





## Demolition Notes:

CONTRACTOR SHALL EXAMINE SITE AND STRUCTURES AND DETERMINE EXACT NATURE AND STATUS OF STRUCTURAL ELEMENTS, UTILITIES AND HAZARDOUS MATERIALS PRIOR TO COMMENCING DEMOLITION OPERATIONS. THE CONTRACT DOCUMENTS ARE BASED ON THE BEST AVAILABLE INFORMATION, BUT THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING WORK REQUIRED

### FOR CONCEALED ELECTRICAL AND MECHANICAL ITEMS:

CONDUCT THOROUGH INVESTIGATION OF EXISTING CONDITIONS TO DETERMINE LOCATION AND NATURE OF CONCEALED ITEMS SUCH AS WIRING, DUCTS, EQUIPMENT, ETC. THAT ARE LOCATED IN WALLS, PARTITIONS, CEILINGS, FLOORS, ETC. ARE TO BE REMOVED  
RELOCATE ITEMS THAT ARE TO BE RE-USED WHICH WOULD BE PERMANENTLY EXPOSED TO VIEW TO A NEW LOCATION

PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS, ARRANGE FOR AND CONDUCT A WALK-THROUGH OF BUILDING WITH OWNER AND REVIEW OF DEMOLITION SCOPE AND DETERMINATION OF SALVAGE ITEMS

CONTRACTOR SHALL EXERCISE EXTREME CAUTION DURING DEMOLITION OPERATIONS TO PROTECT EXISTING STRUCTURES AND EQUIPMENT TO REMAIN, ADJACENT PROPERTY ETC. AND ENSURE NO DISTURBANCE TO ADJACENT STRUCTURES. CONTRACTOR SHALL PLACE SUITABLE BARRIERS WHERE NECESSARY TO PROTECT OCCUPANTS AND USERS

UTILITIES SHALL BE SHUT OFF PROPERLY AS REQUIRED

## Concrete Notes:

FOR BUILDING FOUNDATIONS AND SLABS ON GRADE CONCRETE SHALL DEVELOP A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2,500 P.S.I. 25 SACKS CEMENT MINIMUM PER CUBIC YARD OF CONCRETE

CONCRETE SHALL BE PLACED IN A CONTINUOUS OPERATION UNTIL THE SECTION IS COMPLETED BETWEEN CONSTRUCTION JOINTS. CONCRETE SHALL BE OF A CONSISTENCY TO PERMIT PLACING COMPLETELY AROUND REINFORCING BARS AND AGAINST FORMS

EXPOSED SURFACES OF CONCRETE SHALL BE KEPT MOIST OR CURIED BY PROTECTIVE COVERINGS APPLIED IN A ACCORDANCE WITH MANUFACTURES SPECIFICATIONS (3 DAYS)

FORMS SHALL BE TIGHT, CLEAN AND WETTED BEFORE PLACING CONCRETE

ALL CONCRETE WORK SHALL BE PERFORM IN ACCORDANCE WITH THE LATEST EDITION OF A.C.I. AND THE CALIFORNIA BUILDING CODE

PORTLAND CEMENT SHALL BE A STANDARD BRAND CONFIRMING TO A.S.T.M. C-150 TYPE 2

USE SLAB EDGE INSULATION TO REDUCE HEAT LOSS

ANCHOR BOLTS SHALL BE EMBEDDED AT LEAST 7" INTO CONCRETE AND NO MORE THAN 4" APART (U.O.N.) THERE SHALL BE A MINIMUM OF 2 BOLTS PER PIECE OF SILL. BOLTS SHALL BE LOCATED WITHIN 12" OF CORNERS OR JOINTS. WASHERS SHALL BE 3"x3"x $\frac{3}{8}$ " MINIMUM

SLAB MEMBRANE SHALL COMPLY WITH A.S.T.M. E1745 (CLASS C MIN.) WITH ALL SEAMS LAPPED AND SEALED WITH A TAPE MEETING THE M.V.T. OF A.S.T.M. E1745

FORMS AND SHORING SHALL NOT BE REMOVED UNTIL THE CONCRETE HAS ATTAINED SUFFICIENT STRENGTH TO WITHSTAND ALL LOADS TO BE IMPOSED WITHOUT STRESS, CREEP OR DEFLECTION

CONCRETE SHALL BE READY MIXED CONFORMING TO A.S.T.M. C94

FORMS SHALL BE CONSTRUCTED SUFFICIENTLY TIGHT TO PREVENT LEAKAGE, SUFFICIENTLY STRONG AND BRACED TO MAINTAIN THEIR SHAPE AND ALIGNMENT UNTIL NO LONGER NEEDED TO SUPPORT THE CONCRETE

UNDERFLOOR FOUNDATION ACCESS TO BE MINIMUM 18"x24" WITHIN 20" OF PLUMBING CLEAN-OUT

MINIMUM CLEARANCES TO FLOOR FRAMING IS AS FOLLOWS:  
18" TO BOTTOM OF FLOOR JOIST  
12" TO BOTTOM OF GIRDERS

## Concrete Reinforcing Notes:

REINFORCING SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF A.S.M.T. A 615 GRADE 60. THE WIRES TO BE MINIMUM OF 18 GAUGE OR HEAVIER BLACK ANNEALED.

REINFORCING BARS SHALL BE FREE FROM LOOSE RUST OR ANY OTHER COATING WHICH WILL REDUCE BOND

BARS SHALL NOT BE BENT OR STRAIGHTENED IN A MANNER WHICH WILL INJURE THE MATERIAL AND SHALL BE ACCURATELY PLACED AND POSITIVELY SECURED

THE CLEAR DISTANCE BETWEEN PARALLEL BARS IN A LAYER SHALL NOT BE LESS THAN  $\frac{1}{3}$  TIMES THE NOMINAL DIAMETER OF THE BARS OR  $\frac{1}{3}$  TIMES THE MAXIMUM SIZE AGGREGATE

LAP SPLICE SCHEDULE SHALL BE AS FOLLOWS:

#3 = 24"	#7 = 48"
#4 = 30"	#8 = 54"
#5 = 36"	#9 = 60"
#6 = 42"	

CONCRETE COVERAGE OF BARS SHALL BE AS FOLLOWS:

3" WHERE CONCRETE IS DEPOSITED DIRECTLY AGAINST EARTH  
2" WHERE CONCRETE IS EXPOSED TO EARTH BUT IS DEPOSITED IN FORMS  
 $\frac{1}{2}$ " FOR ALL OTHER CONDITIONS  
PLACE AT CENTERLINE OF ALL SLABS

DETAILING FABRICATION AND PLACEMENT SHALL CONFORM TO THE U.B.C. AND THE MANUAL OF STANDARD PRACTICE OF THE WESTERN CONCRETE REINFORCING STEEL INSTITUTE

ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE SO AS TO MAINTAIN THEIR EXACT POSITION BEFORE AND DURING THE PLACEMENT OF CONCRETE

WELDED WIRE FABRIC SHALL COMPLY WITH A.S.T.M. A185 LAP A MINIMUM OF 12"

WELDED REINFORCING SHALL BE GRADE A706

STAGGER SPLICES A MINIMUM OF 5'-0"

## Carpentry Notes:

ALL STRUCTURAL LUMBER SHALL BE GRADED IN ACCORDANCE WITH THE WESTERN WOOD PRODUCT ASSOCIATION

ALL ROUGH FRAMING MEMBERS SHALL BE DOUGLAS FIR AND SHALL BE #2 D.F. MINIMUM

ALL SHEATHING SHALL BE A.P.A. RATED AND INSTALLED PER AMERICAN PLYWOOD ASSOCIATIONS AND RECOMMENDATIONS. ALL FLOOR, ROOF SHEATHING SHALL HAVE EXTERIOR GLUE U.O.N.

SHEATHING FOR ROOFS AND FLOORS SHALL BE PLACED WITH THE FACE GRAIN PERPENDICULAR TO THE JOISTS AND HAVE THE END JOINTS STAGGERED

PROVIDE AT LEAST ONE UNDERFLOOR ACCESS OF 18"x24" MINIMUM

PROVIDE AT LEAST ONE ATTIC ACCESS OF 22"x30" MINIMUM

UNDERFLOOR VENTING SHALL BE 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF AREA WITH 6"x14" METAL SCREENED VENTS AT APPROXIMATELY 6'-0" O.C.

PROVIDE FULL LENGTH TRIMMERS AT EACH SIDE OF DOORS AND WINDOWS

PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL WALLS (NAILS AT 12" STAC. W/16d)

ARRANGE ALL JOISTS AND HORIZONTAL MEMBERS WITH CROWN UP U.O.N.

PROVIDE BRIDGING OR BLOCKING FOR ROOF FRAMING WHERE REQUIRED BY SECTION 2320 OF C.B.C.

ALL BEAMS AND JOISTS SHALL BE SEAT CUT FOR FULL UNIFORM BEARING @ SUPPORTS AND COLUMN CAPS AND BEAM SEATS

TYPICAL ROOF SHEATHING:

FLAT ROOFS TO BE  $\frac{3}{4}$ " T.&G. EXP. 1 WITH 10d@6" O.C. AT EDGES AND 12" O.C. IN FIELD U.O.N. BLOCK EDGES WITH 2x4 FLAT. SLOPED ROOFS TO BE EXP. (SEE ABOVE FOR NAILING)

FLOOR JOISTS SHALL BE GRADE STAMPED 'S-DRY' WHICH INDICATES A MOISTURE CONTENT NOT EXCEEDING 19%

STUD WALLS SHALL BE 2x4 AT 16" O.C. U.O.N.

PROVIDE 2 STUDS UNDER ALL 4x10 AND LARGER BEAMS OR HEADERS AT SPANS OF 6'-0" OR LARGER U.O.N.

PROVIDE 2x FULL DEPTH SOLID BLOCKING BETWEEN JOIST OVER SUPPORTS AND BELOW PARTITION WALLS

FLOOR SHEATHING SHALL BE  $\frac{3}{4}$ " T.&G. NO UNSUPPORTED BLOCKING REQUIRED. WALL SHEATHING SHALL BE  $\frac{1}{2}$ "

WALL SHEATHING SHALL BE INSTALLED VERTICALLY (BLOCK UNSUPPORTED EDGES) ALL EXTERIOR WALLS AND INTERIOR SHEAR WALLS TO BE SHEATHED WITH  $\frac{1}{2}$ " PLYWOOD (10d@6" O.C. EDGES AND 10d@12" O.C.)

AT ROOF SHEATHING PLYWOOD CLIPS SHALL BE INSTALLED AT MID-SPAN BETWEEN EACH SUPPORT

PROVIDE CONTINUOUS BLOCKING OVER ALL BEARING WALLS, BEAMS AND HEADERS

CARRY UPPER LEVEL. POSTS INTO LOWER LEVELS AND PROVIDE SOLID BLOCKING UNDER ALL POSTS IN FLOORS

ALL BEAMS SHALL BE SUPPORTED BY 2x MINIMUM

ALL EXTERIOR WOOD MEMBERS INCLUDING SILL PLATES SHALL PRESSURE TREATED DOUGLAS FIR

BLOCK ALL FLOOR JOISTS AT 8'-0" O.C. ROOF RAFTERS 2x10 OR LARGER

ALL GLUE-LAMINATED BEAMS SHALL BE D.F., COMBINATION 24F-V4 FOR SIMPLE SPANS, COMBINATION 24F-V8 FOR CONTINUOUS BEAMS AND CANTILEVERS MANUFACTURED WITH EXTERIOR GLUE CONFORMING TO THE C.B.C. SECTION 2303

O.S.B. WITH EQUIVALENT THICKNESS AND SPAN RATING MAY BE USED IN LIEU OF PLYWOOD CALLED OUT. ALL O.S.B. SHALL CONFORM TO PS-2

PLYWOOD SHEATHING SHALL ABUT ALONG CENTERLINE OF FRAMING MEMBER WITH NAILING SPACED NOT LESS THAN  $\frac{3}{8}$ " FROM EDGE OF SHEETS. FULL ROUND COMMON WIRE NAIL HEADS ARE REQUIRED. UNDERSIDE NAIL HEAD TO BE FLUSH WITH PLYWOOD SURFACE

ALL BEAMS JOISTS AND RAFTERS SHALL BE SUPPORTED LATRALLY AT EACH END AND AT INTERIOR SUPPORTS BY SOLID BLOCKING OR SIMILAR FRAMING TO PREVENT ROTATION OF MEMBER

CALIFORNIA FRAMING SHALL BE: 2x6 AT 24" O.C. RAFTERS AND 2x8 BRIDGE AND HIPS U.O.N. BRACE TO FRAMING BELOW AT 48" O.C. MAXIMUM

FRAME STUD WALLS FULL HEIGHT FROM FLOOR TO BOTTOM OF FLOOR JOISTS OR RAFTERS. EXTERIOR WALLS GREATER THAN 10'-0" IN HEIGHT SHALL BE 2x6 STUDS AT 16" O.C.

PROVIDE SOLID BLOCKING AT WALLS LESS THAN 14" IN HEIGHT

WHERE WOOD TENDS TO SPLIT, REPLACE MEMBER AND PRE-DRILL HOLES

MANUFACTURED ROOM TRUSSES ARE SPACED AT 24" O.C. U.O.N. TOP CHORD) TO BE 2x6 MINIMUM. MANUFACTURER TO PROVIDE VERTICAL WEB MEMBER AT TRUSS SUPPORTS, BRIDGING AND BLOCKING AS REQUIRED. THE POSITIONS, WEIGHTS AND METHODS OF ATTACHMENT OF ALL MECHANICAL UNITS, ELECTRICAL FIXTURES, PLUMBING, ETC. SHALL BE INCLUDED IN THE DESIGN OF THE TRUSSES BY THE TRUSS MANUFACTURER

TRUSS MANUFACTURER SHALL SUBMIT THE FOLLOWING: CALCULATIONS AND LAY-OUT KEY PLAN BOTH PREPARED AND SIGNED BY A LICENSED CIVIL OR STRUCTURAL ENGINEER OF CALIFORNIA. INCLUDED SHALL BE THE CONNECTION TO THE STRUCTURE. CALCULATIONS SHALL BE BASED UPON LOADS, BEARING POINTS AND MANUFACTURER TO SUBMIT CALCULATIONS AND DRAWINGS TO THE ENGINEER, DESIGNER & BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION

USE D.F. #1 FOR THE FOLLOWING:  
2x RAFTERS, 2x CEILING JOISTS, 2x FLOOR JOISTS  
4x4 POSTS, 4x6 POSTS, 4x HEADERS, 4x BEAMS, 6x MEMBERS

USE D.F. #2 FOR THE FOLLOWING:  
2x4 STUDS, BLOCKING, ALL OTHER FRAMING LUMBER

## Fire Department Notes:

DURING CONSTRUCTION, PROVIDE A MINIMUM 2A FIRE EXTINGUISHER ON SITE

PROVIDE ADDRESS NUMBERS THAT ARE VISIBLE FROM THE PUBLIC ROADWAY. TEMPORARY ADDRESS NUMBERS SHALL BE POSTED DURING CONSTRUCTION

## Stair & Handrail Notes:

HANDRAILS TO STAIRWAYS SHALL BE 34" TO 38" ABOVE THE NOSING OF THE TREADS

STAIRWAYS SHALL BE MINIMUM OF 36" WIDE AND EACH RISER SHALL NOT EXCEED 7  $\frac{1}{2}$ " AND EACH TREAD SHALL NOT BE LESS THAN 10". THE LARGEST TREAD WIDTH OR RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN  $\frac{3}{8}$ "

OPENINGS IN STAIR RAILINGS SHALL BE LESS THAN 4"

WHERE THERE IS ENCLOSED USABLE SPACE UNDER STAIRS, THE WALL AND CEILING OF THE ENCLOSED SPACE SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH  $\frac{1}{2}$ " TYPE-X GYP. BD.

HANDRAILS AT THE TOP OF STAIRWAYS SHALL EXTEND A MINIMUM OF 12" OF LEVEL DISTANCE BEYOND THE TOP NOSING. HANDRAILS AT THE BOTTOM OF STAIRWAYS SHALL EXTEND A MINIMUM OF TREAD WIDTH PLUS 12" BEYOND THE BOTTOM NOSING BEFORE THEY ARE RETURNED. AT THE BOTTOM, THE HANDRAIL SHALL CONTINUE TO SLOPE FOR A DISTANCE OF THE WIDTH OF ONE TREAD FROM THE BOTTOM RISER. THE REMAINDER OF THE EXTENSION IS HORIZONTAL (LEVEL)

WHERE THE EXTENSION OF THE HANDRAIL IN THE DIRECTION OF THE STAIR RUN WOULD CREATE A HAZARD, THE EXTENSION SHALL BE MADE AT RIGHT ANGLES AN THE FACE OF A RETURNING WALL WHERE THE STAIRS ARE CONTINUOUS THE HANDRAIL SHALL BE CONTINUOUS AND NEED NOT EXTEND OUT INTO THE LANDING

ALL HANDRAILS PROJECTED FROM A WALL SHALL HAVE AN ABSOLUTE CLEARANCE OF 1  $\frac{1}{2}$ " BETWEEN THE WALL AND THE HANDRAIL

THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1  $\frac{1}{2}$ " NOR MORE THAN 1  $\frac{1}{2}$ " IN CROSS-SECTIONAL DIMENSION OR SHAPE SHALL PROVIDE AN EQUIVALENT SMOOTH GRIPPING SURFACE WITH NO SHARP CORNERS

## Door & Window Notes:

DOORS AND WINDOWS BETWEEN CONDITIONED SPACE AND UNCONDITIONED SPACE SHALL BE FULLY WEATHER-STRIPPED AND ALL JOINTS CAULKED AND SEALED

ALL DOORS AND WINDOWS SHALL BE INSTALLED PER LATEST EDITION OF THE 'CRC' AND BY THE MANUFACTURER

WINDOW AND DOOR SIZES ARE SHOWN IN FEET AND INCHES

WINDOW GLAZING IN FIXED OR OPERABLE PANELS SHALL BE SAFETY GLAZING PER 'CRC 308' SECTION 24 (TEMPERED) WHEN:  
GLAZING IS WITHIN 24" OF A DOOR IN CLOSED POSITION AND IS LESS THAN 60" ABOVE THE WALKING SURFACE  
EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQUARE FEET  
EXPOSED BOTTOM EDGE IS WITHIN 18" OF THE FINISH FLOOR  
EXPOSED TOP EDGE IS LESS THAN 36" ABOVE FINISH FLOOR  
ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING IS WITHIN 24" OF A DOOR IN CLOSED POSITION AND IS LESS THAN 60" ABOVE

DOORS WITH GLAZING FIXED OR OPERABLE PANELS SHALL BE SAFETY GLAZING PER 'CRC 308' SECTION 24 (TEMPERED) WHEN:

GLAZING IN INGRESS AND EGRESS  
GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS  
GLAZING IN ALL UNFRAMED SWINGING DOORS  
GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS  
GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET  
GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO DOOR WHERE THE NEAREST EXPOSED EDGE IS WITHIN 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60" ABOVE THE WALKING SURFACE

PROVIDE SECTIONAL OVERHEAD GARAGE DOOR TRACKS PER MANUFACTURERS' REQUIREMENTS

WINDOW GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS OR WITHIN 60" OF THE BOTTOM AND THE TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE (USE TEMPERED GLAZING IN THIS CONDITION)

EGRESS WINDOWS ARE REQUIRED IN ALL SLEEPING AREAS AND SHALL CONFORM TO THE FOLLOWING:  
MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET  
MINIMUM NET CLEAR HEIGHT OF 24"  
MINIMUM NET CLEAR WIDTH OF 20"  
MAXIMUM SILL HEIGHT SHALL BE 44" ABOVE FINISHED FLOOR  
WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT

ALL GLAZING TO BE DUAL PANE INSULATED GLASS

ALL DOORS BETWEEN RESIDENCE AND GARAGE SHALL BE 20 MINUTE FIRE RATED MINIMUM WITH A SELF CLOSER

## Electrical Notes:

ALL ELECTRICAL EQUIPMENT TO BE INSTALLED PER THE LATEST EDITION OF THE N.E.C.

PROVIDE G.F.C.I. OUTLETS AT ALL COUNTERTOPS, BATHROOMS AND GARAGES

INSTALL ALL OUTLETS AT 12" ABOVE FINISH FLOOR TO TOP OF THE OUTLET U.O.N.

SWITCH HEIGHT TO BE 48" ABOVE FINISH FLOOR TO TOP OF SWITCH U.O.N.

PROVIDE SEPARATE BREAKER AND HOME-RUN WIRE TO ALL MAJOR APPLIANCES. SIZE BREAKER TO MANUFACTURERS' RECOMMENDATIONS AND WIRE FOR LOAD AND LENGTH OF RUN PER INDUSTRY STANDARDS

PROVIDE COMPLETE AND APPROPRIATE ELECTRICAL WIRING AND HOOK-UP FOR ALL EQUIPMENT INDICATED

INSTALL OUTLETS 10" ABOVE COUNTERTOPS

OUTLET BOXES ARE TO BE ONE PIECE, CODE GAUGE AND GROUNDED AS REQUIRED

CLOTHES DRYER SHALL HAVE A 4-WIRE GROUNDED OUTLET PER N.E.C. 250-59

ELECTRICAL PANELS IN GARAGE SHALL BE SURFACED MOUNTED OR SHALL HAVE FULL  $\frac{3}{4}$ " TYPE-X GYP. BOARD LINING BEHIND AND AROUND THE PANEL. SUB-PANELS IN RESIDENCE TO BE RECESSED TYPE IN SAME GYP. BOARD SURROUND

PROVIDE A DEDICATED 20-AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT SHALL NOT SUPPLY ANY OTHER RECEPTACLES, LIGHT FANS, ETC.

EXTERIOR LIGHT FIXTURES SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS"

PROVIDE 2 SMALL-APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN, WHICH ARE LIMITED TO SUPPLYING WALL AND COUNTER-SPACE OUTLETS. THEY SHALL NOT SERVE THE RANGE HOOD, DISPOSAL, DISHWASHER OR MICROWAVE

FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL A COMPLETE ELECTRICAL SYSTEM CONNECTED TO PUBLIC ELECTRICAL UTILITIES BROUGHT TO THE SITE. THE SYSTEM MUST INCLUDE ALL REQUIRED PRIMARY AND SECONDARY TRENCHING, CONDUITS AND BACKFILL, ELECTRICAL SERVICE ENTRANCE, DISTRIBUTION EQUIPMENT, FEEDERS, ELECTRICAL CONNECTIONS, CONTROL WIRING, RACEWAYS, CONDUCTORS, BOXES, SWITCHES, FUSES AND REQUIRED GROUNDING

PROVIDE A MINIMUM OF ONE 20-AMP RECEPTACLE TO BE USED AS A LAUNDRY RECEPTACLE

KITCHENS AND DINING AREAS MUST HAVE A MINIMUM OF TWO 20-AMP CIRCUITS

G.F.C.I. OUTLETS FOR ALL KITCHEN OUTLETS THAT ARE DESIGNED TO SERVE COUNTERTOP SURFACES, UNDERFLOOR SPACES OR BELOW GRADE LEVEL, GARAGE OR ON THE EXTERIOR. PLACE 15" ABOVE FINISH FLOOR

OUTLETS MUST BE INSTALLED AT 12'-0" O.C. MAXIMUM IN WALLS AND HALLWAYS LONGER THAN 10'-0"

PERMANENTLY INSTALLED LIGHTING IN BATHROOMS, LAUNDRY ROOMS, GARAGES & UTILITY ROOMS MUST BE HIGH EFFICACY LUMINARIES OR MUST BE CONTROLLED BY AN OCCUPANCY SENSOR THAT DOES NOT ALLOW LUMINARIES TO BE TURNED ON AUTOMATICALLY OR THAT HAS AN OVERRIDE ALLOWING LUMINARIES TO BE ALWAYS ON

LUMINARIES PROVIDING OUTDOOR LIGHTING AND PERMANENTLY MOUNTED TO RESIDENTIAL BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINARIES UNLESS THEY ARE CONTROLLED BY A MOTION SENSOR(S) WITH INTEGRAL PHOTO CONTROL OR UNLESS THEY ARE PERMANENTLY INSTALLED LUMINARIES FOR SWIMMING POOLS OR WATER FEATURES

NOT LESS THAN 50% OF THE PERMANENT LIGHT FIXTURE WATTAGE LOCATED IN THE KITCHEN MUST BE HIGH EFFICACY LUMINARIES (I.E. FLUORESCENT) AND MUST BE SWITCHED SEPARATELY FROM THE OTHER LUMINARIES IN THE KITCHEN

PERMANENTLY INSTALLED LUMINARIES (LIGHTING) LOCATED OTHER THAN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINARIES UNLESS:

1) THEY ARE CONTROLLED BY DIMMERS SWITCHES  
2) THEY ARE CONTROLLED BY OCCUPANT SENSOR(S) THAT DO NOT ALLOW THE LUMINARY TO BE TURNED ON AUTOMATICALLY OR PROVIDE AN OVER-RIDING CONTROL TO ALLOW THE LUMINARY TO BE ALWAYS ON  
3) CLOSETS LESS THAN 70 SQUARE FEET

RECESSED LUMINARIES (LIGHTING) IN INSTALLED CEILINGS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER (IC) ND AIR TIGHT (AT) RATED CERTIFIED AND SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND CEILING

## Plumbing Notes:

MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES

CONTRACTOR SHALL VERIFY ALL CONDITIONS ON FIELD PRIOR TO START OF ANY WORK TO ENSURE THE INSTALLATION CAN BE PROPERLY EXECUTED

POINT OF CONNECTION TO THE EXISTING PLUMBING SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR. POINT OF CONNECTION MAY VARY BASED ON ACTUAL FIELD CONDITIONS

PROVIDE BACK-FLOW PREVENTION ON HOSE BIBS BY CODE

SOIL, WASTE AND VENT PIPING SHALL BE NO-HUB PIPE AND FITTINGS

PROVIDE PLUMBING CLEAN-OUTS AS REQUIRED BY CODE

PROVIDE COMBUSTION AIR VENTING FOR ALL GAS-FIRED APPLIANCES

WATER PIPING ABOVE GROUND SHALL BE TYPE 'L' COPPER WITH WROUGHT COPPER SOLDERED FITTINGS. UNDERGROUND SHALL BE TYPE 'L' COPPER WITH BRAZED JOINTS

HOT WATER PIPING SHALL BE INSULATED WITH 1-FIBERGLASS (WITH P.V.C. JACKET)

ALL SEWER LINES AT  $\frac{1}{4}$ " PER FOOT SLOPE PER U.P.C. SECTION 708.0

USE DUAL-FLUSH (LOW-FLOW) TOILETS WITH A MAXIMUM 1.28 GALLON PER FLUSH

ALL BATH ACCESSORIES ARE AS INDICATED OR TO BE DETERMINE BY OWNER. PROVIDE BLOCKING AND BACKING AS REQUIRED. COORDINATE SIZES, LOCATIONS AND TYPE DURING ROUGH WORK AND COMPLETE INSTALLATION AS PART OF FINISH WORK

ALL PLUMBING FIXTURES TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR ACCORDING TO THE LATEST ADOPTED EDITION OF THE U.P.C.

CONTRACTOR TO VERIFY COMPATIBILITY OF ALL PLUMBING FIXTURES, VALVES, ETC. AND INSTALL WITH ALL NECESSARY VENTING AND ROOF JACKS REQUIRED

EXCAVATE AND BACK FILL AS NECESSARY FOR UNDERGROUND PIPING. COMPACT ALL BACKFILL TO ORIGINAL GRADE AND REMOVE EXCESS SPOILS. TEST AND HAVE WORK APPROVED BEFORE COVERING

MAXIMUM WATER USE SHALL BE: SHOWERHEADS (2.0 GAL./MIN.), LAVATORY FAUCETS (1.5 GAL./MIN.), KITCHEN FAUCETS (1.8 GAL./MIN.), URINALS (.5 GAL./FLUSH)

SHOWER AND TUB /SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL 'ANTI-SCALD' CONTROL VALVES OF THE PRESSURE - BALANCE OR THERMOSTATIC - MIXING VALVE TYPE. HANDLE POSITION STOPS SHALL BE PROVIDED ON SUCH VALVES AND SHALL BE ADJUSTED PER MANUFACTURERS' INSTRUCTIONS TO DELIVER A MAXIMUM WATER SETTING OF 120 DEGREES F

INSTALL AN AIR-GRIP ON SINK RIM DISCHARGE SIDE OF DISHWASHER

SEISMIC ANCHORAGE OF WATER HEATER TO INCLUDE ANCHORS OF STRAP POINTS WITHIN THE UPPER AND LOWER  $\frac{1}{4}$  OF THE VERTICAL DIMENSION. THE LOWER STRAP LOCATED TO MAINTAIN A MINIMUM DISTANCE OF 4" ABOVE THE CONTROLS

WATER HEATERS SHALL HAVE A PRESSURE RELIEF VALVE WITH A DRAIN TO THE OUTSIDE. WATER HEATERS ARE TO BE GAS FIRED. DIRECT VENTING AND MOUNTED PER CODE REQUIREMENTS U.O.N.

WATER SERVICE LINE TO BE 1  $\frac{1}{2}$ " AND ARE TO HAVE NO JOINTS BELOW SLABS

TUB /SHOWER COMBOS. TO HAVE WATER RESISTANT FINISH UP WALLS A MINIMUM OF 70" ABOVE DRAIN LOCATION AND OVER TYPE-X GYP. BOARD

WASTE AND VENT PIPING TO BE A.B.S. PLASTIC, SEWER LINES TO BE VERIFIED CLAY OR APPROVED P.V.C. PIPE

PROVIDE A WATER CATCH PAN UNDER ALL WATER HEATERS AND WASHING MACHINES AND DRAIN TO OUTSIDE OR APPROVED LOCATION

## Mechanical Notes:

ALL MECHANICAL SYSTEMS SHALL BE INSTALLED PER U.M.C. AND ALL LOCAL CODES. THEY SHALL BE SIZED BY SUPPLIER USING TITLE 24

CONTRACTOR SHALL SUPPLY ALL CONDITIONAL WIRING AND COMPONENTS REQUIRED BUT NOT SPECIFICALLY SHOWN ON PLANS TO ACHIEVE A COMPLETE INSTALL

HEATING SYSTEM IS REQUIRED TO MAINTAIN 70 DEGREES AT 3'-0" ABOVE FLOOR IN ALL HABITABLE ROOMS

VENT DRYER TO OUTSIDE OF BUILDING (NOT TO UNDERFLOOR AREA) VENT SHALL BE 14'-0" MAXIMUM OR INCREASE VENT SIZE LARGER THAN TYPICAL

IF MECHANICAL UNIT IS IN ATTIC, PROVIDE A  $\frac{3}{4}$ " PLYWOOD WALKWAY TO UNIT AND 30" SQUARE PLATFORM AT ACCESS PANEL. PROVIDE A LIGHT SWITCH AND RECEPTACLE IN THIS SPACE

IF APPLIANCES ARE TO BE INSTALLED IN ATTIC SPACE THEY SHALL BE APPROVED FOR ATTIC INSTALLATION. A 30"x30" ATTIC ACCESS AND PASSAGEWAY TO EQUIPMENT SHALL BE PROVIDED ALONG WITH A PERMANENT ELECTRICAL OUTLET NEAR THE APPLIANCE. COOLING UNITS SHALL BE PROVIDED WITH A WATER-TIGHT CORROSION RESISTANT METAL PAN WITH A CONDENSATE DRAIN TO THE EXTERIOR OF THE BUILDING. THE UNITS SHALL BE ON A STRUCTURALLY SOUND PLATFORM

Scale: As Noted  
Date: 03.28.2024  
Drawn by: Hachman Construct.

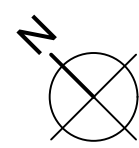
Typical Building Notes

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office@hachmanconstruction.com

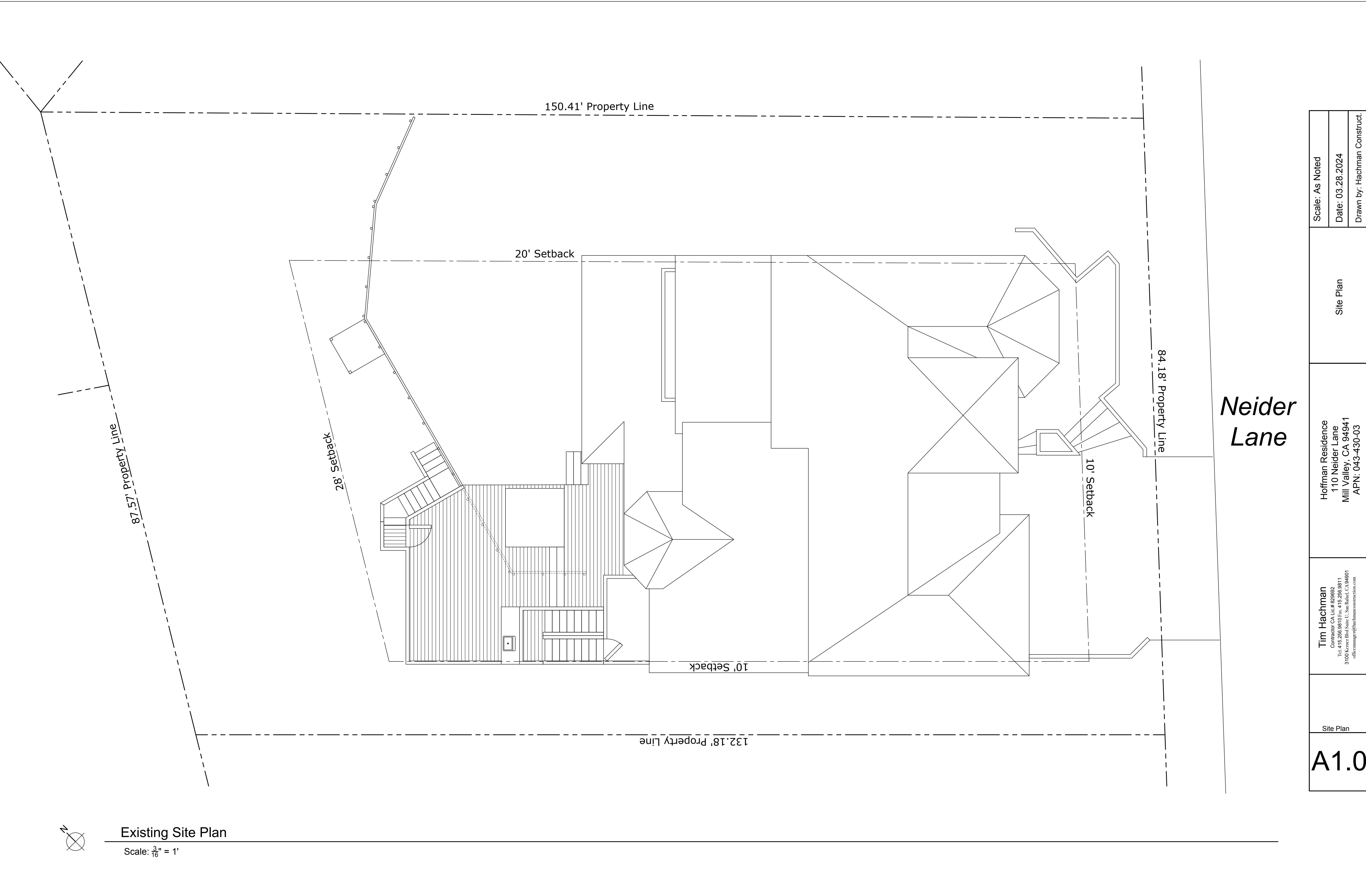
Typical Building Notes

A0.1



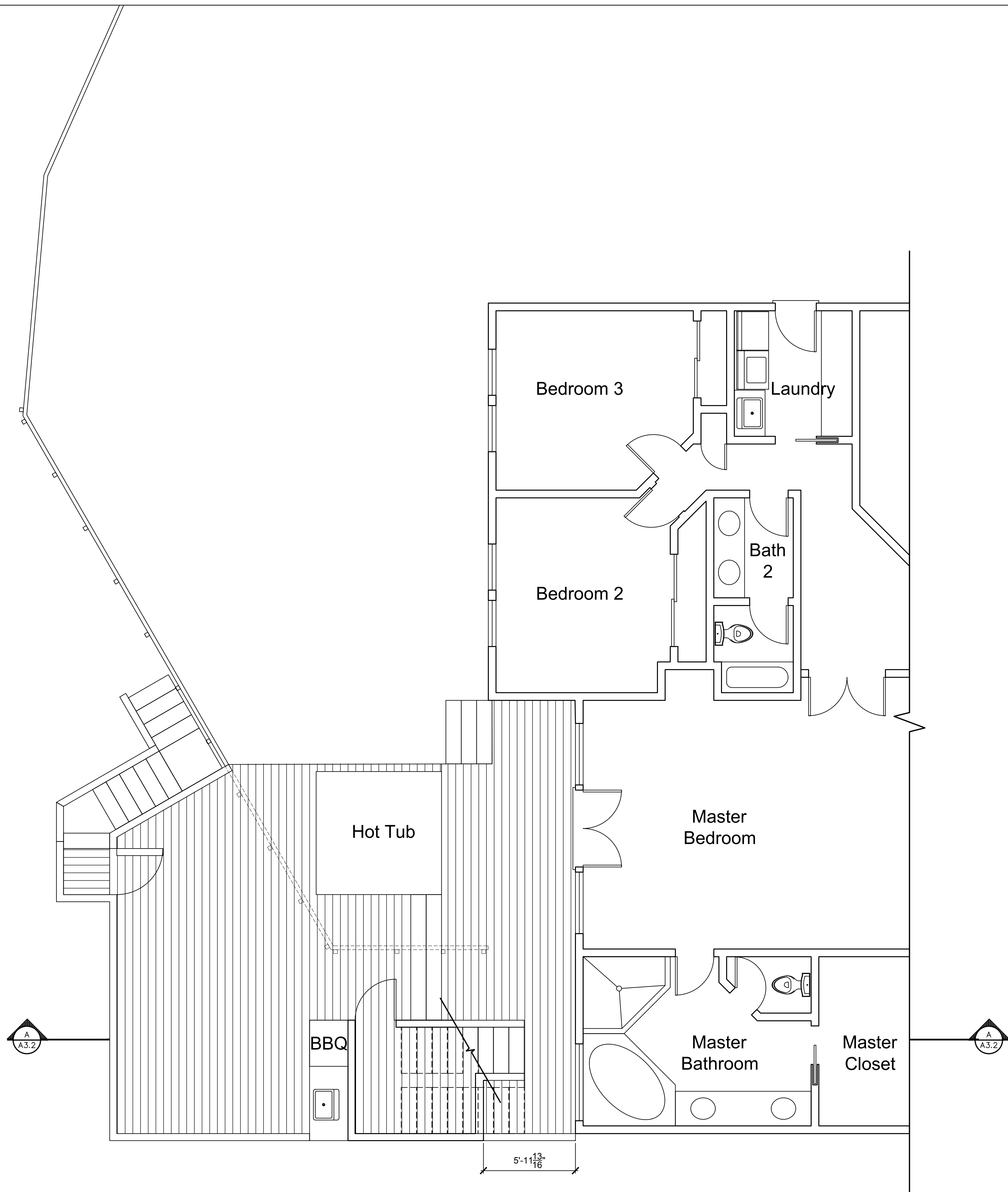
Existing Site Plan

Scale:  $\frac{3}{16}$ " = 1'



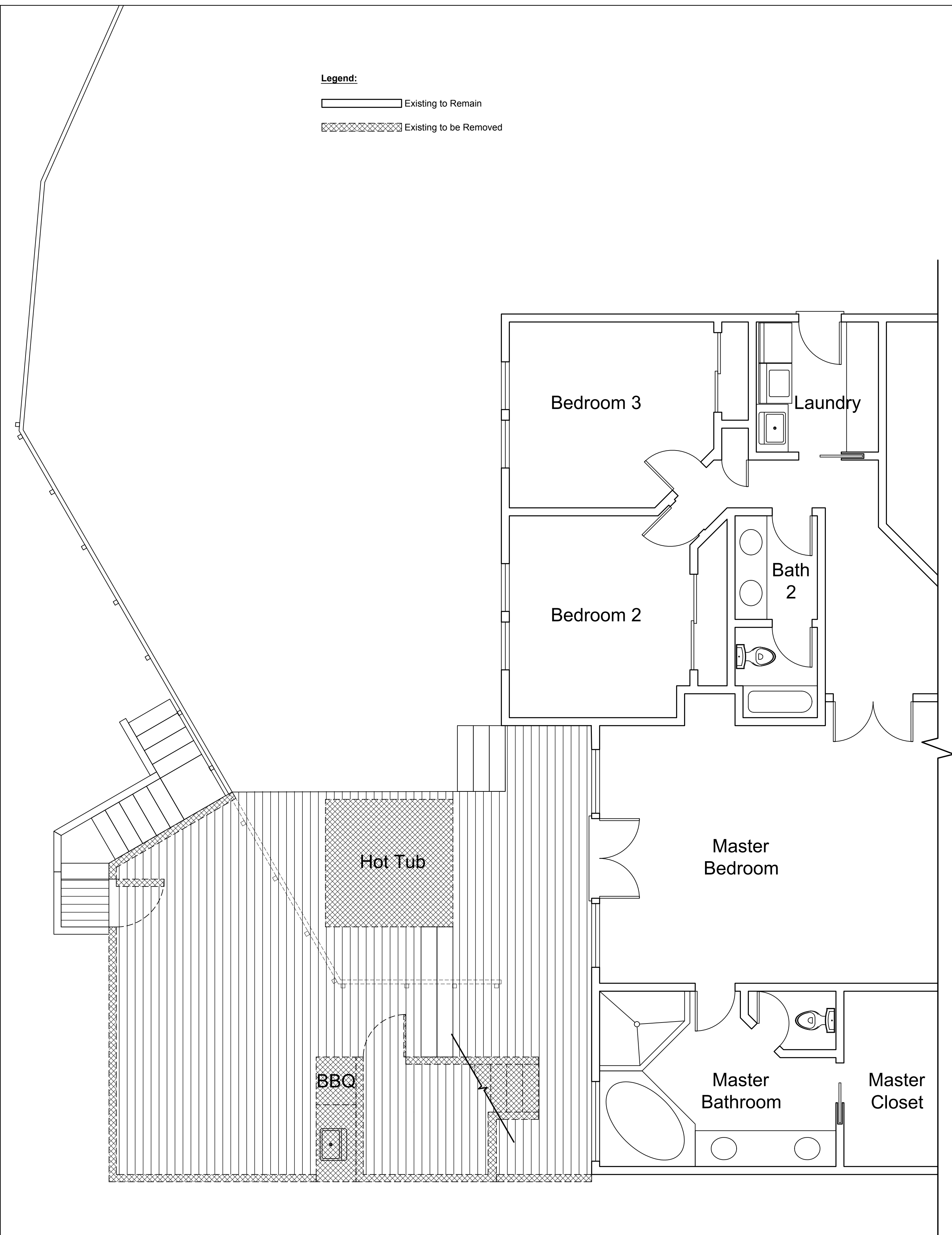
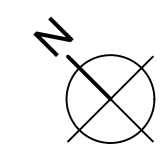
Neider Lane

Scale: As Noted	Site Plan	Hoffman Residence 110 Neider Lane Mill Valley, CA 94941 APN: 043-430-03	Tim Hachman Contractor CA Lic. # 829692 Tel. 415.256.9810 Fax. 415.256.9811 3100 Kenner Blvd Suite U, San Rafael, CA 94901 office@timhachmanconstruction.com	Site Plan	A1.0
Date: 03.28.2024					
Drawn by: Hachman Construct.					



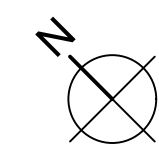
Existing Partial Lower Level Floor Plan and Deck Plan

Scale: 1/4" = 1'



Demolition Plan

Scale: 1/4" = 1'



Legend:

Existing to Remain

Existing to be Removed

Scale: As Noted  
Date: 03.28.2024  
Drawn by: Hachman Construct.

Existing Partial Lower Level Floor  
Plan and Deck Plan and  
Demolition Plan

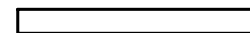
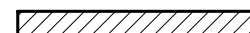
Hoffman Residence  
1110 Neider Lane  
Mill Valley, CA 94941  
APN: 043-430-03

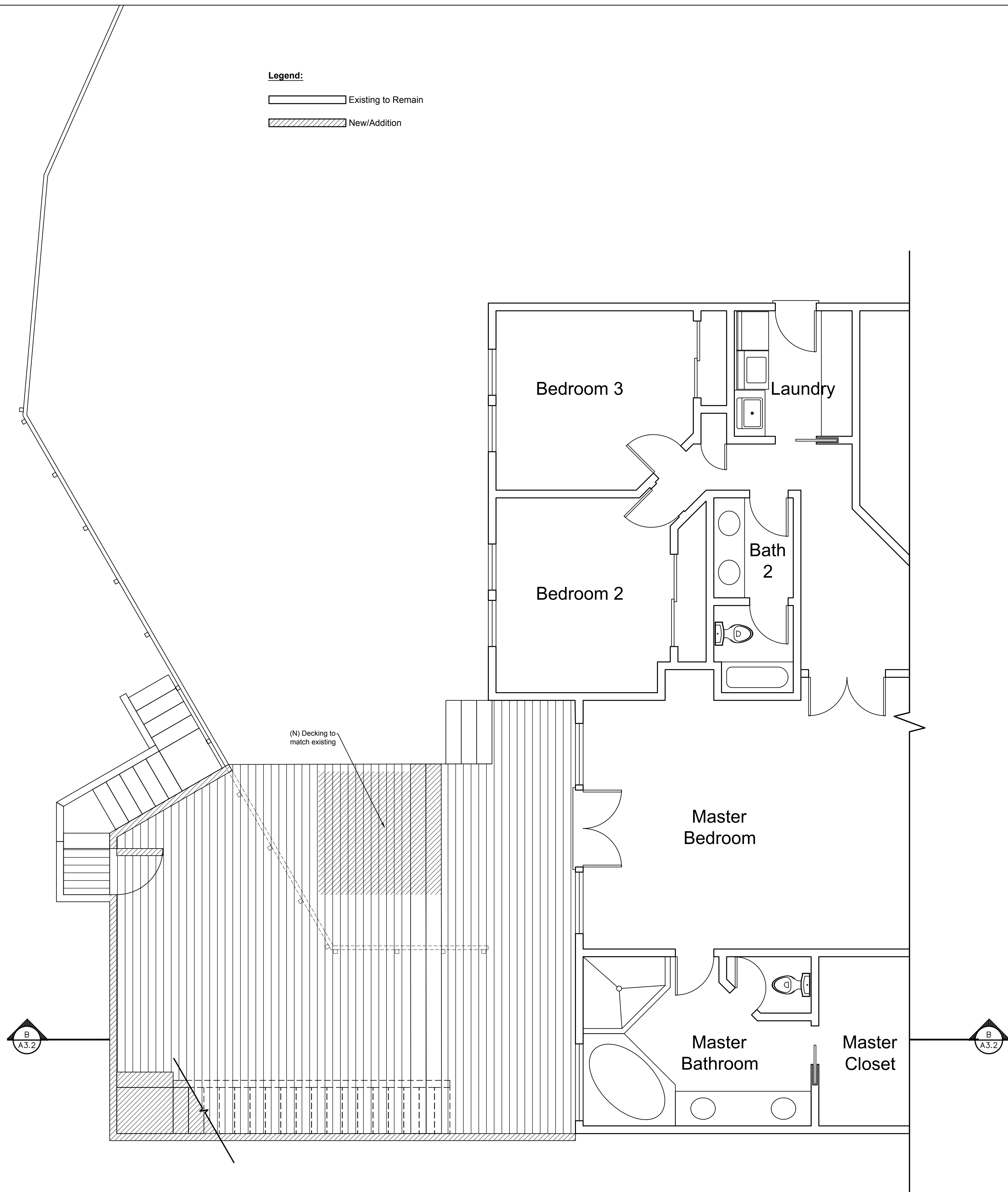
Tim Hachman  
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office@hachmanconstruction.com

Existing Partial  
Lower Level Floor  
Plan and  
Demolition Plan

A2.0

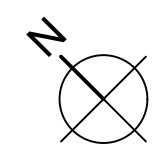
**Legend:**


















-  Existing to Remain
-  New/Addition

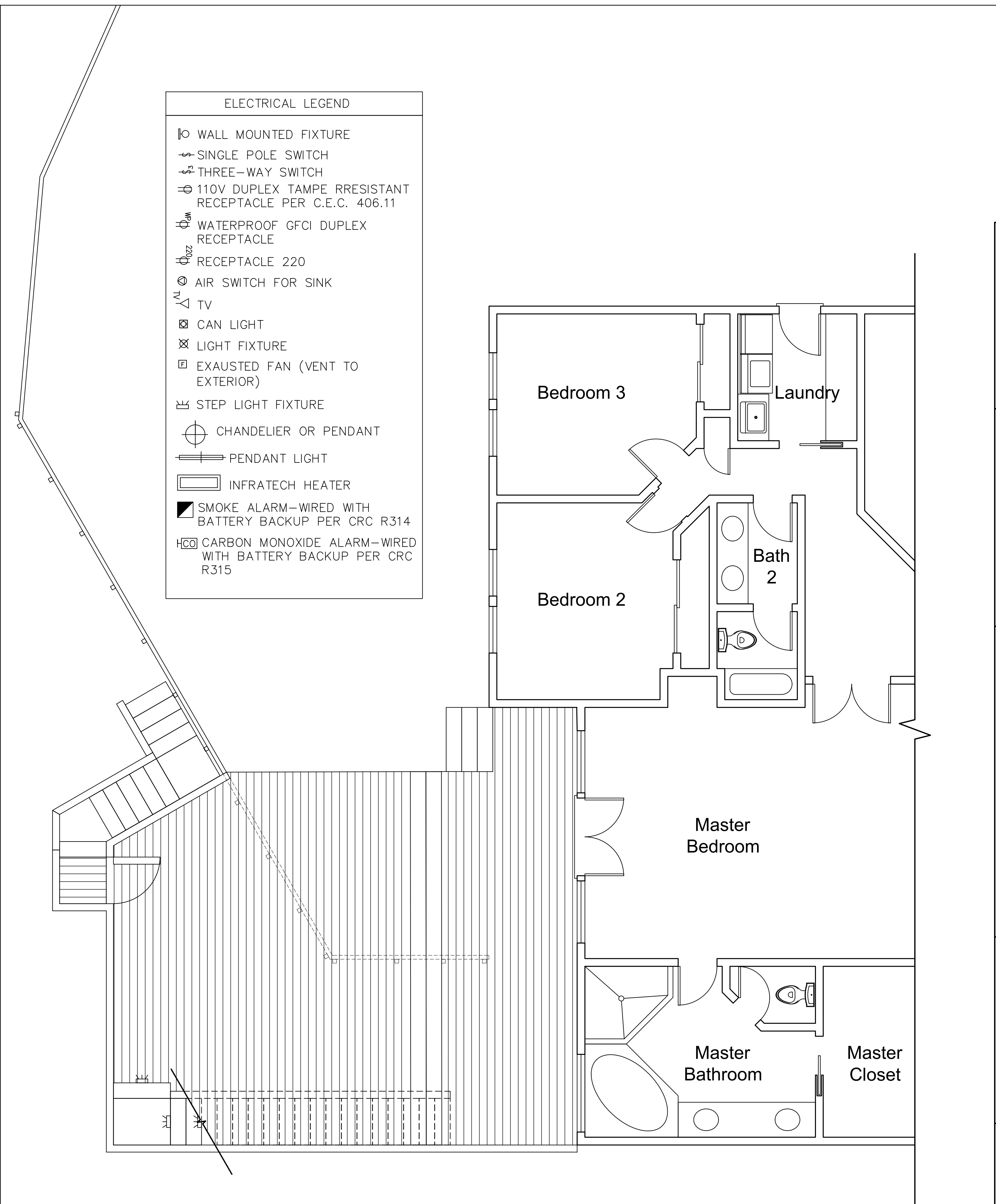


Proposed Partial Lower Level Floor Plan and Deck Plan

Scale: 1/4" = 1'

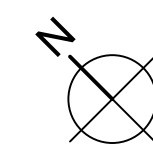


ELECTRICAL LEGEND	
	WALL MOUNTED FIXTURE
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	110V DUPLEX TAMPER RESISTANT RECEPTACLE PER C.E.C. 406.11
	WATERPROOF GFCI DUPLEX RECEPTACLE
	RECEPTACLE 220
	AIR SWITCH FOR SINK
	TV
	CAN LIGHT
	LIGHT FIXTURE
	EXHAUSTED FAN (VENT TO EXTERIOR)
	STEP LIGHT FIXTURE
	CHANDELIER OR PENDANT
	PENDANT LIGHT
	INFRATECH HEATER
	SMOKE ALARM-WIRED WITH BATTERY BACKUP PER CRC R314
	CARBON MONOXIDE ALARM-WIRED WITH BATTERY BACKUP PER CRC R315



Proposed Deck Electrical Plan

Scale: 1/4" = 1'



Scale: As Noted  
Date: 03.28.2024  
Drawn by: Hachman Construct.

Proposed Partial Lower Level Floor Plan and Deck Plan and Proposed Deck Electrical Plan

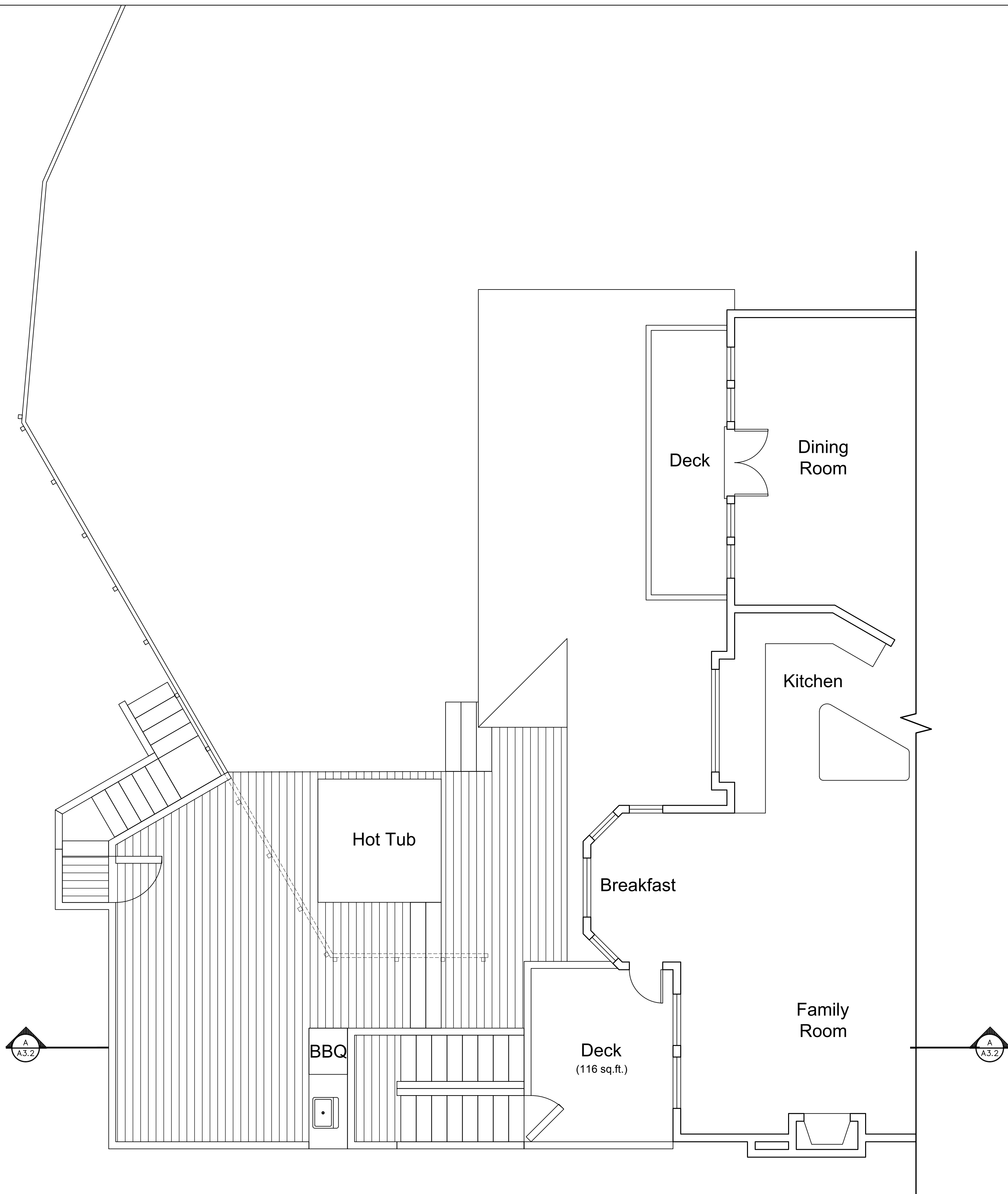
Hoffman Residence  
1110 Neider Lane  
Mill Valley, CA 94941  
APN: 043-430-03

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office@hachmanconstruction.com

Proposed Partial Lower Level Floor Plan and Deck Plan and Proposed Deck Electrical Plan

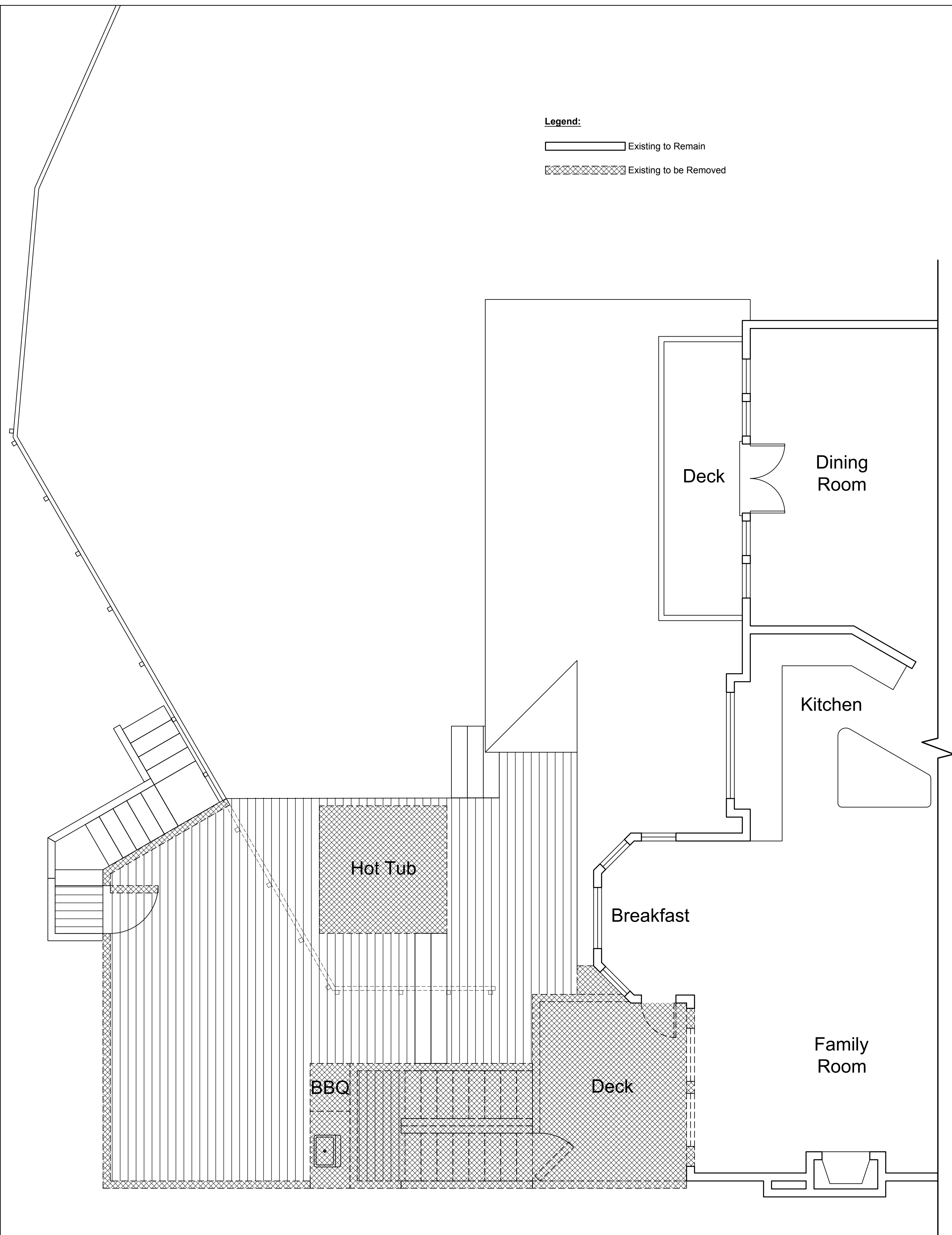
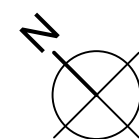
**A2.1**





Existing Partial Mid Level Floor Plan and Deck Plan

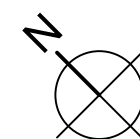
Scale: 1/4" = 1'



**Legend:**  
 — Existing to Remain  
 ▨ Existing to be Removed

Demolition Plan

Scale: 1/4" = 1'



Scale: As Noted  
 Date: 03.28.2024  
 Drawn by: Hachman Construct.

Existing Partial Mid Level Floor  
 Plan and Deck Plan and  
 Demolition Plan

Hoffman Residence  
 1110 Neider Lane  
 Mill Valley, CA 94941  
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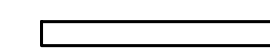
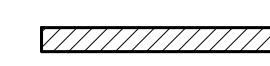
Existing Partial Mid  
 Level Floor Plan  
 and Deck Plan and  
 Demolition Plan

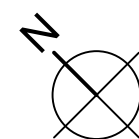
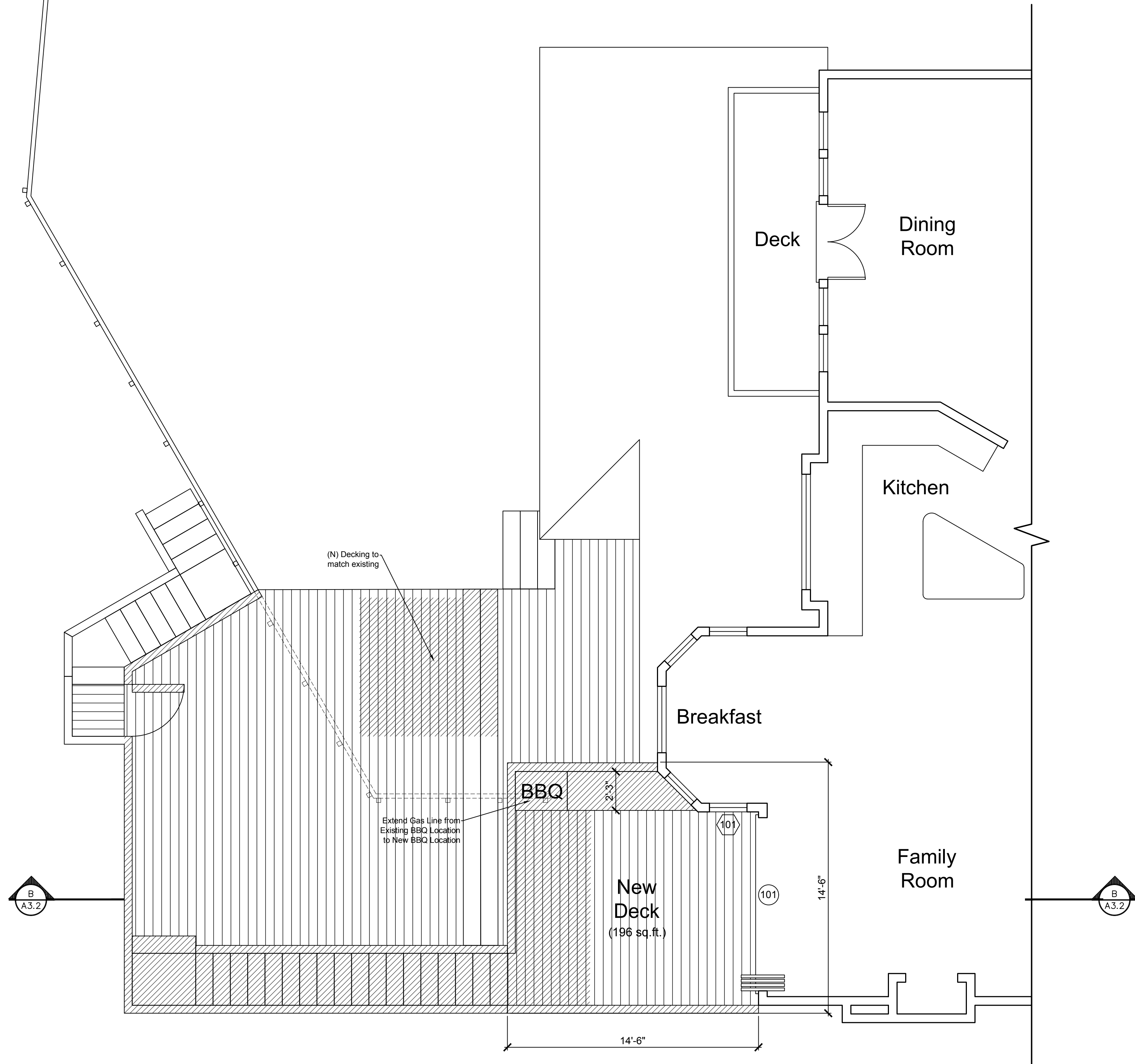
**A2.2**

Door Schedule						
Location	Door #	Door Type		Size		Remarks
		Ext.	Int.	W.	H.	
Family Room	101	X		10'-0"	8'-0"	Sliding door

Window Schedule					
Location	Window #	Window Type	Size		Remarks
			W.	H.	
Breakfast	101	Fixed	2'-6"	4'-8"	Tempered Glass


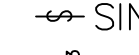
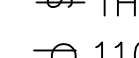

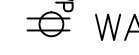
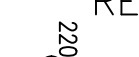






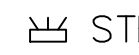


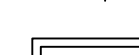

**Legend:**

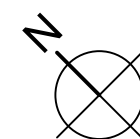
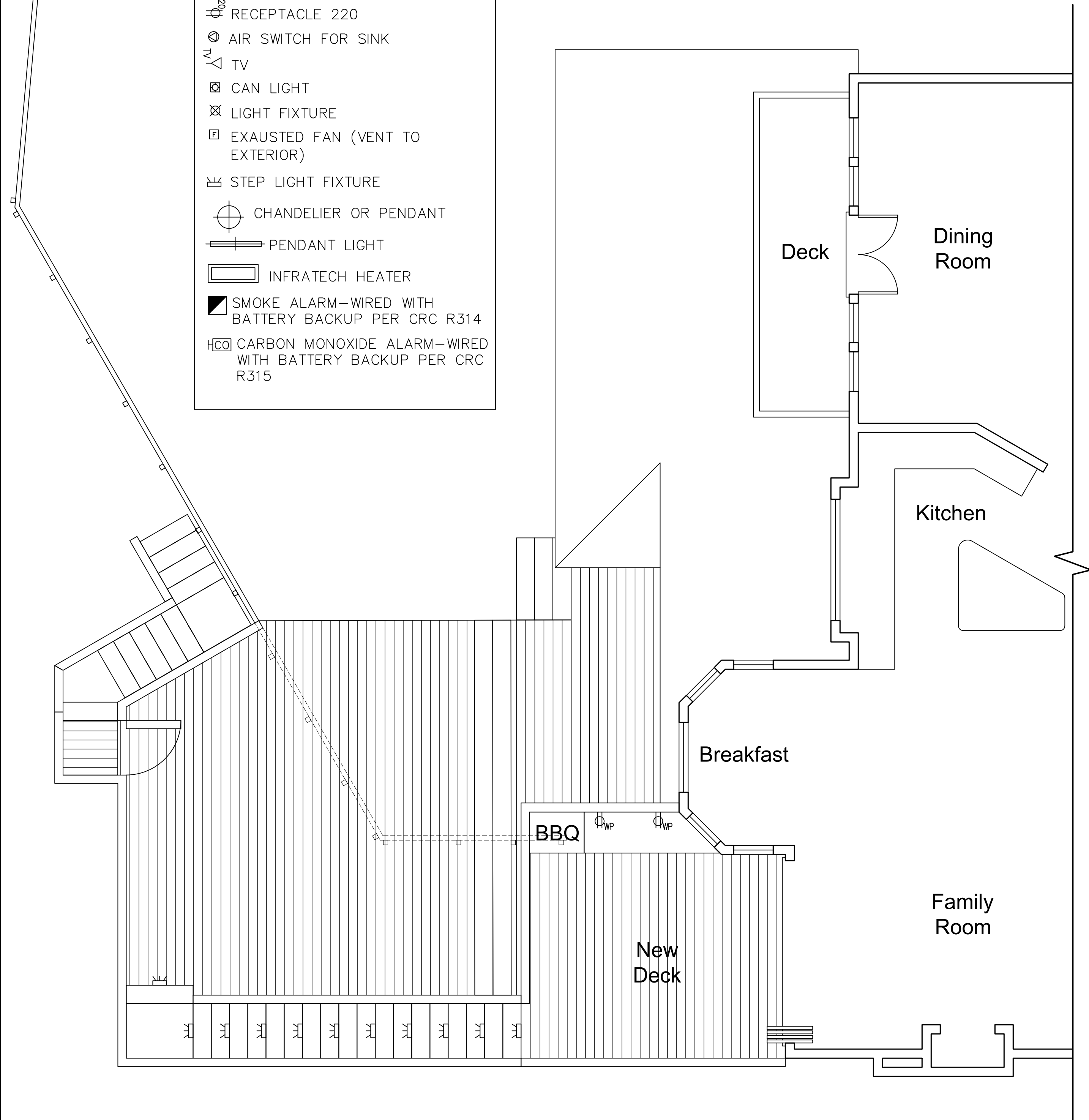
-  Existing to Remain
-  New/Addition



Proposed Partial Mid Level Floor Plan and Deck Plan

Scale: 1/4" = 1'

ELECTRICAL LEGEND	
	WALL MOUNTED FIXTURE
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	110V DUPLEX TAMPER RESISTANT RECEPTACLE PER C.E.C. 406.11
	WATERPROOF GFCI DUPLEX RECEPTACLE
	RECEPTACLE 220
	AIR SWITCH FOR SINK
	TV
	CAN LIGHT
	LIGHT FIXTURE
	EXHAUSTED FAN (VENT TO EXTERIOR)
	STEP LIGHT FIXTURE
	CHANDELIER OR PENDANT
	PENDANT LIGHT
	INFRATECH HEATER
	SMOKE ALARM-WIRED WITH BATTERY BACKUP PER CRC R314
	CARBON MONOXIDE ALARM-WIRED WITH BATTERY BACKUP PER CRC R315



Proposed Deck Electrical Plan

Scale: 1/4" = 1'

Scale: As Noted  
Date: 03.28.2024  
Drawn by: Hachman Construct.

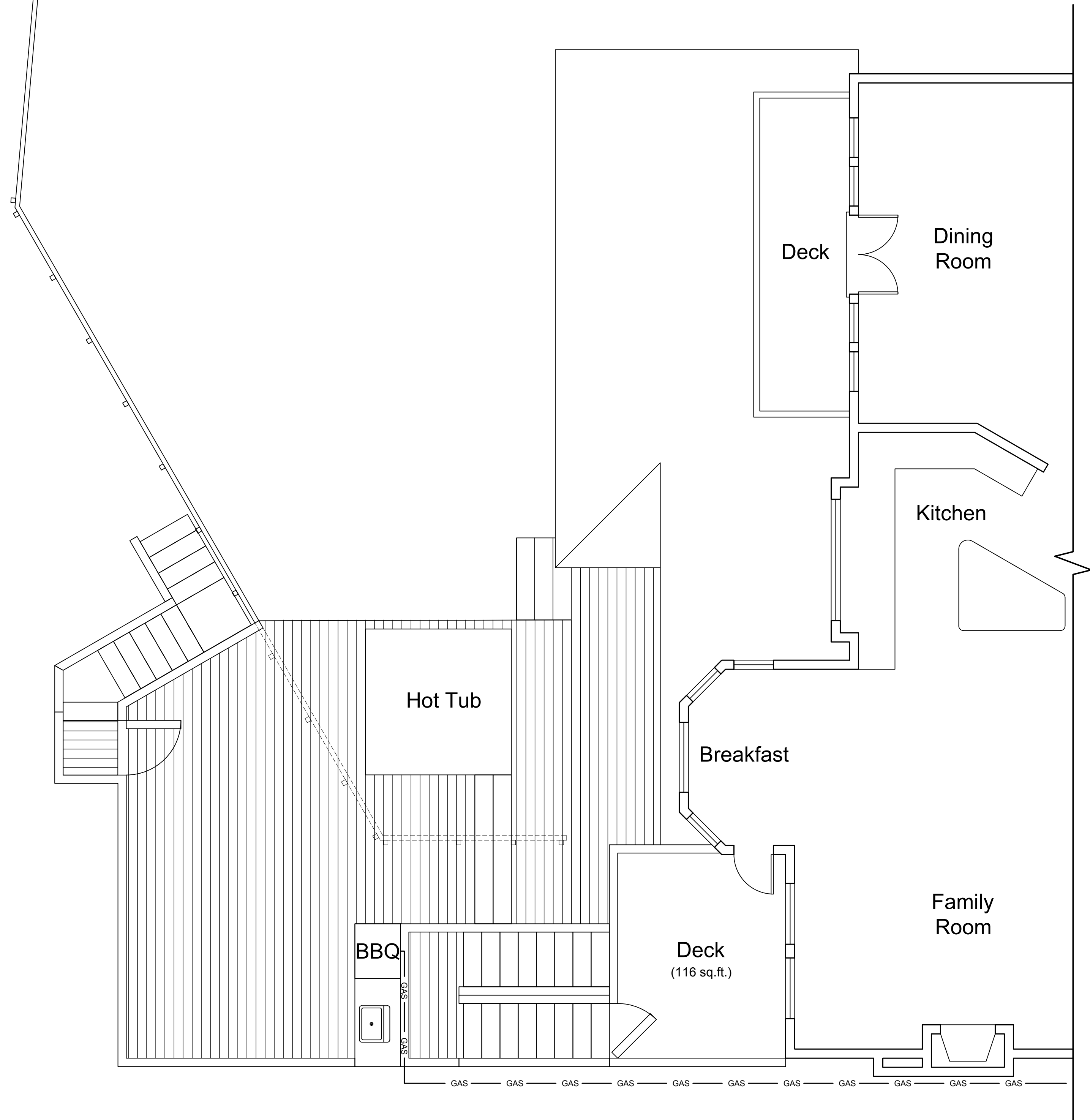
Proposed Partial Mid Level Floor Plan and Deck Plan and Proposed Deck Electrical Plan

Hoffman Residence  
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APN: 043-430-03

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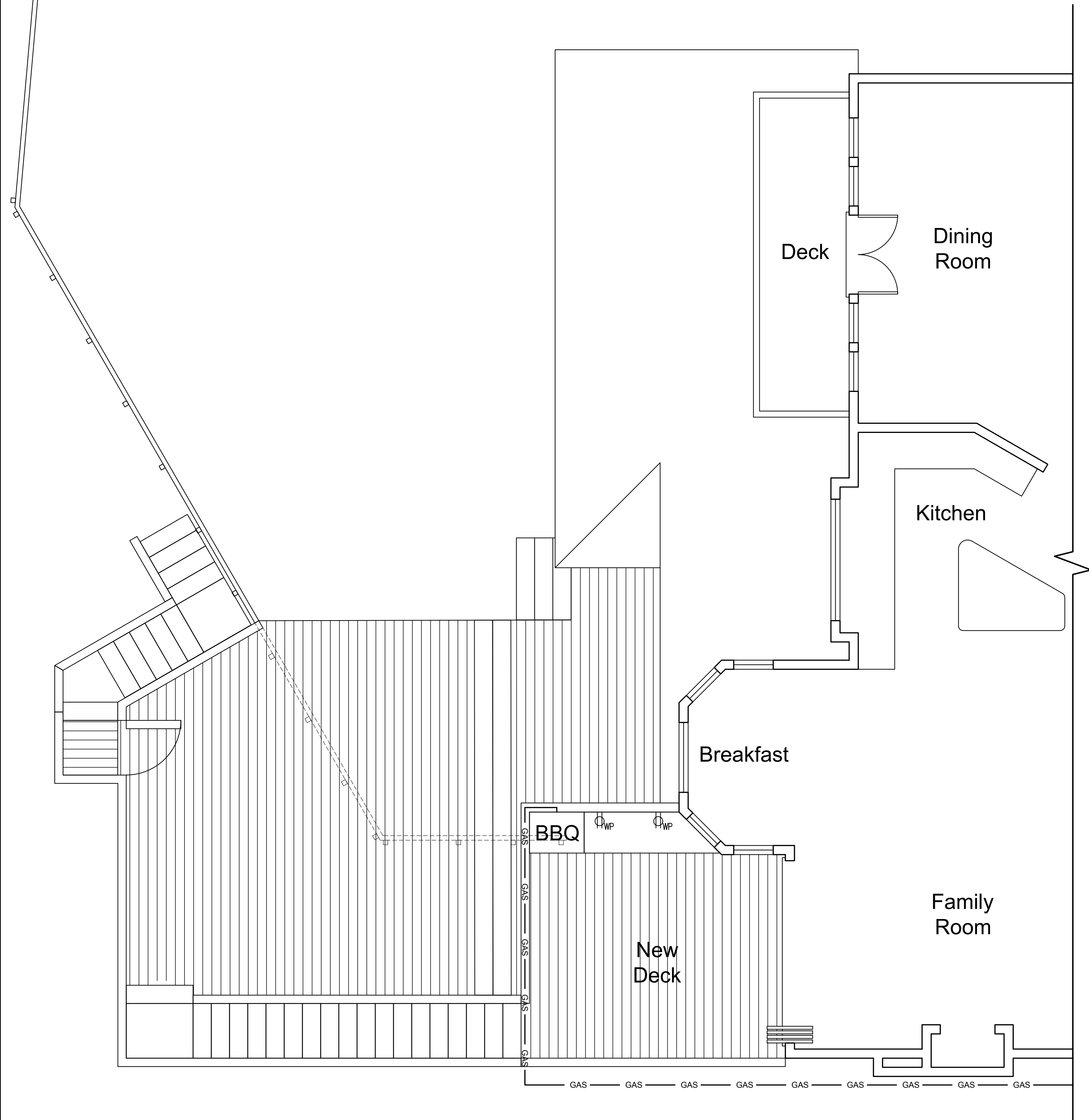
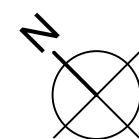
Proposed Partial Mid Level Floor Plan and Deck Plan and Proposed Deck Electrical Plan

**A2.3**



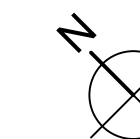
Existing Gas Line Layout

Scale: 1/4" = 1'



Proposed Gas Line Layout

Scale: 1/4" = 1'



Scale: As Noted  
Date: 03.28.2024  
Drawn by: Hachman Construct.

Existing Gas Line Layout and  
Proposed Gas Line Layout

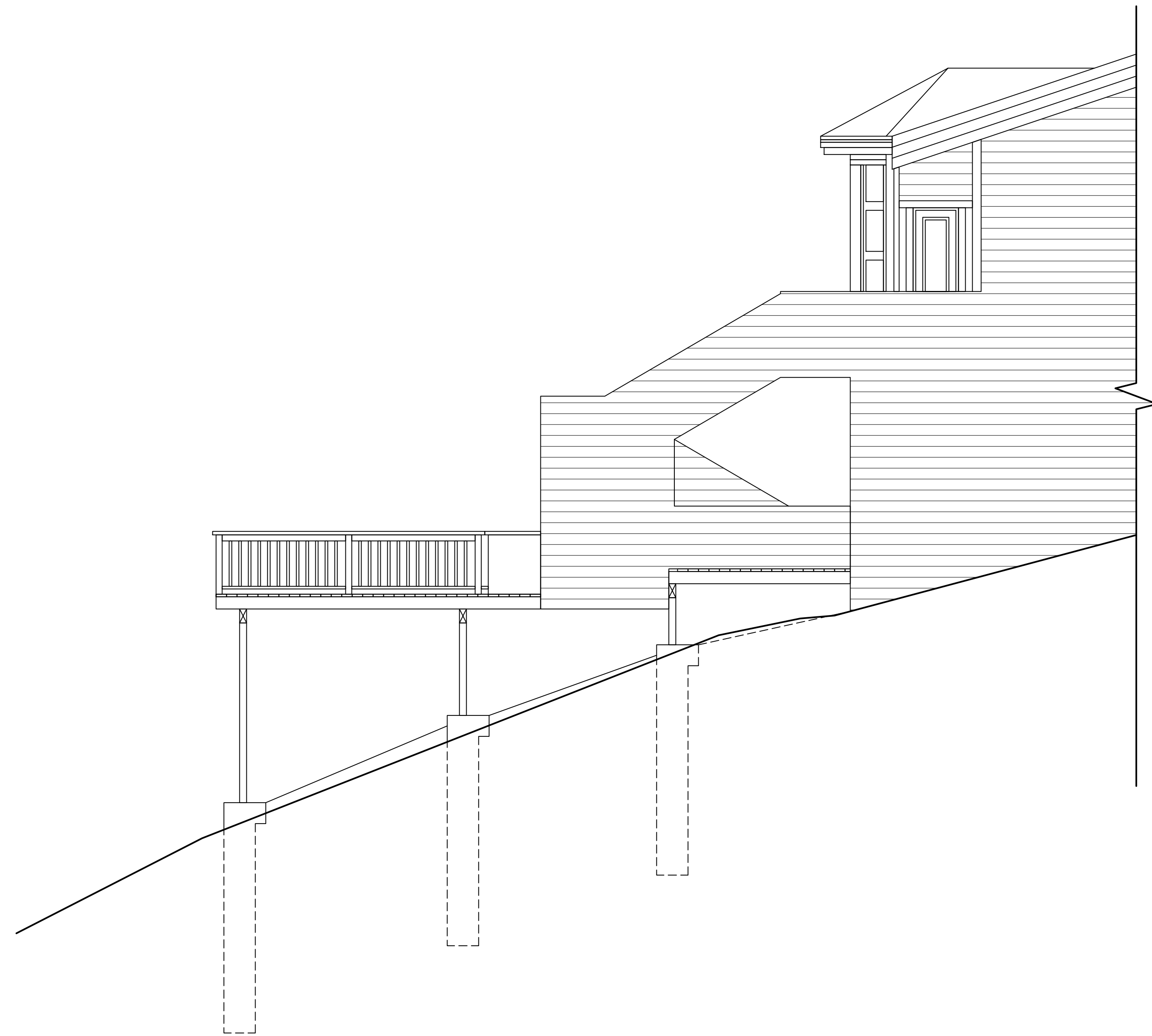
Hoffman Residence  
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Existing Gas Line  
Layout and  
Proposed Gas Line  
Layout

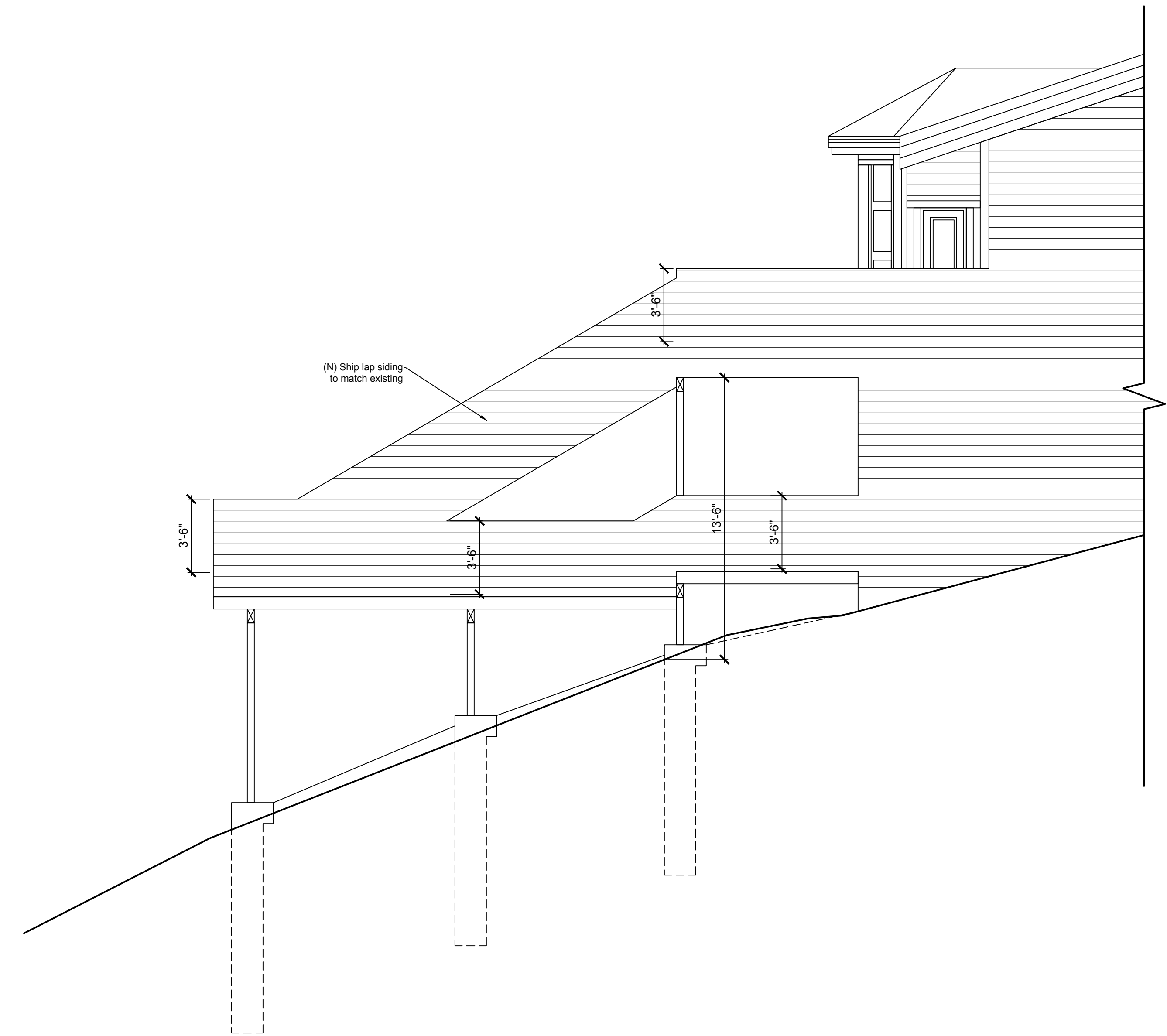
A2.4





Existing West Exterior Elevation

Scale:  $\frac{1}{4}'' = 1'$



Proposed West Exterior Elevation

Scale:  $\frac{1}{4}'' = 1'$

Scale: As Noted  
Date: 03.28.2024  
Drawn by: Hachman Construct.

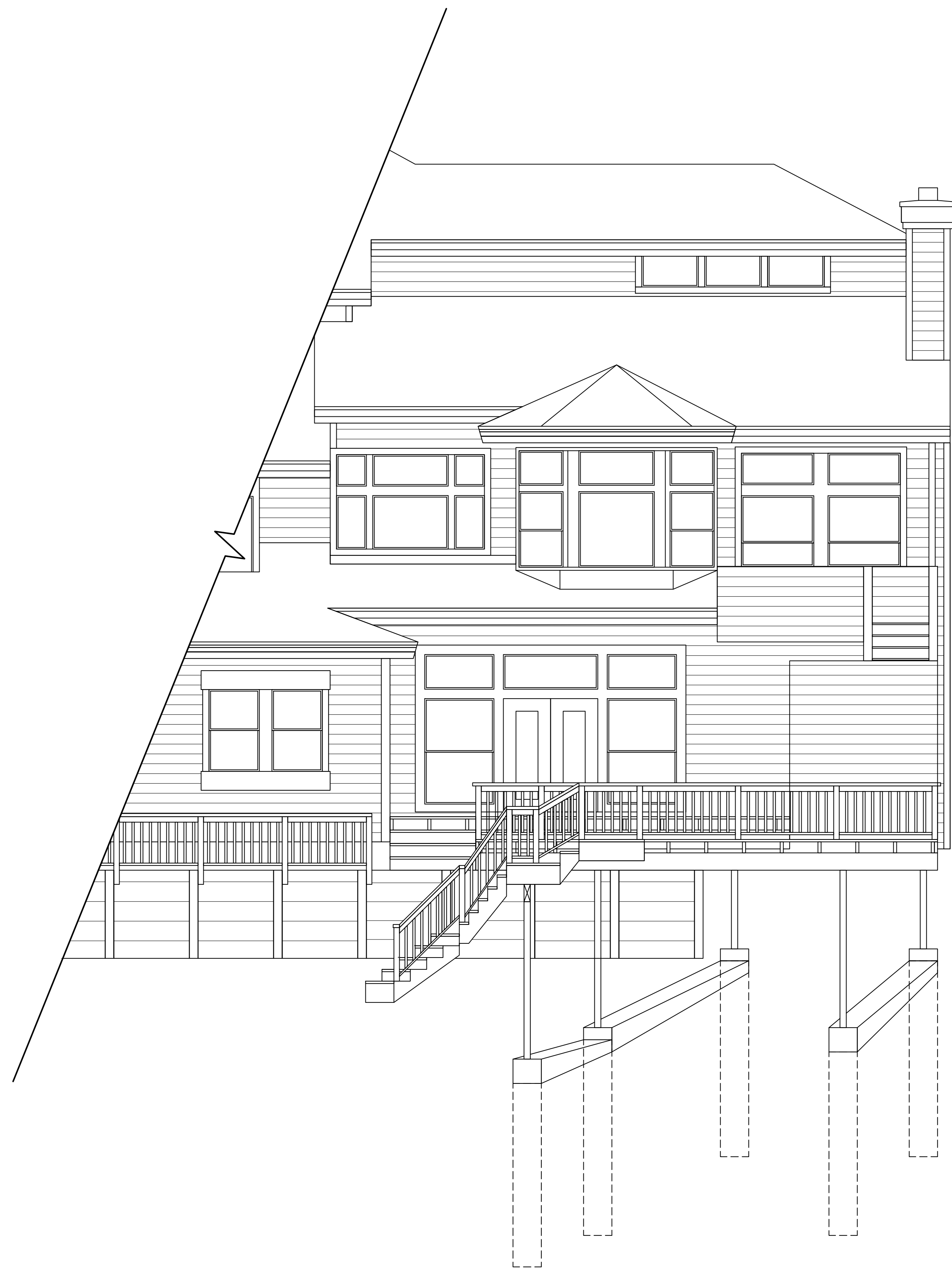
Existing and Proposed West  
Exterior Elevation

Hoffman Residence  
1110 Neider Lane  
Mill Valley, CA 94941  
APN: 043-430-03

**Tim Hachman**  
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Existing and  
Proposed West  
Exterior Elevation

**A3.0**



Existing North Exterior Elevation

Scale:  $\frac{1}{4}'' = 1'$



Proposed North Exterior Elevation

Scale:  $\frac{1}{4}'' = 1'$

Scale: As Noted  
Date: 03.28.2024  
Drawn by: Hachman Construct.

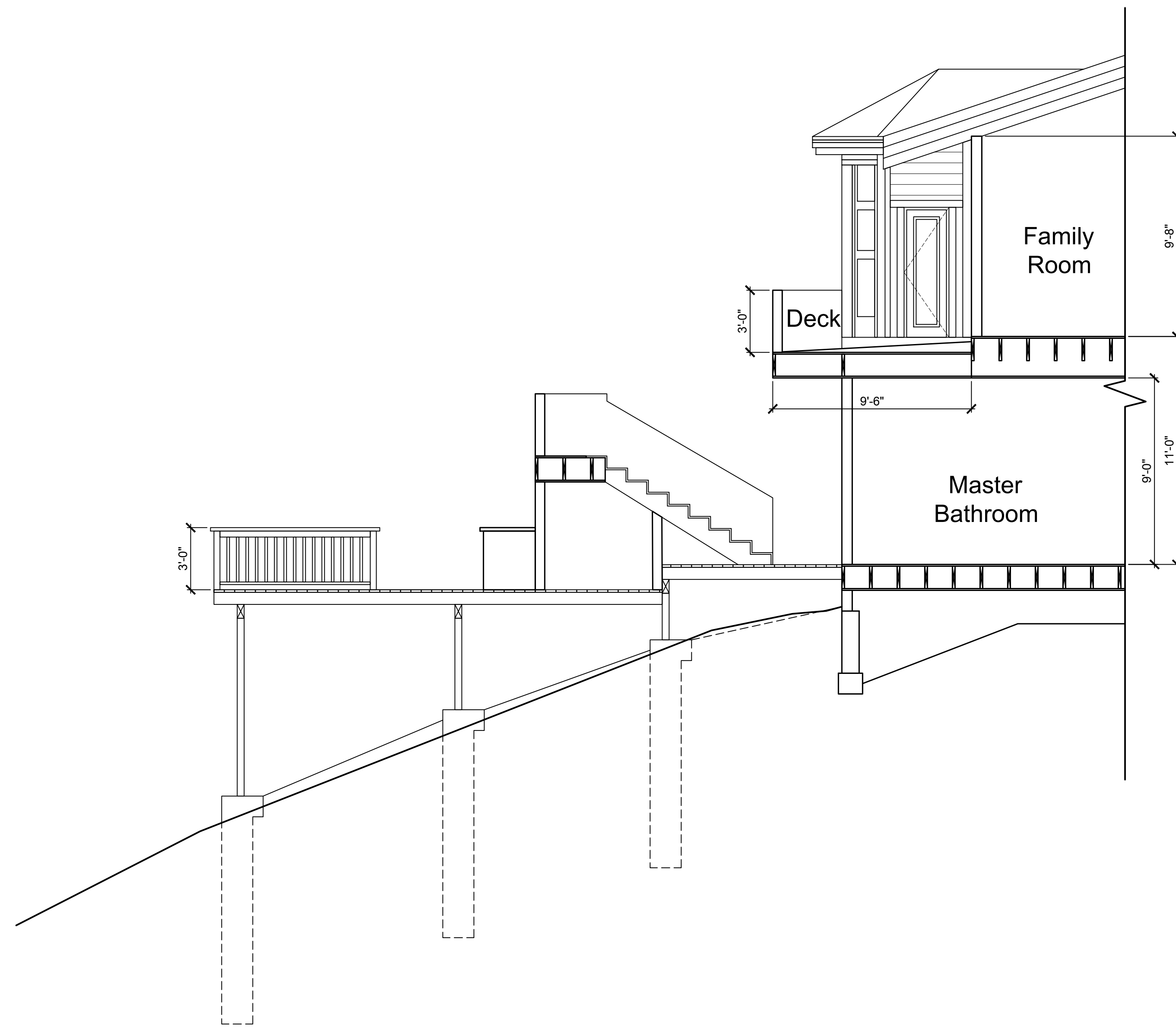
Existing and Proposed North  
Exterior Elevation

Hoffman Residence  
110 Neider Lane  
Mill Valley, CA 94941  
APN: 043-430-03

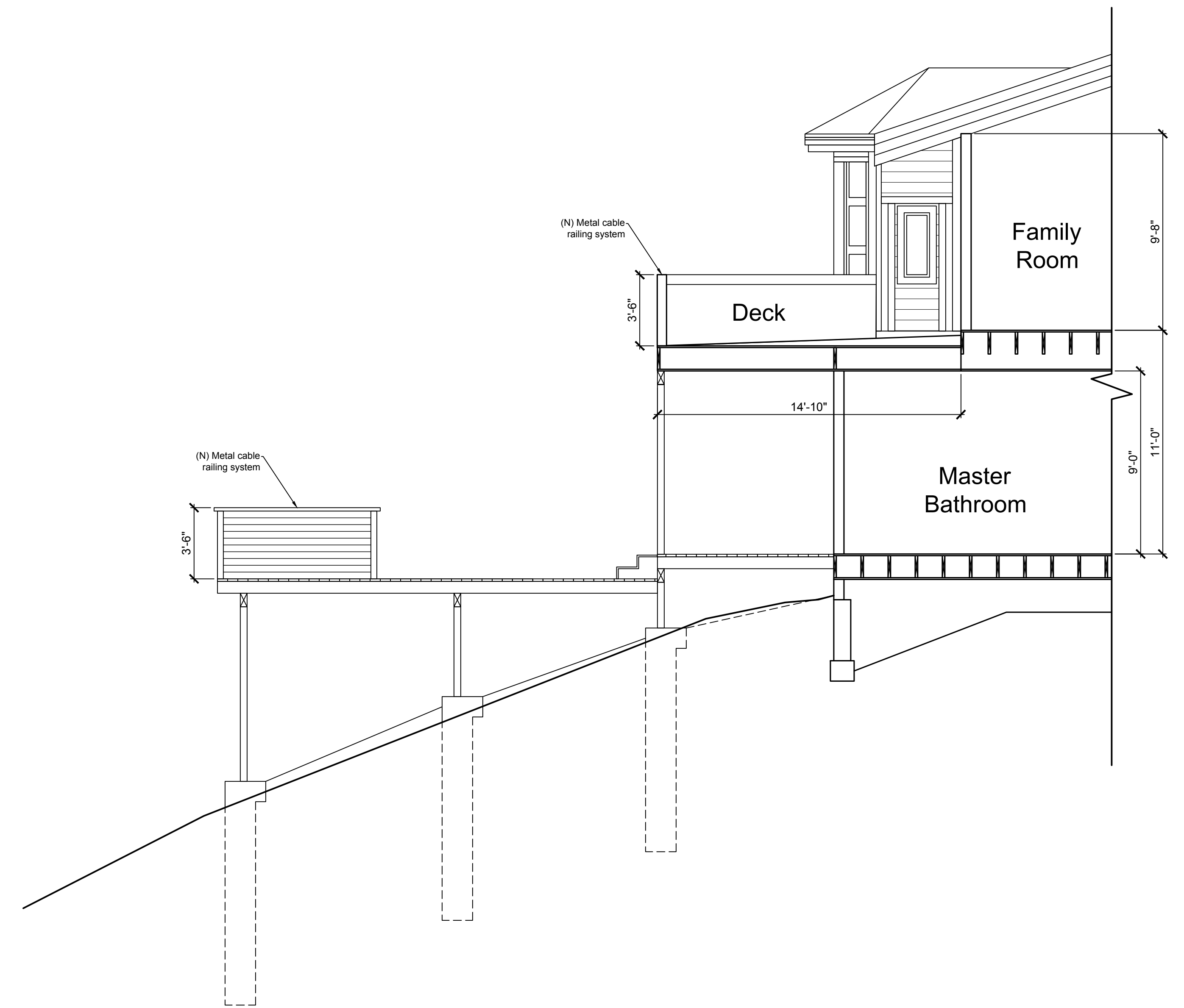
**Tim Hachman**  
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office@hachmanconstruction.com

Existing and  
Proposed North  
Exterior Elevation

**A3.1**



**A** Existing Deck Section  
 A3.1 Scale:  $\frac{1}{4}'' = 1'$



**B** Proposed Deck Section  
 A3.1 Scale:  $\frac{1}{4}'' = 1'$

Scale: As Noted  
 Date: 03.28.2024  
 Drawn by: Hachman Construct.

Section A and B

Hoffman Residence  
 110 Neider Lane  
 Mill Valley, CA 94941  
 APN: 043-430-03

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 office@hachmanconstruct.com

Section A and B

**A3.2**