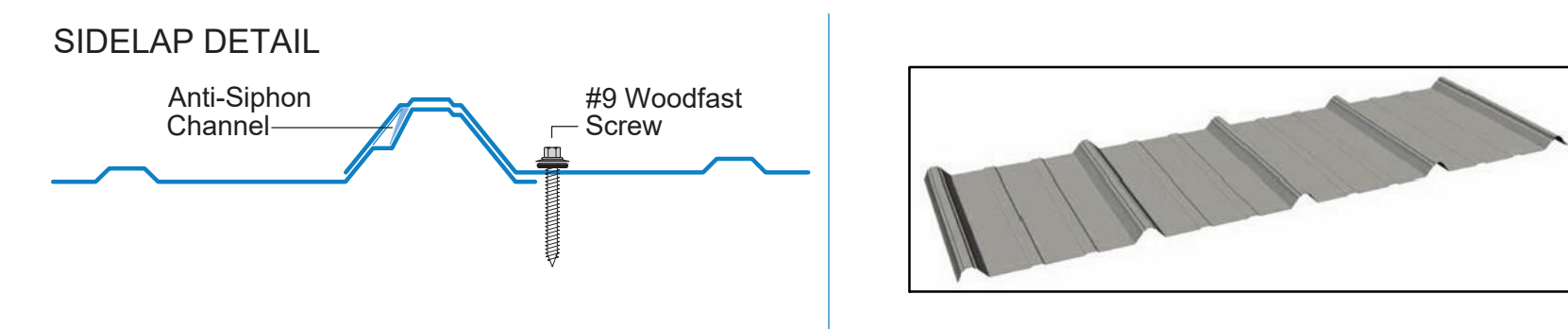
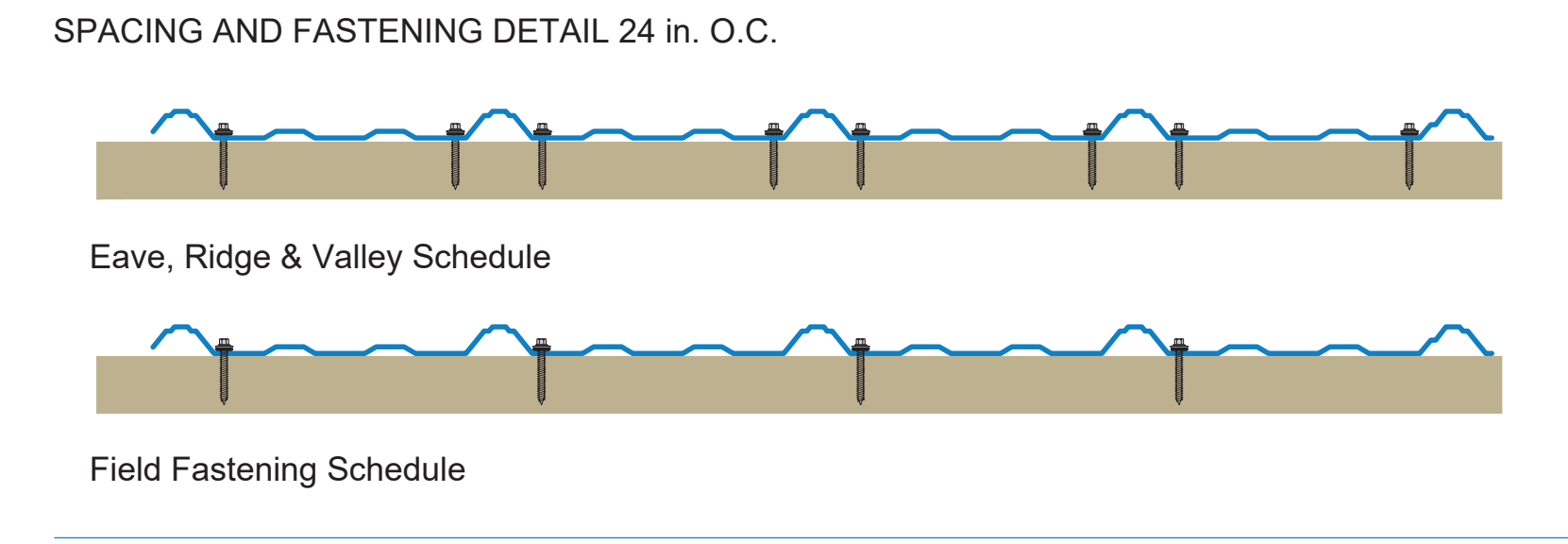
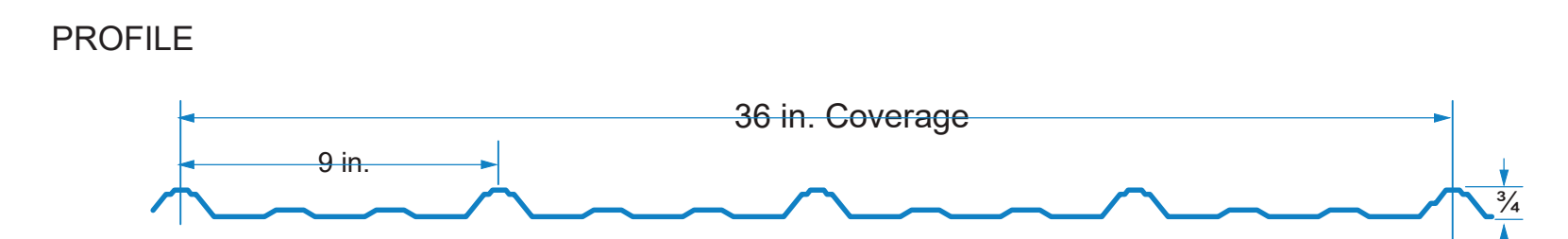
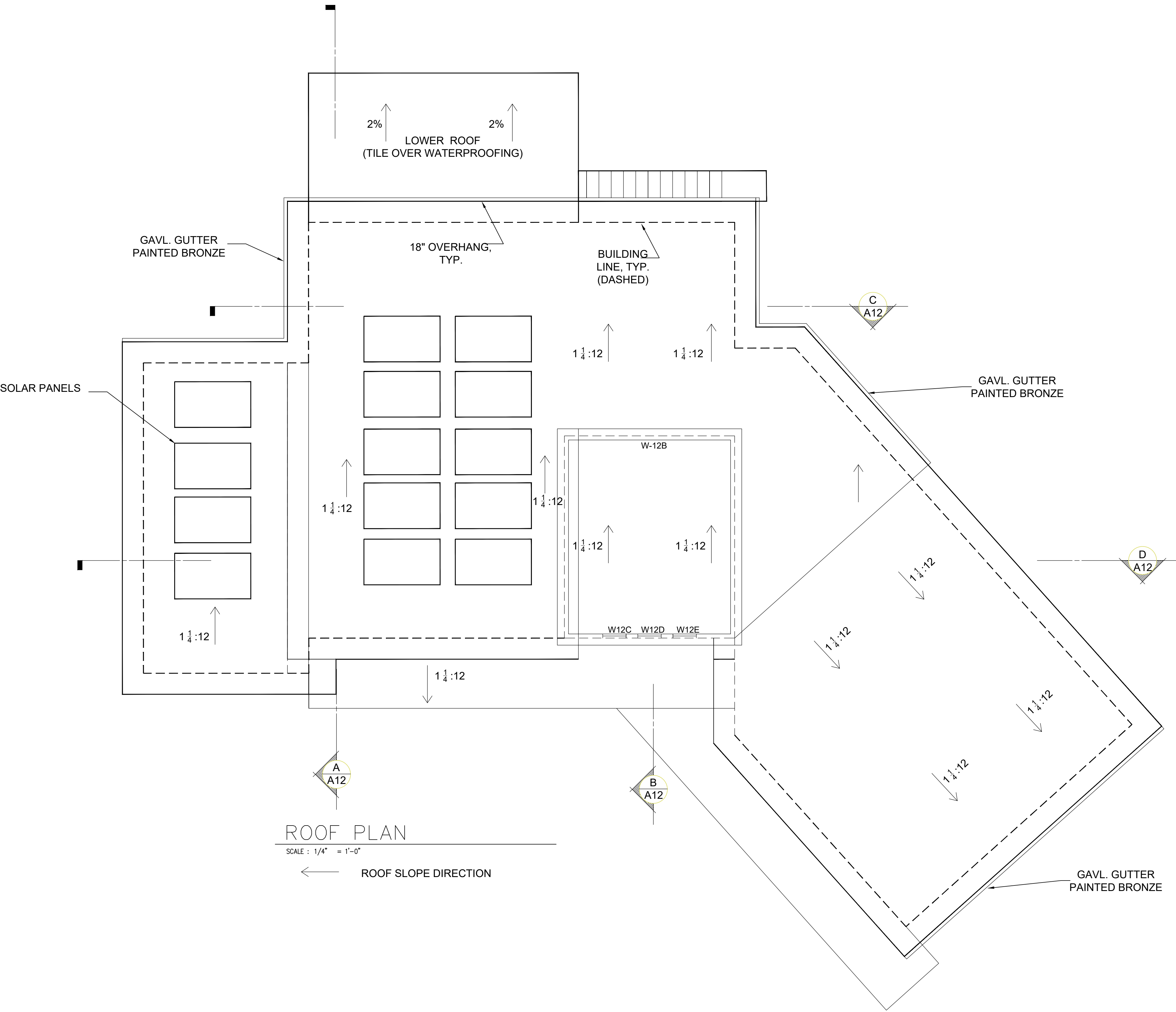
DATE: 1-15-2022

SCALE:
AS NOTED

DRAWN:
P. MOECK

SHEET:

A-14



APPROVALS

State of Florida Approved: **MIAMI-DADE** 26 Gauge

State of Florida Approved: 29 Gauge

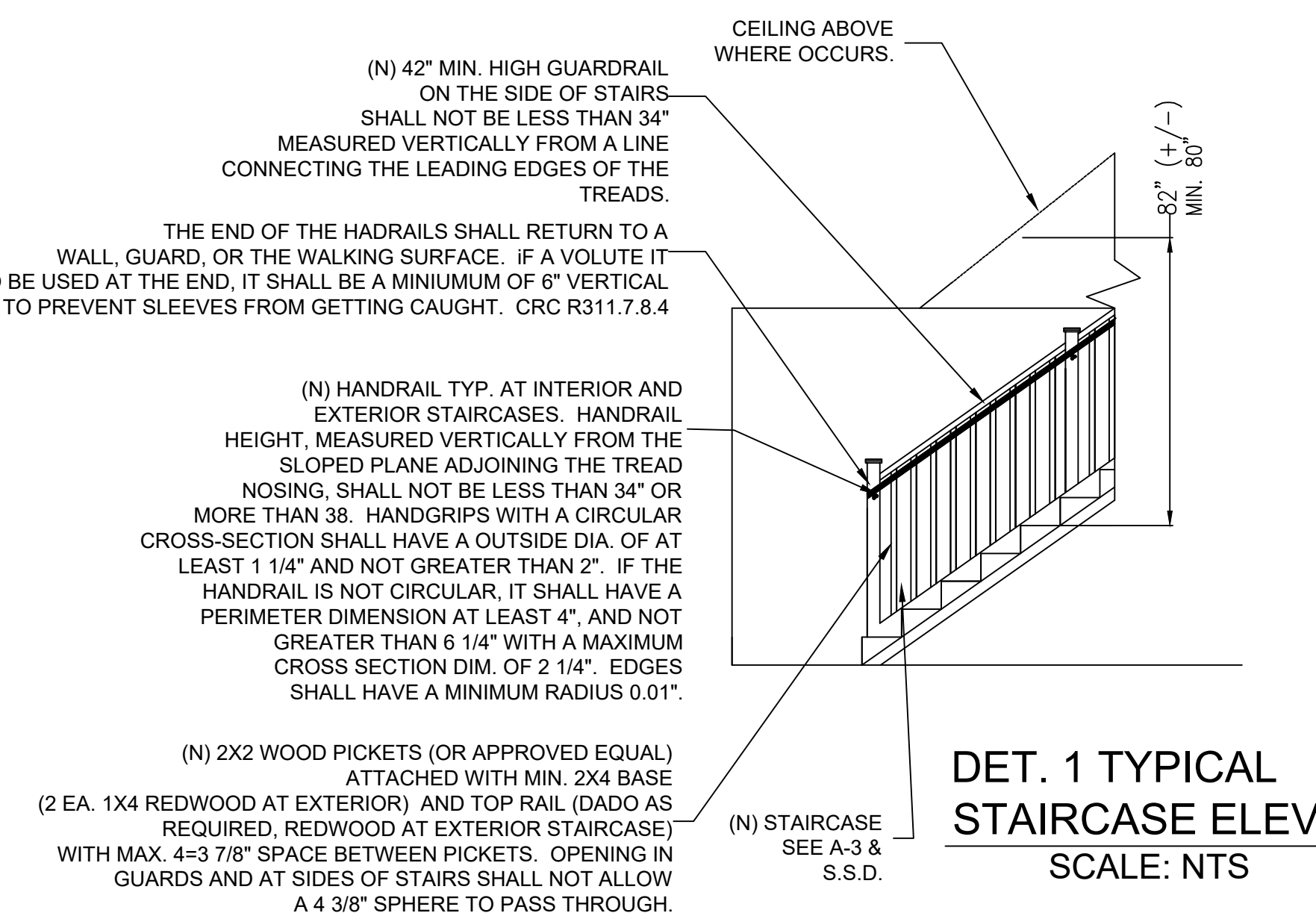
Testing Data & Specifications
Accelerated testing of coating 2000 hours, per ASTM G23
Salt Spray testing of coating 1000 hours per, ASTM B117
Fire Testing, per ASTM E108 or UL 790
Wind Driven Rain test, per TAS 100

Code Approvals¹
UL Fire Resistant Directory #R20735
Miami Dade Code Approval NOA #: 14-0416.13 (26 ga. min.)
Florida Building Code Approval #FL-11175 (29 ga. min.)

1. Code Approval numbers may have changed since publication. For the most recent code approval numbers, contact Southeastern Metals' Technical Department or refer to the appropriate code agency.

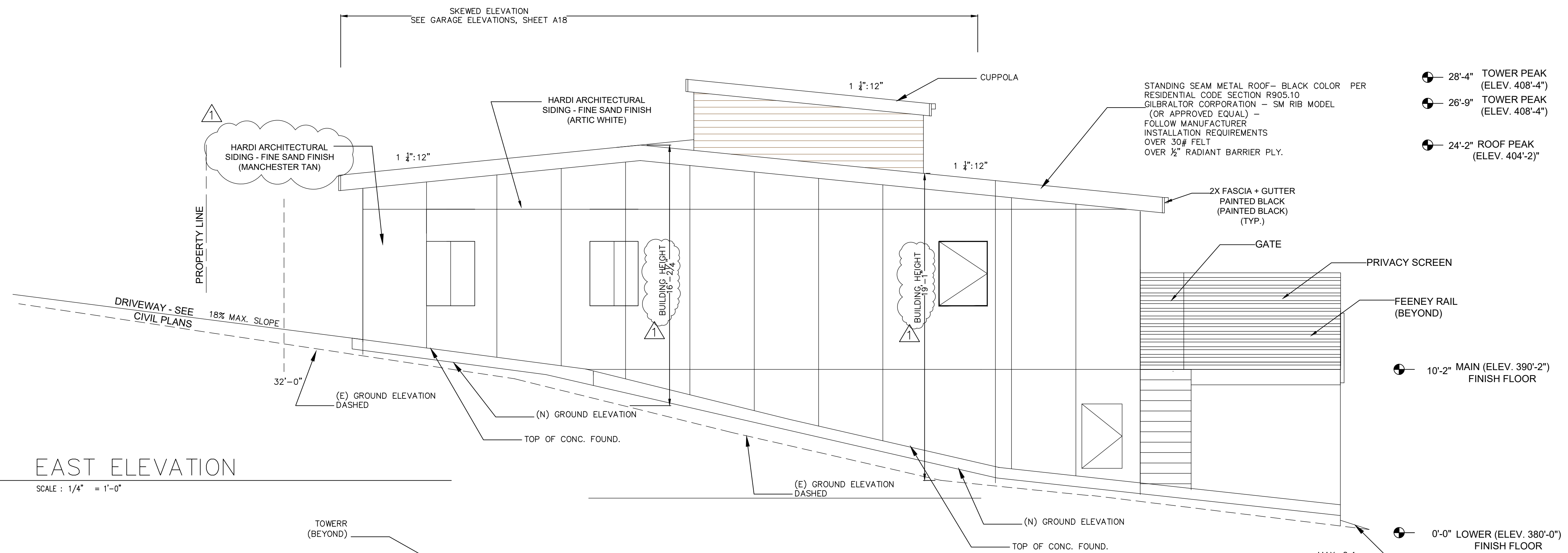
STAIR AND RAIL REQUIREMENTS:

- TREAD NOSING SHALL HAVE A RADIUS OF CURVATURE AT THE NOSING NO BE GREATER PROVIDED THAN ON 9/16". A NOSING NOT LESS THAN 3/8" BUT MORE THAN 1 1/2" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS AND TREAD DEPTH LESS THAN 11 INCHES SOLID LESS RISERS THAN AND 3/4" BUT TREAD MORE DEPTH THAN LESS 1-1/4" THAN INCHES 11 INCHES SHALL.
- HANDRAILS SHALL COMPLY WITH THE FOLLOWING (REQUIRED AT ALL STAIRS WITH 4 OR MORE RISERS).
 - TYPE I. IF CROSS-SECTION IS CIRCULAR, IT SHALL HAVE AN OUTSIDE DIAMETER 1 1/4" TO 2". IF CROSS-SECTION IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6-1/4".
 - TYPE II. HANDRAILS WITH PERIMETER GREATER THAN 6.25 INCHES SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE.
 - HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCH BETWEEN THE WALL AND HANDRAILS.
- HANDRAIL ASSEMBLIES AND GUARDS SHALL BE MOUNTED SO THAT THE COMPLETED RAIL AND SUPPORTING STRUCTURE ARE CAPABLE OF WITHSTANDING A CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP CRC R301.5.
- GUARDRAILS:
 - PROVIDE A GUARD AT ANY WALKING SURFACE OVER 30" ABOVE GRADE OR FLOOR BELOW.
 - MINIMUM HEIGHT OF 42" (A GUARD WHOSE TOP RAIL ALSO SERVES AS A STAIR HANDRAIL MAY BE 34" TO 38" ABOVE THE TREAD NOSING).
 - SPACING FOR INTERMEDIATE RAILS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH (OR SOLID RAIL). EXCEPTIONS: 4.375" ALLOWED AT STAIR GUARD; 6" ALLOWED AT TRIANGLE OPENING FORMED BY RISER, TREAD, AND BOTTOM RAIL.



MATERIAL COLOR PALETTE CHART

ITEM DESCRIPTION	
1. EXTERIOR WINDOWS/DOORS - BLACK MATTE FINISH AT OUTSIDE, WHITE INSIDE MILGUARD TRINSIC	
2. EXTERIOR TRIM - 2X12 REDWOOD PAINTED BLACK	
3. ROOF - STANDING SEAM METAL ROOF- BLACK COLOR PER GILBRALTOR INDUSTRIES - SM RIB MODEL (OR APPROVED EQUAL) -	
4. MOSO BAMBOO SIDING 1X6	
5. HARDI ARCHITECTURAL SIDING - FINE SAND FINISH (ARTIC WHITE)	
6. FRONT DRIVEWAY, CONCRETE SILVERSMOKE COLOR	
7. 4" GUTTER AT LOWER ROOF (AT FRONT HOUSE) GALVANIZED PAINTED BLACK	
8. 3" GALVANIZED METAL DOWNSPOUT - PAINTED BLACK	
9. FEENEY RAILING AT REAR DECKS - STAINLESS STEEL CABLES, BRONZE POSTS	
10. REAR DECK (AT PRIMARY) TILES OVER WATERPROOF (OWNER SELECTED)	
11. SOFFIT - 1/4" HARDI BOARD PAINTED MANCHESTER TAN	

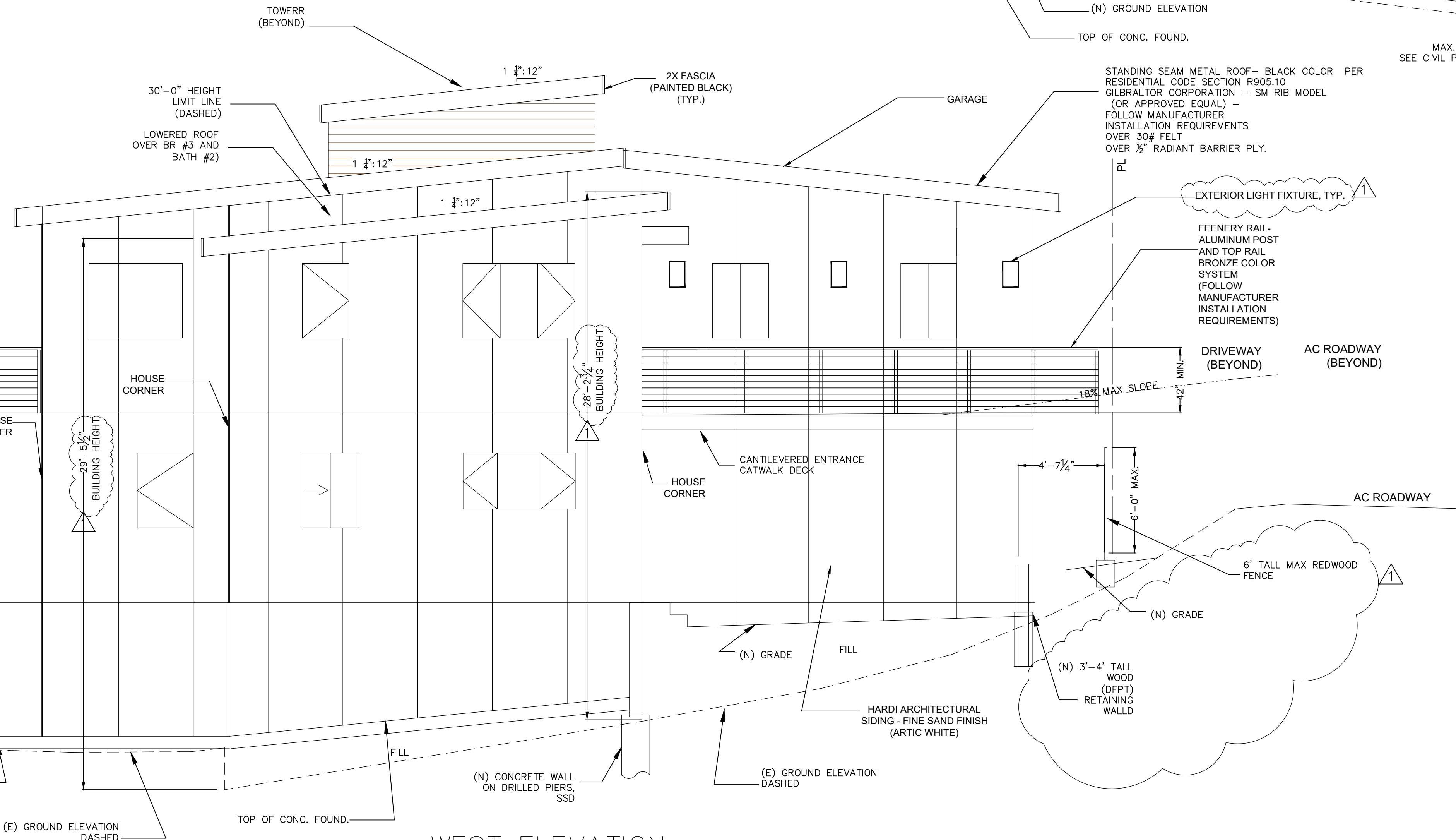


EAST ELEVATION

SCALE : 1/4" = 1'-0"

- TOWER PEAK (ELEV. 408'-4") ● 28'-4"
- TOWER ROOF AT BACK (ELEV. 406'-7") ● 26'-9"
- ROOF PEAK (ELEV. 404'-2") ● 24'-2"
- ROOF ELEV. (401'-2") ● 21'-2"
- ROOF (ELEV. 399'-7") ● 19'-7"

- FEENEY RAIL- ALUMINUM POST AND TOP RAIL BRONZE COLOR SYSTEM (FOLLOW MANUFACTURER INSTALLATION REQUIREMENTS)
- MAIN (ELEV. 390'-2") FINISH FLOOR ● 10'-2"
- LOWER (ELEV. 380'-0") FINISH FLOOR ● 0'-0"
- EXISTING GROUND SURF. (ELEV. 369'-8") AT LOWEST LOCATION ● -10'-4"

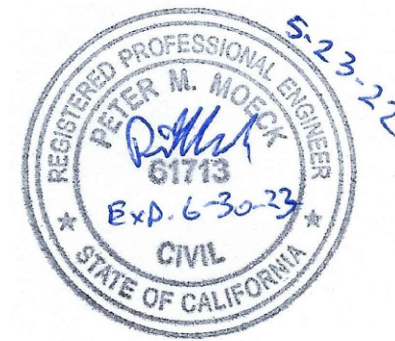


WEST ELEVATION

SCALE : 1/4" = 1'-0"

REVISIONS	BY:
R-1 5-15-22	PM

Peter Moeck, P.E.
Designer + Engineer
353 Pine Hill Road
Mill Valley, CA 94941
Tel. 415-845-5032 pmoeck@yahoo.com



OWNER(S):
PETER MOECK
808 SPRING DRIVE
MILL VALLEY CA 94941

PROJECT:
MOECK RESIDENCE
812 SPRING DRIVE
MILL VALLEY, CA 94941

APN. 049-182-03

ELEVATIONS

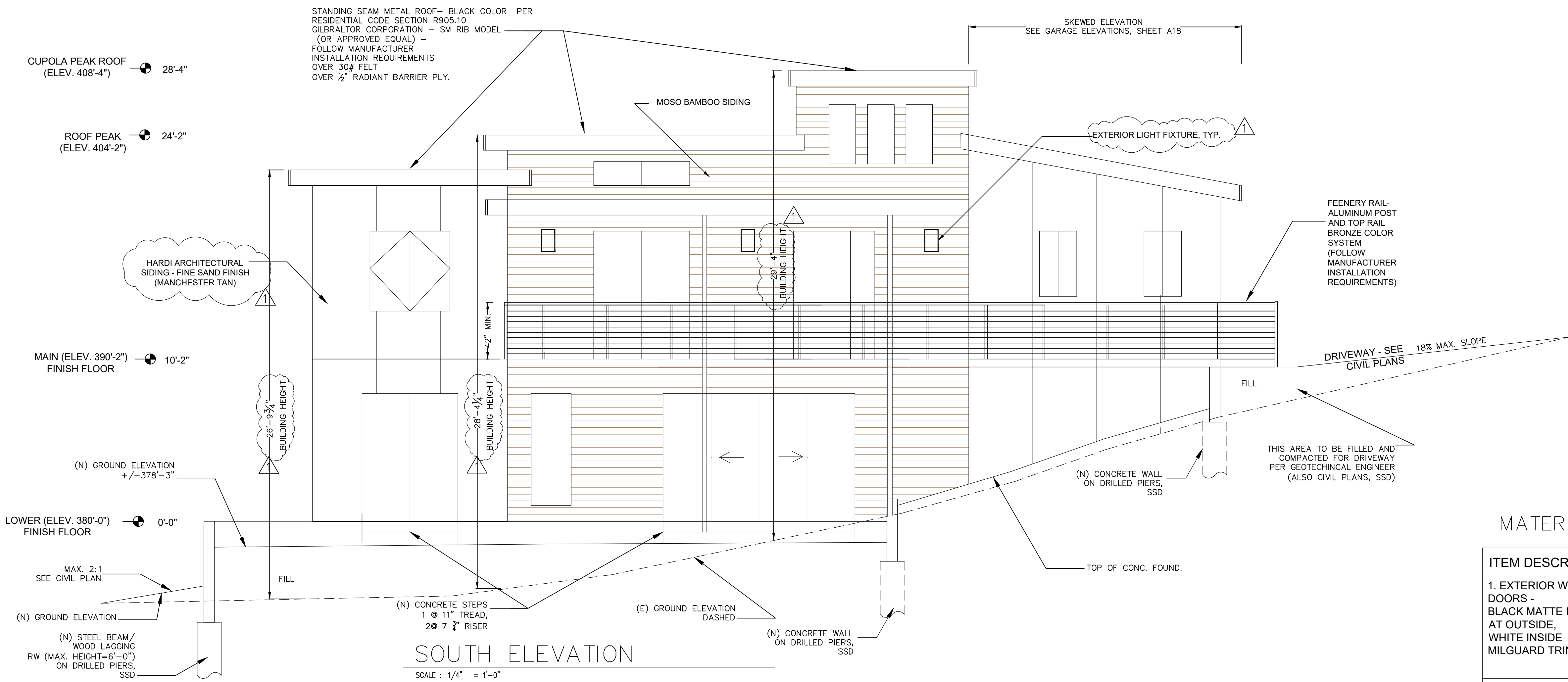
DATE: 1-15-2022

SCALE:
AS NOTED

DRAWN:
P. MOECK

SHEET:

A-15

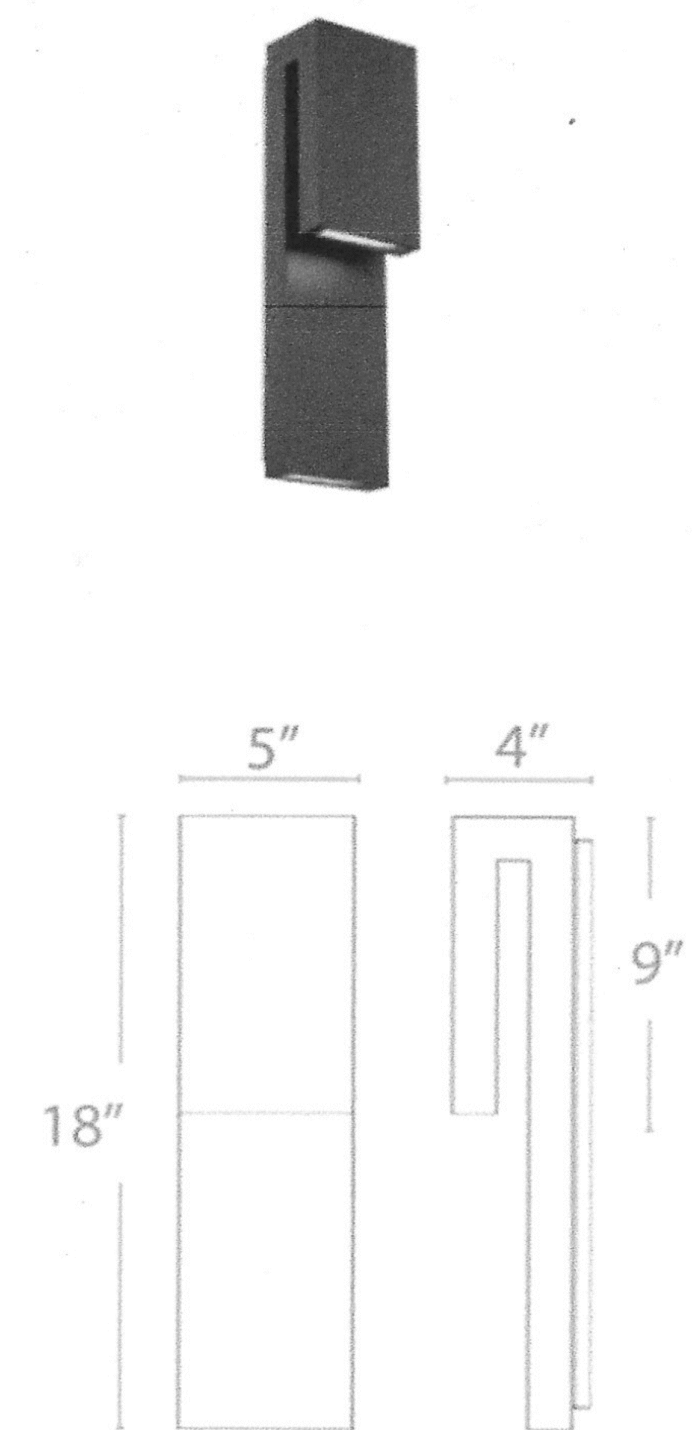
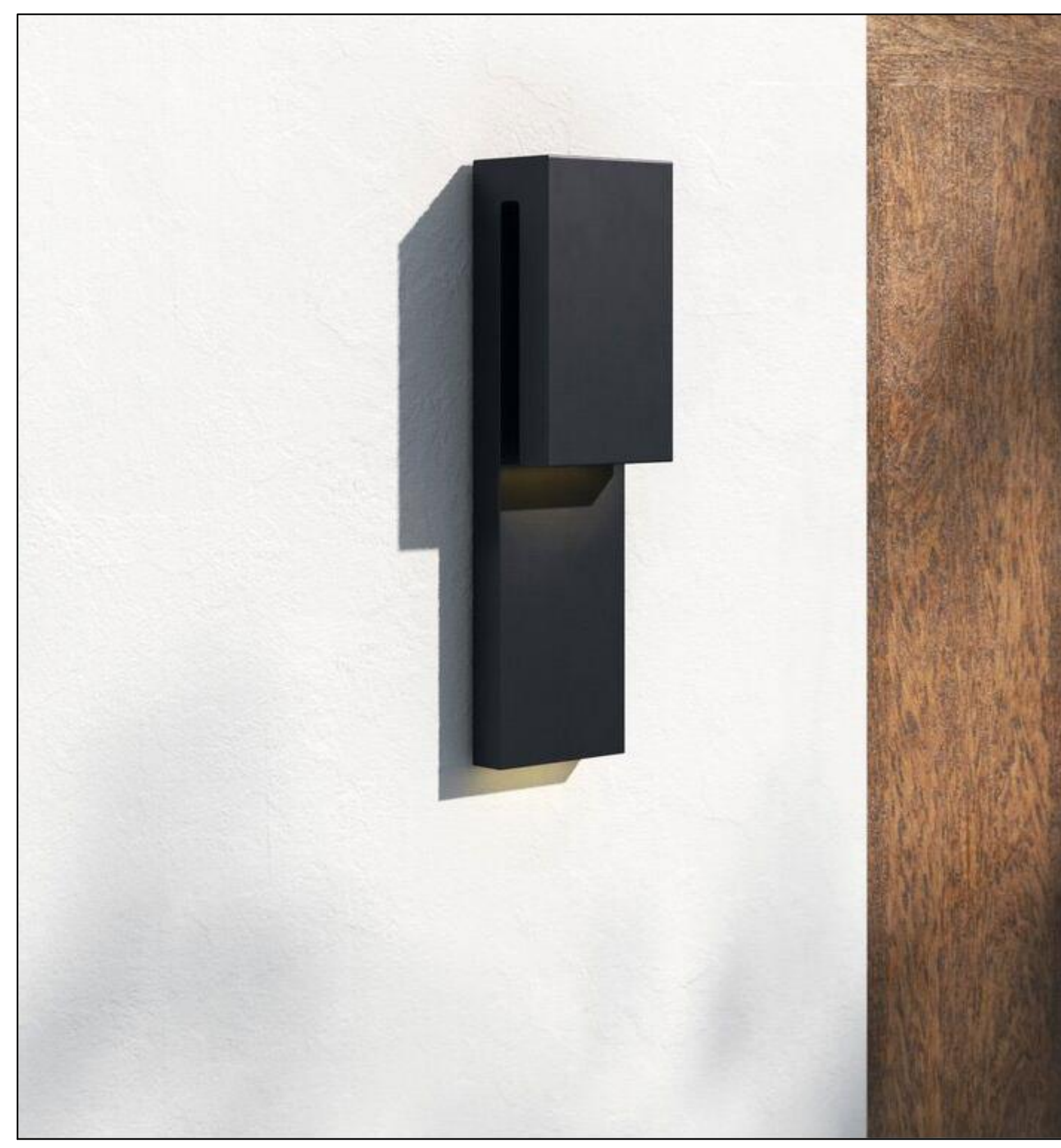


MATERIAL COLOR PALETTE CHART

ITEM DESCRIPTION	
1. EXTERIOR WINDOWS/DOORS - BLACK MATTE FINISH AT OUTSIDE, WHITE INSIDE MILGUARD TRINSIC	
2. EXTERIOR TRIM - 2X12 REDWOOD PAINTED BLACK	
3. ROOF - STANDING SEAM METAL ROOF- BLACK COLOR PER GILBRALTOR INDUSTRIES -SM RIB MODEL (OR APPROVED EQUAL) -	
4. MOSO BAMBOO SIDING 1X6	
5. HARDI ARCHITECTURAL SIDING - FINE SAND FINISH (ARTIC WHITE)	
6. FRONT DRIVEWAY, CONCRETE SILVERSMOKE COLOR	
7. 4\"/>	

EXTERIOR LIGHT FIXTURE

All Modern - Z-Bulb 18" Tall Led Light Black Matte Finish



Project: 812 SPRING 049-182-03 APN
 Location: 812 SPRING
 Fixture Type: EXTERIOR
 Catalog Number: N/A

AVAILABLE FINISHES:

Double Down
WS-W13718

PRODUCT DESCRIPTION
 Two thin planks of precisely wrought aluminum are stacked against each other on this smart exterior sconce, a welcoming luminaire when placed at the entrance to a hotel or modern home. Its clean, simple profile and understated finishes achieve peak minimalism, while the cutting-edge LEDs inside are top of the line for powerful, energy-efficient, long-lasting illumination. With this luminaire, the odds are definitely in your favor.

FEATURES
 • Driver concealed within the fixture
 • Weather resistant finish

SPECIFICATIONS
 Rated Life: 50000 Hours
 Standards: ETL, cETL, Wet Location Listed, IP65
 Input: 120-277V, 50/60Hz
 Dimming: ELV
 Color Temp: 3000K
 CRI: 90
 Construction: Aluminum hardware

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W13718 18"	3000K 3000K	BK Black GH Graphite	10.8W 10.8W	300 300	286 274

Peter Moeck, P.E.
 Designer + Engineer
 353 Pine Hill Road
 Mill Valley, CA 94941
 Tel. 415-845-9032 pmoeck@yahoo.com



OWNER(S):
 PETER MOECK
 808 SPRING DRIVE
 MILL VALLEY CA 94941

PROJECT:
 MOECK RESIDENCE
 812 SPRING DRIVE
 MILL VALLEY, CA 94941
 APN. 049-182-03

ELEVATIONS

DATE: 1-15-2022

SCALE:
 AS NOTED

DRAWN:
 P. MOECK

SHEET:

REVISIONS	BY:
R-1 5-15-22	PM

Peter Moeck, P.E.
 Designer + Engineer
 353 Pine Hill Road
 Mill Valley, CA 94941
 Tel. 415-845-9032 pmoeck@yahoo.com



OWNER(S):
 PETER MOECK
 808 SPRING DRIVE
 MILL VALLEY CA 94941

PROJECT:
 MOECK RESIDENCE
 812 SPRING DRIVE
 MILL VALLEY, CA 94941
 APN. 049-182-03

ELEVATIONS

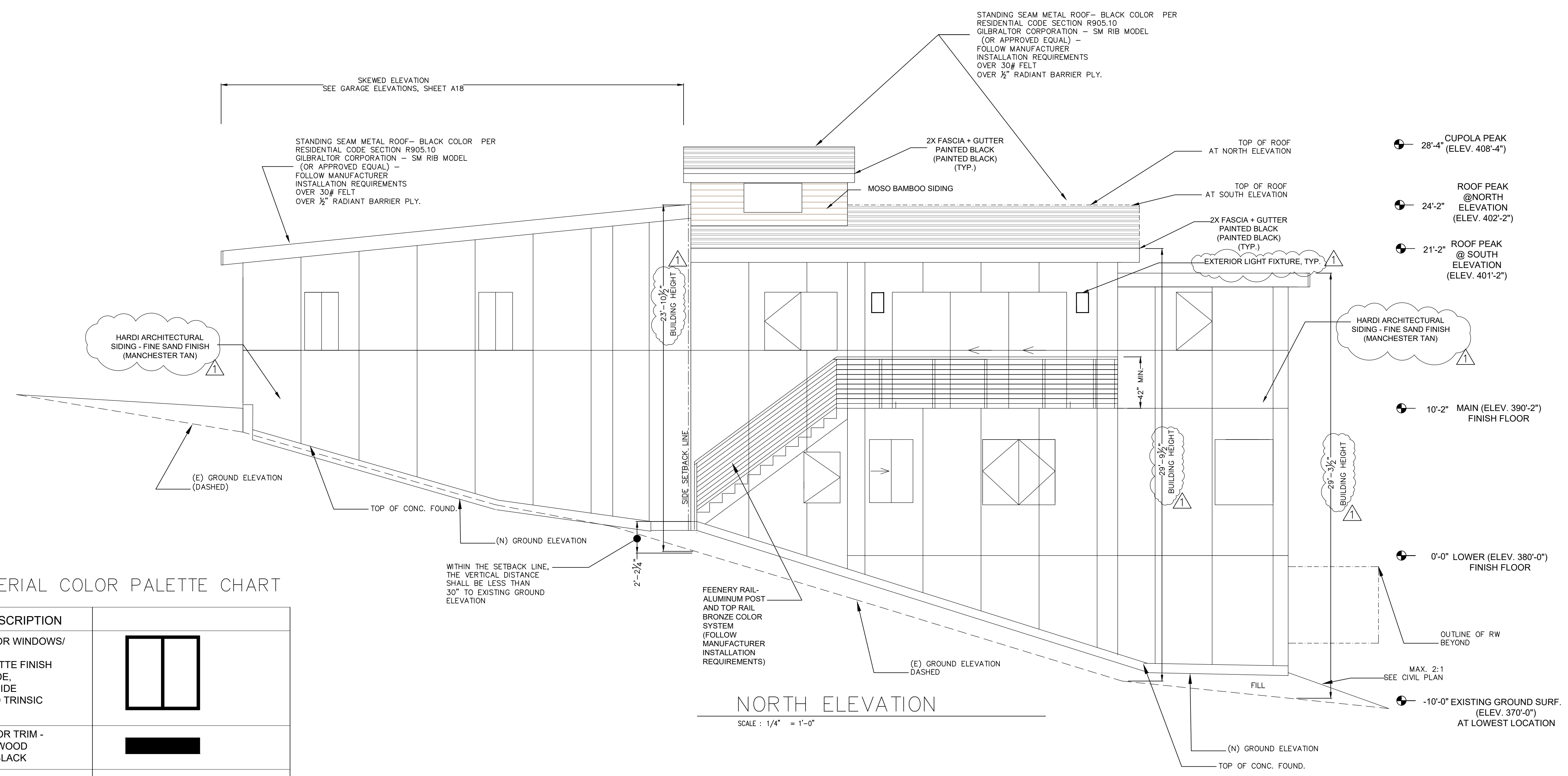
DATE: 1-15-2022

SCALE:
 AS NOTED

DRAWN:
 P. MOECK

SHEET:

A-17



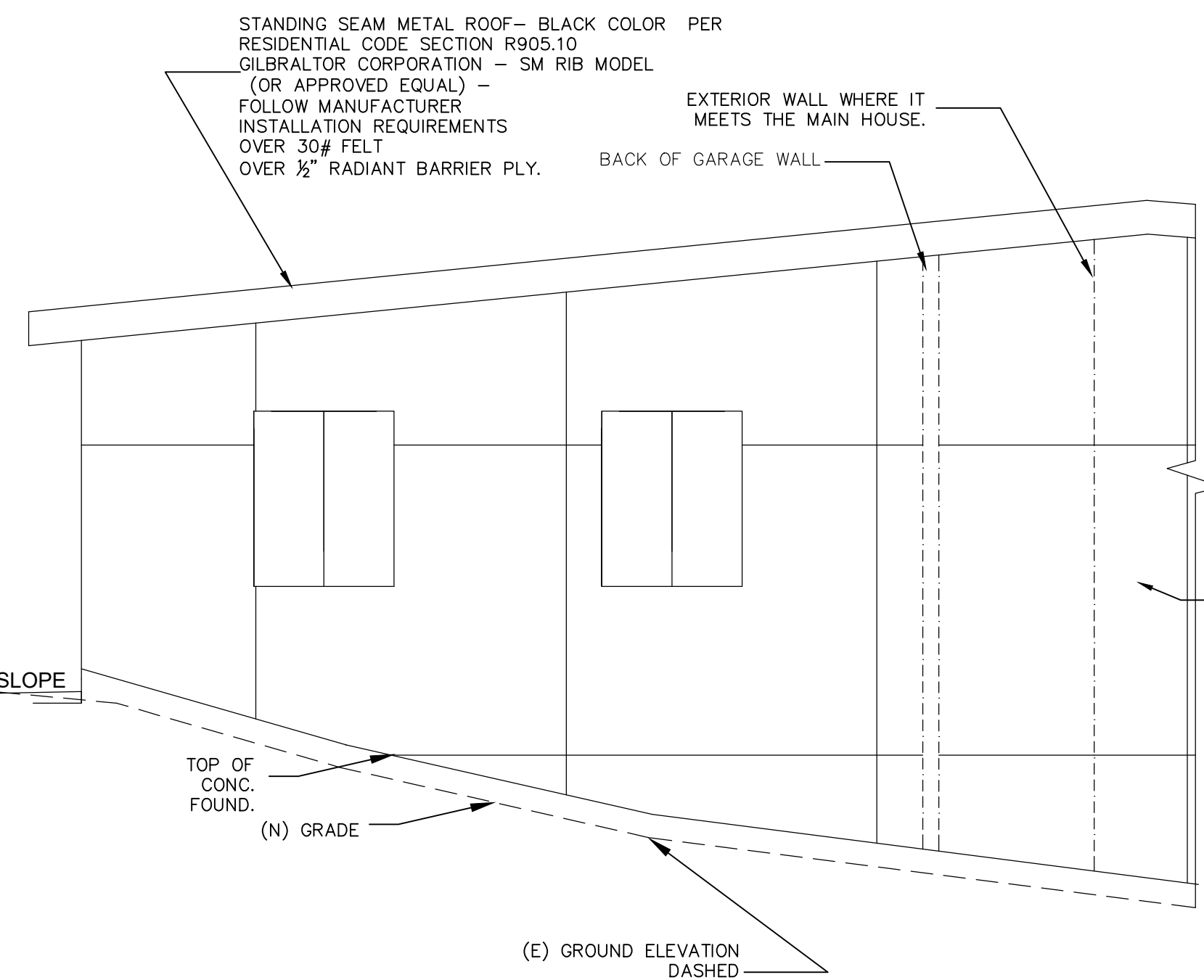
NORTH ELEVATION

SCALE : 1/4" = 1'-0"

MATERIAL COLOR PALETTE CHART

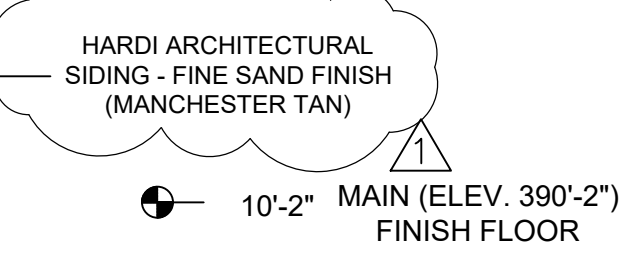
ITEM DESCRIPTION	
1. EXTERIOR WINDOWS/ DOORS - BLACK MATTE FINISH AT OUTSIDE, WHITE INSIDE MILGUARD TRINIC	
2. EXTERIOR TRIM - 2X12 REDWOOD PAINTED BLACK	
3. ROOF - STANDING SEAM METAL ROOF- BLACK COLOR PER GILBRALTOR INDUSTRIES -SM RIB MODEL (OR APPROVED EQUAL) -	
4. MOSO BAMBOO SIDING 1X6	
5. HARDI ARCHITECTURAL SIDING - FINE SAND FINISH (ARTIC WHITE)	
6. FRONT DRIVEWAY, CONCRETE SILVERSMOKE COLOR	
7. 4" GUTTER AT LOWER ROOF (AT FRONT HOUSE) GALVINIZED PAINTED BLACK	
8. 3" GALVANIZED METAL DOWNSPOUT - PAINTED BLACK	
9. FEENEY RAILING AT REAR DECKS - STAINLESS STEEL CABLES, BRONZE POSTS	BRONZE POSTS SS CABLES
10. REAR DECK (AT PRIMARY) TILES OVER WATERPROOF (OWNER SELECTED)	
11. SOFFIT - 1/4" HARDI BOARD PAINTED MANCHESTER TAN	

REVISIONS	BY:
R-1 5-15-22	PM

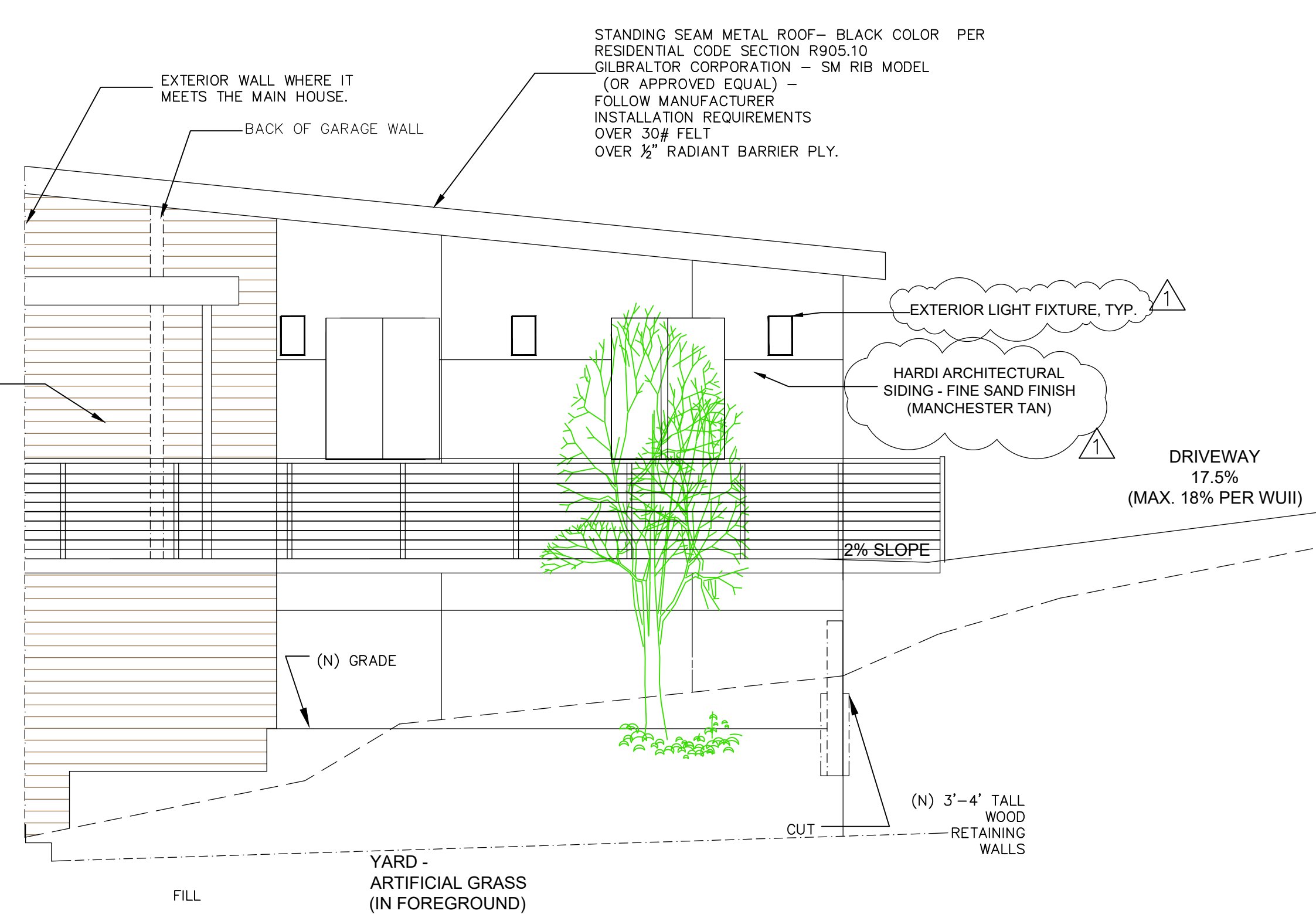


EAST GARAGE ELEVATION (RIGHT SIDE)
SCALE : 1/4" = 1'-0"

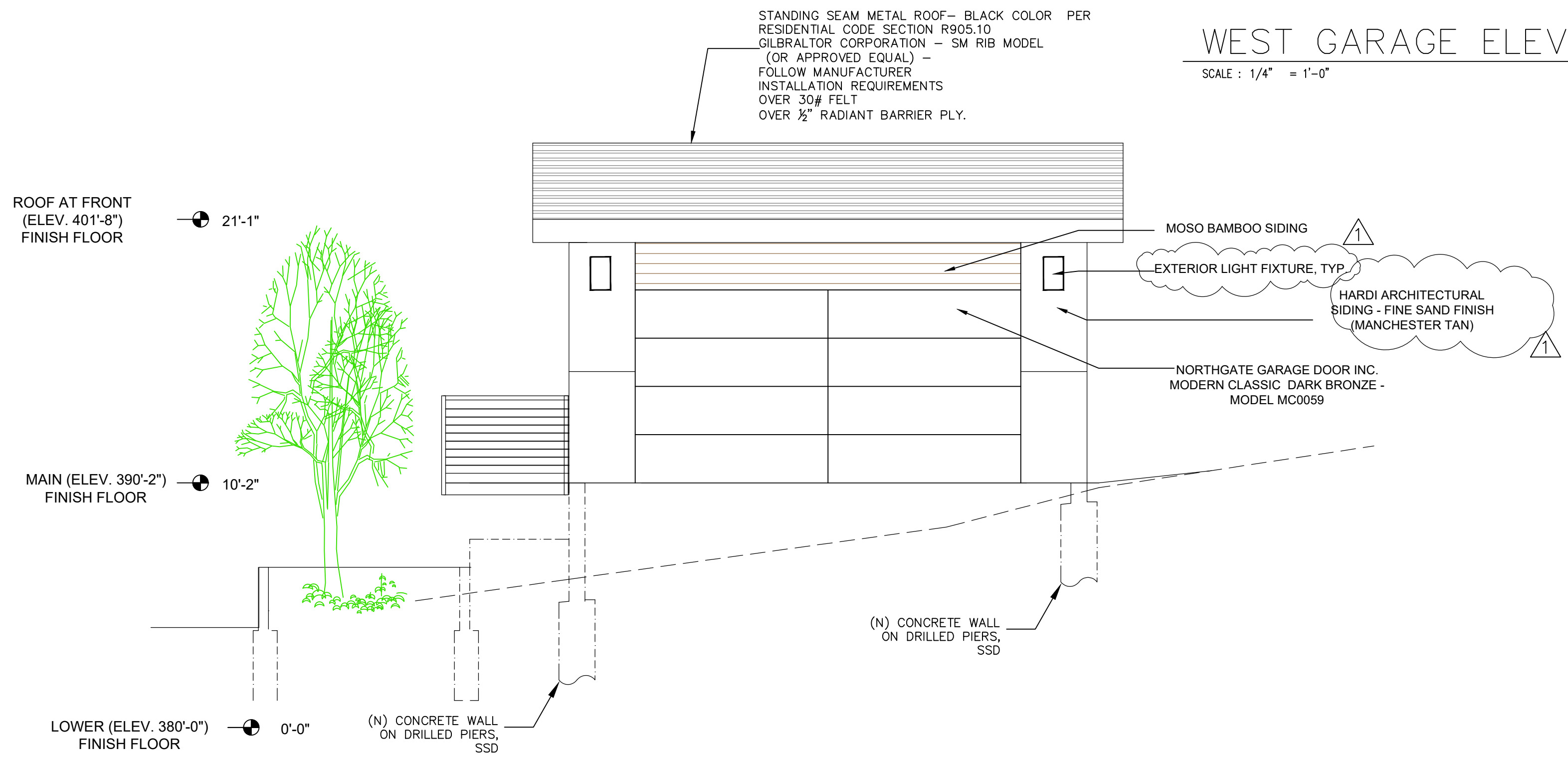
- 24'-2" ROOF AT FRONT (ELEV. 404'-2") FINISH FLOOR
- 21'-1" ROOF AT FRONT (ELEV. 401'-1") FINISH FLOOR



- 0'-0" LOWER (ELEV. 380'-0") FINISH FLOOR



WEST GARAGE ELEVATION (LEFT SIDE)
SCALE : 1/4" = 1'-0"



SOUTH GARAGE ELEVATION
SCALE : 1/4" = 1'-0"

MATERIAL COLOR PALETTE CHART

ITEM DESCRIPTION	
1. EXTERIOR WINDOWS/DOORS - BLACK MATTE FINISH AT OUTSIDE, WHITE INSIDE MILGUARD TRINISIC	
2. EXTERIOR TRIM - 2X12 REDWOOD PAINTED BLACK	
3. ROOF - STANDING SEAM METAL ROOF- BLACK COLOR PER GILBRALTOR INDUSTRIES -SM RIB MODEL (OR APPROVED EQUAL) -	
4. MOSO BAMBOO SIDING 1X6	
5. HARDI ARCHITECTURAL SIDING - FINE SAND FINISH (ARTIC WHITE)	
6. FRONT DRIVEWAY, CONCRETE SILVERSMOKE COLOR	
7. 4" GUTTER AT LOWER ROOF (AT FRONT HOUSE) GALVINIZED PAINTED BLACK	
8. 3" GALVANIZED METAL DOWNSPOUT - PAINTED BLACK	
9. FEENEY RAILING AT REAR DECKS - STAINLESS STEEL CABLES, BRONZE POSTS	
10. REAR DECK (AT PRIMARY) TILES OVER WATERPROOF (OWNER SELECTED)	
11. SOFFIT - 1/2" HARDI BOARD PAINTED MANCHESTER TAN	

Peter Moeck, P.E.
Designer + Engineer
353 Pine Hill Road
Mill Valley, CA 94941
Tel. 415-845-9032 pmoeck@yahoo.com



OWNER(S):
PETER MOECK
808 SPRING DRIVE
MILL VALLEY CA 94941

PROJECT:
MOECK RESIDENCE
812 SPRING DRIVE
MILL VALLEY, CA 94941
APN. 049-182-03

ELEVATIONS

DATE: 1-15-2022

SCALE:
AS NOTED

DRAWN:
P. MOECK

SHEET:

REVISIONS	BY:
R-1 5-15-22	PM

Peter Moeck, P.E.
 Designer + Engineer
 353 Pine Hill Road
 Mill Valley, CA 94941
 Tel. 415-845-9032 pmoeck@yahoo.com



OWNER(S):
 PETER MOECK
 808 SPRING DRIVE
 MILL VALLEY CA 94941

PROJECT:
 MOECK RESIDENCE
 812 SPRING DRIVE
 MILL VALLEY, CA 94941
 APN. 049-182-03

SECTIONS

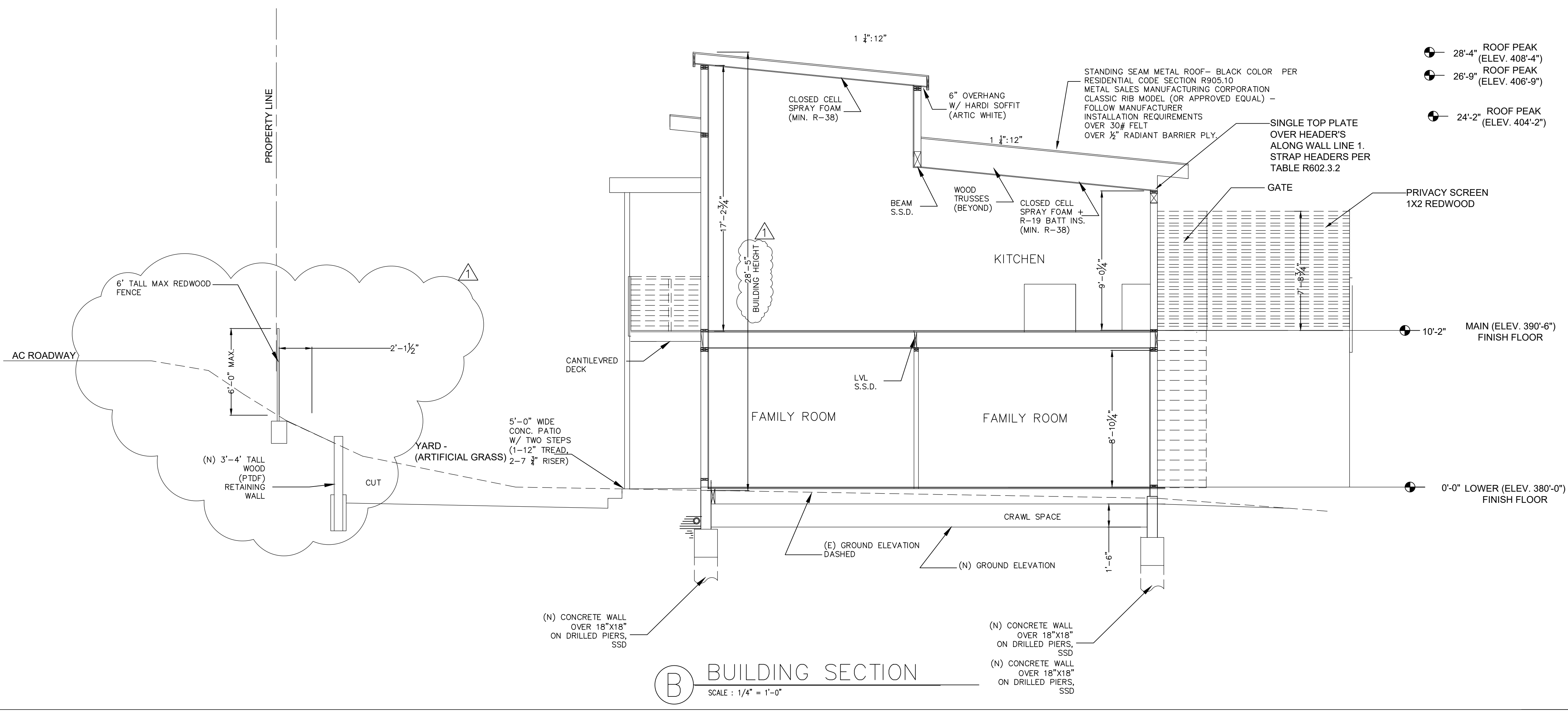
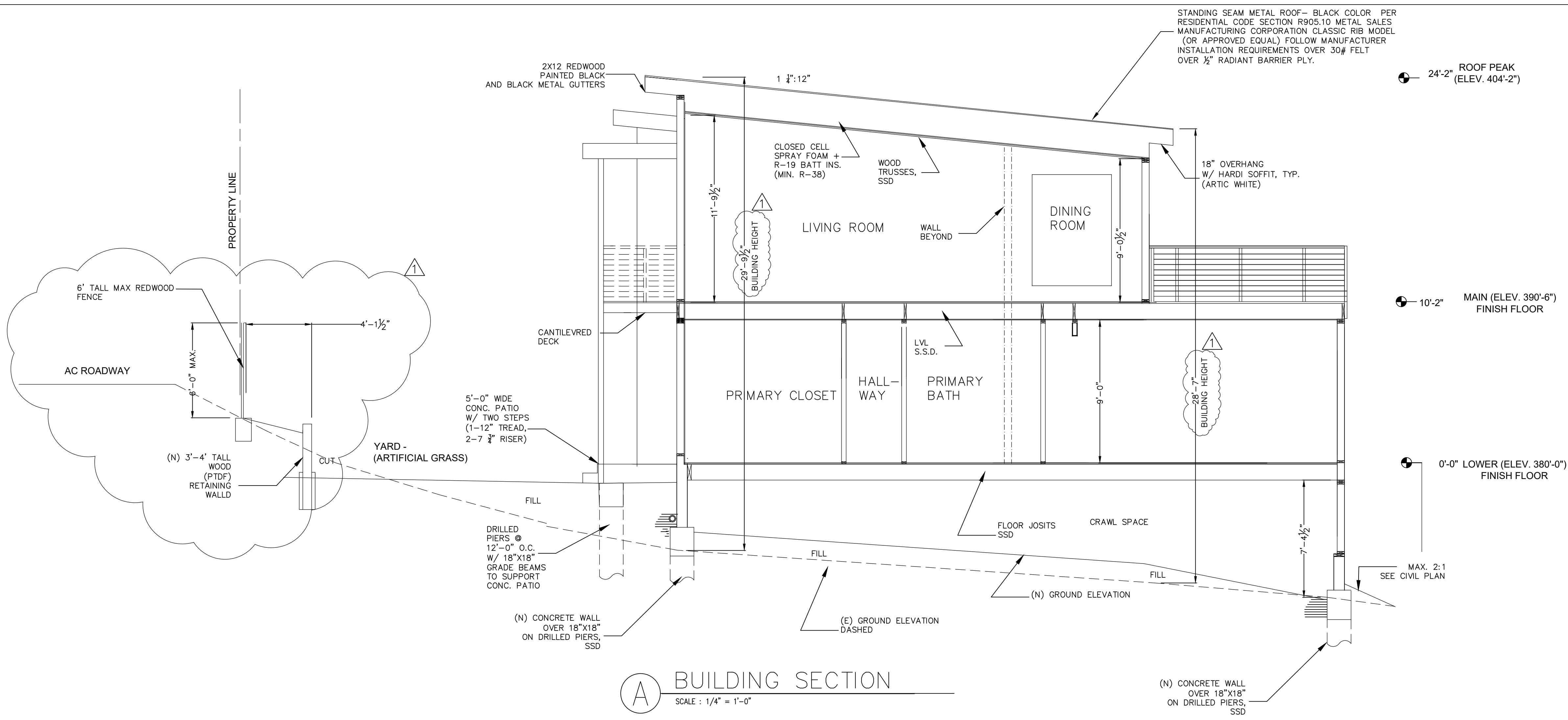
DATE: 1-15-2022

SCALE:
 AS NOTED

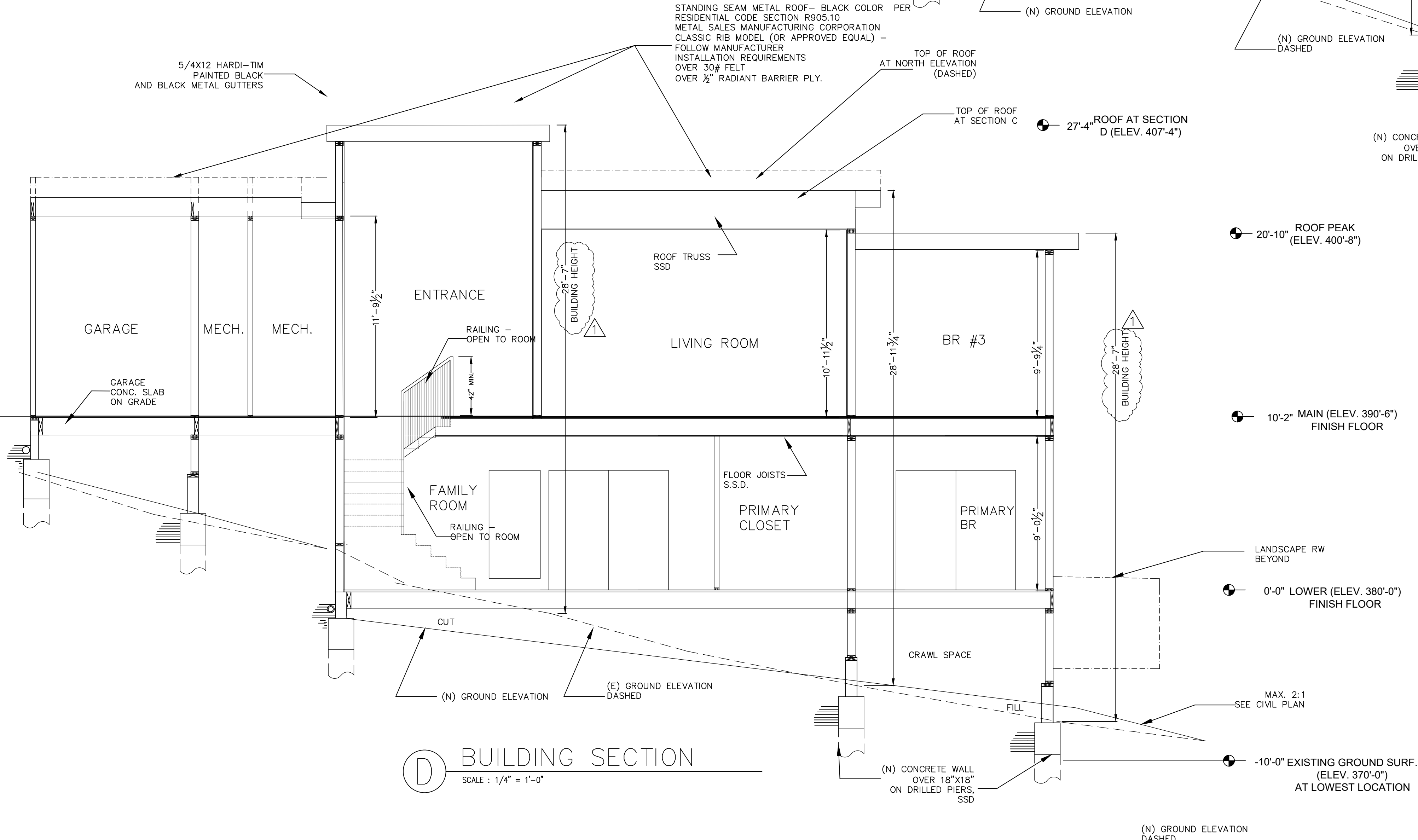
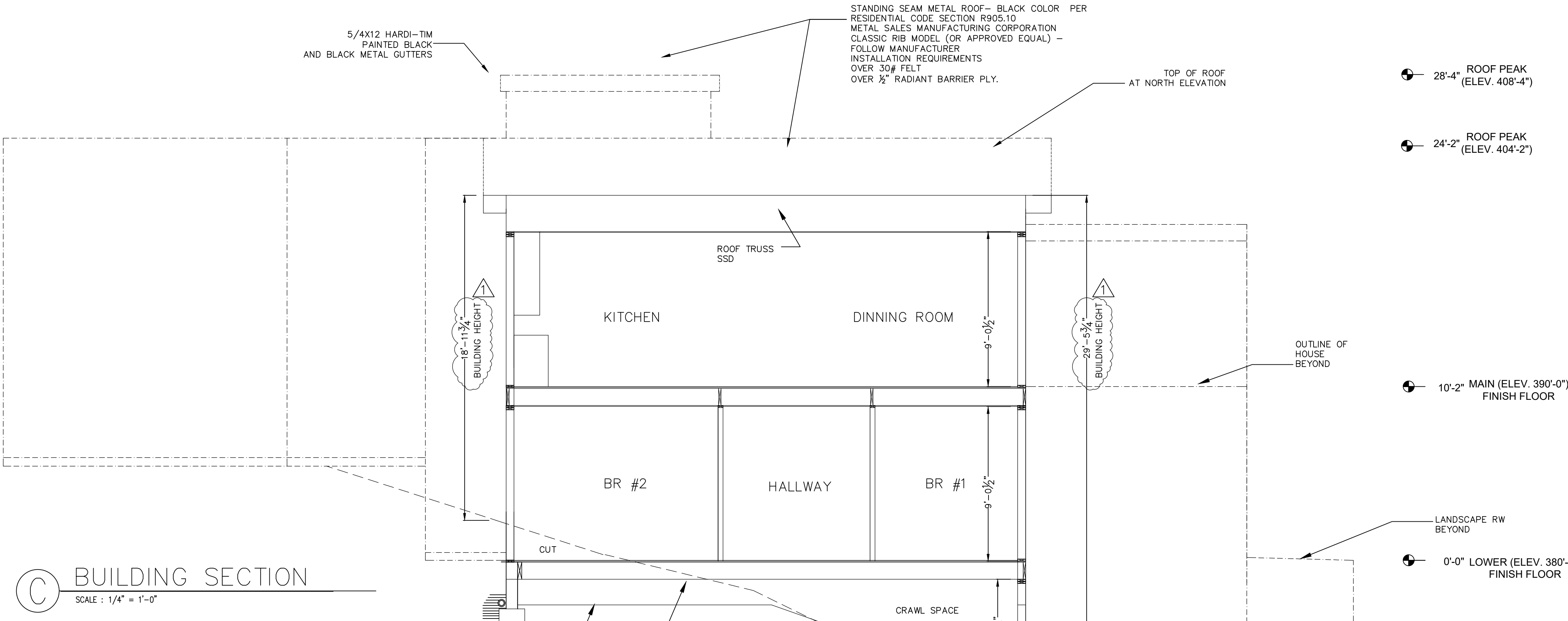
DRAWN:
 P. MOECK

SHEET:

A-19



REVISIONS	BY:
R-1 5-15-22	PM



Peter Moeck, P.E.
Designer + Engineer
353 Pine Hill Road
Mill Valley, CA 94941
Tel. 415-845-9032 pmoeck@yahoo.com



OWNER(S):
MOECK RESIDENCE
PETER MOECK
812 SPRING DRIVE
MILL VALLEY CA 94941

PROJECT:
MOECK RESIDENCE
812 SPRING DRIVE
MILL VALLEY, CA 94941
APN. 049-182-03

SECTIONS

DATE: 1-15-2022

SCALE:
AS NOTED

DRAWN:
P. MOECK

SHEET:

A-20

GENERAL NOTES

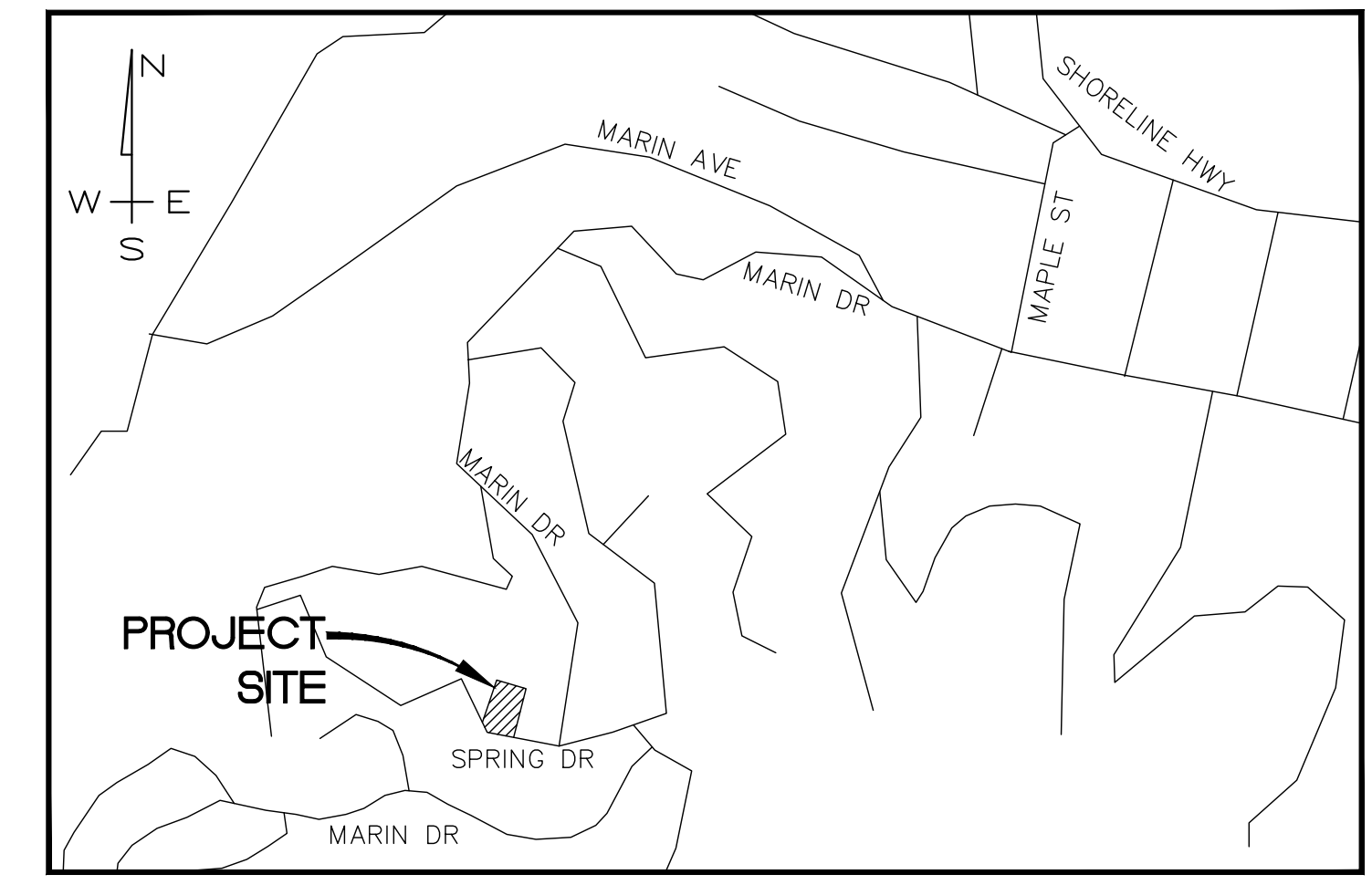
BOUNDARY LINES SHOWN HEREON WERE DETERMINED BY DVC GROUP AND WILL BE SHOWN ON A RECORD OF SURVEY TO BE FILED WITH THE MARIN COUNTY SURVEYOR.

BASIS OF BEARINGS: CALIFORNIA COORDINATE SYSTEM, ZONE 3, GRID NORTH BASED ON GPS OBSERVATIONS BETWEEN SET CONTROL POINTS POST PROCESSED USING OPUS (ONLINE POSITIONING USER SERVICE).

ELEVATIONS SHOWN HEREON ARE BASED THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
BENCHMARK CONTROL POINT #105 - SET PK NAIL AND WASHER.
ELEVATION = 394.74' (NAVD 88)

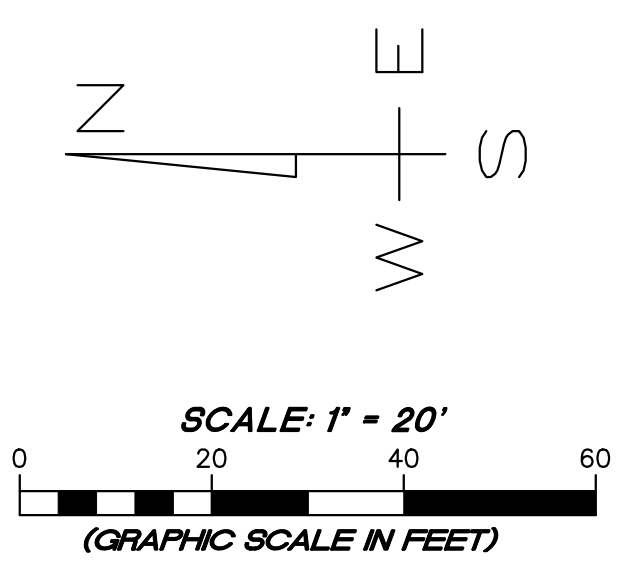
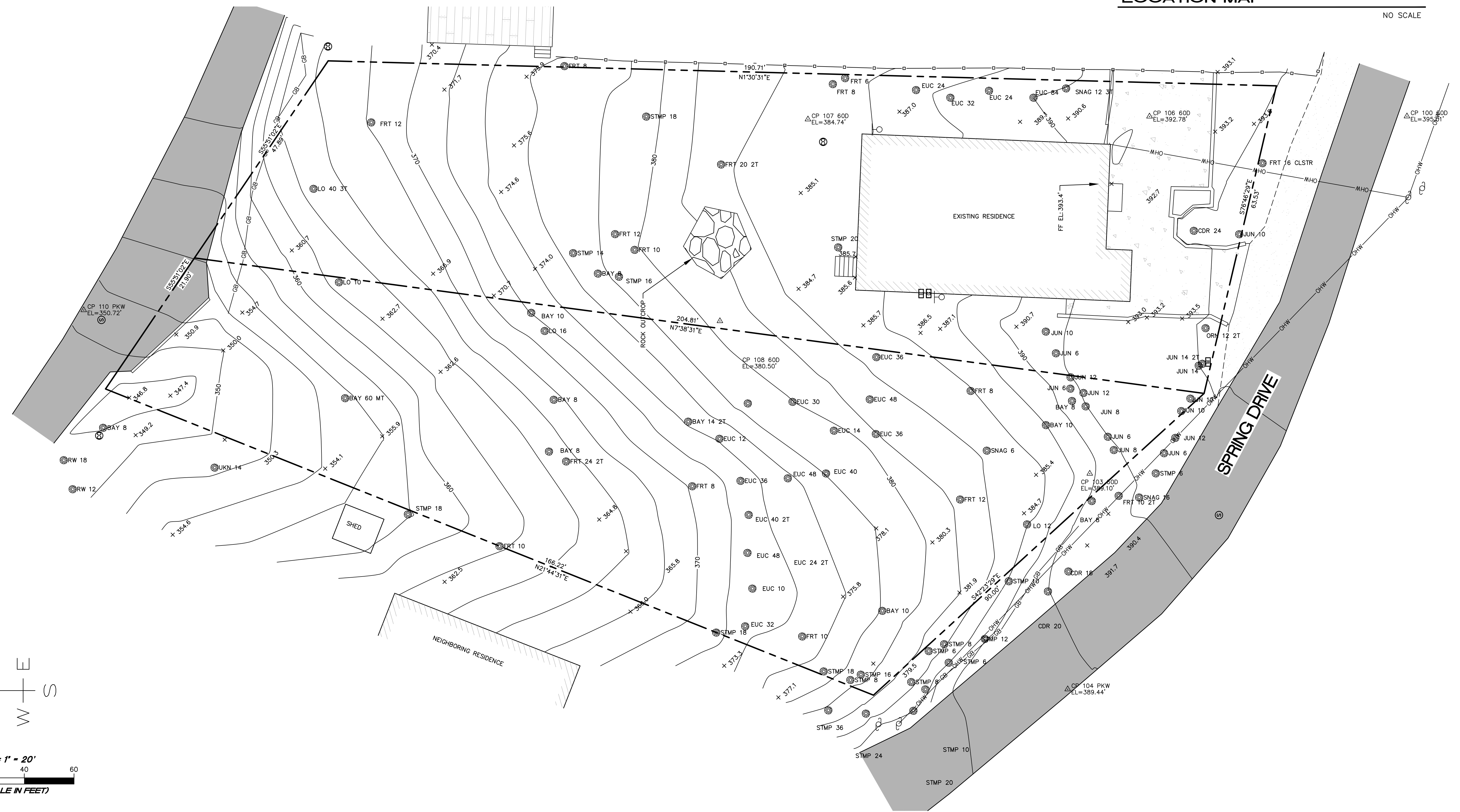
LEGEND

- | | | | |
|--|--------------------------------|--|-------------------------------|
| | RECORD BOUNDARY LINE | | SEWER MANHOLE |
| | RECORD ADJOINING BOUNDARY LINE | | SEWER CLEAN OUT |
| | FLOWLINE | | CONTROL POINT |
| | EDGE OF CONCRETE | | FOUND 1/2" IRON PIPE AS NOTED |
| | EDGE OF GRAVEL | | SPOT ELEVATION |
| | GRADE BREAK | | TREE-TYPE & DIAMETER |
| | WOOD FENCE | | LIVE OAK TREE |
| | OVERHEAD WIRE | | REDWOOD TREE |
| | ASPHALT CONCRETE SURFACE | | JUNIPER TREE |
| | GRAVEL SURFACE | | CEDAR TREE |
| | CONCRETE SURFACE | | EUCALYPTUS TREE |
| | DECKING | | BAY TREE |
| | BUILDING | | UNKNOWN TREE VARIETAL |
| | HOSE BIBB | | ORNAMENTAL TREE |
| | POWER JOINT POLE | | STANDING DEAD TREE |
| | WATER METER | | TREE STUMP |
| | ELECTRIC METER | | FINISHED FLOOR |
| | GAS METER | | FINISHED SURFACE |
| | | | CLEAN OUT |



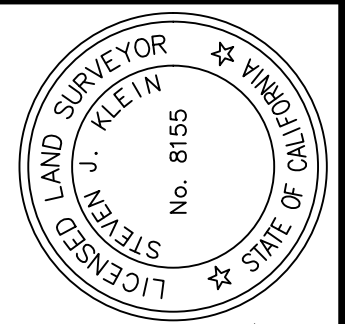
LOCATION MAP

NO SCALE



REVISION	DESCRIPTION	BY	DATE

DVC GROUP INC.
PLANNING • ENGINEERING • SURVEYING
219 SHORELINE HIGHWAY
MILL VALLEY, CA 94941
(707) 395-0968



5/28/2021 DATE
STEVEN J. KLEIN
PLS 8155

MOECK RESIDENCE
TOPOGRAPHIC MAP
APN 049-182-02-049-182-03
808 SPRING DRIVE
MILL VALLEY, CA

MAY 2021
JOB NO. 15-21
SHEET NO.

1
OF 1 SHEETS

812 SPRING ROAD - GRADING AND DRAINAGE PLANS

GENERAL NOTE(S):

1. CODE COMPLIANCE: ALL WORK AND MATERIAL PERFORMED AND INSTALLED IN ACCORDANCE THE THE CURRENT EDITION OF THE 2015 CALIFORNIA BUILDING STANDARDS CODE AS ADOPTED BY CALIFORNIA AND ENFORCED BY THE CITY OF BURLINGAME.
ALL WORK SHALL BE IN CONFORMANCE TO THE CODE AND ORDINANCE OF THE CITY OF LARKSPUR AND/OR THE COUNTY OF MARIN. ALL WORK ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE FOLLOWING AGENCIES, AND EACH SHALL BE NOTIFIED AT LEAST TWO (2) WORKING DAYS IN ADVANCE OF ANY WORK TO BE DONE IN ANY OF THE FACILITIES UNDER ITS JURISDICTION.
IMPROVEMENT WORK SHALL NOT BEGIN UNTIL A BUILDING PERMIT IS OBTAINED FROM THE CITY ENGINEER.
2. TRAFFIC CONTROL: SHALL BE PERFORMED PER THE LATEST "MANUAL OF TRAFFIC CONTROLS" PUBLISHED BY THE CALIFORNIA DEPARTMENT OF TRANSPORTATION.
3. DAMAGE TO ADJACENT ROADWAYS: CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT ROADS OR PROPERTY CAUSED BY HIS ACTIVITIES AND ALSO SHALL BE RESPONSIBLE FOR ANY OTHER WORK REQUIRED TO PREVENT SUCH DAMAGE.
4. TRENCH SAFETY: IF THE EXCAVATION OF ANY TRENCH IS 5 FEET OR MORE IN DEPTH, IT SHALL BE SHORED AND BRACED AS REQUIRED BY CALIFORNIA STATE LAW & OSHA.
5. ARCHEOLOGICAL RESOURCES : IN THE EVENT THAT ARCHEOLOGICAL RESOURCES ARE DISCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL STOP ALL SITE WORK WITHIN THE IMMEDIATE VICINITY OF THAT DISCOVERY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN CHARGE. NO ADDITIONAL WORK WITHIN THAT VICINITY WILL BE ALLOWED UNTIL APPROVAL TO RECOMMENCE WORK IS GIVEN BY THE PLANNING DIRECTOR.
6. CONTRACTOR RESPONSIBILITY: CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING THE SAFETY OF ALL PERSON AND PROPERTY. THIS PROVISION SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK IN THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, DEVELOPER, OR ENGINEER.
7. NOTES: ALL NOTES SHOWN ON THE PLAN SHALL BE CONSIDERED INCIDENTAL WORK AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THESE ITEMS.
8. WATER TESTS: GUTTERS SHALL BE TESTED WITH LESS THAN 1% SLOPE. FINISH THE GUTTERS DURING THE TEST SO AS TO PREVENT ANY PONDING OF WATER.
9. DUST CONTROL: CONTRACTOR SHALL IMPLEMENT METHODS TO CONTROL DUST SUFFICIENTLY BOTH ON AND OFF SITE DURING SITE PREPARATION AND ACTUAL CONSTRUCTION BASIS SUFFICIENTLY. CONTRACTOR SHALL CLEAN SITE DAILY KEEPING IF FREE OF DUST, GRAVEL, AND OTHER CONSTRUCTION MATERIALS BY DAILY SWEEPING AND WATERING.
- 10) THE LOCATION OF EXISTING UNDERGROUND UTILITIES OR IMPROVEMENTS HAS NOT BEEN VERIFIED BY THE ENGINEER AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF INFORMATION SHOWN ON THE DRAWINGS. THE CONSTRUCTION CONTRACTOR MUST NOTIFY UTILITY COMPANIES AT LEAST TWO WORKING DAYS BEFORE EXCAVATION AND REQUEST FIELD LOCATION OF ALL UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 811 ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL UTILITY ENGINEER, AT THE SOLE EXPENSE OF THE CONTRACTOR. ANY PROPERTY DAMAGE OR DAMAGE TO CONSTRUCTED FACILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AND OWNER AT THE SOLE EXPENSE OF THE CONTRACTOR.
- 6) UTILITY SERVICES TO THE PROJECT SITE ARE PROVIDED BY:
WATER: MARIN MUNICIPAL WATER DISTRICT
SEWER: TAMALPAIS COMMUNITY SERVICES DISTRICT
ELECTRIC POWER: PACIFIC GAS & ELECTRIC (PG&E)
GAS: PACIFIC GAS & ELECTRIC (PG&E)
TELEPHONE: AT&T, COMCAST

GRADING NOTE(S):

1. VEGETATION: IN ALL GRADED AREAS GRASS, WEEDS, AND ALL ROOTS SHALL BE REMOVED BY STRIPPING TO A MINIMUM DEPTH OF 12". VEGETATION SHALL BE CLEARED CONTAINING ORGANIC MATTER AND SHALL BE STOCKPILED ON THE SITE FOR USE IN THE LANDSCAPE AREAS. REMOVED TO APPROPRIATE LANDFILL SITE, OR AS DIRECTED BY THE OWNER. ALL EXCESS EXCAVATION FILL MATERIAL SHALL BE STOCKPILED ON THE SITE IN A LOCATION APPROVED BY THE PROJECT ENGINEER. THE EXTENT OF CUT OR FILL CANNOT BE ACCURATELY PROJECTED: ALL EARTH QUANTITY VALUES ARE ESTIMATES ONLY, BASED ON CURRENT INFORMATION.
2. EARTHWORK: ALL EARTHWORK AND SITE GRADING OPERATIONS INCLUDING CUTTING, FILLING, DRAINAGE, AND ROADWAY CONSTRUCTION SHALL BE PERFORMED UNDER THE OBSERVATION AND APPROVAL OF A REPRESENTATIVE OF THE PROJECT ENGINEER DURING ACTUAL FIELD OPERATIONS.
3. COMPACTION: COMPACT EARTH FILLS AND TRENCH BACKFILL PER ASTM D1557. MECHANICALLY COMPACT FILLS.
4. PLANTER BACKFILL: BACKFILL PLANTERS WITH TOPSOIL AS APPROVED BY THE LANDSCAPE ARCHITECT.
5. RETAINING WALLS: PRIOR TO THE POURING OF CONCRETE, THE RETAINING WALL CONSTRUCTION BE INSPECTED AND APPROVED BY THE PROJECT ENGINEER. IF THE HEIGHT OF THE RETAINING WALL IS TALLER THAN WHAT IS SHOWN ON THE PLANS, THE STRUCTURAL ENGINEER SHALL BE NOTIFIED AND IF NECESSARY SHALL PROVIDE A PLAN REVISION.
6. SURFACE DRAINAGE: SLOPE SURFACE DRAINAGE AWAY FROM THE FOUNDATION: THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A 5.0% SLOPE FOR A MIN. DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL OR AND APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION SHALL BE USED. CONSIDERATION SHALL BE GIVEN TO THE POSSIBLE ADDITIONAL SETTLEMENT OF THE BACKFILL WHEN ESTABLISHING FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION (C.B.C. SEC. 1829.2).
7. GRADING: SITE GRADING SHALL NOT COMMENCE UNTIL A GRADING PERMIT HAS BEEN ISSUED BY GOVERNING AGENCY. ALL GRADING SHALL BE PERFORMED PRIOR TO OCTOBER 15 AND THE PROJECT SHALL BE WINTERIZED FOR THE RAINY SEASON, AND NO FURTHER GRADING SHALL BE PERMITTED UNTIL APRIL 1. DURING GRADING OPERATIONS THE GRADING CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES ON BOTH THE SITE AND HAUL ROUTES. ALL GRADED AREAS SHALL BE HYDROSEEDING TO CONTROL EROSION OR THE APPROVED LANDSCAPE COVER INSTALLED BY OCTOBER 15.
8. CONTOURS PROPOSED CONTOURS SHOWN ARE ROUGH FINISH GRADE.
9. MAXIMUM CUT AND FILL SLOPES ARE 2:1 UNLESS OTHERWISE SHOWN.
11. THE PROJECT ENGINEER SHALL BE NOTIFIED A MIN. OF 2 WORKING DAYS PRIOR TO ANY REQUESTS FOR GRADING INSPECTIONS.

12. GRADING YARDAGE: CUT 25 CY, FILL 15 CY, OFF-HAUL 10 CY.

13. THE PROPOSED NEW PERMEABLE PAVEMENT DRIVEWAY SUBGRADE SHOULD CONSIST OF A MINIMUM OF 4" OF TPE 2 PERMEABLE BASE ROCK OVER 6" OF COMPACTED CLASS 2 AGGREGATE BASE/ROCK COMPACTED TO AT LEAST 95% MDD. ALL OTHER PATIO AND/OR WALKWAY AREAS SHALL BE MINIMUM OF 3" PERMEABLE DECOMPOSED GRANITE OVER 4" TYPE 2 PERMEABLE BASE ROCK OVER OVER A MINIMUM OF 4 INCHES OF CLASS 2 AGGREGATE BASE/ROCK COMPACTED TO AT LEAST 90% MDD
14. EROSION CONTROL BLANKET LONG-TERM COCONUT FIBER EROSION CONTROL BLANKET ORGANIC JUTE FIBER NETTING TOP AND BOTTOM MANUFACTURED BY NORTH AMERICAN GREEN. INSTALL USING RIGID 6 INCH-LONG BIODEGRADABLE BIO STAKES MANUFACTURED BY NORTH AMERICAN GREEN. USE STAPLING PATTERN B (3'-0" X 3'-4" SPACING).

DRAINAGE NOTE(S):

1. FOUNDATION SUBDRAINS AND RETAINING WALL BACKDRAINS: SUBDRAINS AND BACKDRAINS SHALL BE SEPARATE FROM THE SURFACE AND ROOF DRAINS. RETAINING WALL DRAINS SHOULD EXTEND TO A DEPTH OF AT LEAST 12 INCHES BELOW THE INTERIOR SLAB OR CRAWL SPACE ELEVATION. ALL OTHER FOUNDATION DRAINS SHALL EXTEND A MINIMUM OF 6 INCHES BELOW THE INTERIOR SLAB OR CRAWL SPACE ELEVATION. FOUNDATION DRAINS SHALL CONSIST OF 4" PERF. PVC SCH. 40, HOLES LAID DOWN, SLOPED TO DRAIN TO OUTLET BY GRAVITY WITH A MIN. SLOPE OF 2%. THE CONTRACTOR SHALL VERIFY ALL FLOW LINE ELEVATIONS IN FIELD PRIOR TO INSTALLATION AND SHALL CONTACT CIVIL ENGINEER FOR DIRECTION AS REQUIRED. SEE STRUCTURAL AND/OR ARCHITECTURAL DRAWINGS FOR LOCATION OF SUBDRAINS RELATIVE TO LOCATION BEHIND FOUNDATIONS AND RETAINING WALLS. WATERPROOFING UNDER ALL CONCRETE SLABS, BEHIND THE CONCRETE RETAINING WALL AND FOR ALL CONCRETE FOOTINGS SHALL BE INSTALLED PER THE ARCHITECTURAL PLANS.
2. DRAIN INLETS: D.I. - DRAIN INLETS SHALL BE "NDS" PRODUCTS OR APPROVED EQUAL. 6" D.I. MAY BE ROUND 6" DIA. 9" D.I. SHALL BE 9"X9" SQUARE DRAIN BOX. 12" D.I. SHALL BE 12"X12" SQUARE DRAIN BOX. AND DRAIN INLET JUNCTION BOX SHALL BE PER THE COUNTY OF MARIN STANDARD DRAWINGS. SITE GRADING DRAINAGE: ALL GRADES SHOWN ARE FINISHED GRADES UN. PONDS OR PUDDLES WILL NOT BE ALLOWED. ALL YARD AREAS AND LANDSCAPE AREA SHALL BE GRADED WITH A MINIMUM OF 1.5% SLOPE TO A DRAINAGE SYSTEM. SEE STRUCTURAL AND ARCHITECTURAL PLANS FOR UNDER FOUNDATION AND ROOF LEADER DOWNSPOUT DRAINAGE REQUIREMENTS.
4. ROOF LEADER DOWNSPOUT COLLECTOR SYSTEM: SHALL BE INSTALLED WHERE SHOWN ON THE PLAN OR AS APPROVED BY THE ENGINEER. NOTIFY THE PROJECT ENGINEER IF ANY DISCREPANCIES EXISTING BETWEEN CIVIL AND ARCHITECTURAL PLANS. CONNECT ALL DOWNSPOUTS TO THE UNDERGROUND STORM DRAIN SYSTEM AND SHALL BE CONSIDERED INCIDENTAL TO THE STORM DRAIN SYSTEM. THE CONTRACTOR SHALL REVIEW THE STRUCTURAL FOUNDATION PLANS FOR ANY CONFLICTS WITH THE ROOF LEADER COLLECTORS AND THE GRADE BEAM FOOTINGS BENEATH PATIO AREAS AND RE-ROUTING MAY BE REQUIRED. ROOF LEADER DOWNSPOUTS SHALL BE COLLECTED IN 4" PVC SDR-35 COLLECTOR SYSTEMS OR BETTER AND DISCHARGE TO A PAVED SURFACE OR TO AN ESTABLISHED STORM DRAIN SYSTEM.
5. TRENCH EXCAVATION AND BACKFILL: SHALL CONFORM TO THE COUNTY OF MARIN STANDARD DRAWINGS.

ABBREVIATIONS FOR THIS PLAN:

A.C.	ASPHALT CONCRETE	MON.	MONUMENT
BLDG.	BUILDING	(N)	NEW
BM	BENCH MARK	PL	PROPERTY LINE
BW	BOTTOM OF WALL	PM	PARKING METER
CB	CATCH BASIN	PP	POWER POLE
C&G	CURB AND GUTTER	R	RADIUS
CIP	CAST IRON PIPE	RCP	REINFORCED CONC. PIPE
CMP	CORRUGATED METAL PIPE	RR	RAILROAD
CONC.	CONCRETE	R/W	RIGHT OF WAY
CP#	CONTROL POINT NUMBER	RWD	REDWOOD
CS	CRAWL SPACE	S	SLOPE
DI	DROP INLET	SS	SANITARY SEWER
D/W	DRIVEWAY	SSCO	SS CLEAN OUT
(E)	EXISTING	STD.	STANDARD
EP	EDGE OF PAVEMENT	WE	SIDEWALK
HDPE	HIGH DENSITY POLYETHYLENE PIPE	TC	TOP OF CURB
FL	FIRE HYDRANT FLOWLINE	TOS	TOP OF SLAB
IRR.	IRRIGATION	TS	TURNING STRUCTURE
JP	JOINT POLE	TW	TOP OF WALL
LF	LINEAR FEET	VCP	VITRIFIED CLAY PIPE
MH	MANHOLE	WM	WATER METER

CUT/FILL CALCULATIONS:

FILL AREAS	
AREA 1 (CRAWL SPACE FOOTINGS)	= 60 CY
AREA 2 (GARAGE)	= 35 CY
AREA 3 (FRONT YARD)	= 90 CY
TOTAL FILL	= 185 CY

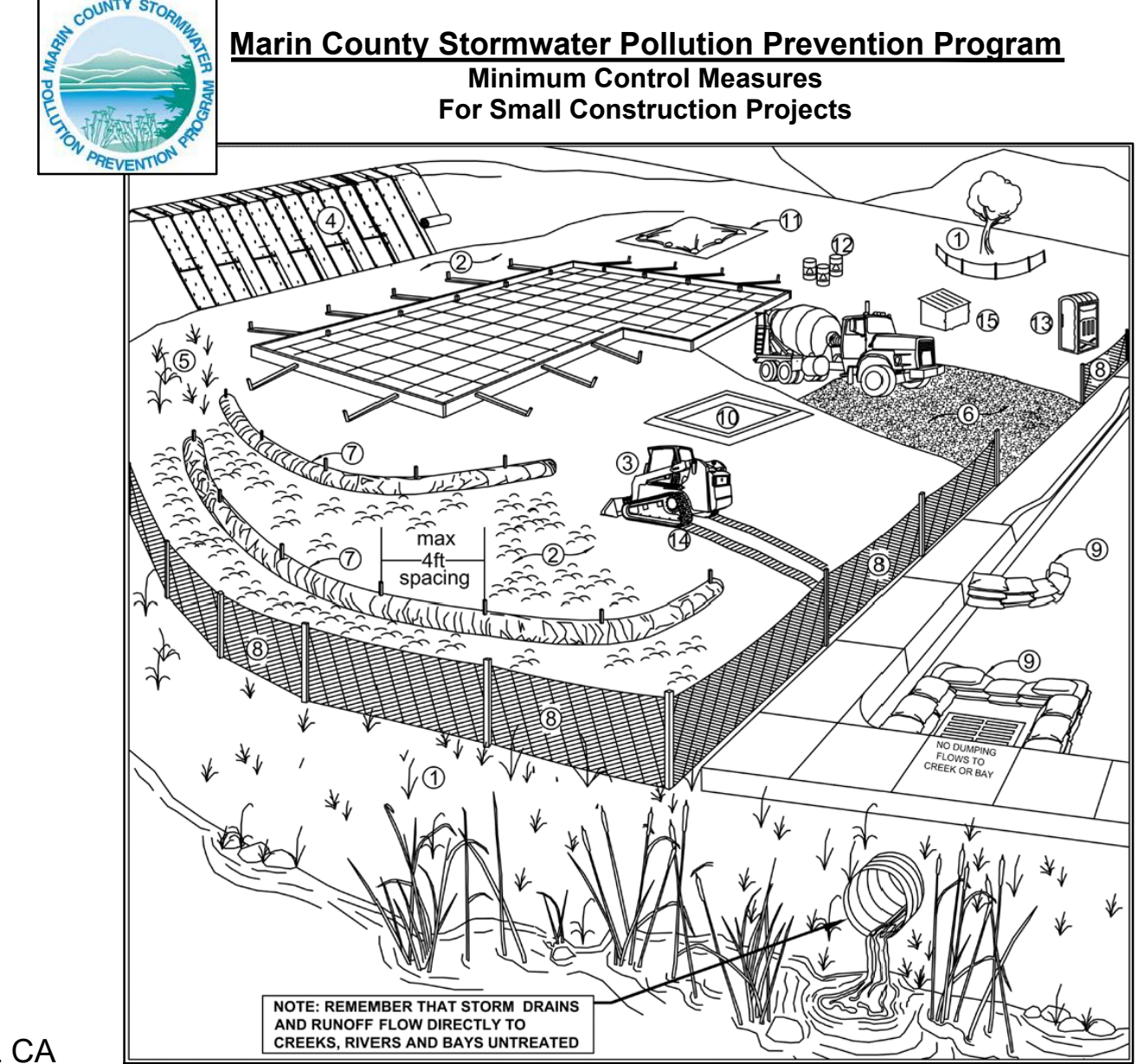
CUT AREAS	
AREA 4 (CRAWL SPACE FOOTINGS)	= 50 CY
AREA 5 (GARAGE)	= 35 CY
AREA 6 (RETAINING WALLS)	= 25 CY
TOTAL CUT	= 110 CY

TOTAL FILL	= 185 CY
TOTAL CUT	= 110 CY
TOTAL CUT/FILL CY	= 295 CY

OFF HAUL	= 75 CY
----------	---------

NOTE: OFF HAUL SHALL BE TAKEN TO MARIN COUNTY RESOURCE CENTER, (MRR), 565 JACOBY STREET, SAN RAFAEL CA

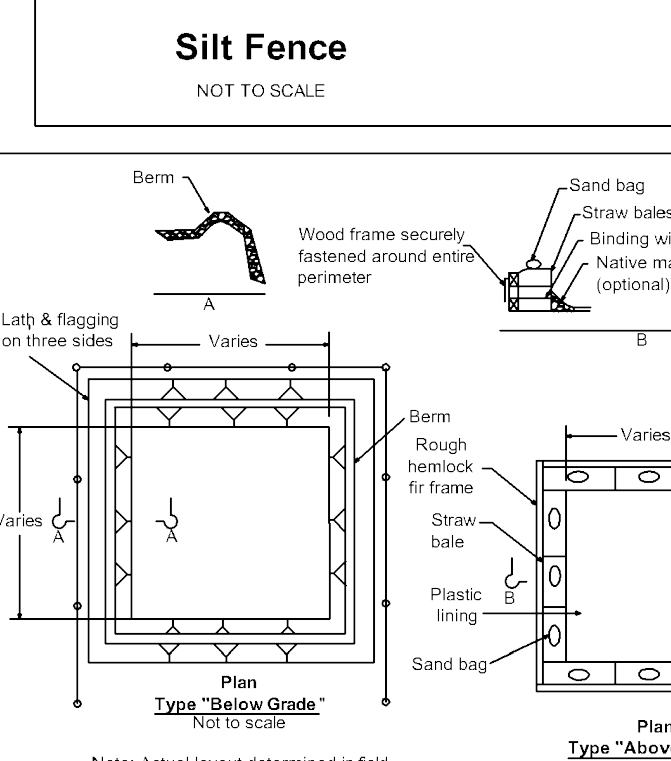
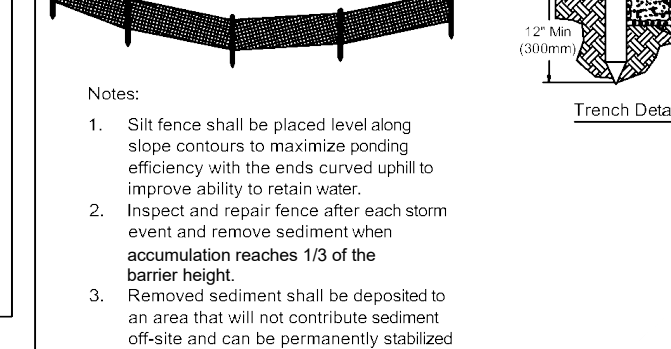
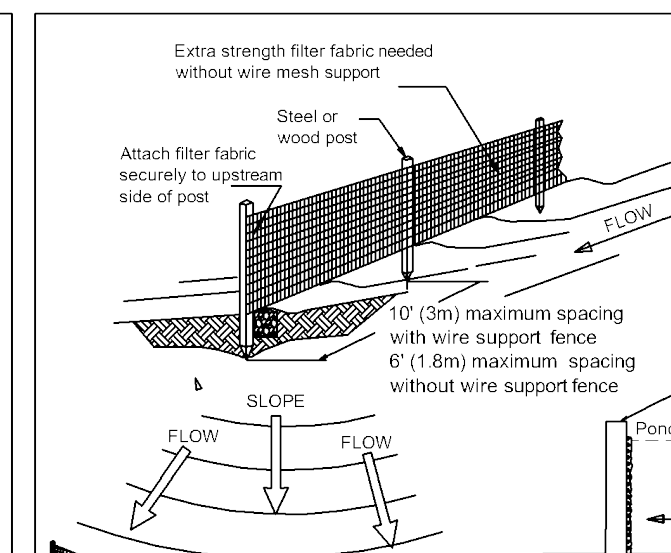
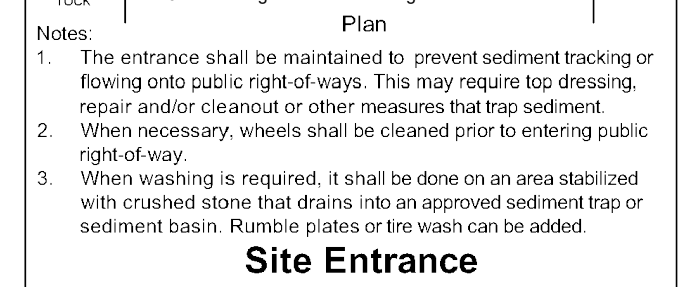
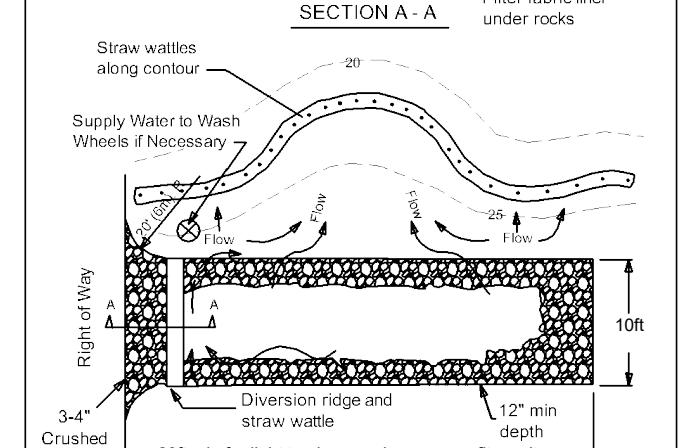
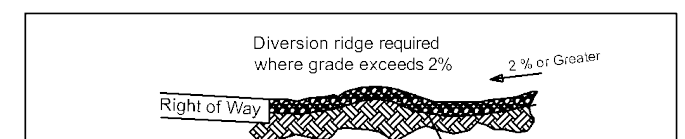
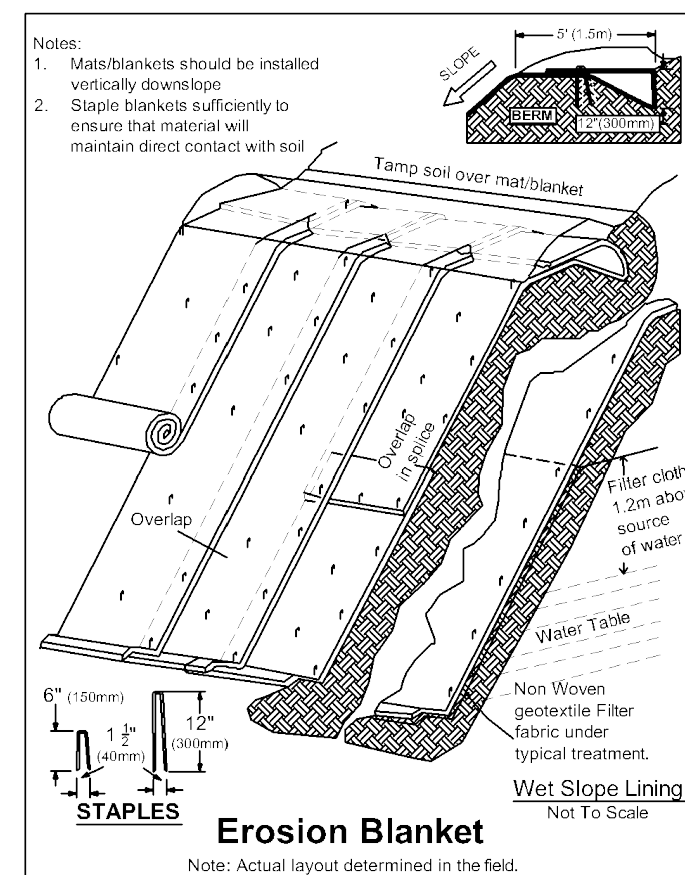
CUT/FILL CALCULATIONS (NOTE'S): CONTRACTOR SHALL BE ENTIRELY RESPONSIBLE TO CALCULATE ALL SOIL REMOVAL QUANTITIES FOR USE IN BIDDING PURPOSES.



Erosion Controls	Sediment Controls	Good Housekeeping
1. NS Scheduling	6. Tracking Controls	10. Concrete Washout
1. Preserve Vegetation & Creek Set Backs	7. Fiber Rolls	11. Stockpile Management
2. Soil Cover	8. Silt Fence	12. Hazardous Material Management
3. Soil Preparation/ Roughening	9. Drain Inlet Protection	13. Sanitary Waste Management
4. Erosion Control Blankets	14. Equipment and Vehicle Maintenance	14. Equipment and Vehicle Maintenance
5. Revegetation	15. Litter and Waste Management	15. Litter and Waste Management

NS-not shown on graphic
Note: Select an effective combination of control measures from each category, Erosion Control, Sediment Control, and Good Housekeeping. Control measures shall be continually implemented and maintained throughout the project until activities are complete, disturbed areas are stabilized with permanent erosion controls, and the local agency has signed off on permits that may have been required for the project. Inspect and maintain the control measures before and after rain events, and as required by the local agency or state permit.
More detailed information on the BMPs can be found in the related California Stormwater Quality Association (CASQA) and California Department of Transportation (Caltrans) BMP Factsheets. CASQA factsheets are available by subscription in the California Best Management Practices Handbook Portal. Construction at <http://www.casqa.org>. Caltrans factsheets are available in the Construction Site BMP Manual March 2003 at <http://www.dot.ca.gov/hq/construction/stormwater/manuals.htm>. Visit www.msclipp.org for more information on construction site management and Erosion and Sediment Control Plans.

If you require materials in alternative formats, please contact: 415-473-4381 voice/TTY or disabilityaccess@co.marin.ca.us



REVISIONS	BY:
R-1 5-15-22	PM

Peter Moeck, P.E.
Civil Engineer
353 Pine Hill Road
Mill Valley, CA 94941
Tel. 415-845-9032 pmoeck@yahoo.com



PROJECT:
MOECK RESIDENCE
812 SPRING DRIVE
MILL VALLEY, CA 94941
APN: 049-182-03

TITLE PAGE,
NOTES

DATE:
1-15-2022

SCALE:
AS NOTED

DRAWN:
P. MOECK

SHEET:

C-0

Peter Moeck, P.E.
Civil Engineer
353 Pine Hill Road
Mill Valley, CA 94941
Tel. 415-845-9032 pmoeck@yahoo.com



PROJECT:
MOECK RESIDENCE
812 SPRING DRIVE
MILL VALLEY, CA 94941
APN. 049-182-03

GRADING
& DRAINAGE
PLAN

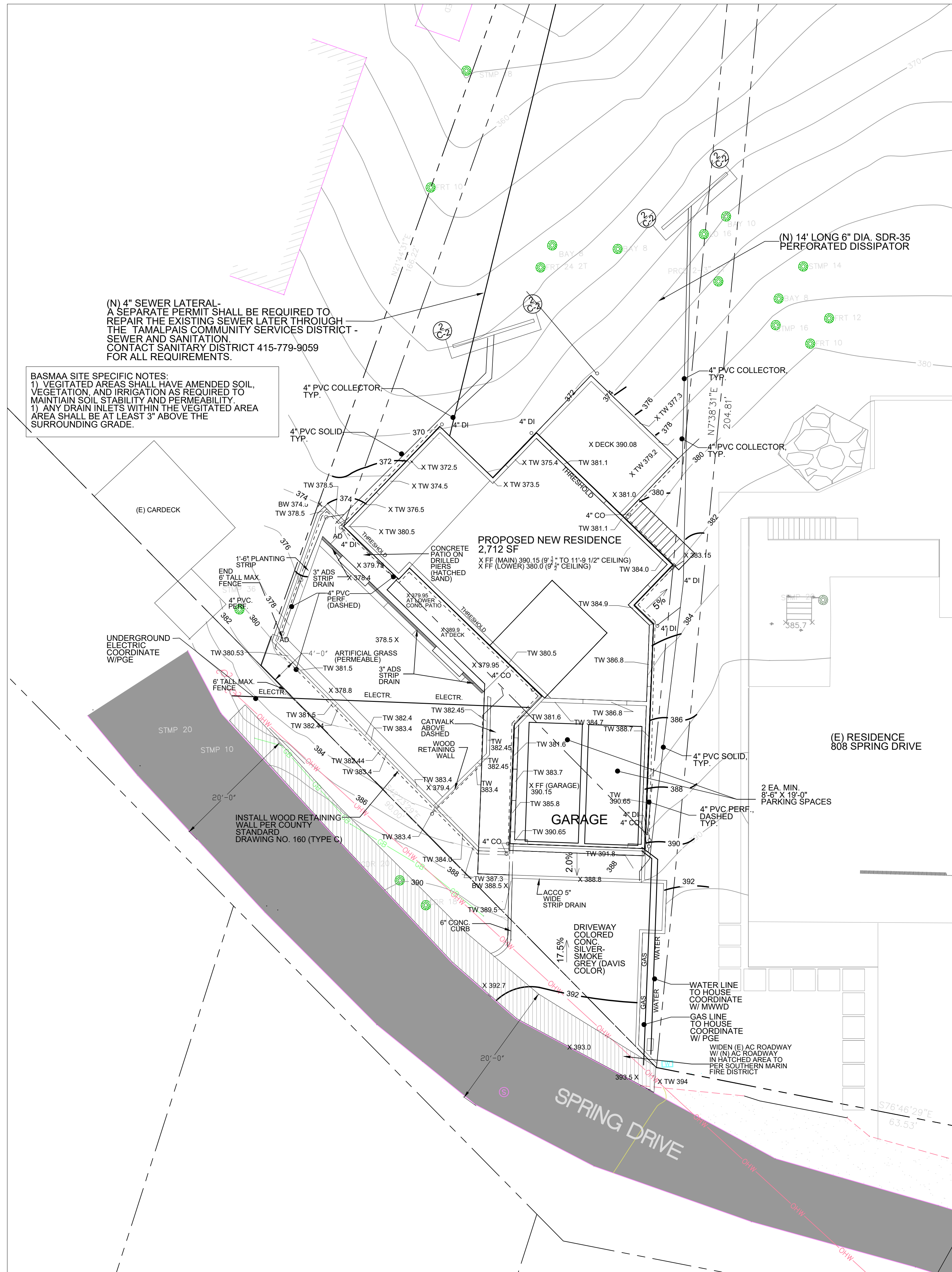
DATE:
1-15-2022

SCALE:
AS NOTED

DRAWN:
P. MOECK

SHEET:

C-1



GRADING AND DRAINAGE PLAN
SCALE 1" = 10'

GENERAL NOTES:

- UTILITY CONNECTIONS HAS NOT BEEN APPROVED BY SERVICE PROVIDERS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY SERVICE PROVIDERS TO DETERMINE UTILITY ROUTES AND REQUIRED SERVICE UPGRADE DETAILS. REVIEW ALL PROPOSED UTILITY ROUTES AND UPGRADE DETAILS WITH THE ENGINEER PRIOR TO CONSTRUCTION.
- TOPOGRAPHICAL SURVEY PREPARED BY DVC GROUP DATED MAY 2021.
- CONTRACTOR SHALL CONTACT THE ENGINEER AND REQUEST REVIEW OF ALL SUBSURFACE DRAINAGE PIPES AND STORMWATER DRAINAGE PIPING AT LEAST 2 WORKING DAYS BEFORE PLACING BACKFILL MATERIALS.

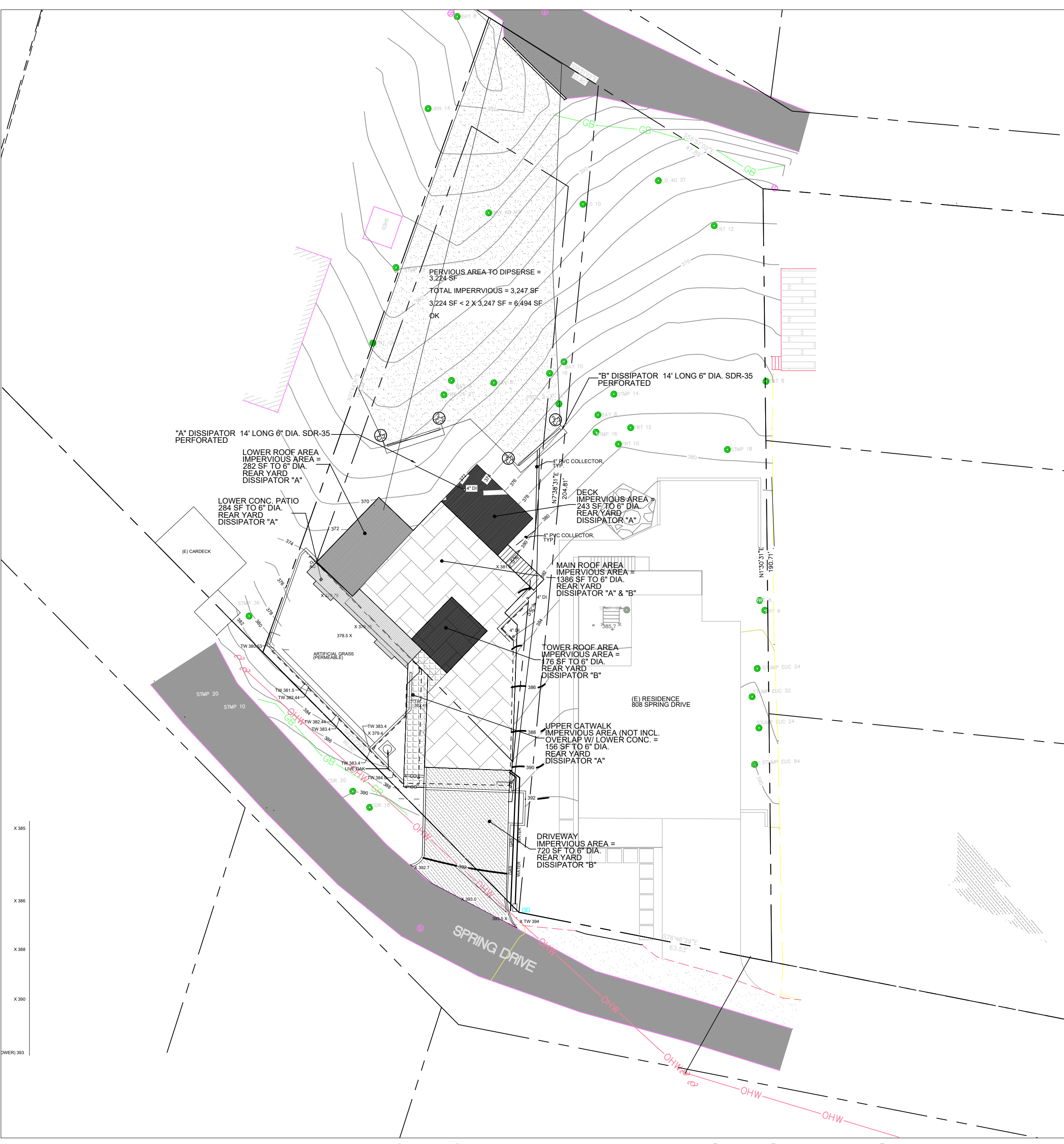
(N) SITE WORK PROJECT DATA

LOT SIZE = 9,647 SF (PER RECORD OF SURVEY SHOWN ON SHEET A-6)	
IMPERVIOUS SURFACE AREAS	
MAIN ROOF AREA	1,366 SF
ROOF AT TOWER	176 SF
FRONT ENTRANCE (CATWALK)	156 SF
DRIVEWAY (CONCRETE)	720 SF
LOWER ROOF	282 SF
DECK	243 SF
LOWER CONC. PATIO	284 SF
TOTAL	3,247 SF
% = 100*(TOTAL/LOT SIZE)	33.7 % = 100*(3,247 SF)/9,647 SF = 33.7%

LEGEND:

- 1. DISTANCES ARE IN FEET AND DECIMALS, THEREOF/
- 2. 2' CONTOUR INTERVAL SHOWN.
- 3. ELEVATION BASED ON ASSUMED DATUM, UNLESS OTHERWISE SHOWN.
- 4. TREE AND TRUNK AS NOTED.

- (N) 6" SDR-35 D.I. FOR DOWNSPOUT
- (N) 4" SDR-35 PERFORATED PIPE
- W MIN. 12" GRAVEL WRAPPED IN FILTER FABRIC
- (N) 4" PVC SOLID PIPE
- DIRECTION OF SLOPE
- (E) CONCRETE STEM WALL
- (N) CONCRETE RW OR STEM WALL
- (E) CONTOUR LINE
- (N) CONTOUR LINE
- (N) SPOT ELEVATION (FEET)
- (N) TOP OF WALL ELEVATION (FEET)

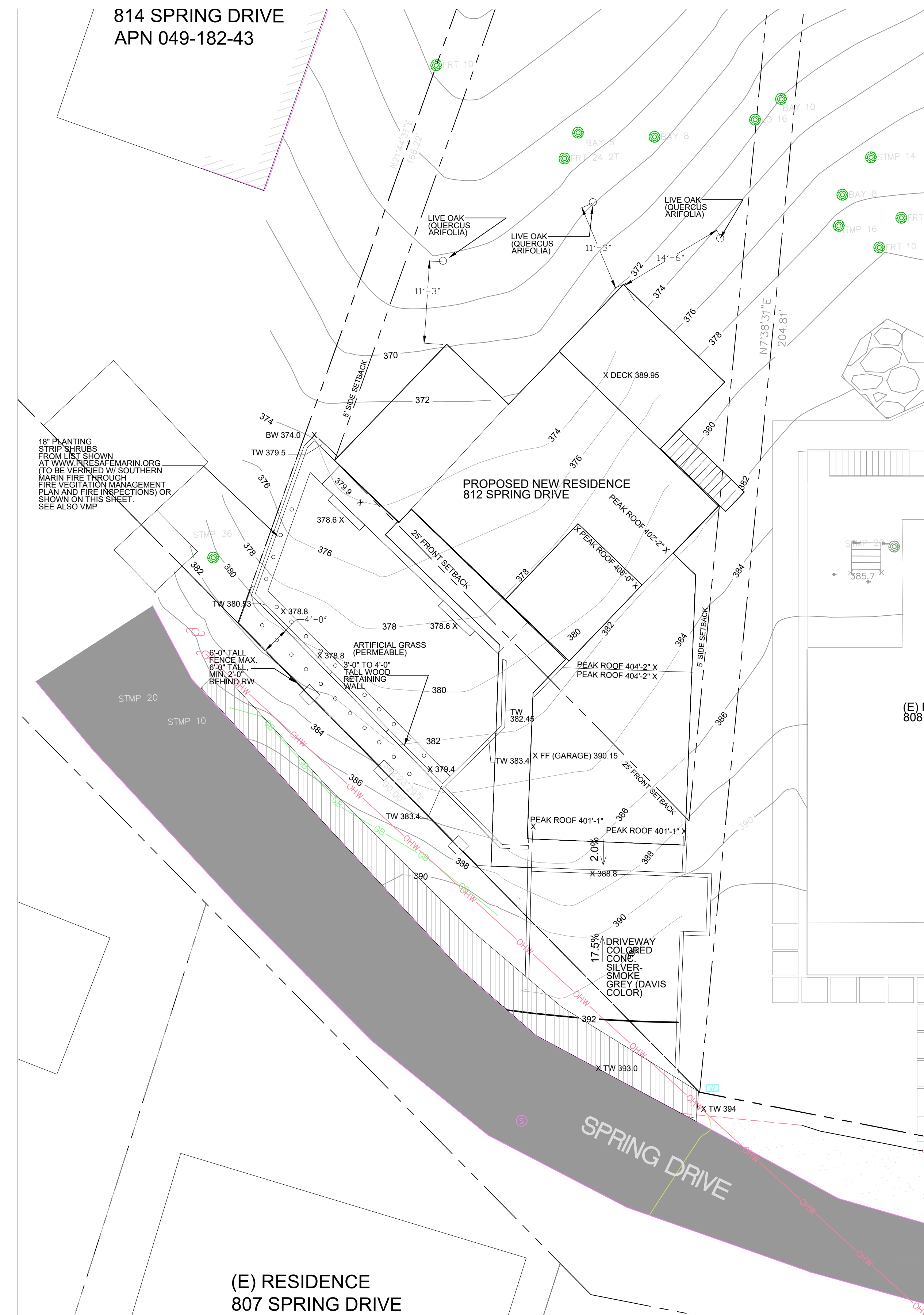


IMPERVIOUS AND PERVIOUS DIAGRAM
SCALE 1" = 20'



LANDSCAPE PLAN
SCALE 1" = 20'

NOTE: LANDSCAPE PLAN WITH SMALLER SCALE SHOWN SO THAT READER CAN SEE ENTIRE PROPERTY - ALL PERTINENT DETAILS AND CALL OUTS SHOWN ON SITE PLAN ON THIS SHEET WITH SCALE 1"=10'



LANDSCAPE PLAN
SCALE 1" = 10'

NOTE:
1. SEE DEMOLITION PLAN FOR REMOVAL OF NON-NATIVE TREES.

Peter Moeck, P.E.
Civil Engineer
353 Pine Hill Road
Mill Valley, CA 94941
Tel. 415-845-9032 pmoeck@yahoo.com



PROJECT:
MOECK RESIDENCE
812 SPRING DRIVE
MILL VALLEY, CA 94941
APN. 049-182-03

LANDSCAPE PLAN

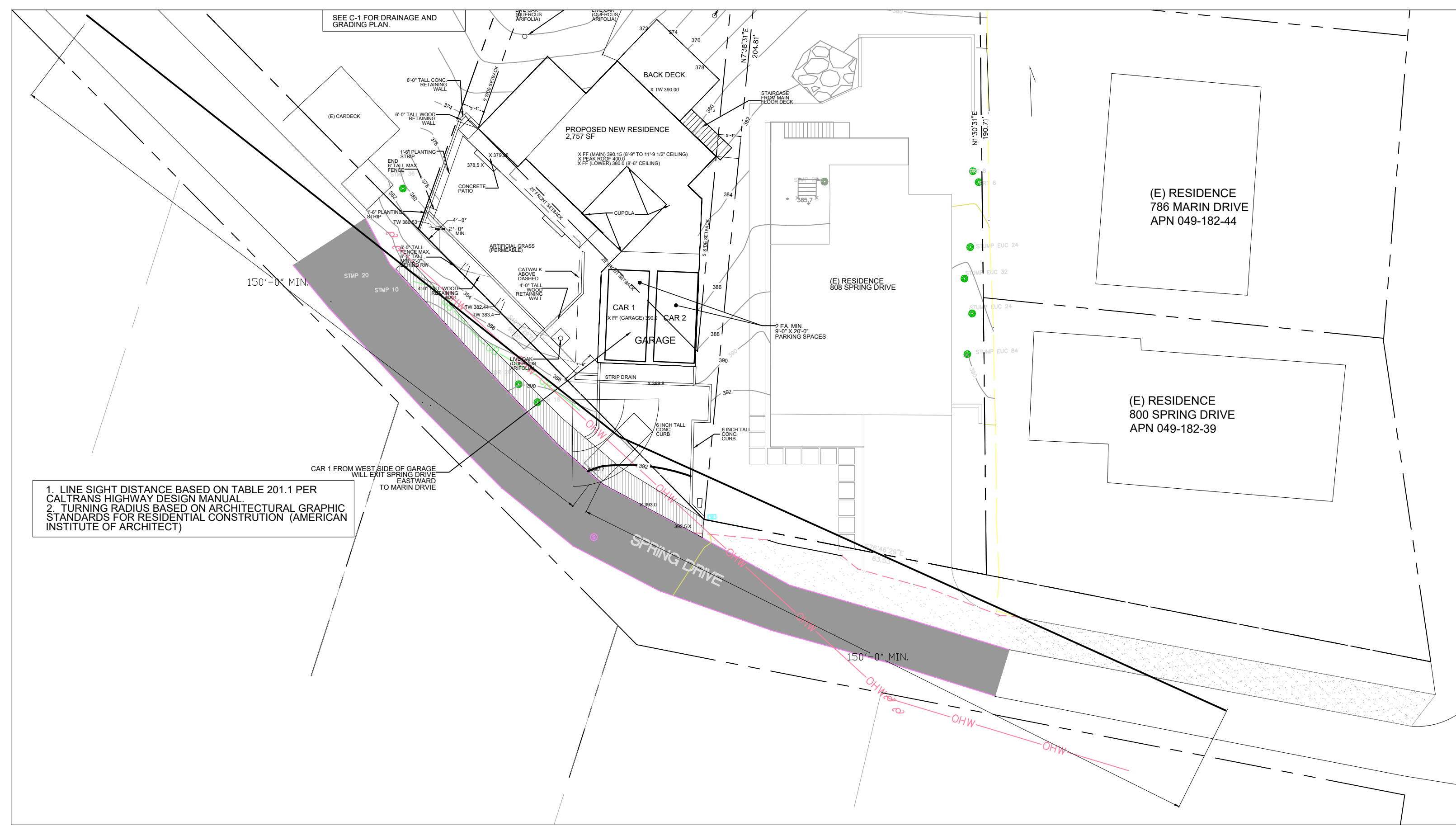
DATE:
1-15-2022

SCALE:
AS NOTED

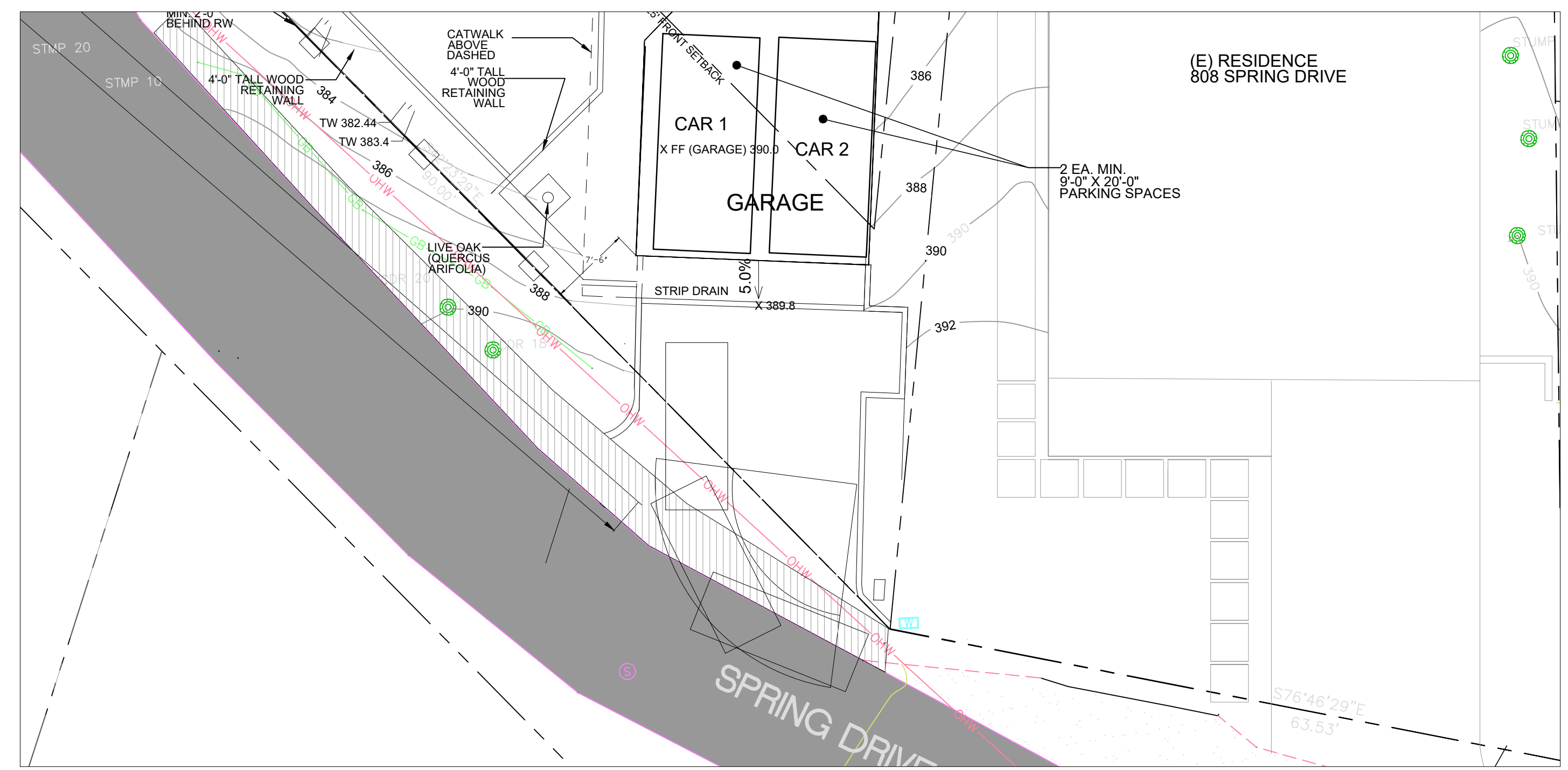
DRAWN:
P. MOECK

SHEET:

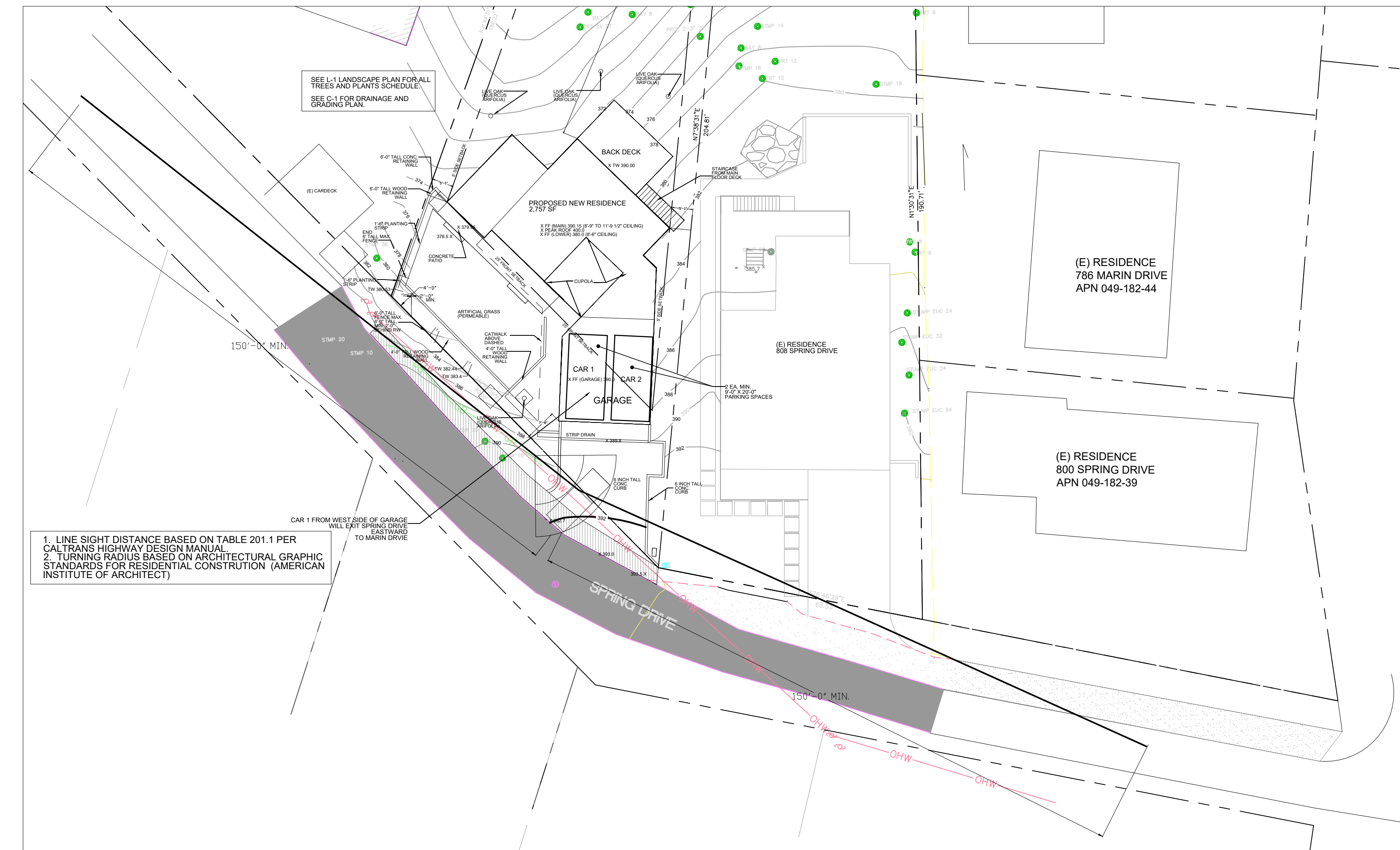
L-1



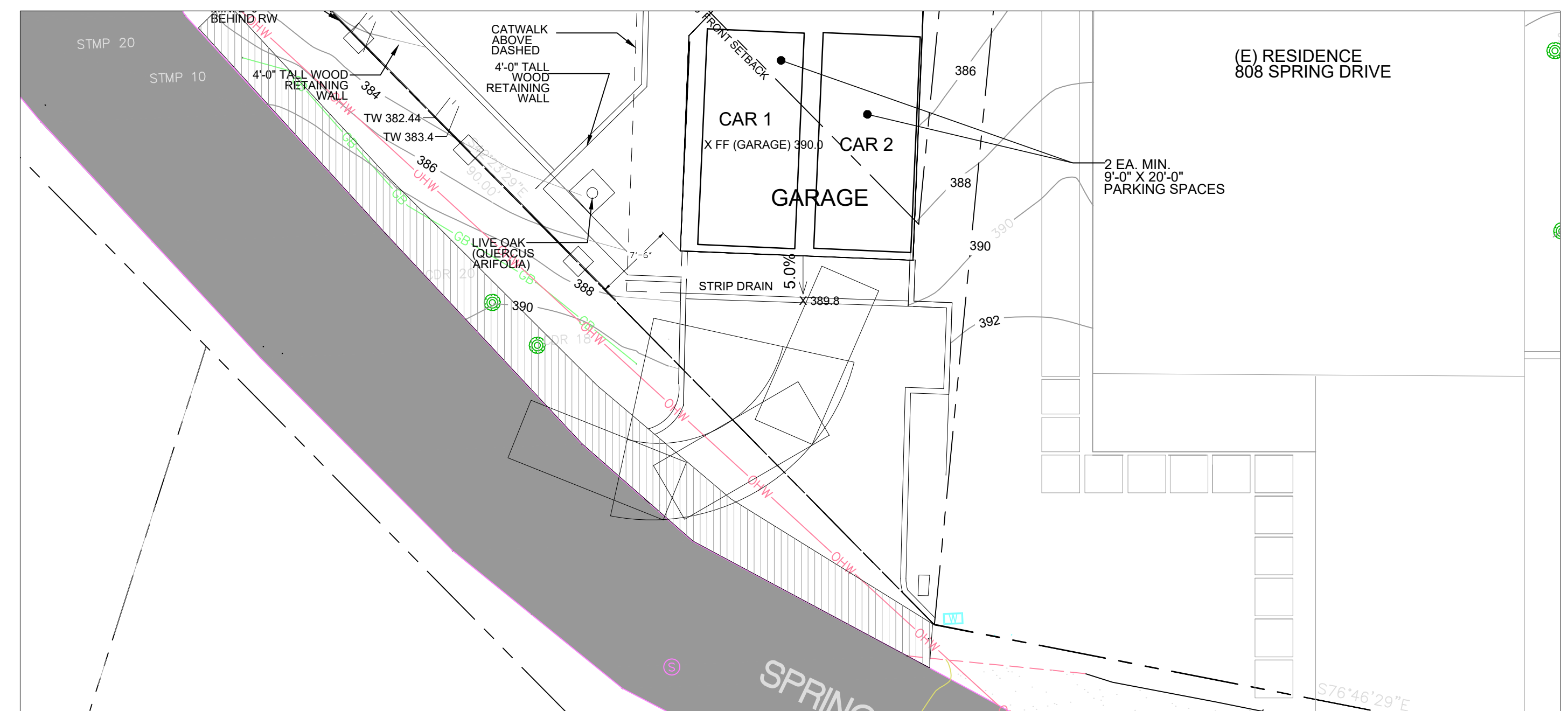
VEHICLE SIGHT DISTANCE DIAGRAM FOR EXITING TO CABIN DRIVE (WEST)
SCALE 1" = 20'



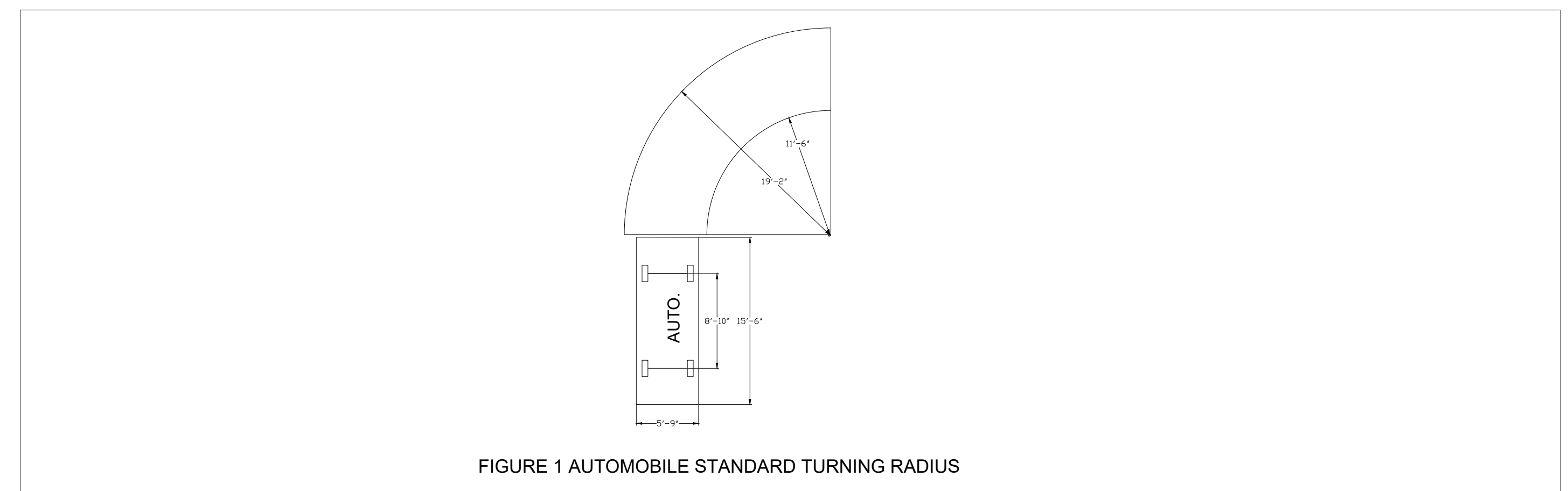
VEHICLE TURNING DIAGRAM FOR EXITING TO CABIN DRIVE (WEST)
SCALE 1" = 10'



VEHICLE SIGHT DISTANCE DIAGRAM FOR EXITING TO MARIN DRIVE (EAST)
SCALE 1" = 20'



VEHICLE TURNING DIAGRAM FOR EXITING TO MARIN DRIVE (EAST)
SCALE 1" = 10'



VEHICLE TURNING SCHEMATIC
SCALE 1" = 10'

REVISIONS BY:
R-1 5-15-22 PM

Peter Moeck, P.E.
Civil Engineer
353 Pine Hill Road
Mill Valley, CA 94941
Tel. 415-845-9032 pmoeck@yahoo.com



PROJECT:
MOECK RESIDENCE
812 SPRING DRIVE
MILL VALLEY, CA 94941
APN. 049-182-03

EROSION
CONTROL
PLAN

DATE:
1-15-2022

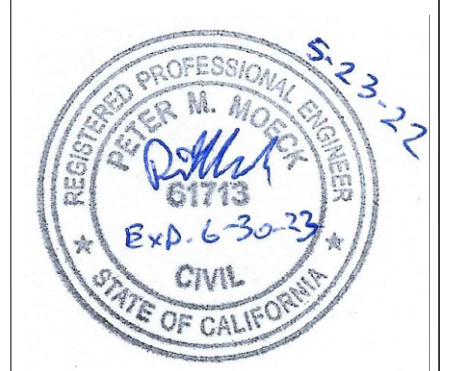
SCALE:
AS NOTED

DRAWN:
P. MOECK

SHEET:

C-2

Peter Moeck, P.E.
Civil Engineer
353 Pine Hill Road
Mill Valley, CA 94941
Tel. 415-845-9032 pmoeck@yahoo.com



PROJECT:
MOECK RESIDENCE
812 SPRING DRIVE
MILL VALLEY, CA 94941
APN. 049-182-03

LANDSCAPE PLAN

DATE:
1-15-2022

SCALE:
AS NOTED

DRAWN:
P. MOECK

SHEET:

VPM-1

KEY HAZARD ZONES

- IMMEDIATE ZONE (ZONE 0): 0'-5'**
THE IMMEDIATE ZONE EXTENDS 0-5' FROM YOUR HOUSE. ZONE 0 IS THE AREA CLOSEST TO YOUR HOUSE, INCLUDING THE STRUCTURE ITSELF, DECKS, OUTDOOR FURNITURE, AND THE OUTSIDE WALLS AND COVERINGS. THIS AREA IS THE MOST VULNERABLE AND SHOULD BE MOST AGGRESSIVELY MAINTAINED FOR FIRE RESISTANCE.

 - REMOVE ANY COMBUSTIBLE OUTDOOR FURNITURE
 - REPLACE LITE OR FIBER DOOR MATS WITH FIRE RESISTANT MATERIALS
 - REMOVE OR RELOCATE ALL COMBUSTIBLE MATERIALS, INCLUDING GARBAGE AND RECYCLING CONTAINERS, LUMBER, TRASH, AND PLIO ACCESSORIES
 - CLEAN ALL FALN LEAVES AND NEEDLES REGULARLY. REPEAT OFTEN DURING FIRE SEASON.
 - NO VEGETATION IS RECOMMENDED WITHIN 5' OF STRUCTURES
 - REMOVE TREE LIMBS THAT EXTEND INTO THIS ZONE. FIRE PRONE TREE VARIETIES SHOULD BE REMOVED IF THEY EXTEND WITHIN 5' OF STRUCTURES
 - DO NOT STORE FIREWOOD, LUMBER, OR COMBUSTIBLES HERE, EVEN UNDER DECKS OR OVERHANGS. MOVE STORED COMBUSTIBLES INSIDE, OR AT LEAST 30' AWAY FROM STRUCTURES.
 - USE ONLY INORGANIC, NON-COMBUSTIBLE MULCHES SUCH AS STONE OR GRAVEL.
- INTERMEDIATE ZONE (ZONE 1): 5'-30'**
THE INTERMEDIATE ZONE EXTENDS 5-30' OUT FROM BUILDINGS, STRUCTURES, DECKS, ETC. KEEP ZONE 1 "LEAN, CLEAN, AND GREEN" AND EMPLOY CAREFUL LANDSCAPING TO CREATE BREAKS THAT CAN HELP INFLUENCE AND DECREASE FIRE BEHAVIOR.

 - REMOVE ALL DEAD PLANTS, GRASS, AND WEEDS (VEGETATION)
 - REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES FROM YOUR YARD, ROOF AND RAIN GUTTERS.
 - TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
 - REMOVE BRANCHES THAT HANG OVER YOUR ROOF AND KEEP DEAD BRANCHES 10 FEET AWAY FROM YOU CHIMNEY.
 - REMOVE VEGETATION AND ITEMS THAT COULD CATCH FIRE FROM AROUND AND UNDER DECKS.
 - REMOVE FIRE PRONE PLANTS, AND CHOOSE ONLY FIRE-RESISTANT VARIETIES. IRRIGATE REGULARLY.
 - REMOVE LIMBS TO A HEIGHT 10' ABOVE THE GROUND (OR 1/3 THE HEIGHT OF THE TREE) TO PROVIDE CLEARANCE AND TO ELIMATE A FIRE LADDER.
 - USE ONLY INORGANIC, NON-COMBUSTIBLE MULCHES SUCH AS STONE OR GRAVEL. COMOSTED MULCH AND LARGE BARK AND CHIPS (GREATER THAN 2" DIAMETER) MAY BE OK.
- EXTENDED ZONE (ZONE 2): 30'-100'**
THE EXTENDED ZONE FROM 30'-100' (OR MORE, IF REQUIRED DUE TO STEEL SLOPES, NEARBY VEGETATION CONDITIONS, AND/OR YOUR LOCAL FIRE DEPARTMENT). THE GOAL HERE IS NOT TO ELIMATE FIRE BUT TO INTERRUPT FIRE'S PATH AND KEEP FLAMES SMALLER AND ON THE GROUND. THIS ZONE SHOULD INCLUDE AT A MINIMUM:

 - CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
 - CREATE HORIZONTAL SPACING BETWEEN SHRUBS, TREES AND VERTICAL SPACING BETWEEN GRASS, SHRUBS, AND TREES.
 - REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES, AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES IF EROSION CONTROL IS AN ISSUE.
- ACCESS ZONE (ZONE 3): 0'-10'**
EXTENDS 10 FEET HORIZONTALLY FROM THE EDGES ON EITHER SIDE OF THE ROAD OR DRIVEWAY.

 - WITHIN THIS ZONE, PLANTINGS SHALL BE FIRE RESISTANT AND SHALL NOT EXTEND WITHIN THE 14 FOOT VERTICAL CLEARANCE ABOVE THE SURFACE OF THE ROADWAY, AS REQUIRED FOR EMERGENCY ACCESS.
 - ALL LANDSCAPE SHALL MEET THE REQUIREMENTS FOR SEPARATION AS STATED IN THE ZONE 2 ABOVE.

VEGETATION MANAGEMENT PLAN NARRATIVE

- 1 EXSTING CONDITIONS
 - A. THERE ARE CURRENTLY MATURE BAY TREES, FRUIT TREES, AND LIVE OAK TREES AND A FEW OTHER MISCELLANEOUS NATIVE SHRUB SPECIES THROUGHOUT THE PROPERTY. THERE ARE EUCALYPTUS TREES THAT WILL BE CUT DOWN PRIOR TO THE CONSTRUCTION OF THE HOME. SEE TREE REMOVAL PLAN - SHEET A-8
- 2 PROPOSED SCOPE (SEE ALSO LANDSCAPE PLAN L-1 AS PART OF THIS PLAN SET)
 - A. THE INTENT OF THIS PLAN IS TO PROPERLY MAINTAIN THE MATURE LIVE OAK AND BAY TREES WITH SELECTIVE PRUNING AND REMOVAL OF ALL DEAD MATERIAL PER FIREWISE STANDARDS. AS STATED IN 1 ABOVE, THE EUCALYPTUS TREES WILL BE CUT DOWN PRIOR TO THE CONSTRUCTION OF THE HOME. SEE TREE REMOVAL PLAN - SHEET A-8. FIRE PRONE SPECIES INCLUDING SCOTCH BROOM WILL BE REMOVED. THE EXISTING SHRUBS WILL BE THINNED OR REMOVED TO PROVIDE A FIRE BREAK FROM 0'-30' FROM THE HOME.
- 3 FUTURE PLANTING
 - A. ANY FUTURE PLANTINGS THROUGH THE SITE WILL INCLUDE FIRE-RESISTANT, IRRIGATED SHRUBS, PERENNIALS, AND GROUND COVERS AS IN THE FIRESAFE MAIN PLANTING LISTS LOCATED AT WWW.FIRESAFEMARIN.ORG/PLANTS.
4. LONG TERM MAINTENANCE SCHEDULE AND SAFETY PRACTICES
 - A. ALL FIRE PRONE FUELS AND DEAD MATERIAL WILL BE REMOVE WITHIN 100' OF THE HOME.
 - B. REMOVE BRANCHES BENEATH LARGE TREES FOR A 6-FOOT MINIMUM CLEARANCE.
 - C. LIVE PLANTS, BUSHES, SHRUBS, AND TREES SHALL BE MAINTAINED. DEAD VEGETATION AND DBRIS SHALL BE REMOVED FROM WITHIN AND AROUND THE LIVING PLANT, BUSH, SHRUB, AND/OR TREE.
 - D. NEEDLES AND LEAVES AND OTHER COMBUSTIBLE DEBRIS AND LETTER SHALL BE REMOVED FROM ROOFS AND GUTTER AT A MINIMUM TWICE YEARLY.
 - E. ALL WEEDS AND GRASSES SHALL BE CUT REGULARLY TO A HEIGHT OF 4" OR LESS.
 - F. VEGETATION SHALL BE TRIMMED TO WITHIN 10' HORIZONTALLY OF ROADWAYS, AND TREES SHALL BE TRIMMED AS NOT TO OVERHANG ROADWAYS AND PROVIDE 14' OF CLEARANCE VERTICALLY.
 - G. ALL DEAD AND DYING VEGETATION SHALL BE REMOVED SEASONALLY TO REDUCE VEGETATION VOLUME AND LADDER FUELS.
 - H. COORDINATE WITH ADJACENT PROPERTY OWNERS TO MAINTAIN TREE CANAPIES, VEGETATION AND LADDER FUELS ON AN ANNUAL BASIS.
 - I. NO NATIVE GRASSES SHALL BE PLANTED WITHIN THE HOME IGNITION ZONES 1 AND 2.
 - J. ALL PLANTED AREAS INSIDE HOME IGNITION ZONES 1 AND 2 SHALL BE IRRIGATED.
 - K. ALL PLANTINGS SHALL BE SELECTED IN COORDINATION WITH THE FIRESAFE MARIN PLANTING LIST LOCATED AT WWW.FIRESAFEMARIN.ORG/PLANTS. OTHER FIRE RESISTANT PLANS CAN BE UTILIZED WITH PRIOR APPROVAL OF THE FIRE CODE OFFICIAL.
 - L. REGARDLESS OF PLANT SELECTION, SHRUBS SHALL BE SPACED SO THAT NO CONTINUITY EXISTS BETWEEN GROUND FUELS AND TREE CROWNS, SUCH THAT A GROND FIRE WILL NOT EXTEND INTO THE TREE CANOPY.

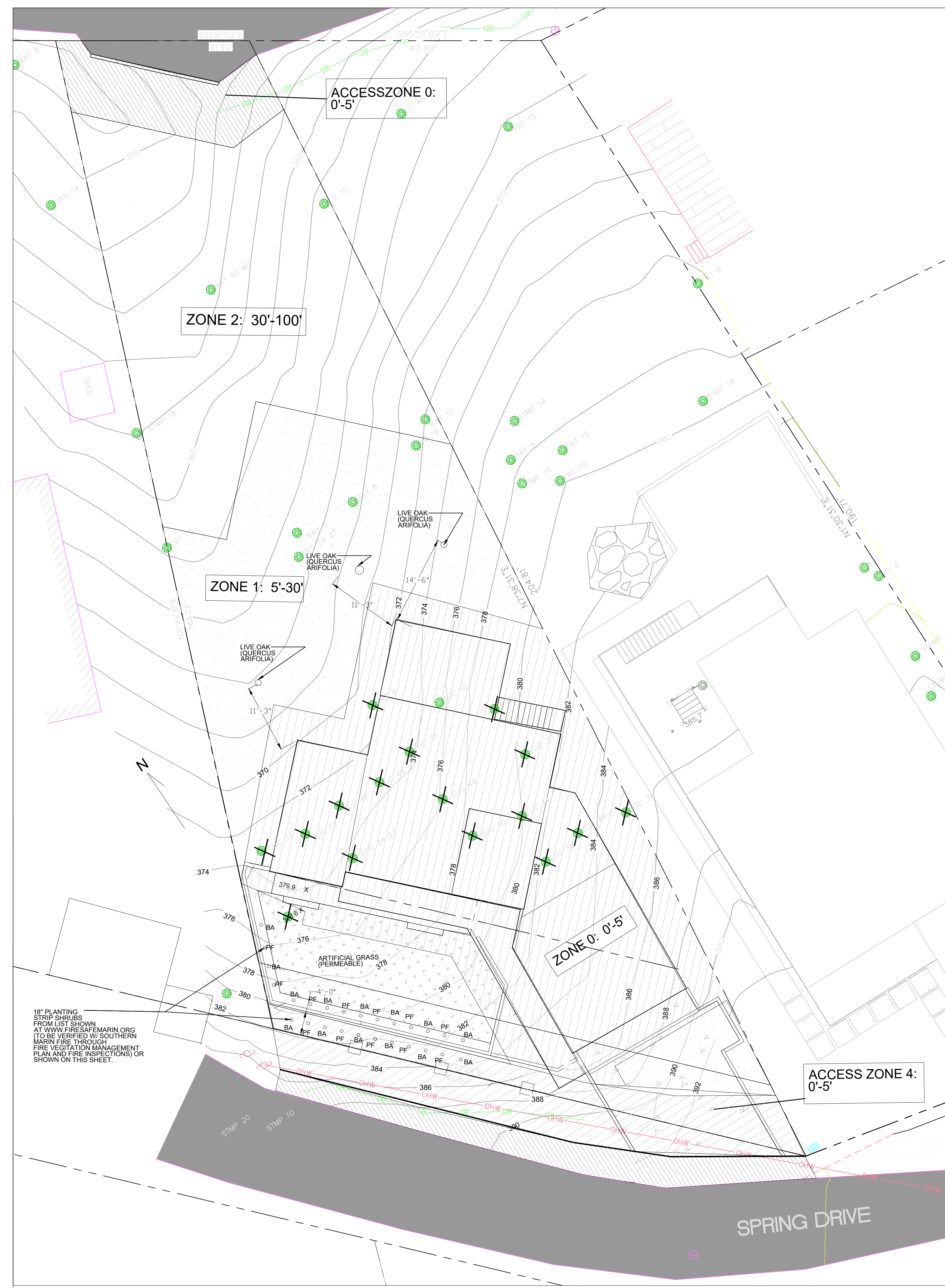
PLAN LEGEND

- (E) TREE
- (N) TREE
- TREE TO BE REMOVED
- CONCRETE DRIVEWAY
- ARTIFICIAL GRASS
- PLANTS PER FIRE SAFE MARIN APPROVED LIST OF PLANTS AND SHRUBS.

PLAN LEGEND NOTES:
1. SEE ALSO SHEETS A-10 SITE PLAN, A-8 TREE REMOVAL PLAN, AND A-10 SITE PLAN FOR DETAILED PLAN INFORMATION.

VMP PLANT LIST

SYMBOL	COMMON NAME	LATIN NAME	QTY.	FIRE RESISTANT	TYPE	TYPE	REMARKS
BA	BAY TREE	UMBELLULARIA	3	YES	PERENIAL	EXISTING	PRUNE
LO	COAST LIVE OAK	QUERCUS AGRIFOLIA	3	YES	PERENIAL	EXISTING	PRUNE
LO	COAST LIVE OAK	QUERCUS AGRIFOLIA	3	YES	PERENIAL	NEW	
EUC	EUCALYPTUS	EUCALYPTUS SPP.	15	NO	TREE	EXISTING	REMOVE
PF	PRINCESS FLOWER	TIBUOUCHINA URVILLEANA	13	YES	SHRUB	NEW	IRRIGATED
BA	BUSH ANEMONE	CARPENTERIA CALIFONICA	13	YES	SHRUB	NEW	IRRIGATED



VEGETATION MANAGEMENT PLAN
SCALE 1" = 10'