SEADRIFT PROPERTY OWNERS DATA

Lot Size 11,248 sq. ft.
(25' beyond rear setback)

FAR 28%

Roof Volume Calculation:
Max. allowed volume over (25.29'):5,133 cu. ft.
(= 50% of building Area x 3'-0")
Proposed volume over (25.29'): 663 cu. ft.

SEPTIC

Net Square Footage: 2795
System design: 2800

VERTICAL DATUM

All Vertical Datum Called out on all plans and elevations as MLLW and (NAVD-88).

Conversion:
NAVD-88 = MLLW + 0.83
NAVD-88 = NGVD-29 + 2.69'
Example: 9.17 (10)

LANDSCAPE LEGEND

P - Pennisetum (Fountain grass) 5 gal (grass 48" spacing)

L - Lavandula stoechas (Spanish lavendar) 5 gal (shrub 48" spacing)

J - Trachelospermum Jasminoides (Star Jasmine) 3 gal (train as a vine 36" spacing)

R - Rosa (Cécile Brünner Rose) 3 gal (train as a vine 36" spacing)

A - Agave (Blue Flame) 5 gal

ZONING AND PROJECT DATA

AP #	195-090-43
Zoning:	C-RSPS-4.39
FEMA Zone:	X
Total Lot Size	11,248 sq. ft.
Dry Lot Size	10,083 sq. ft.
Latitude	37°54'23.5"N
Longitude	122°39'20.3"W

FLOOR AREA IN SQUARE FEET:	EXISTING 16%	PROPOSED 28%
Conditioned floor area	1835	3102
Garage	276	320
Garage Credit	(540)	(540)
Total floor area	1835	3102
Total Building area	2111	3422

COVERAGE AND IMPERVIOUS SURFACE

Buildings	4118
Patios and Walkways	1340
TOTAL	5458

CUT AND FILL

Total cut	0 cu yd
Total fill	0 cu yd
Total off haul	0 cu yd

HEIGHT

Max Elevations -		
Max Above Grade -		14'-7"
PARKING -	2 Resident	1 Guest

OWNER

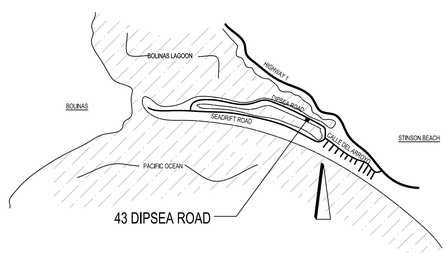
Mr. Pete Jensen
Mrs. Danielle Jensen
43 Dipsea Road
Stinson Beach, CA 94970

ARCHITECT OF RECORD

Steve Wisenbaker AIA
300 Tamal Plaza, #200
Corte Madera. CA 94925

SCOPE OF WORK

This proposal includes a remodel of and addition to an existing 2,111 sq.ft. single family residence. The proposed residence will increase the total floor area to 3,422 sq.ft. The existing garage will be replaced with conditioned space and there is a new proposed attached garage. The proposed exterior of the residence includes: a new patio on the street side, new terraces and decks on the lagoon side, a new in-ground hot tub, and a new septic system will be installed in the front yard. The propane tank and trash enclosures will be moved.



VICINITY MAP

NO SCALE

FROM HIGHWAY ONE TURN ONTO 'CALLE DEL ARROYO.' PASS THROUGH THE SECURITY GATE AND TURN RIGHT ONTO 'DIPSEA ROAD.' 43 DIPSEA WILL BE ON YOUR LEFT.

STORY POLES

1.	21.25'	±9'-9" FROM (E) GRADE
2.	21.25'	±10'-0" FROM (E) GRADE
3.	21.25'	±10'-0" FROM (E) GRADE
4.	27.25'	*VIF FROM (E) ROOF*
5.	21.25'	*VIF FROM (E) ROOF*
6.	23.75'	*VIF FROM (E) ROOF*
7.	23.75'	*VIF FROM (E) ROOF*
8.	23.75'	*VIF FROM (E) ROOF*
9.	23.75'	*VIF FROM (E) ROOF*
10.	21.25'	±9'-6" FROM (E) GRADE
11.	27.25'	15'-9" FROM (E) GRADE
12.	21.25'	±9'-9" FROM (E) GRADE
13.	21.25'	*VIF TO AVOID (E) HOT TUB*
14.	27.25'	±16'-3" FROM (E) GRADE
15.	21.25'	±8'-6" FROM (E) GRADE
16.	23.75'	*VIF FROM (E) ROOF*
17.	23.75'	*VIF FROM (E) ROOF*
18.	21.25'	*VIF FROM (E) ROOF*
19.	27.25'	*VIF FROM (E) ROOF*
20.	21.25'	±10'-3" FROM (E) GRADE
21.	21.25'	±10'-3" FROM (E) GRADE
22.	21.25'	±10'-3" FROM (E) GRADE

INDEX TO DRAWINGS

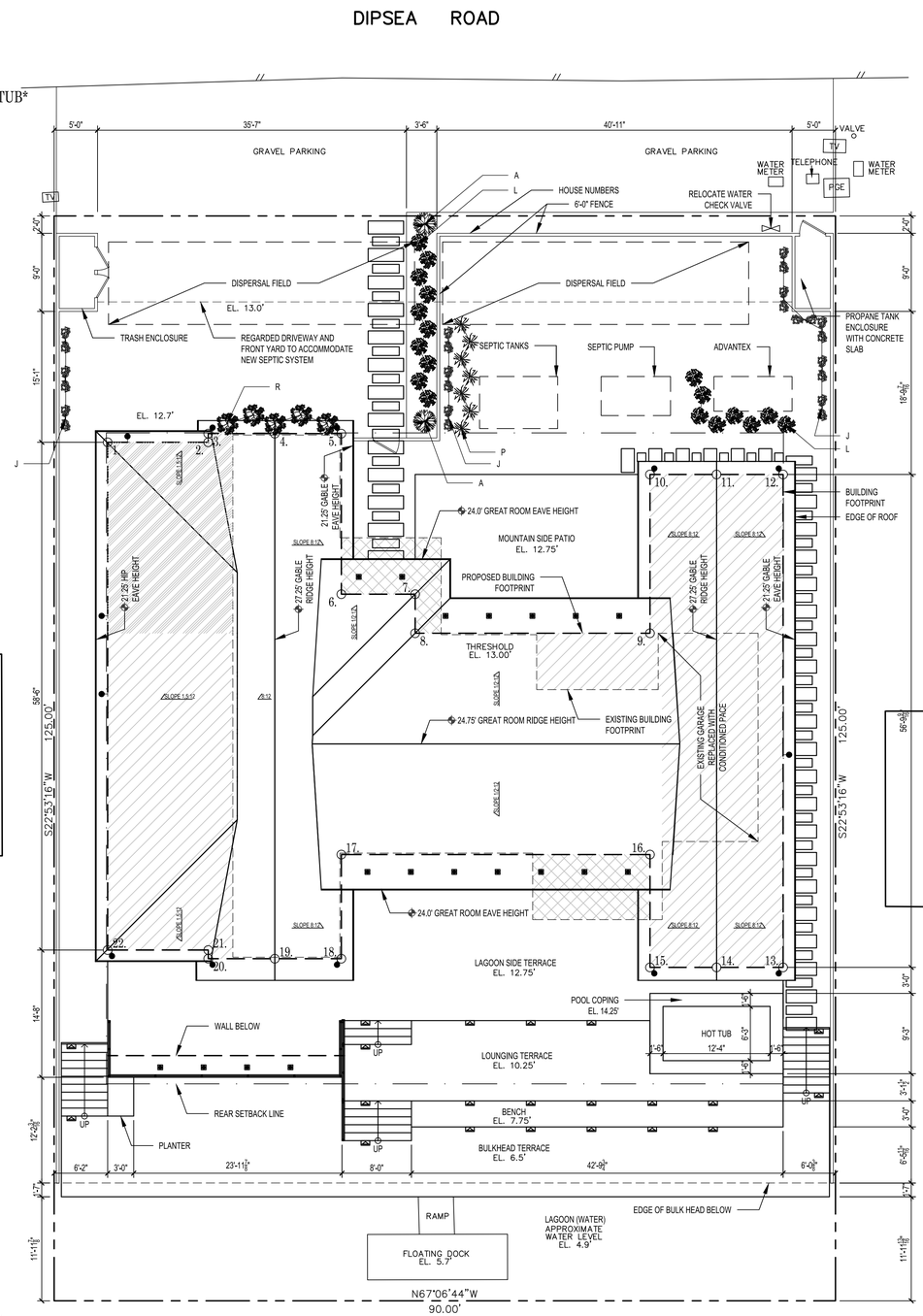
ARCHITECTURAL:
1. Cover and Site Plan
2. Floor Plan
3. Elevations, Fence detail and elevation
4. Elevations
5. Sections
6. Sections
7. Existing Floor Plan
8. Existing Elevations
9. Existing Sections

CIVIL:
C1. Survey

SEPTIC:
1. Layout
2. Details

LIGHTING LEGEND
- WALL MOUNTED SCONCE: LED. Aurora Light "Telluride" (HWM16-1) 12V 3000K, Copper
- RECESSED CEILING: LED. Nora "Iolite" 5" (NIO-4RG). Black baffle
- LOW LEVEL PATH LIGHTS: LED. Aurora Light "Vertex" (LSR5-L) 12V 3000K, Copper

DRAINAGE LEGEND
- ALL LEADERS TERMINATE AT SPLASH BLOCKS.
- SLOPE ALL GRADES AWAY FROM STRUCTURE. 5% FOR THE FIRST 10'-0"



1 SITE PLAN
1/8" = 1'-0"

STEVE WISENBAKER AIA
ARCHITECTS & PLANNERS
300 TAMAL PLAZA SUITE 200 CORTE MADERA CA 94925 415-924-1020

February 11, 2021

JENSEN RESIDENCE

43 DIPSEA ROAD. STINSON BEACH. CALIFORNIA

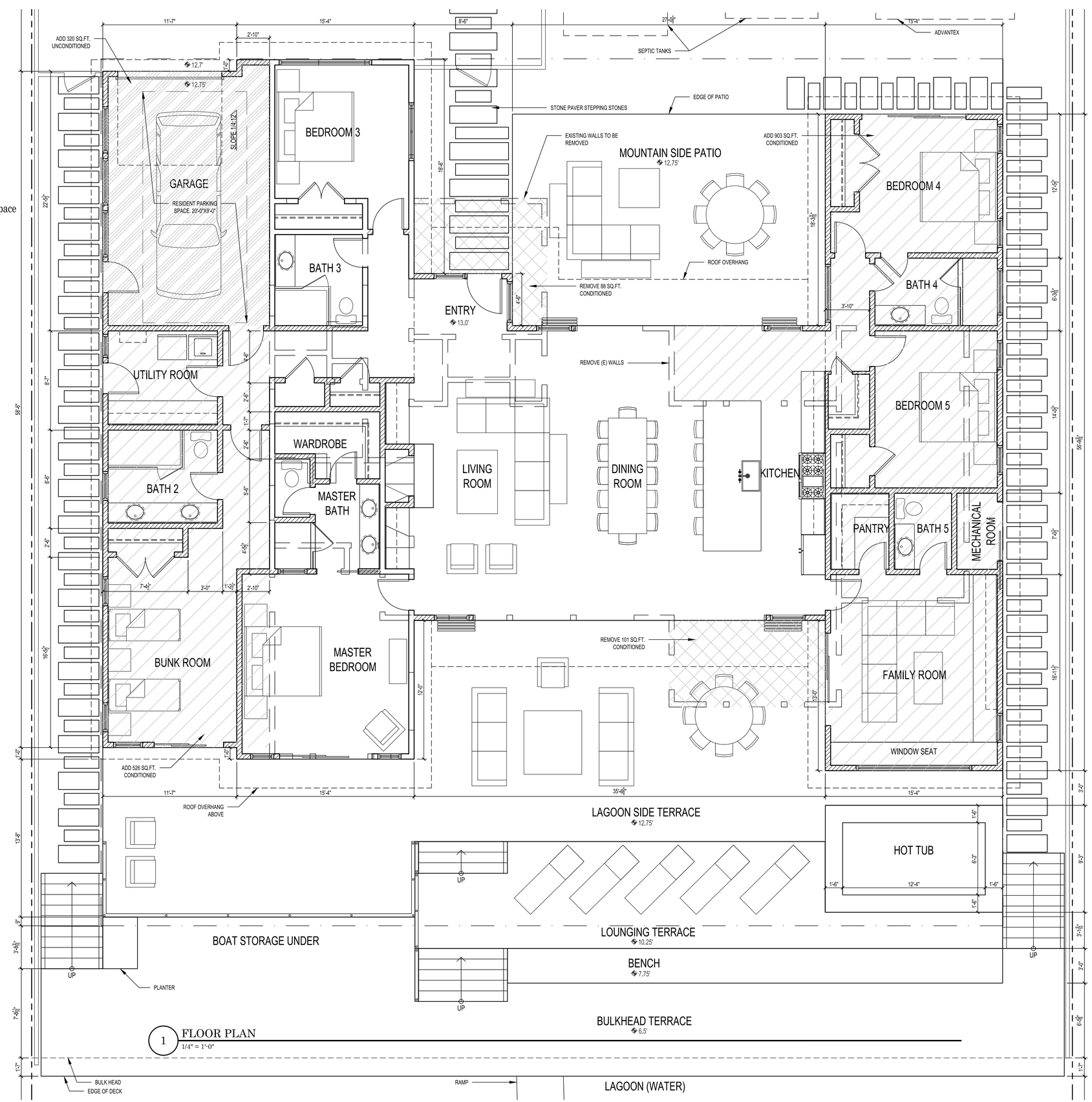
Refer. North

Scale In Feet 0 8 16 40

1

WALL LEGEND
- New Wall
- Existing Wall

FLOOR AREA LEGEND
- New Conditioned Space
- New Garage
- Removed Conditioned Space



1 FLOOR PLAN
1/4" = 1'-0"

STEVE WISENBAKER AIA
ARCHITECTS & PLANNERS
320 TAMAL PLAZA SUITE 220 CORTE MADERA CA 94925 415-924-1020

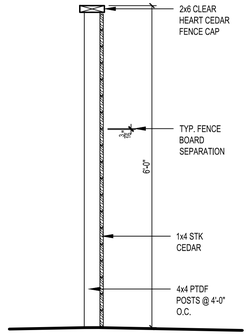
February 11, 2021

JENSEN RESIDENCE
43 DIPSEA ROAD. STINSON BEACH. CALIFORNIA

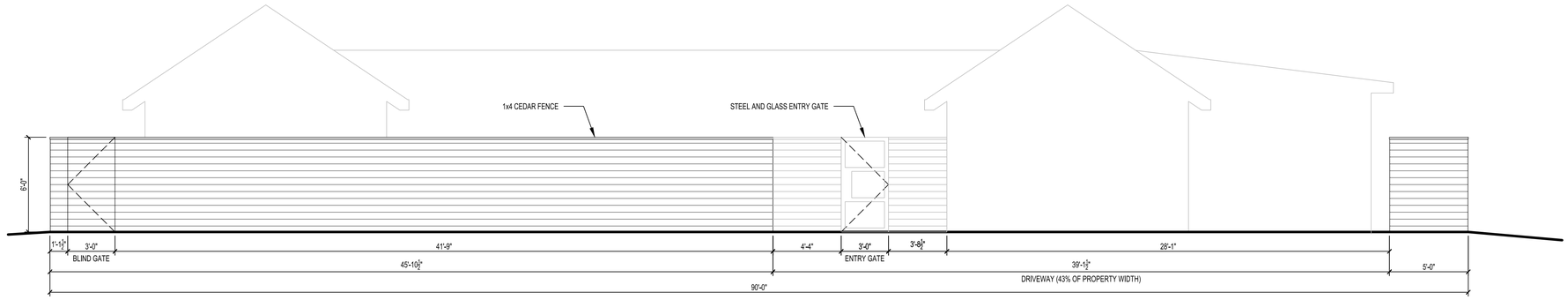
Refer North

Scale In Feet 0 4 8 20

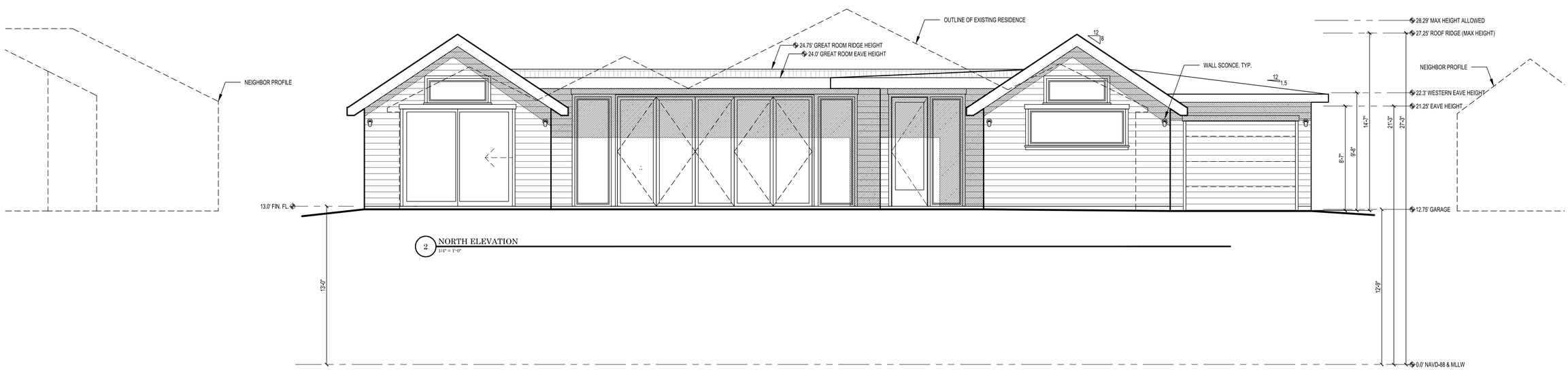
2



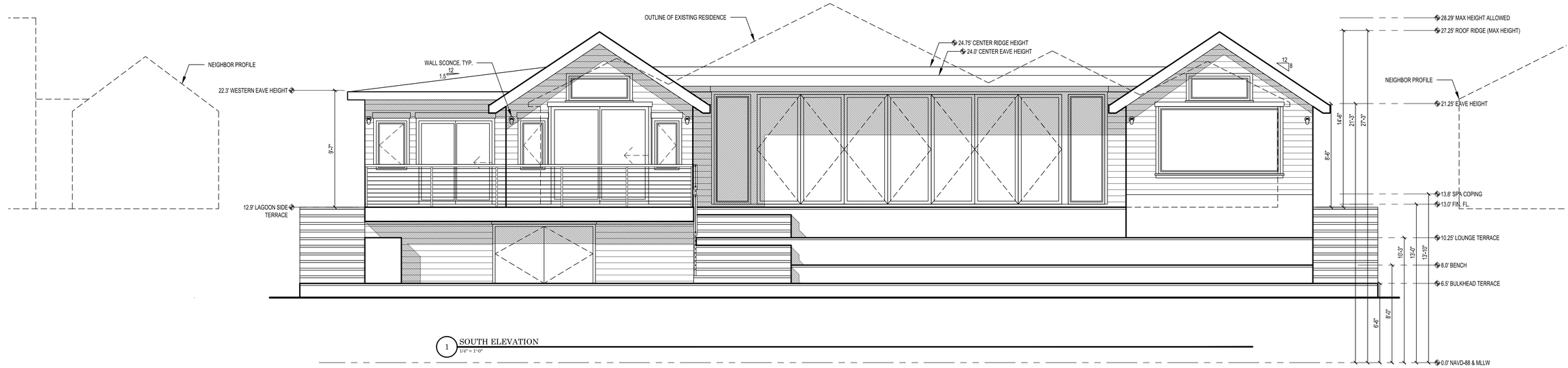
4 TYPICAL FENCE DETAIL
3/4" = 1'-0"



3 STREET FENCE ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

STEVE WISENBAKER AIA
ARCHITECTS & PLANNERS
920 TAMAL PLAZA SUITE 220 CORTE MADERA CA 94925 415-924-1020

February 11, 2021

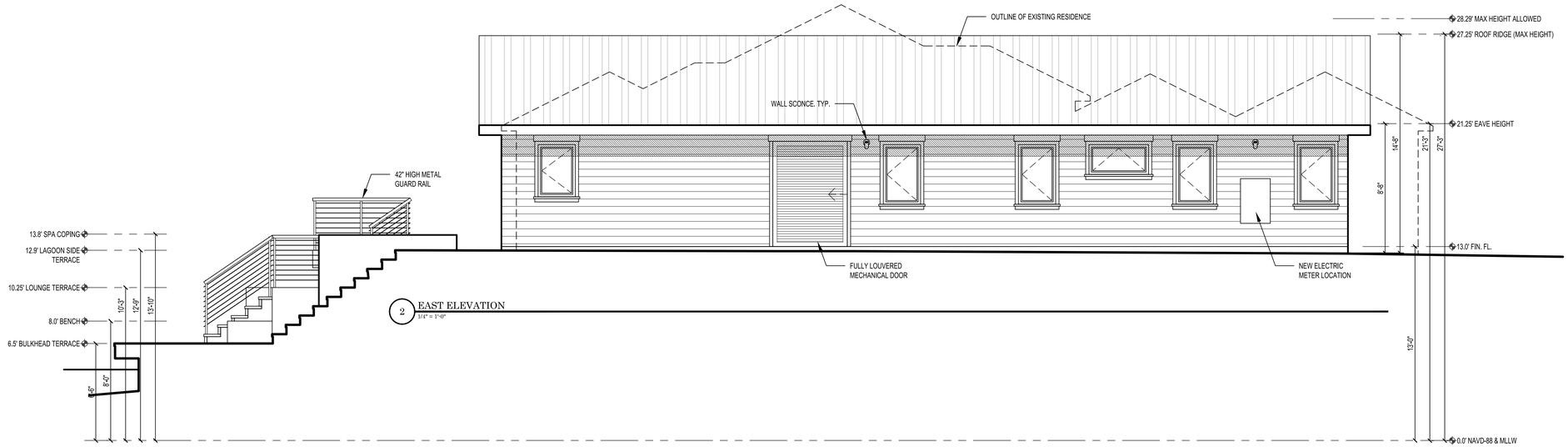
JENSEN RESIDENCE

43 DIPSEA ROAD. STINSON BEACH. CALIFORNIA

Refer North

Scale In Feet 0 4 8 20

3



2 EAST ELEVATION
1/4" = 1'-0"

WINDOWS & EXT. DOORS: Aluminum clad wood (Loewen Stone Gray)

FASCIA & TRIM: Cedar, Painted. (DE6239 'Late Froth')

WALLS: 1x8 Hardie siding V-Rustic Painted. (DE6348 'Draw Your Sword')

ROOF: Standing Seam Metal (American Building Components 'Charcoal Gray')

MATERIALS OF CONSTRUCTION

ROOF: Standing Seam Metal (American Building Components 'Charcoal Gray'). Over Grace Ultra waterproofing membrane

WALLS: 1x8 Hardie siding V-Rustic Painted. (DE6348 'Draw Your Sword')

DOWNSPOUTS: 16 oz. Copper 3" rectangular downspouts; custom copper leader heads.

WINDOWS & EXT. DOORS: Aluminum clad wood (Loewen Stone Gray)

FASCIA & TRIM: Cedar, Painted. (DE6239 'Late Froth')

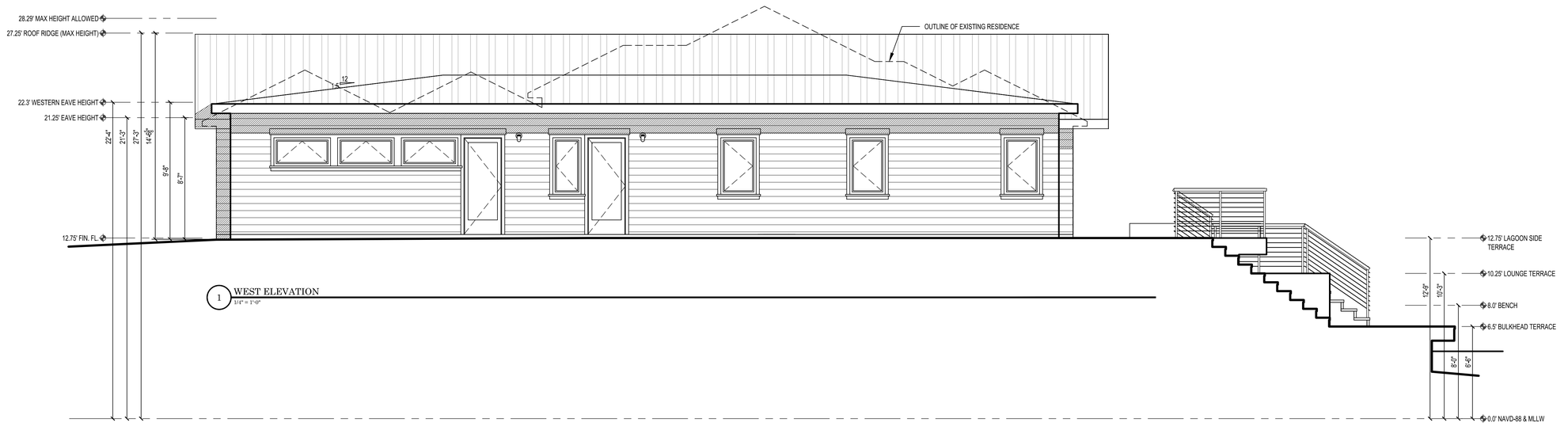
MISC FLASHING AND SHEET METAL: Copper

PATIOS: Limestone

GARAGE DOOR: Custom wood to match typical wall siding - see elevations

FENCES: Horizontal - STK Cedar 1x6

RETAINING WALLS & PLANTERS: Face with Limestone



1 WEST ELEVATION
1/4" = 1'-0"

STEVE WISENBAKER AIA
ARCHITECTS & PLANNERS
920 TAMAL PLAZA SUITE 220 CORTE MADERA CA 94925 415-924-1020

February 11, 2021

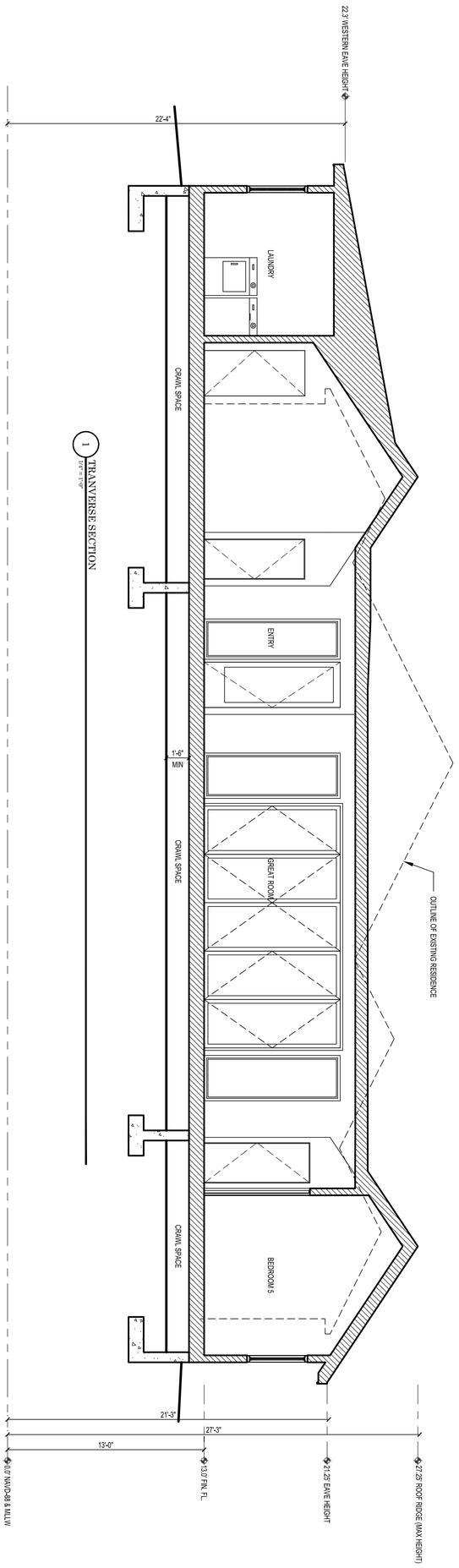
JENSEN RESIDENCE

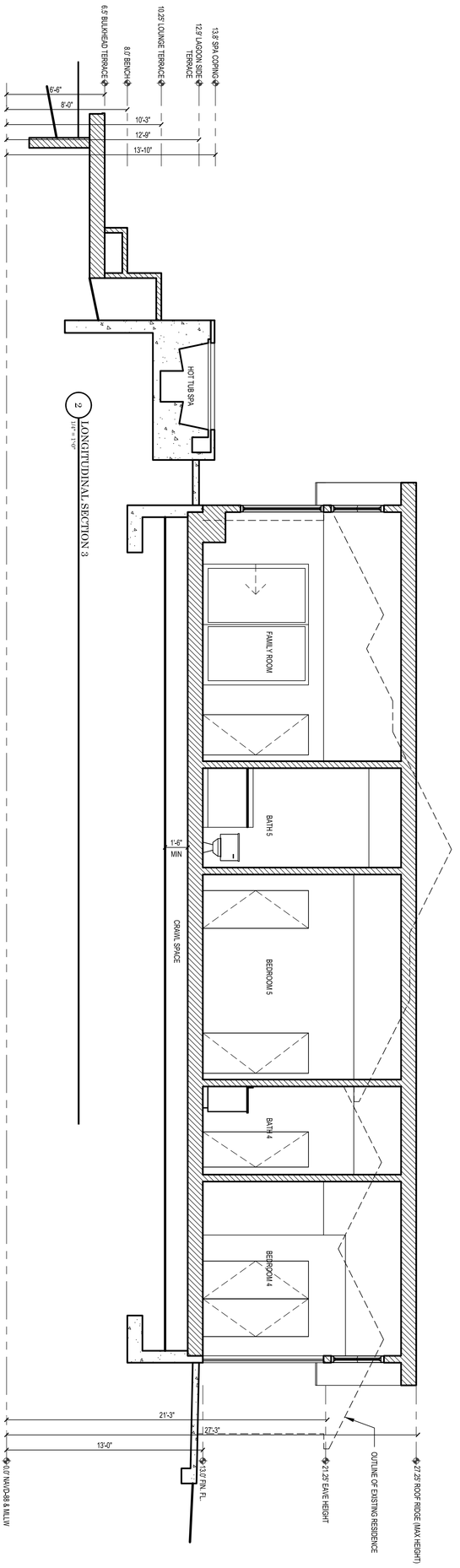
43 DIPSEA ROAD. STINSON BEACH. CALIFORNIA

Refer. North

Scale In Feet 0 4 8 20

4





5

JENSEN RESIDENCE

43 DIPSEA ROAD. STINSON BEACH. CALIFORNIA

February 11, 2021

Scale In Feet 0 4 8 20

Refer. North

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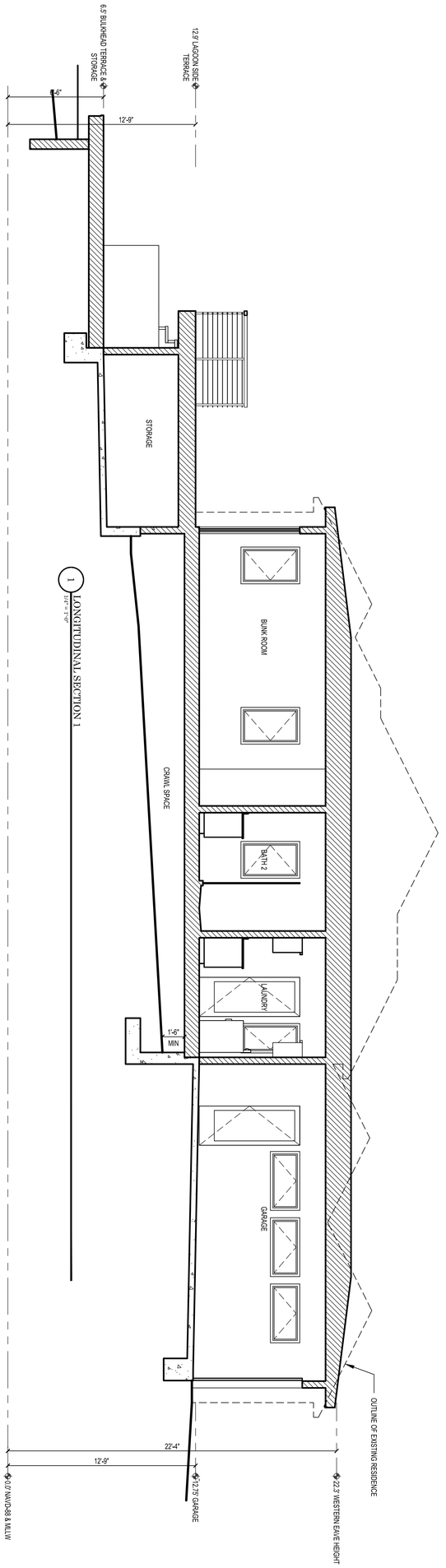
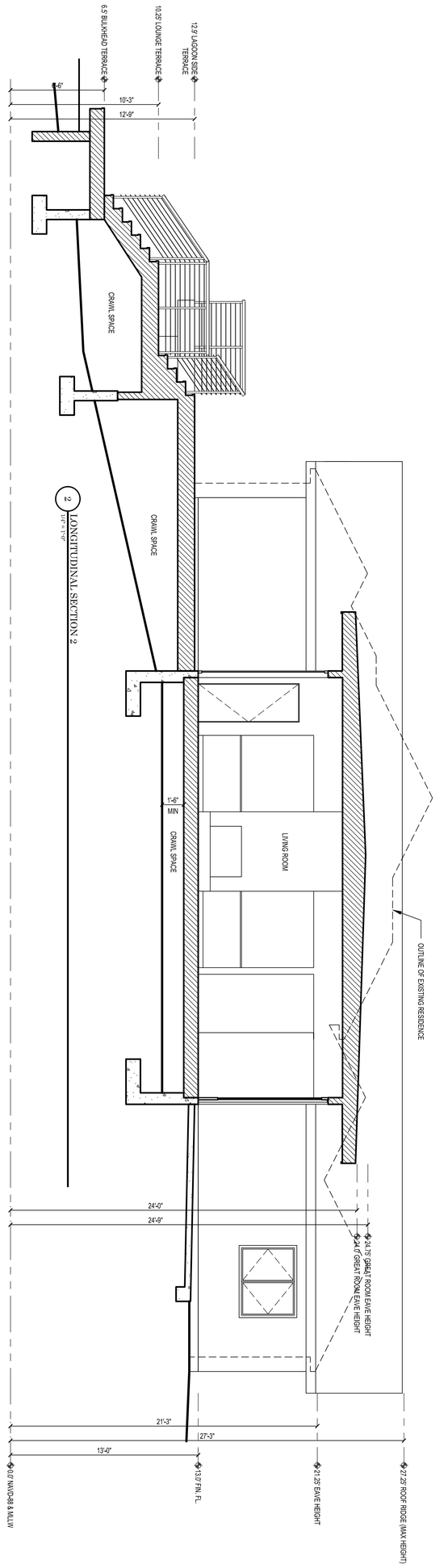
ARCHITECTS & PLANNERS
300 TAMAL PLAZA SUITE 200 CORTE MADERA CA 94925 415.924.1020





6

JENSEN RESIDENCE

43 DIPSEA ROAD. STINSON BEACH. CALIFORNIA

February 11, 2021

Scale In Feet 0 4 8 20

Refer. North

STEVE WISENBAKER AIA
ARCHITECTS & PLANNERS
300 TAMAL PLAZA SUITE 200 CORTE MADERA CA 94925 415.924.1020

SEPTIC
SEPTIC
PAVERS
PLANTER
PAVER PATIO
EL. 11.7'
GRAVEL DRIVEWAY
PLANTER
BEDROOM 3
PROPANE
PLANTER
WOOD STEPS
STONE PATIO
EL. 11.6'
WOOD STEPS
LAUNDRY
BEDROOM 2
WOOD DECK
EL. 12.8'
PAVERS
GATE
PLANTER
E
BATH 2
S22°53'16"W 125.00'
MASTER BATHROOM
LIVING
ROOM
KITCHEN
GARAGE
S22°53'16"W 125.00'
PLANTER
TURF
MASTER
BEDROOM
DINING ROOM
PAVER PATIO
4"
8"
WOOD DECK
EL. 12.8'
WOOD
STEPS
HOT TUB
WOOD STEPS
PUTTING
GREEN
WOOD DECK
EL. 10.2'
PLANTER
WOOD
STEPS
PLANTER
WOOD WALL
WOOD
STEPS
WOOD WALL
WOOD DECK
EL. 6.4'
RAMP
APPROXIMATE
WATER LEVEL
EL. 4.9'

1 FLOOR PLAN
1/4" = 1'-0"

STEVE WISENBAKER AIA
ARCHITECTS & PLANNERS
920 TAMAL PLAZA SUITE 220 CORTE MADERA CA 94925 415-924-1020

February 11, 2021

JENSEN RESIDENCE

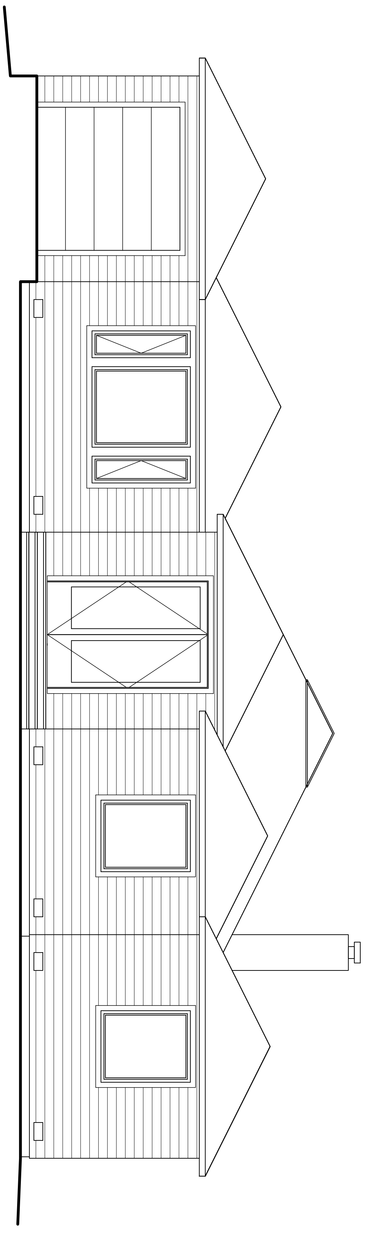
43 DIPSEA ROAD. STINSON BEACH. CALIFORNIA

Refer North

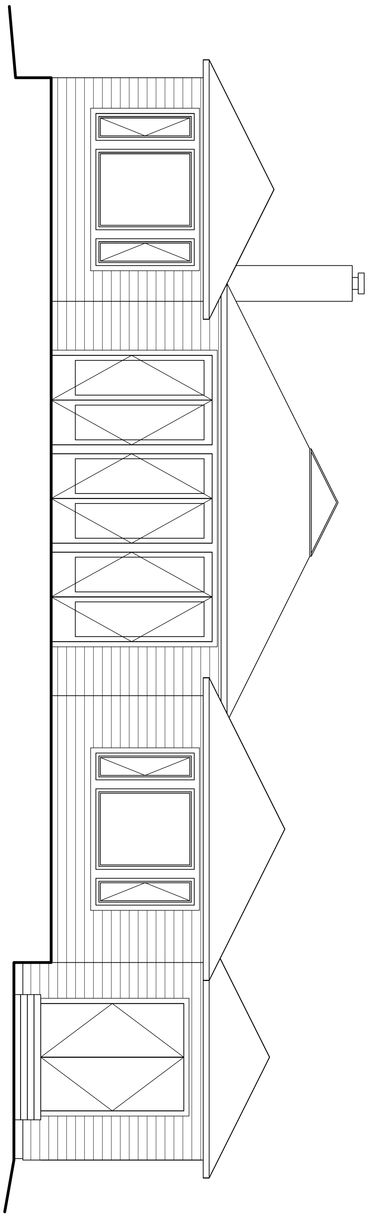
Scale In Feet 0 4 8 20

7

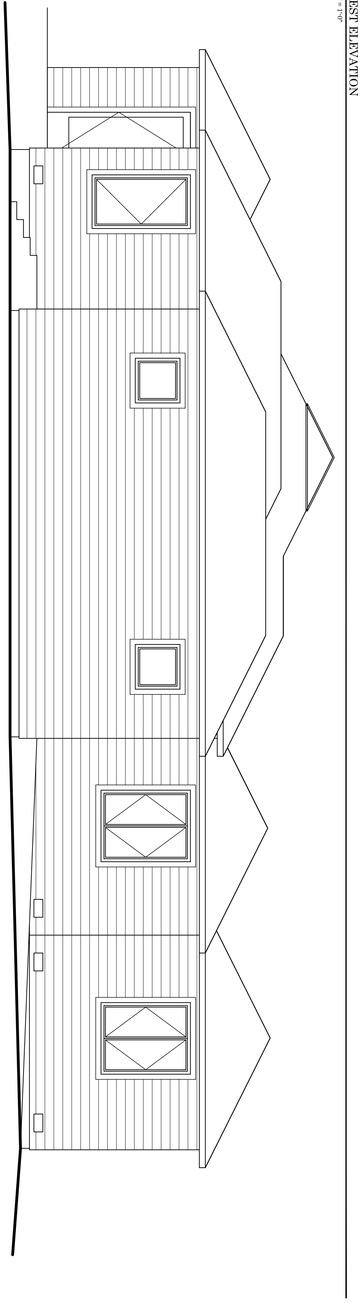
1 NORTH ELEVATION
1/4" = 1'-0"



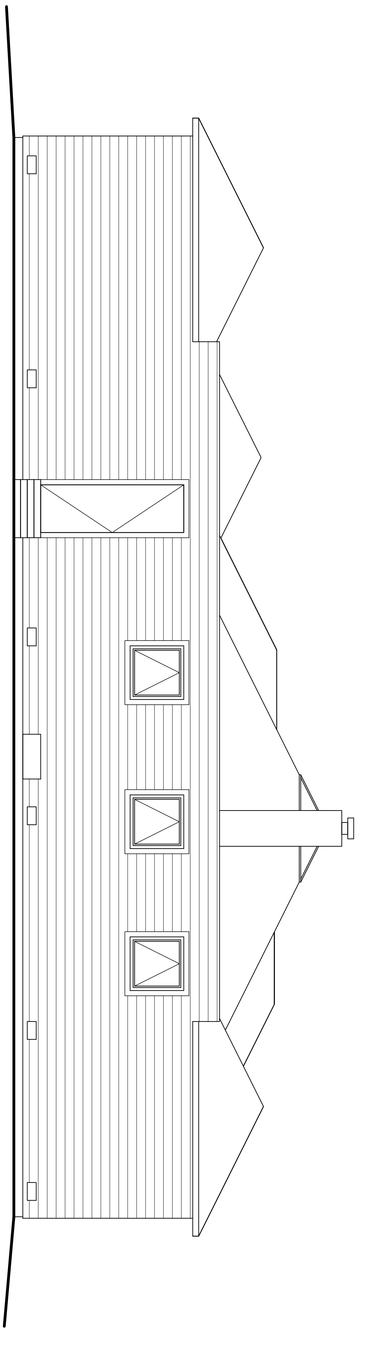
2 SOUTH ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"



8

JENSEN RESIDENCE

43 DIPSEA ROAD. STINSON BEACH. CALIFORNIA

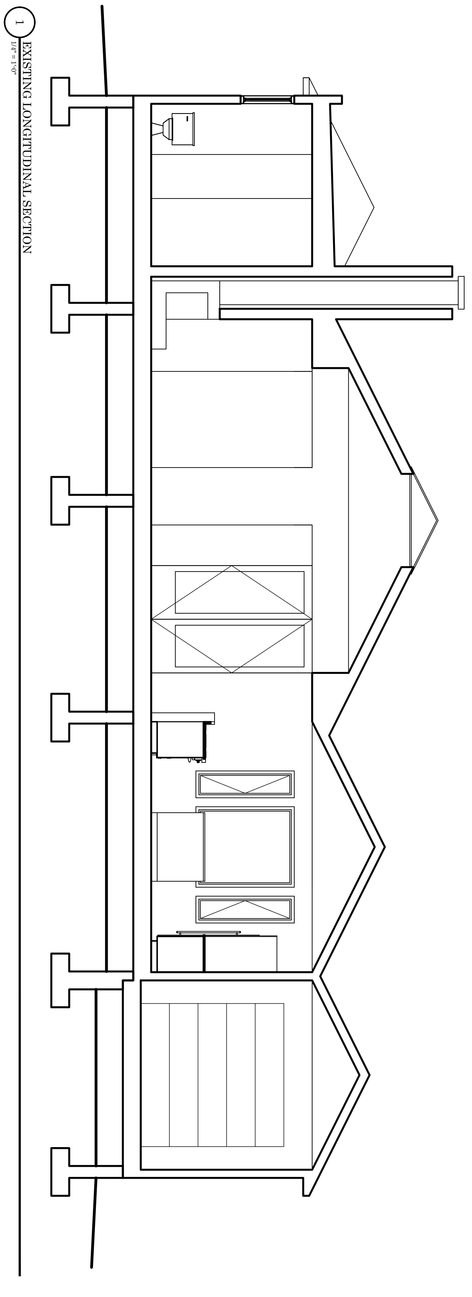
February 11, 2021

Scale In Feet 0 4 8 20

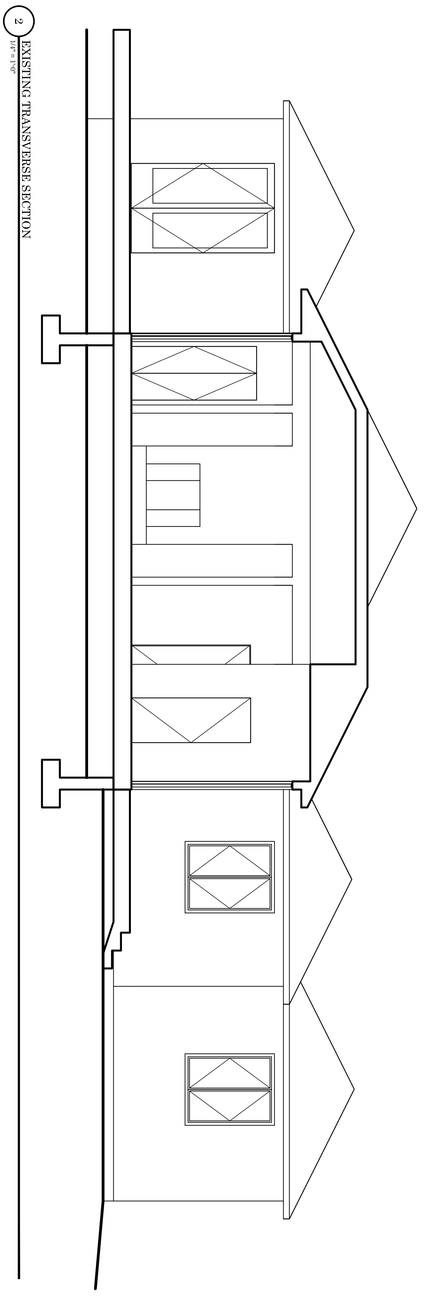
Refer. North

STEVE WISENBAKER AIA
ARCHITECTS & PLANNERS

300 TAMAL PLAZA SUITE 200 CORTE MADERA CA 94925 415.924.1020



1 EXISTING LONGITUDINAL SECTION
1/4" = 1'-0"



2 EXISTING TRANSVERSE SECTION
1/4" = 1'-0"

9

JENSEN RESIDENCE

43 DIPSEA ROAD. STINSON BEACH. CALIFORNIA

February 11, 2021

Scale In Feet 0 4 8 20

Refer. North

STEVE WISENBAKER AIA
ARCHITECTS & PLANNERS

300 TAMAL PLAZA SUITE 200 CORTE MADERA CA 94925 415.924.1020

SEADRIFT LAGOON

N67°06'44"W
90.00'

FLOATING DOCK
EL. 5.7'

RAMP

APPROXIMATE
WATER LEVEL
EL. 4.9'

WOOD DECK
EL. 6.4'

WOOD WALL

WOOD STEPS

PLANTER

WOOD DECK
EL. 10.2'

PUTTING
GREEN

WOOD STEPS

HOT TUB

WOOD DECK
EL. 12.8'

DRAIN
ROCK

PAVERS

WOOD STEPS

PAVER PATIO

DRAIN

SHOWER

THRESHOLD
EL. 12.88'

THRESHOLD
EL. 12.83'

TURF

PLANTER

ROOT
BALL

DRAIN
ROCK

A.P. 195-090-42

HOUSE

RIDGE
EL. 27.6'

RIDGE
EL. 23.6'

S22°53'16"W
125.00'

PEAK
EL. 24.8'

TOP OF SKYLIGHT
EL. 28.6'

HOUSE

DRAIN
ROCK

PEAK
EL. 24.0'

WATER
SERVICE

GARAGE
EL. 11.76'

PLANTER

GATE

THRESHOLD
EL. 12.87'

PAVERS

WOOD DECK
EL. 12.8'

PEAK
EL. 24.5'

THRESHOLD
EL. 12.78'

WOOD STEPS

STONE PATIO
EL. 11.6'

POST

PLANTER

PROPANE
TANK

WOOD STEPS

PLANTER

PEAK
EL. 24.6'

GRAVEL DRIVEWAY

PAVER PATIO
EL. 11.7'

SEPTIC
1.74

SEPTIC
1.60

PAVERS

+11.13

WOOD WALL
C.O.

RAISED PLANTER

GRAVEL

WOOD WALL

RAISED PLANTER

LID
C.O.

GRAVEL

CONTROL
BOX

TEST
PIPE

WOOD WALL

WOOD WALL

GARBAGE

N67°06'44"W

90.00'

GATE

PGE

WATER
METER

WATER
VALVE

TELEPHONE

WATER
METER

TV

VALVE

GRAVEL PARKING

GRAVEL PARKING

A.P. 195-080-30

HOUSE

RIDGE
EL. 26.7'

RIDGE
EL. 26.0'

RIDGE
EL. 28.3'

DIPSEA ROAD

NORTH

GRAPHIC SCALE

8 0 4 8 16 32

(IN FEET)
1 inch = 8 ft.

LEGEND

- TREE (AS INDICATED)
- 104.8' — TOP OF WALL ELEVATION
- CONCRETE
- GRADE BREAK
- WIRE FENCE
- WOOD FENCE
- EDGE OF PAVEMENT
- SURVEY CONTROL POINT
- JOINT POLE
- CONCRETE WALL
- ROCK WALL
- ROCK BORDER
- E/G — ELECTRIC / GAS METER
- OL — OVERHEAD LINES

NOTES

1. ONLY SIGNIFICANT TREES SHOWN
2. LOT MAY BE SUBJECT TO EASEMENTS NOT SHOWN
3. DATUM IS NAVD 88 PER M-4, 2018 M 172
4. BOUNDARY IS LOT 119 PER 22 O.S. 33

LAWRENCE DOYLE
LAND SURVEYOR
CIVIL ENGINEER
100 HELENS LANE
MILL VALLEY, CA 94941
415 388 9585 F 415 388 0412

LICENSED LAND SURVEYOR
LAWRENCE P. DOYLE
No. 4694
STATE OF CALIFORNIA

43 DIPSEA RD.
STINSON BEACH CALIFORNIA
A.P. 195-090-43

TOPOGRAPHIC SURVEY

DRAWN BY: CPD

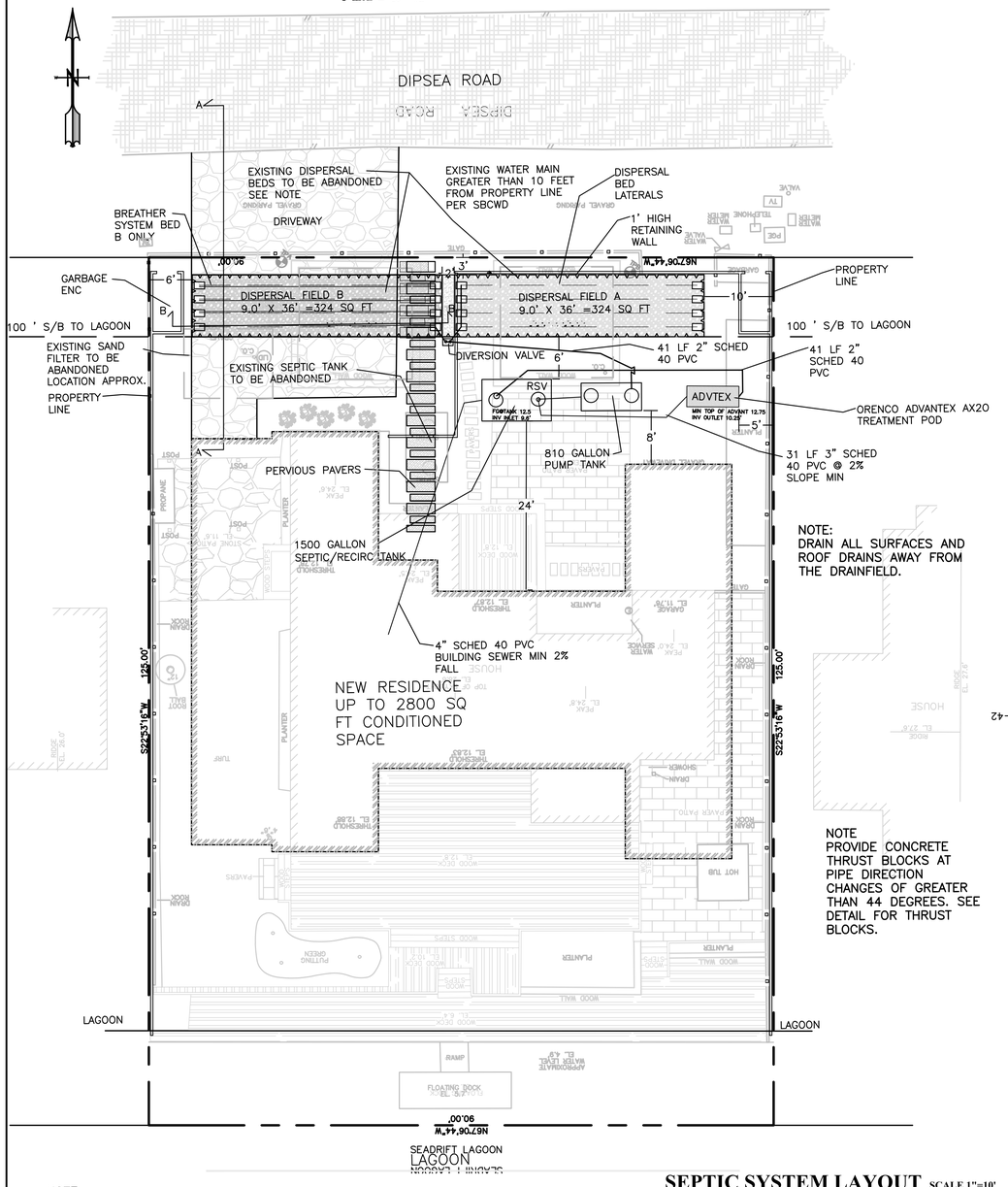
DATE: 1/14/21
ISSUE:

C-1

DRAWING NUMBER: 2902
SHEET 1 OF 1

GRAPHIC SCALE
10 0 5 10 20
1 inch = 10 ft.

NOTE:
LOCATION OF EXISTING UTILITIES IS UNKNOWN AND MUST BE DETERMINED BY CONTRACTOR PRIOR TO CONSTRUCTION. ENGINEER ASSUMES NO RESPONSIBILITY IN LOCATING EXISTING UTILITIES.



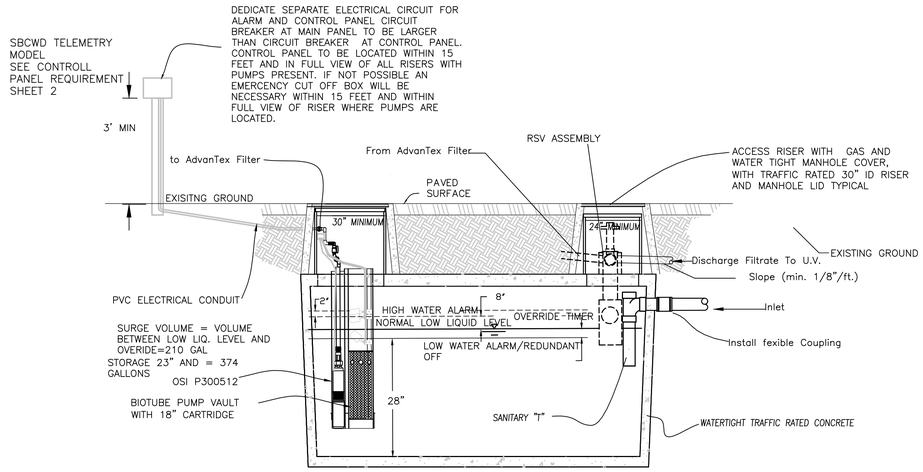
NOTE:
DRAIN ALL SURFACES AND ROOF DRAINS AWAY FROM THE DRAINFIELD.

NOTE
PROVIDE CONCRETE THRUST BLOCKS AT PIPE DIRECTION CHANGES OF GREATER THAN 44 DEGREES. SEE DETAIL FOR THRUST BLOCKS.

SEPTIC SYSTEM LAYOUT SCALE 1"=10'

NOTE:
REROUTE ANY WATERLINE WITHIN TEN FEET OF SEPTIC SYSTEM IF CROSSING OF WATER AND SEWER LINES MUST BE MADE THEN SLEEVE BOTH WATER AND SEWER WITHIN TEN FEET EACH OF EACH OTHER WITH SCH 80 PVC

NOTE:
PROVIDE 220 VOLT SINGLE PHASE POWER SOURCE. ELECTRICIAN TO PROVIDE A MINIMUM OF 30 AMPS TO THE CONTROL PANEL.



RT#1 1500 GALLON RECIRCULATION TANK AND ADVANTEX DETAIL

N.T.S.

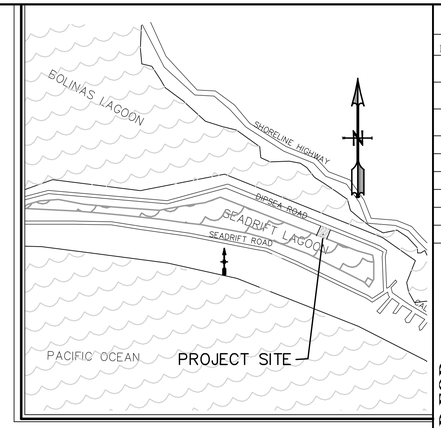
NOTE:
ALL EXISTING PARTS OF THE SEPTIC SYSTEM INCLUDING TANKS, VALVE BOXES, DISPERSAL BEDS OR SAND FILTER TO BE ABANDONDED.

ABANDONMENT TANKS
PUMP AND HAUL THE EFFLUENT FROM THE TANK/S, DESTROYING THE TOP OF THE TANK, BREAKING THE BOTTOM FOR DRAINAGE AND FILLING THE TANK WITH PEAGRAVEL AND THEN SOIL. PROVIDED THE TANK IS NOT LOCATED WHERE THE NEW SEPTIC IS LOCATED. IF THE TANK IS LOCATED IN/ABOVE A DISPERSAL AREA FULLY REMOVE, AND DISPOSE OF IN ACCORDANCE TO ALL LOCAL REGULATIONS. THE EXCAVATION SHOULD BE FILLED WITH NATIVE SOIL MATCHING CLOSELY WITH THE SOIL FOUND AT THE SITE CONSULT DESIGN ENGINEER.

ABANDONMENT SAND FILTER
IF EXISTING SANDFILTER IS BELOW DISPERSAL AREAS THE ENTIRE SANDFILTER TO BE REMOVED TO THE LINER AND THEN BACKFILLED AND COMPACTED WITH NATIVE SOIL OR SOIL EQUAL TO THE NATIVE SOIL ON THE SITE (CHECK WITH DESIGN ENGINEER). ALL SPOILS AND DEBRIS TO BE TAKEN TO SANITARY LANDFILL. IF SANDFILTER IS NOT LOCATED WITHIN NEW DISPERSAL OR TANK LOCATION IT CAN BE ABANDONMENT IN PLACE PROVEDED BOTH INLET AND OUTLET ARE CAPPED AND THE LINER IS CUT AT EACH CORNER AND MID POINTS ALONG EACH WALL AND EVERY 4 FEET ALONG THE CENTER LINES AND SAT THE CENTER OF THE FILTER FOR DRAINAGE. CUTS TO THE LINER TO BE AT LEAST A FOOT LONG AND MADE SUCH THAT THEY CANNOT SELF SEAL.

ABANDONMENT OF EXISTING DISPERSAL BEDS– REMOVE ALL PIPE AND GRAVEL OF THE EXISTING BED 5' CLEAR OF THE PROPOSED BEDS. IF ADDITIONAL FILL IS NEEDED ADD BEACH SAND SIMILAR TO NATIVE AT THE SITE AND COMPACT TO NATIVE CONDITION. ALL PIPE AND CONTAMINATED MATERIAL TO BE DISPOSED OF IN ACCORDANCE TO LOCAL REGULATIONS.

ABANDONMENT OF OTHER PARTS OF EXISTING SYSTEM
LATERALS, SEWER LINES, MONITORING WELLS CAN BE ABONDONED BY CAPPING INLETS AND OUTLETS OR BY REMOVAL. ANY EXISTING PART OF THE SYSTEM TO BE REMOVED TO 5' CLEAR OF PROPOSED SYSTEM. IF ADDITIONAL FILL IS NEEDED USE BEACH SAND SIMILAR TO THE NATIVE SOIL ON THE PROPERTY,



VICINITY MAP

NO SCALE

GENERAL NOTES:
1) CONTRACTOR TO NOTIFY STINSON BEACH COUNTY WATER DISTRICT (SBCWD) PERSONEL AND DESIGN ENGINEER 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
2) TOPOGRAPHIC SURVEY PROVIDED BY I.L.SCHWARTZ AND ASSOC 415–883–9200
3) NOT TO BE USED AS A BOUNDARY SURVEY– SURVEYOR TO STAKE ALL PROPERTY LINES AND EASEMENTS.
4) MAINTAIN 10' SEPARATION FROM ANY SEWAGE LINE TO WATERLINE IF NOT POSSIBLE REROUTE TO MAINTAIN SEPARATION. CROSSING SHALL BE MADE WITH WATER ABOVE SEWER LINE WITH A 1' SEPARATION AND CONCRETE BETWEEN LINES.
5) NO CUTS SHALL BE MADE DOWNSLOPE OF DRAINFIELD WITHOUT PERMISSION OF BOTH SBCWD AND DESIGN ENGINEER.
6) CONSULT ENGINEER PERTAINING TO LANDSCAPING IN SEPTIC SYSTEM AREA.
7) NO MATERIAL SUBSTITUTION WITH OUT DESIGN ENGINEER APPROVAL.
8) NO WORK TO BE PERFORMED DURING WET CONDITIONS AND ALL EXCAVATION TO BE COORDINATED WITH THE DESIGN ENGINEER AND SBCWDS STAFF DURING WET SEASON (OCTOBER 15– APRIL 15).
9) ALL TANKS TO BE WATERTIGHT–SEE WATERTIGHTNESS TEST.
10) CONTRACTOR NOT TO OVEREXCAVATE THE DELIVERY LINE TRENCH/S. MAXIMUM DEPTH OF TRENCH IS 24 INCHES.
11) EROSION PROTECTION SHALL BE PLACED IN ALL DISTURBED AREAS. STRAW AND SEED SHALL BE PLACED AT A MINIMUM PRIOR TO FINAL INSPECTION.
12) ALL PLUMBING FIXTURES TO BE LOW FLOW 1.6 GAL FLUSH TOILETS AND 2 GAL/MIN SHOWER HEADS.
13) ALL SEWER LINES FROM BUILDINGS SHALL BE 4 INCH SCHD 40 PVC OR APPROVED EQUIVALENT WITH A MINIMUM SLOPE OF 2 PERCENT. INSTALL CLEANOUTS AT CHANGES IN DIRECTION AND 5 FEET FROM THE OUTSIDE OF THE BUILDING.
14) ALL WORK SHALL BE IN CONFORMANCE WITH THESE PLANS AND THE MOST RECENT SBCWD REGULATIONS FOR WASTEWATER SYSTEMS.
15) CONTRACTOR TO KEEP A COUNTY STAMPED SET OF PLANS AT THE JOBSITE AND A SET WITH ALL AS BUILT CHANGES MARKED UP AT THE JOB SITE AT ALL TIMES. THE CONTRACTOR TO PROVIDE ONE COPY OF THESE CHANGES ON A PLAN FOR PREPARATION OF AS–BUILT DRAWINGS TO GAIN COUNTY FINAL APPROVAL.

REGISTERED CIVIL ENGINEER
TROY K PEARCE
No. C55988
12/31/22
STATE OF CALIFORNIA

Revisions:

PREPARED FOR:
PETER JENSEN
265 ELEANOR DRIVE
WOODSIDE CA 94062

RAISED BED / ADVANTEX SYSTEM
43 DIPSEA ROAD
STINSON BEACH, CA
APN 195-090-42

AYS Engineering Group, Inc
PO Box 5693, Petaluma, CA 94955
Voice (707) 763-6620

Job. No.
2020-035
Date
02-3-21
Drawn By:
tkp
Checked By:
tkp
Scale
as shown

Sheet 1 of 2

1

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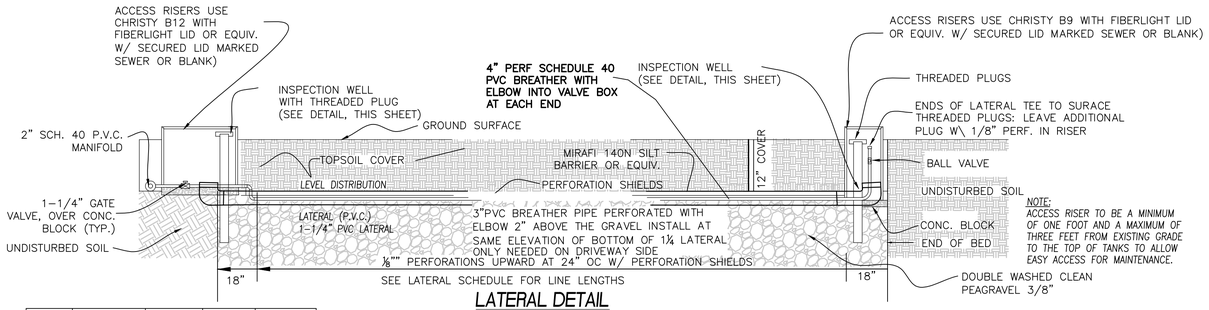
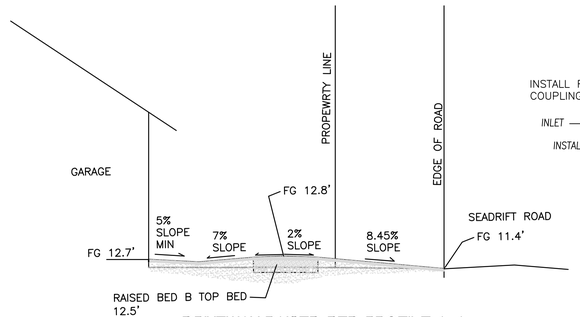


LATERAL DETAIL

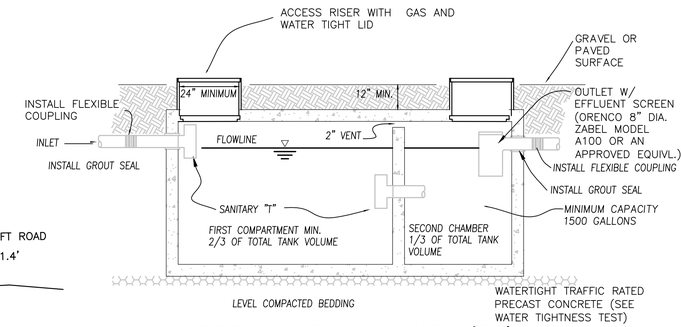
No.	DIAMETER	PERF SIZE	LENGTH	# OF PERF'S"
A1	1 ¼"	⅛"	34	17
A2	1 ¼"	⅛"	34	17
A3	1 ¼"	⅛"	34	17
A4	1 ¼"	⅛"	34	17
B1	1 ¼"	⅛"	34	17
B2	1 ¼"	⅛"	34	17
B3	1 ¼"	⅛"	34	17
B4	1 ¼"	⅛"	34	17

LATERAL SCHEDULE

NOT TO SCALE

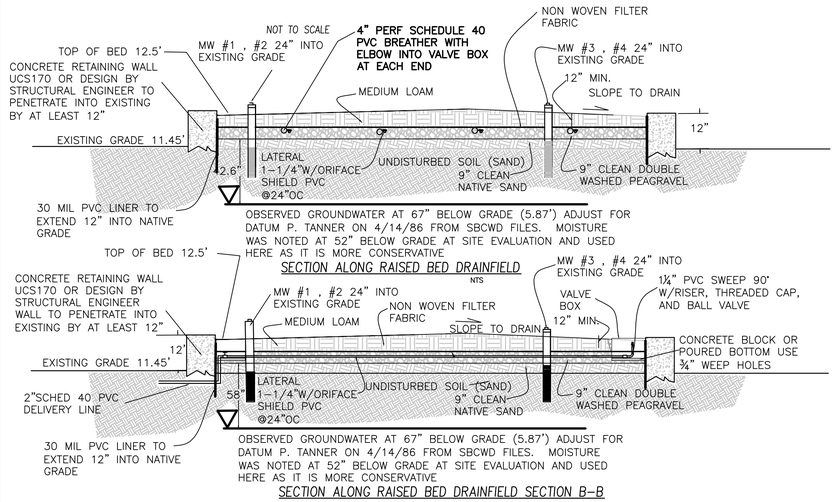


DRIVEWAY RAISED BED PROFILE A-A



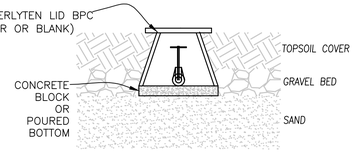
1500 GALLON SEPTIC TANK DETAIL (TYP.)

NOT TO SCALE



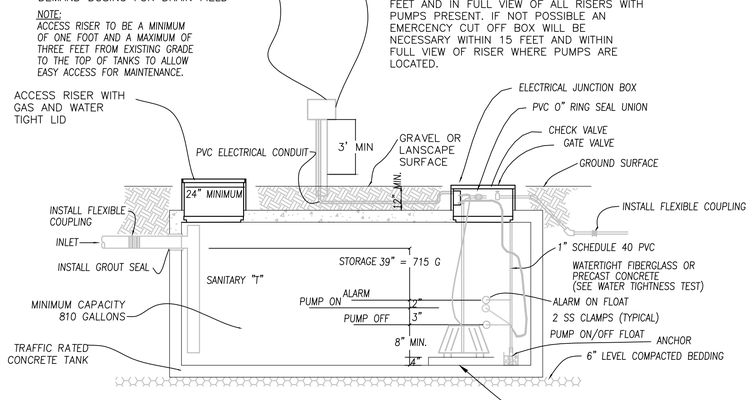
TANK WATERTIGHTNESS TEST

1. CAP OR TEST PLUG ALL INLETS AND OUTLETS TO TANK.
2. FILL TANK WITH WATER TWO INCHES INTO THE RISER AND MARK WATER LEVEL. SCHEDULE WITH ENGINEER AND NECM 24 HOURS BEFORE FILLING TANK.
3. IF AFTER 24 HOURS WATER LEVEL DROPS, TANK MUST BE MADE WATERTIGHT BY APPLYING WATERPROOF SEALER (NOT BITMEOUS PRODUCT) THOROPLUG, THOROSEAL OR OTHER PORTLAND CONCRETE CEMENT PRODUCT.



VALVE BOX DETAIL

NOT TO SCALE



PS#1 810 GALLON SUMP TANK DETAIL

NOT TO SCALE

PS#1 FROM SMALL SIDE SUMP TO RAISED BED

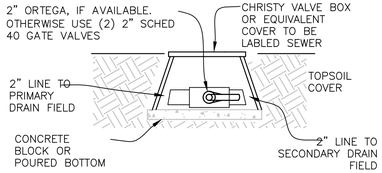
TOTAL DYNAMIC HEAD = 24 FT
GALLONS PER MINUTE (GPM) = 23 GPM
DOSE = 35 GALLONS
OPERATION RANGE = 3.0"
RECOMMENDED PUMP TYPE: GOULDS MODEL 3885 WE0512H (.5 HP, 230 VOLTS, SINGLE PHASE, 7.3 AMPS).

IF TIMER CONTROLLED
T OFF 1 HR 58M
T ON 1.5 M

T OVERRIDE OFF 30 MINS
T OVERRIDE ON 1.5 MINS
RECOMMENDED CONTROL PANEL: SEE CONTROL PANEL REQUIREMENTS THIS PAGE.

PUMP REQUIREMENTS PS#2

FROM SAND FILTER TO DRAIN FIELD
TOTAL DYNAMIC HEAD = 27 FT
GALLONS PER MINUTE (GPM) = 35
DOSE = 60 GALLONS
OPERATION RANGE = 6"
SUMP STORAGE = DRAINING THE GRAVEL FROM SAND FILTER >600 GAL
RECOMMENDED PUMP TYPE GOULDS MODEL 3885 WE1012H OR APPROVED EQUAL RECOMMENDED CONTROL PANEL ORENCO MVP-SSF WITH TIMER FOR PUMP TO SAND FILTER AND DEMAND TO DRAIN FIELD



DIVERSION VALVE BOX DETAIL

NOT TO SCALE

GENERAL NOTES

1) CONTRACTOR TO NOTIFY STINSON BEACH COUNTY WATER DISTRICT (SBCWD) PERSONEL AND DESIGN ENGINEER 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
2) NOT TO BE USED AS A BOUNDARY SURVEY– SURVEYOR TO STAKE ALL PROPERTY LINES AND EASEMENTS. SURVEY PROVIDED BY LAWRENCE P DOYLE 415-388-9585
3) MAINTAIN 10' SEPARATION FROM ANY SEWAGE LINE TO WATERLINE IF NOT POSSIBLE REROUTE TO MAINTAIN SEPARATION. CROSSING SHALL BE MADE WITH WATER ABOVE SEWER LINE WITH BOTH LINES SLEEVED WITHIN 10' OF EACH OTHER.
4) NO CUTS SHALL BE MADE DOWNSLOPE OF DRAINFIELD WITHOUT PERMISSION OF BOTH SBCWD AND DESIGN ENGINEER.
5) CONSULT ENGINEER PERTAINING TO LANDSCAPE SEPTIC SYSTEM.
6) NO MATERIAL SUBSTITUTION WITH OUT DESIGN ENGINEER APPROVAL.
7) ALL TANKS TO BE WATERTIGHT–SEE WATERTIGHTNESS TEST.
8) CONTRACTOR NOT TO OVEREXCAVATE THE DELIVERY LINE TRENCH/S. MAXIMUM DEPTH OF TRENCH IS 24 INCHES.
9) THIS SYSTEM CALLS FOR A DIVERSION VALVE/S WHICH ARE TO BE HOUSED IN A SUBSTANTIAL VALVE BOX. THE BOX IS TO BE EXTENDED TO 3 INCHES ABOVE GRADE. THE VALVE SHOULD BE ALTERNATED EVERY SIX MONTHS.
10) EROSION PROTECTION SHALL BE PLACED IN ALL DISTURBED AREAS. STRAW AND SEED SHALL BE PLACED AT A MINIMUM PROIR TO FINAL INSPECTION.
11) ALL SEWER LINES FROM BUILDINGS SHALL BE 3 INCH SDR 35 OR APPROVED EQUIVALENT WITH A MINIMUM SLOPE OF 2 PERCENT. INSTALL CLEANOUTS AT CHANGES IN DIRECTION AND 5 FEET FROM THE OUTSIDE OF THE BUILDING.
12) ALL WORK SHALL BE IN CONFORMANCE WITH THESE PLANS AND THE MOST RECENT SBCWD REGULATIONS FOR WASTEWATER SYSTEMS.
13) CONTRACTOR TO CONDUCT SQUIRT TEST CONSISTING OF PRESURIZING THE LEACHFIELD WITH THE PUMP AND ADJUSTING THE LEACHFIELD GATE VALVES TO PROVIDE A 5' HIGH STREAM OF WATER THROUGH ORIFICES. THIS IS TO BE REPEATED FOR CONSTRUCTION INSPECTION PHASE 2.
14) CONTRACTOR TO KEEP A PLAN SET WITH ALL CHANGES MARKED UP AT THE JOB SITE AT ALL TIMES. THE CONTRACTOR TO PROVIDE ONE COPY OF THESE CHANGES ON A PLAN FOR PREPARATION OF AS– BUILT DRAWINGS TO GAIN COUNTY FINAL APPROVAL.

CONSTRUCTION INSPECTION NOTES
CONTRACTOR TO NOTIFY DESIGN ENGINEER AND SBCWD A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION AND INSPECTION OF THE SYSTEM. ADDITIONAL FEES WILL BE REQUIRED BY SBCWD AFTER THREE SITE INSPECTIONS. ENGINEER AND SBCWD SHALL INSPECT THE SYSTEM AT CRITICAL CONSTRUCTION PHASES AS FOLLOWS:

PHASE ONE:
1) INSPECT STAKE OUT LOCATION OF LATERALS ALONG CONTOURS,THE SEPTIC AND SUMP TANKS, AND THE SANDFILTER.
2) INSPECT THE LEACHLINE GRAVEL AND SANDFILTER MEDIA, AND PROVIDE A CERTIFIED COPY OF WET SIEVE ANALYSIS USING ASTM C–117 OR EQUIVALENT.

PHASE TWO:
1) INSPECT LEACHLINE INSTALLATION AND LEVEL VIA OPEN TRENCHES AND INSTALLED INSPECTION WELLS.
2) INSPECT PERFORATION SIZE AND SPACING.
3) INSPECT WATERTIGHTNESS OF ALL TANKS.
4) INSPECT SQUIRT TEST OF LEACHFIELD.
5) INSPECT CONTROL PANEL, FLOATS AND CIRCUIT BREAKER FOR ENTIRE SEPTIC SYSTEM.

PHASE THREE:
1) INSPECT ANY ITEMS LISTED ABOVE WHICH HAVE NOT BEEN OBSERVED YET.
2) INSPECT FINISHED SEPTIC SYSTEM INCLUSIVE OF ANY NECESSARY EROSION CONTROL MEASURES.
3) INSPECT FLOOR PLAN OF STRUCTURE BEING SERVED BY THE SEPTIC SYSTEM. INSPECT, IF APPLICABLE, WHETHER LOW FLOW FIXTURES WERE INSTALLED OR NOT.
4) PROVIDE SBCWD WITH BUILDING DEPARTMENT APPROVAL OF PUMP INSTALLATION.

OPERATION AND MAINTENANCE OF A SEPTIC SYSTEM

1) INSPECT SEPTIC TANKS AND DRAINFIELD EVERY SIX MONTHS.
2) IF SLUDGE OR SCUM BUILDUP IS GREATER THAN 6 TO 8 INCHES HAVE TANK PUMPED. (USUAL FREQUENCY FOR PUMPING IS 3 TO 5 YEARS).
3) MINIMIZE THE USE OF GARBAGE DISPOSAL.
4) MINIMIZE THE USE OF HARSH CHEMICALS IN LARGE QUANTITIES.
5) MINIMIZE THE AMOUNT OF GREASE DISPOSED OF IN SINKS. PACKAGE ALL FOOD WASTES AND DISPOSE OF IN GARBAGE FOR SANITARY LANDFILL.
6) MINIMIZE DISPOSAL OF NON–SEWAGE ITEMS SUCH AS SANITARY NAPKINS, CIGARETTES AND OTHERS.
7) MAINTAIN ALL PLUMPING. LEAKS SHOULD BE FIXED AS QUICK AS THEY OCCUR.
8) MINIMIZE LIQUID LOAD ON THE SYSTEM BY WASHING DISHES AND LAUNDRY IN LARGE LOADS. SPREAD LOADS OVER THE WEEK RATHER THAN DOING ALL LAUNDRY ON A SINGLE DAY.
9) PROHIBIT VEHICULAR TRAFFIC AND HOOFED ANIMALS FROM THE SEPTIC SYSTEM AREA.

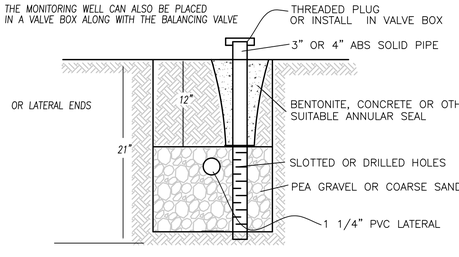
PUMP:
THE PUMP SHALL BE OF THE SIZE AND TYPE INDICATED ON THE PLANS AND SHALL INCLUDE THE FOLLOWING:
1) A HANDS OFF AUTO (HOA) SWITCH.
2) AN AUDIO AND VISIBLE ALARM AND NECESSARY EFFLUENT SENSING DEVICE TO INDICATE A HIGH WATER CONDITION.
3) USE EITHER PILL OR MERCURY TYPE FLOAT SWITCH.
4) SET PUMPING VOLUME AS STATED IN THE PUMP REQUIREMENTS.
5) PUMP TO BE SET A MINIMUM OF 8 INCHES FROM THE BOTTOM OF THE SUMP.

SUMP:
1) THE SUMP SHALL HAVE A WORKING CAPACITY OF 1.0 TIMES THE DESIGN FLOW DESIGNATED. THE CAPACITY SHALL INCLUDE THE DOSE VOLUME AND 24–HOUR STORAGE VOLUME.
2) ACCESS TO BE PROVIDE BY A MINIMUM 24–INCH DIAMETER WATERPROOF AIRTIGHT RISER AND LID SYSTEM.
3) ALL PIPE AND OR ELECTRICAL CONNECTIONS MADE THROUGH THE RISER EITHER TO BE PRECAST INTO THE RISER OR SEALED WITH GASTIGHT COMPRESSION CONNECTORS.

ELECTRICAL FEATURES
THE FOLLOWING ELCTRICAL FEATURES TO BE PROVIDED
1) AN OUTDOOR TYPE CONTROL BOX CONTAINING A FUSED DICONNECT AND MOTOR PROTECTION SWITCH. SEE THE PUMP REQUIREMENT SECTION OF THE PLANS FOR THE MODEL NUMBER AND REQUIREMENTS.
2) THE CONTROL BOX TO BE MOUNTED ON THE BUILDING BEING SERVED IF WITHIN 20 FEET OF THE SUMP OTHERWISE INSTALL ON A 4"X4" POST THAT IS INSTALLED SECURELY. CONTROL PANEL TO BE VISIBLE FROM THE ROADWAY IF AT ALL POSSIBLE.
3) ALARM AND PUMP TO BE INSTALLED ON SEPARATE CIRCUITS THAT ARE OF SIZE LARGE ENOUGH FOR THE RESPECTIVE USES.
4) ELECTRICAL CONDUIT SHALL BE PVC AND SEPARATE CONDUITS SHALL BE PROVIDED TO POWER PUMP AND FLOATS.

PRESSURE PIPING
1) THE PIPE FROM THE SUMP TO THE DRAINFIELD SHALL BE PVC IN THE SIZE AND SCHEDULE SPECIFIED ON THE PLANS.
2) A UNION SWING CHECKVALVE AND DOUBLE WEDGE GATE VALVE SHALL BE INSTALLED IN THE SUMP CHAMBER IN THIS ORDER AWAY FROM THE PUMP. ALTERNATIVELY THESE ITEMS CAN BE INSTALLED IN A VALVE BOX NEXT TO THE SUMP CHAMBER.
3) CONCRETE THRUST BLOCKS SHALL BE INSTALLED WHEN CHANGE IN PIPE DIRECTION IS 45 DEGREES OR GREATER.

PERMITS
ASIDE FROM THE INDIVIDUAL SEWAGE DISPOSAL SYSTEM PERMIT ADDITIONAL PERMIT (S) WILL BE REQUIRED BY THE BUILDING INSPECTION DEPARTMENT FOR PUMP INSTALLATION.



TYP. LEACHLINE INSPECTION WELL

NOT TO SCALE

REGISTERED CIVIL ENGINEER TROY K PEARCE No. 55088 12/31/22 STATE OF CALIFORNIA

DETAILS

PREPARED FOR:
PETER JENSEN
265 ELEANOR DRIVE
WOODSIDE CA 94062

RAISED BED / ADVANTEX SYSTEM
43 DIPSEA ROAD
STINSON BEACH, CA
APN 195-090-42

AYS Engineering Group, Inc
PO Box 5693, Petaluma, CA 94955
Voice (707) 763-6620

Job. No. 2020-035
Date 02-3-21
Drawn By: tkp
Checked By: tkp
Scale as shown

Sheet 2 of 2

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