

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LAWS, CODES AND REGULATORY AGENCIES HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

7TH EDITION (2020) FLORIDA BUILDING CODE - RESIDENTIAL

2. THE CONTRACT DOCUMENTS ARE COMPLIMENTARY. DRAWINGS ARE NOT TO BE SCALED. PROVIDE ITEMS SHOWN OR REFERRED TO ON ONE DRAWING OR SPECIFICATION SECTION AS THOUGH SHOWN ON ALL DRAWINGS AND/OR SPECIFICATIONS.

3. SECURE AND PAY FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

4. MAKE ALL FIELD MEASUREMENTS AND INVESTIGATIONS NECESSARY TO PERFORM THE WORK.

5. VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, IRRIGATION AND LIGHTING EQUIPMENT (INCLUDING ALL PIPING, DUCT AND CONDUIT ROUTING) AND THAT ALL REQUIRED CLEARANCES FOR THE INSTALLATION AND MAINTENANCE OF EQUIPMENT ARE PROVIDED.

6. ANY/ALL EXISTING UTILITIES REMOVED SHALL BE TERMINATED BACK TO THE NEAREST USEFUL SOURCE OR REROUTED AS NECESSARY (TYPICAL).

7. ERECT AND INSTALL ALL WORK LEVEL, PLUMB, SQUARE, TRUE, STRAIGHT AND IN PROPER ALIGNMENT.

8. ONLY NEW ITEMS OF RECENT MANUFACTURE, OF STANDARD QUALITY, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK. REMOVE REJECTED ITEMS IMMEDIATELY FROM THE WORK AND REPLACE WITH THE ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE THE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE SUBCONTRACTOR FOR THE QUALITY AND CHARACTER FOR THE ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED ON HIM BY THE SUBCONTRACT.

9. PROVIDE WOOD OR METAL BLOCKING AS REQUIRED IN WALLS, BEHIND WALL-HUNG SHELVES, CASEWORK, PANEL BOARDS, ETC., INCLUDING N.I.C. ITEMS.

10. WHEN PROJECT IS COMPLETE, CLEAN AND POLISH ALL NEW GLASS, HARDWARE, AND OTHER SUCH ITEMS WITH FACTORY FINISHES. REMOVE ALL DUST WITH TREATED CLOTH OR VACUUM CLEANERS.

11. ALL DIMENSIONS ARE TO FACE OF WALL OR FACE OF CONCRETE U.O.N.

12. LIFE SAFETY NON-INFRINGEMENT STATEMENT
THE BUILDING RENOVATIONS SHOWN ON THE DRAWINGS UNDER MY RESPONSIBLE CHARGE DO NOT AFFECT THE DESIGN OR OPERATION OF EXISTING SMOKE MANAGEMENT SYSTEMS.

CAL GREEN NOTES

1. SECTION CGBC 4.507.2 HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPMENT SELECTED USING THE:

A) THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL J - 2011 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

B) DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D - 2014 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

C) SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S - 2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE THE SYSTEMS FUNCTIONS ARE ACCEPTABLE.

2. SECTION CGBC 4.406.1. ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.

3. SECTION CGBC 4.504.1. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR INTAKE AND DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED. TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS ENTERING THE SYSTEM MAY BE USED.

4. SECTION CGBC 4.504.2.1. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY:

A) ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLES 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS SHALL ALSO COMPLY WITH RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION B) BELOW.

B) AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF THE CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 17, COMMENCING WITH SECTION 94507.

5. SECTION CGBC 4.504.2.2. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS FLAT, NONFLAT, OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37, OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT, OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY.

6. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS PER CALGREEN SECTION 4.504.3

7. MIN 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH CALGREEN SECTION 4.504.4

8. PARTICLEBOARD, MDF AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

9. SECTION CGBC 4.505.3. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:

A) MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR A CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS IN SECTION 101.8.

B) MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM THE GRADE-STAMPED END OF EACH PIECE TO BE VERIFIED.

C) AT LEAST 3 RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.

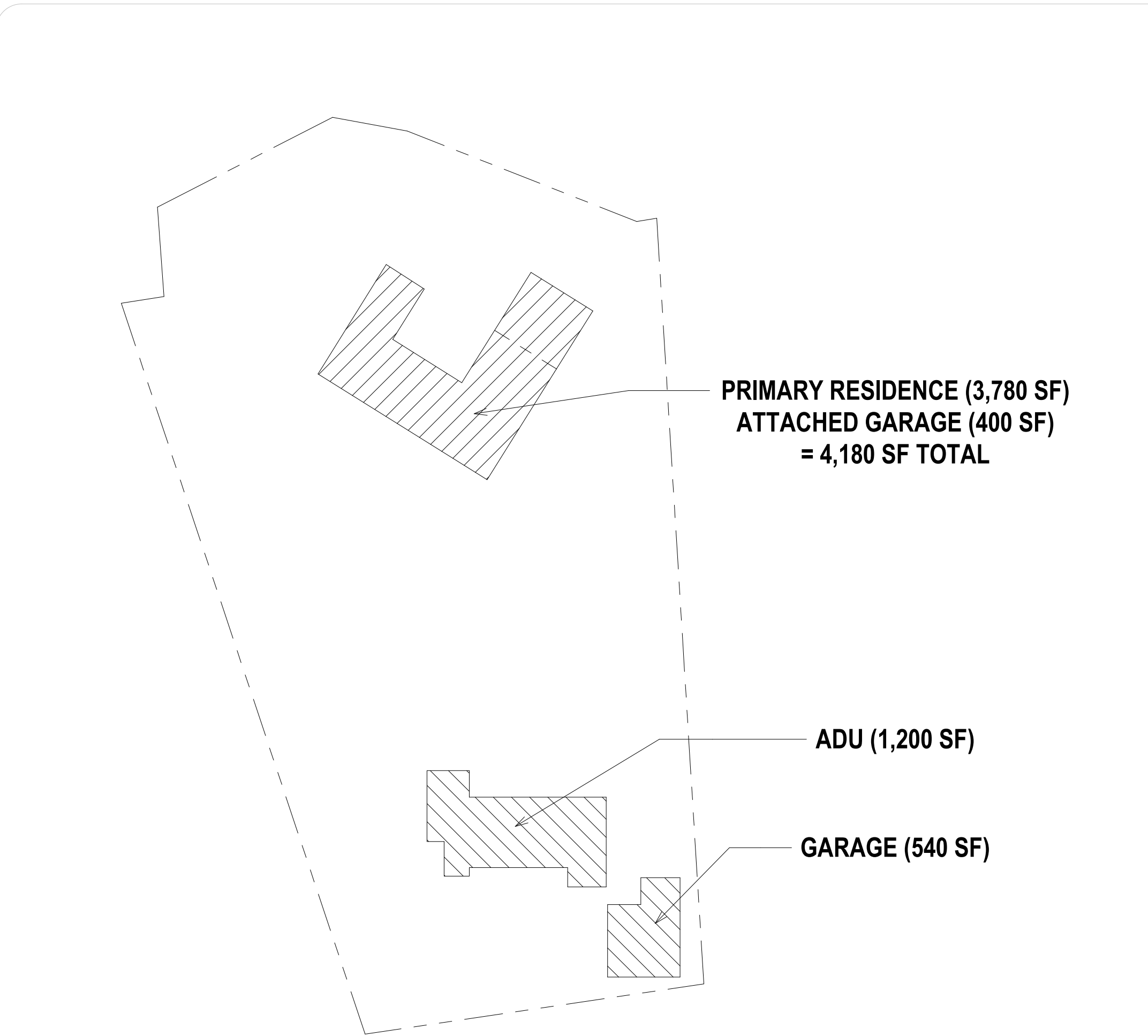
INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUFACTURERS' DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.

ABBREVIATIONS

- A.F.F. ABOVE FINISH FLOOR
- ALUM. ALUMINUM APPROXIMATE
- AV BOARD
- BLDG. BUILDING
- BLK. BLOCK
- BLKG. BLOCKING
- B.O. BOTTOM OF
- BTWN. BETWEEN
- CLG. CEILING
- CLKG. CAULKING
- CL.CS. CLOSET
- CLR. CLEAR
- CMU CONCRETE MASONRY UNIT
- COL. COLUMN
- CONC. CONCRETE
- CONSR. CONSTRUCTION
- CONT. CONTINUOUS
- CORR. CORRIDOR
- CTR. CENTER
- DBL. DOUBLE
- DEPT. DEPARTMENT
- DET. DETAIL
- DIA. DIAMETER
- DIM. DIMENSION
- D.O. DOOR OPENING
- DWG. DRAWING
- DWR. DRAWER
- (E) EXISTING
- E.L. EXPANSION JOINT
- ELEC. ELECTRICAL
- ELEV. ELEVATOR
- EMER. EMERGENCY
- ENGR. ENGINEER
- EST. ESTIMATED
- EQ. EQUAL
- EQPT. EQUIPMENT
- EXT. EXTERIOR
- F# FLOOR TYPE
- F.E.C. FIRE EXTINGUISHER CABINET
- F.H.C. FIRE HOSE CABINET
- FIN. FINISH
- FL. FLOOR
- F.O.C. FACE OF CONCRETE
- F.O.F. FACE OF FINISH
- F.O.P. FACE OF PLYWOOD
- F.O.S. FACE OF STUD
- FRN. FURNACE
- FT. FOOT or FEET
- FURR. FURRING
- FUT. FUTURE
- GA. GAUGE
- GALV. GALVANIZED
- G.C. GENERAL CONTRACTOR
- GEN. GENERAL
- GYP. GYPSUM WALL BOARD
- H.B. HOSE BIB
- H.C. HANDICAPPED
- H.M. HOLLOW METAL
- HOR. HORIZONTAL
- HR. HOUR
- HT. HEIGHT
- HW. HOT WATER HEATER
- INSUL. INSULATION
- INT. INTERIOR
- JT. JOINT
- KIT. KITCHEN
- LAM. LAMINATE
- LAV. LAVATORY
- MAX. MAXIMUM
- M.D.F. MEDIUM DENSITY FIBERBOARD
- MECH. MECHANICAL
- MET. METAL
- MFR. MANUFACTURER
- MIN. MINIMUM
- MISC. MISCELLANEOUS
- (N) NEW
- N.I.C. NOT IN CONTRACT
- NOM. NOMINAL
- N.T.S. NOT TO SCALE
- O.C. ON CENTER
- PLY. PLYWOOD
- PT. POINT
- REQ. REQUIRED
- R.O. ROUGH OPENING
- S.C.D. SEE CIVIL DRAWINGS
- SCHD. SCHEDULE
- S.E.D. SEE ELECTRICAL DRAWINGS
- S.F. SQUARE FEET
- SIM. SIMILAR
- S.M.D. SEE MECHANICAL DRAWINGS
- SPEC. SPECIFICATION
- S.S.D. SEE STRUCTURAL DRAWINGS
- SST. STAINLESS STEEL
- STL. STEEL
- STR. STRUCTURAL
- T&G. TONGUE AND GROOVE
- TEL. TELEPHONE
- TEMP. TEMPORARY
- T.O.S. TOP OF SLAB
- T.O.W. TOP OF WALL
- TYP. TYPICAL
- U.L. UNDERWRITERS LABORATORY
- U.O.N. UNLESS OTHERWISE NOTED
- V.C.T. VINYL COMPOSITE TILE
- V.I.F. VERIFY IN FIELD
- W.C. WATER CLOSET
- W.R. WET RATED
- W.O. WHERE OCCURS

SYMBOLS

- LOBBY ROOM NAME
- 101 ROOM LEVEL NUMBER
- (HA) HORIZONTAL ASSEMBLY
- 1 COLUMN GRID LINE
- A
- 1 DETAIL NUMBER
- A3 SHEET NUMBER
- VIEW DIRECTION
- 1 DOOR CALLOUT
- 3 KEY NOTE
- P1 MATERIAL KEYNOTE
- APPLIANCE CALLOUT
- HARDWARE & GENERAL EQUIPMENT CALLOUT
- WINDOW CALLOUT
- GROUND LEVEL DATUM
- EL. +0'-0"
- REVISION NUMBER
- AREA OF REVISION
- NORTH ARROW
- NORTH
- DASHED LINE INDICATES ELEMENT TO BE REMOVED. CONFIRM WITH OWNER WHETHER TO SAVEREUSE OR DEMOLISH
- (N) WALL
- (E) WALL
- WH WATER HEATER
- FR FURNACE
- VENTILATION
- CM CARBON MONOXIDE ALARM
- SA SMOKE ALARM
- ALIGN SURFACES
- CARPET SEAM
- FLOOR FINISH TRANSITION
- FLOOR STEP
- EP ELECTRICAL PANEL
- (N) SPOT ELEVATION
- 100'-0"
- 88.5 (E) SPOT ELEVATION
- 88.5 (N) FINISH GRADE
- 88.5 (E) EXISTING GRADE
- PROPERTY LINE
- 78 (N) FINISHED CONTOUR
- (N) CONTOURS
- FENCING
- HB HOSE BIB
- FD FLOOR DRAIN
- RD ROOF DRAIN
- ROOF & OVERFLOW DRAIN
- OD OVERFLOW DRAIN
- CB CATCH BASIN
- AD AREA DRAIN
- DUPLEX GFI WHERE RECD

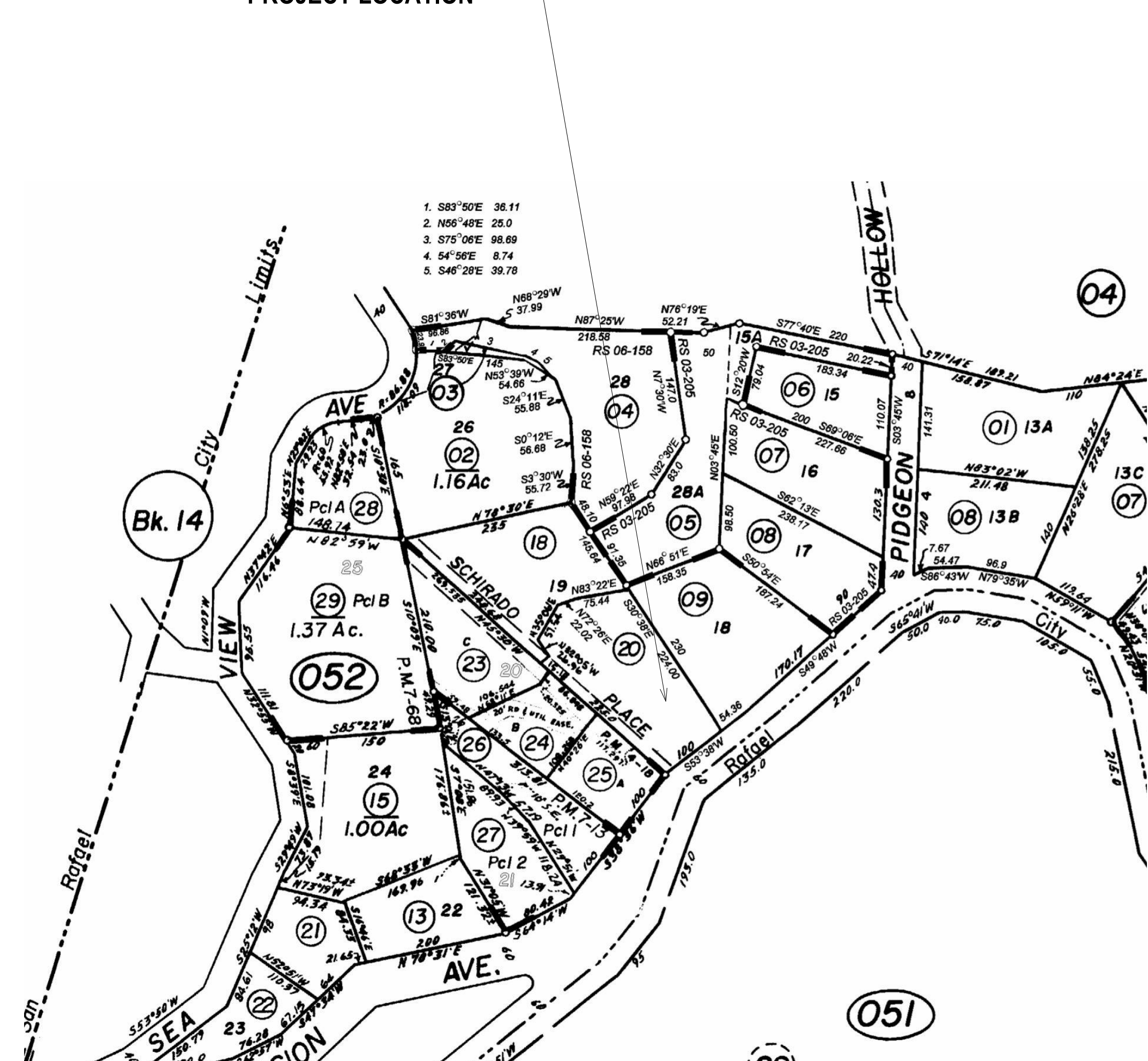


AVERAGE SLOPE: 26.59

FAR (EXISTING) 4,180 SF / 34,840 SF = 12%

FAR (PROPOSED) 5,380 SF / 34,840 SF = 15%

PROJECT LOCATION



PROJECT SUMMARY

ADDITION OF A DETACHED ACCESSORY DWELLING UNIT CONSISTING OF BEDROOMS, BATHROOMS, LIVING AREA, KITCHEN AND PARKING STRUCTURE.

PROJECT BACKGROUND

ADDRESS: 111 MARINA BLVD.
SAN RAFAEL, CA 94901

BLOCK/LOT/APN: 016-052-20
ZONING: R1-B4
USE: RESIDENTIAL, SINGLE FAMILY
LOT AREA: 34,840 SF
UNITS: 1 (EXISTING) 1+ADU (PROPOSED)
BEDROOMS: 3 (ADU)
BATHROOMS: 2 (ADU)
STORIES: 1 (ADU)
MAX HEIGHT: 16' (ALLOWED) 15' 9" (PROPOSED)
OCCUPANCY GROUP: RESIDENTIAL
CONSTRUCTION TYPE: R3
ALLOWABLE AREA/FAR: 30% (ALLOWABLE) 15% (AFTER PROPOSED)
BUILDING AREA (EXISTING): 4,180 SF (PRIMARY RESIDENCE)
BUILDING AREA (PROPOSED): 1,200 SF (PROPOSED ADU) + 540 SF (PROPOSED GARAGE)
LOT COVERAGE: --
PARKING STALLS: 2 (EXISTING) 4 (AFTER PROPOSED)
SPRINKLERED: YES (ADU)
PRESERVATION: NO

DRAWING INDEX

- A0 COVER SHEET
- A1.0 (E) SITE PLAN
- A1.1 (N) SITE PLAN
- A1.2 (N) ROOF / ENLARGED SITE PLAN
- A1.3 (N) UTILITIES PLAN
- A2 (N) PLANS
- A2.1 (N) ELEVATIONS NORTH/SOUTH
- A2.2 (N) ELEVATIONS EAST/WEST
- A2.3 (N) GARAGE ELEVATIONS & SECTIONS
- A2.4 (N) SECTION
- A2.5 (N) SECTIONS CONT.
- A2.6 (N) RCP
- A3 (N) DOOR AND WINDOW SCHEDULES

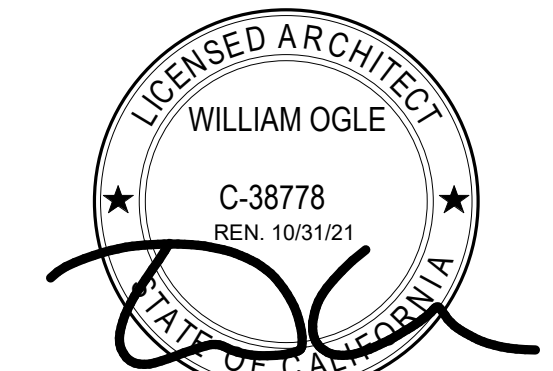
MINIMUM SETBACK FOR EXTERIOR WALLS: PROPOSED SETBACK FOR EXTERIOR WALLS:

SOUTHERN FRONTSIDE	30' MIN	PROPOSED: 32' 3"
WESTERN SIDE	20' MIN	PROPOSED: 32' 3"
NORTHERN REAR	20' MIN	PROPOSED: 32' 3"
EASTERN SIDE	20' MIN	PROPOSED: 32' 3"

LOCATION MAP



No.	Description	Date
1	PRELIMINARY REVIEW	5/14/2021



SCALE As indicated

COVER SHEET

A0



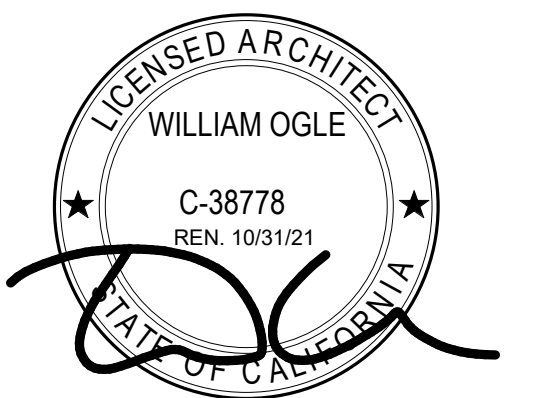
PROJECT

111 MARINA BLVD.
SAN RAFAEL, CA 94901

OWNER
MELISSA & JOSEF BERTA
111 MARINA BLVD.
SAN RAFAEL, CA 94901

ARCHITECT
OGLE DESIGN
1900 ARROWHEAD DR
OAKLAND, CA 94611
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

No.	Description	Date



SCALE 1/16" = 1'-0"

(E) SITE PLAN

A1.0



1 (E) SITE
1/16" = 1'-0"



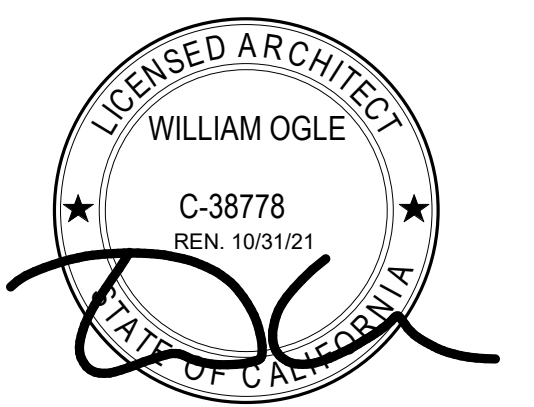
PROJECT

111 MARINA BLVD.
SAN RAFAEL, CA 94901

OWNER
MELISSA & JOSEF BERTA
111 MARINA BLVD.
SAN RAFAEL, CA 94901

ARCHITECT
OGLE DESIGN
1900 ARROWHEAD DR
OAKLAND, CA 94611
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

No.	Description	Date
1	PRELIMINARY REVIEW	5/14/2021



SCALE 1/16" = 1'-0"

(N) SITE PLAN

A1.1

7/29/2021 4:30:08 PM



1 (N) SITE
1/16" = 1'-0"



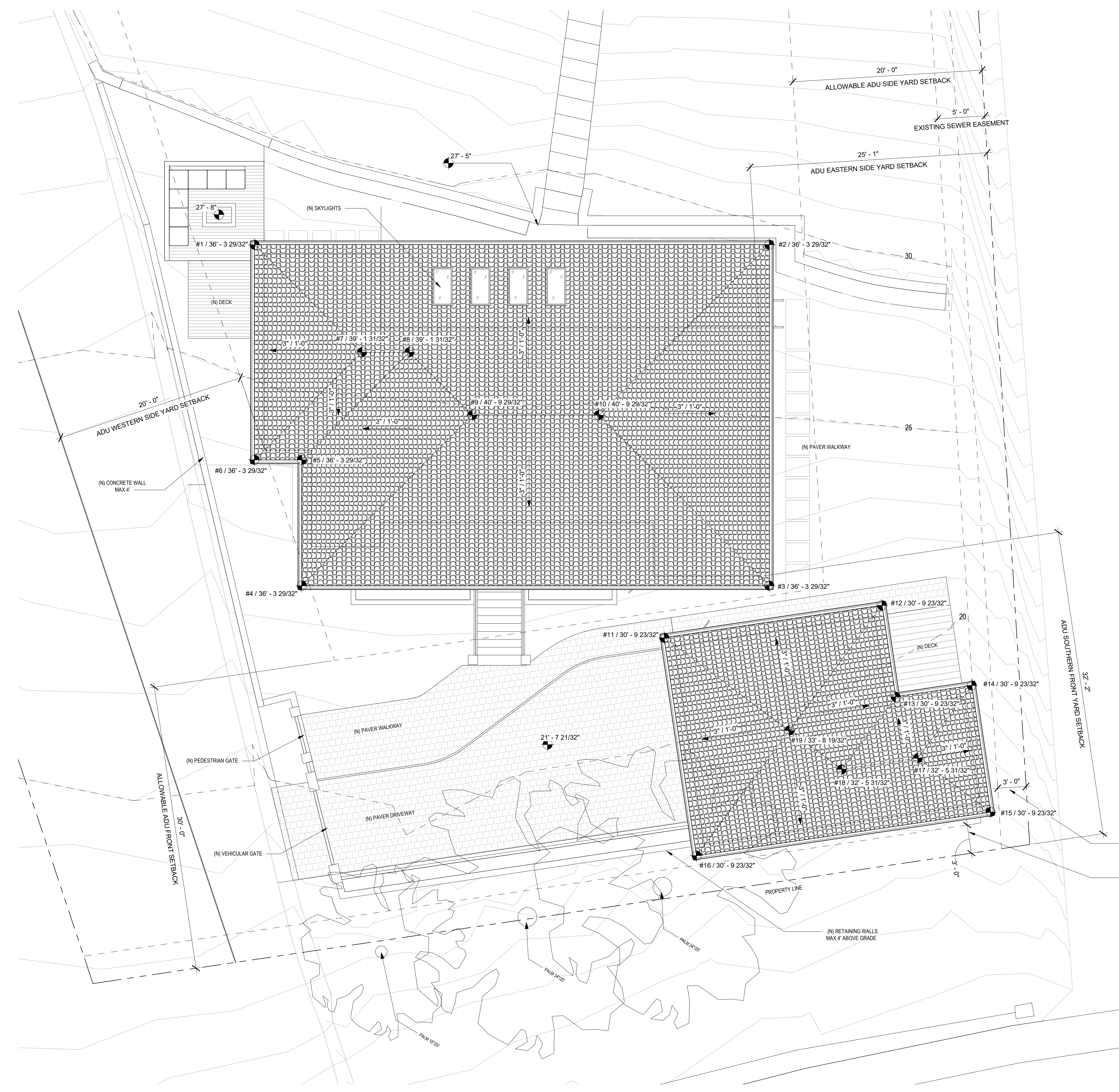
PROJECT

111 MARINA BLVD.
SAN RAFAEL, CA 94901

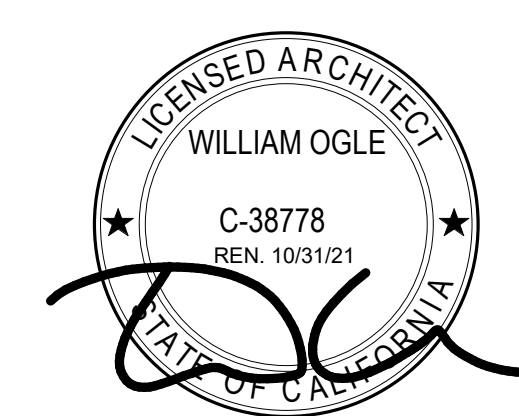
OWNER
MELISSA & JOSEF BERTA
111 MARINA BLVD.
SAN RAFAEL, CA 94901

ARCHITECT
OGLE DESIGN
1900 ARROWHEAD DR
OAKLAND, CA 94611
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

BLDG. CORNER & RIDGE HEIGHTS			
MARK #	BASE ELEV @ EXISTING GRADE	TOP OF BUILDING CORNER OR RIDGE	HEIGHT ABOVE REFERENCE BASE ELEV
#1	ELEVATION 26' - 6 13/32"	36' - 3 29/32"	9' - 9 1/2"
#2	ELEVATION 27' - 6"	36' - 3 29/32"	8' - 9 29/32"
#3	ELEVATION 21' - 10 1/32"	36' - 3 29/32"	14' - 5 7/8"
#4	ELEVATION 22' - 5 9/16"	36' - 3 29/32"	13' - 10 11/32"
#5	ELEVATION 24' - 1 7/32"	36' - 3 29/32"	12' - 2 11/16"
#6	ELEVATION 23' - 10 25/32"	36' - 3 29/32"	12' - 5 1/8"
#7	ELEVATION 25' - 6 29/32"	39' - 1 31/32"	13' - 7 1/16"
#8	ELEVATION 25' - 7 1/2"	39' - 1 31/32"	13' - 6 15/32"
#9	ELEVATION 24' - 11 13/16"	40' - 9 29/32"	15' - 10 3/32"
#10	ELEVATION 24' - 11 7/8"	40' - 9 29/32"	15' - 10 1/32"
#11	ELEVATION 21' - 4 31/32"	30' - 9 23/32"	9' - 4 3/4"
#12	ELEVATION 20' - 9 13/16"	30' - 9 23/32"	9' - 11 29/32"
#13	ELEVATION 19' - 4 1/32"	30' - 9 23/32"	11' - 5 11/16"
#14	ELEVATION 18' - 7 11/32"	30' - 9 23/32"	12' - 2 3/8"
#15	ELEVATION 15' - 10 1/2"	30' - 9 23/32"	14' - 11 7/32"
#16	ELEVATION 16' - 10 5/16"	30' - 9 23/32"	13' - 11 13/32"
#17	ELEVATION 18' - 0 23/32"	32' - 5 31/32"	12' 9"
#18	ELEVATION 18' - 9 7/8"	32' - 5 31/32"	11' - 11 27/32"
#19	ELEVATION 19' - 7 15/16"	33' - 8 19/32"	11' - 1 25/32"



No.	Description	Date



SCALE 3/16" = 1'-0"

(N) ROOF / ENLARGED SITE PLAN

A1.2

1 (N) ROOF / ENLARGED SITE PLAN
3/16" = 1'-0"

7/29/2021 4:30:10 PM

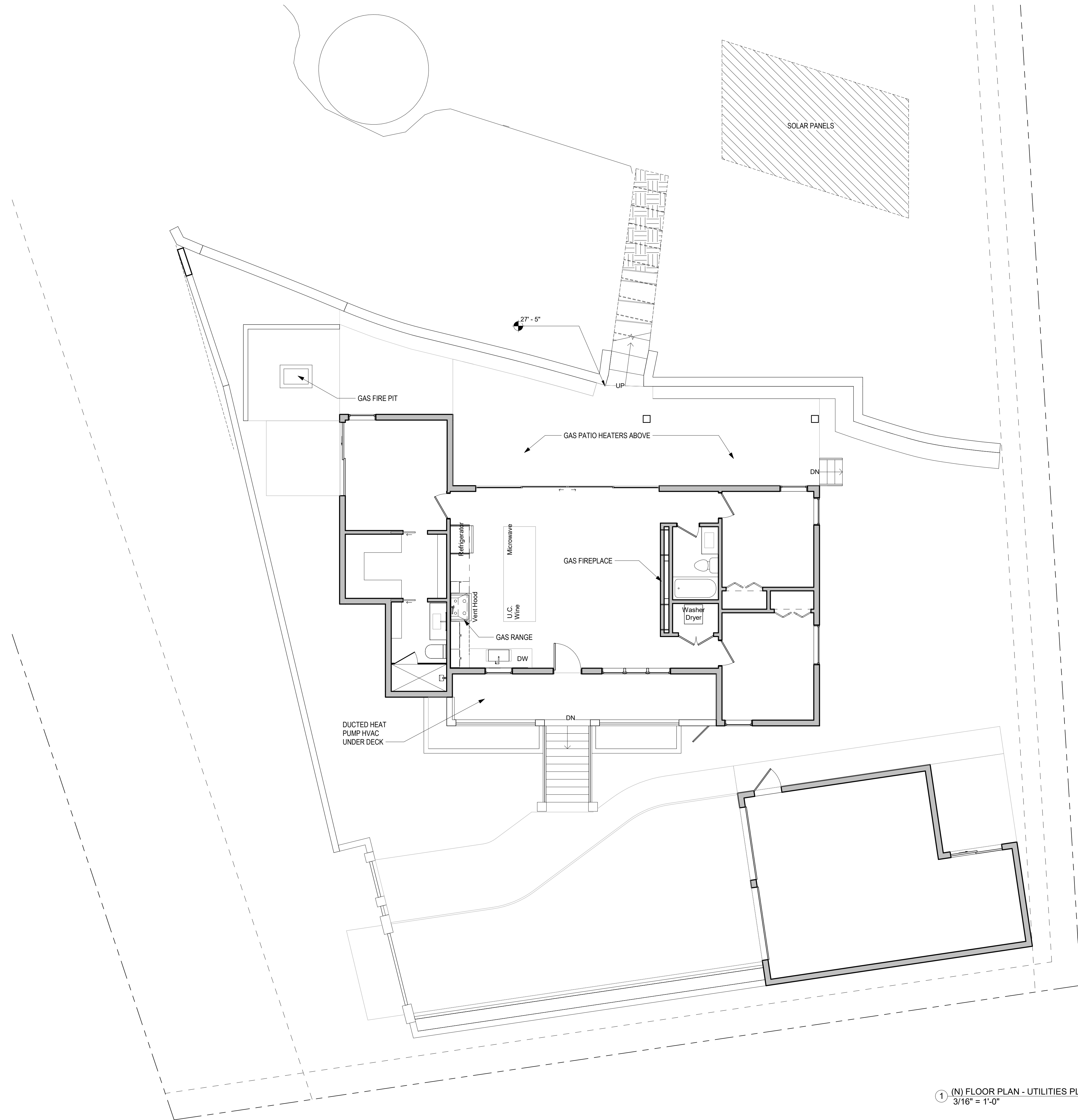


PROJECT

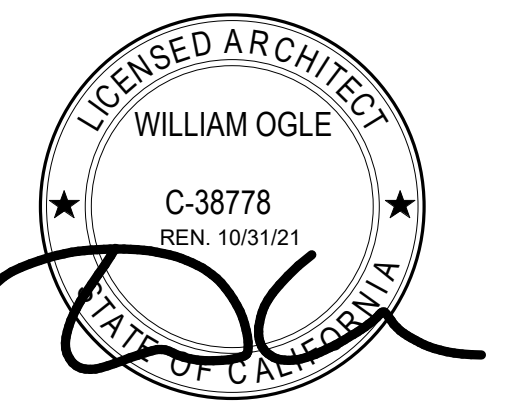
111 MARINA BLVD.
SAN RAFAEL, CA 94901

OWNER
MELISSA & JOSEF BERTA
111 MARINA BLVD.
SAN RAFAEL, CA 94901

ARCHITECT
OGLE DESIGN
1900 ARROWHEAD DR
OAKLAND, CA 94611
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM



No.	Description	Date



SCALE 3/16" = 1'-0"

(N) UTILITES PLAN

A1.3



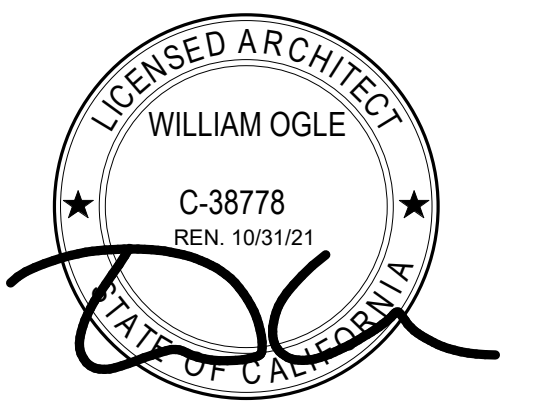
PROJECT

111 MARINA BLVD.
SAN RAFAEL, CA 94901

OWNER
MELISSA & JOSEF BERTA
111 MARINA BLVD.
SAN RAFAEL, CA 94901

ARCHITECT
OGLE DESIGN
1900 ARROWHEAD DR
OAKLAND, CA 94611
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

No.	Description	Date
1	PRELIMINARY REVIEW	5/14/2021



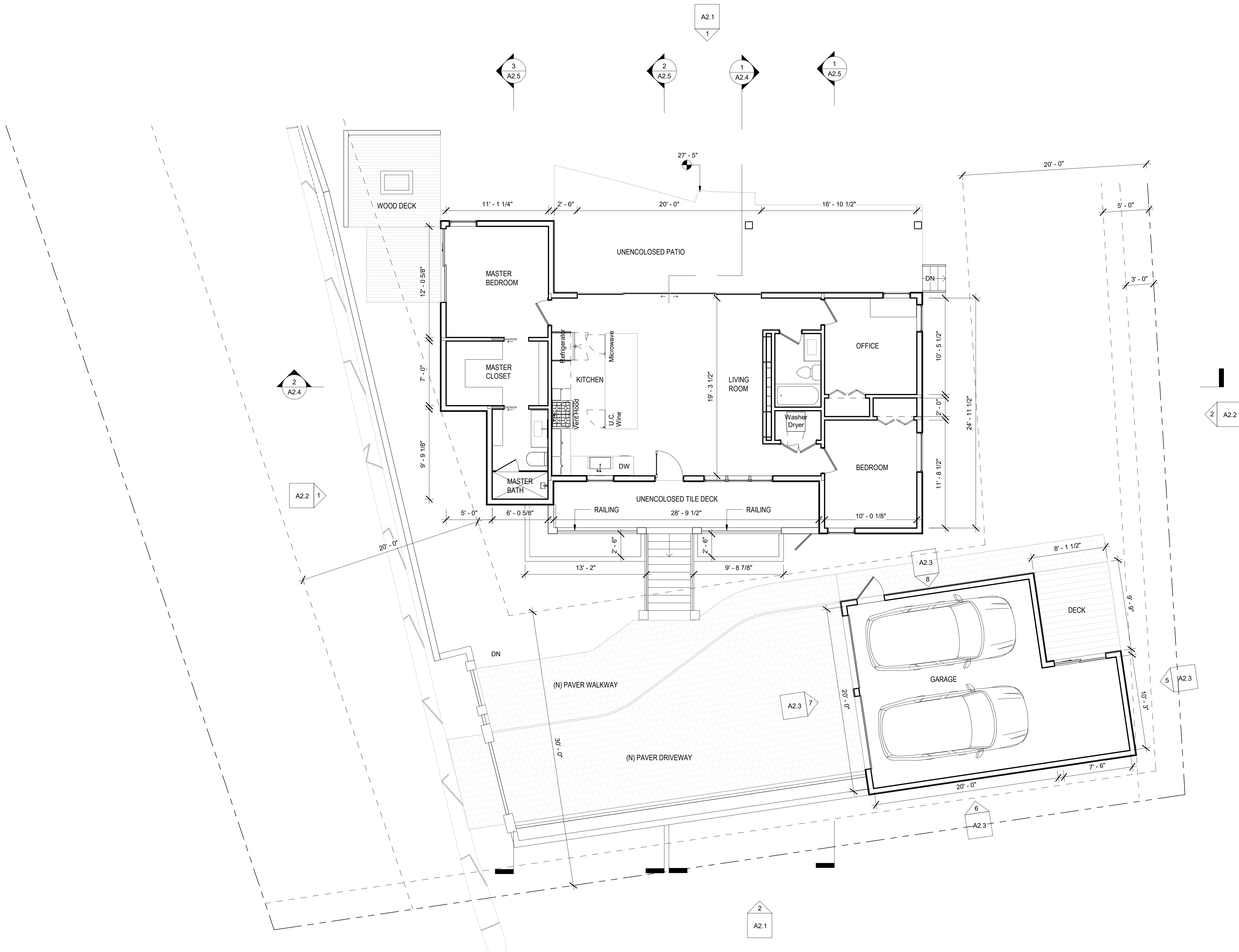
SCALE 3/16" = 1'-0"

(N) PLANS

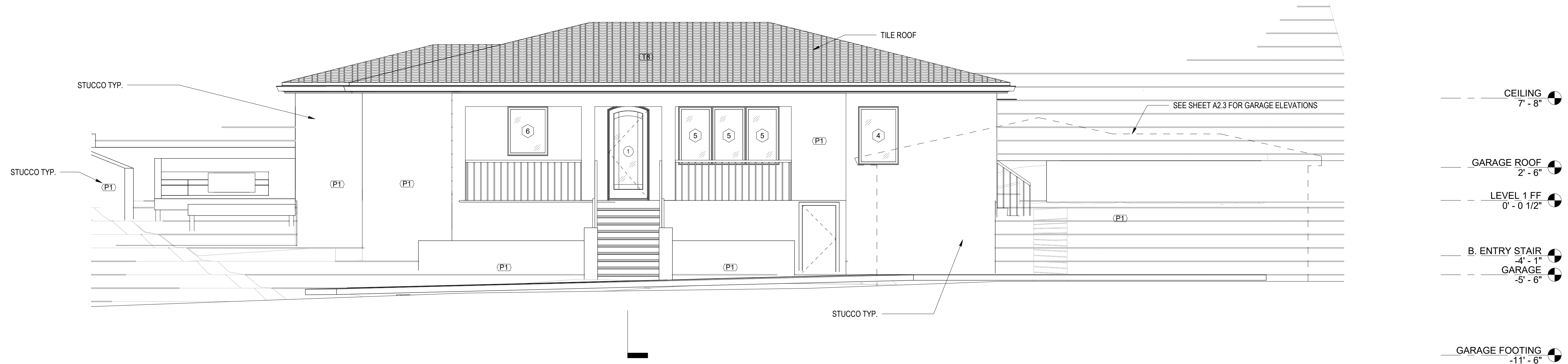
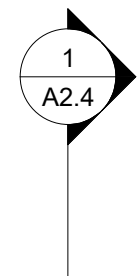
A2

1 (N) FLOOR PLAN - LEVEL 1
3/16" = 1'-0"

7/29/2021 4:30:12 PM

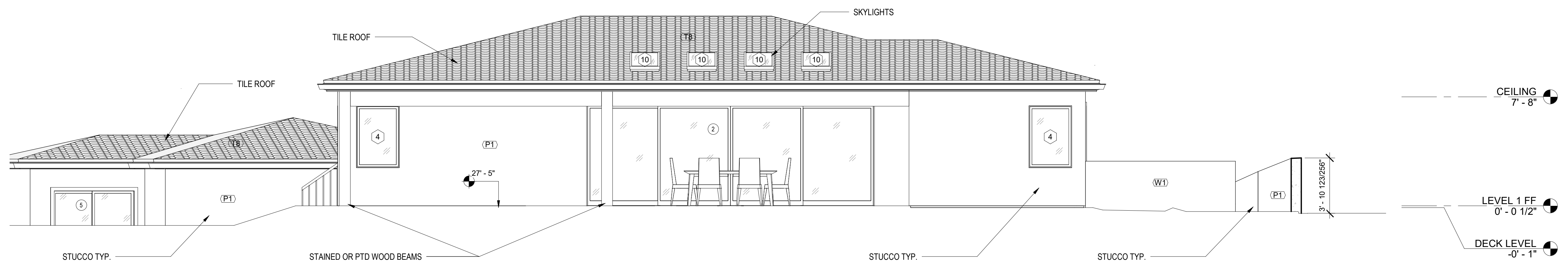


#	DESCRIPTION
P1	Paint, see Finish Addendum
T8	Tile, see Finish Addendum
W1	Wood, see Finish Addendum



② SOUTH ELEVATION
1/4" = 1'-0"

- CEILING 7' - 8"
- GARAGE ROOF 2' - 6"
- LEVEL 1 FF 0' - 0 1/2"
- B. ENTRY STAIR -4' - 1"
- GARAGE -5' - 6"
- GARAGE FOOTING -11' - 6"



① NORTH ELEVATION
1/4" = 1'-0"

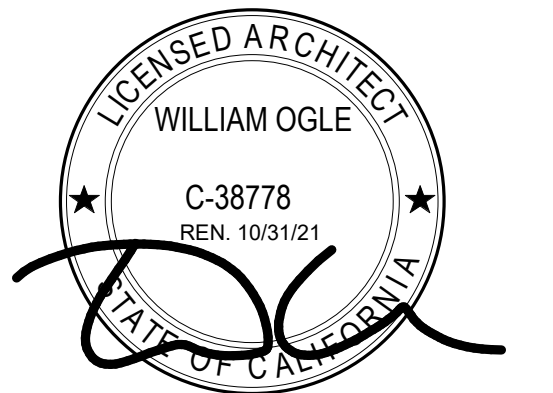
- CEILING 7' - 8"
- LEVEL 1 FF 0' - 0 1/2"
- DECK LEVEL -0' - 1"


PROJECT
 111 MARINA BLVD.
 SAN RAFAEL, CA 94901

OWNER
 MELISSA & JOSEF BERTA
 111 MARINA BLVD.
 SAN RAFAEL, CA 94901

ARCHITECT
 OGLE DESIGN
 1900 ARROWHEAD DR
 OAKLAND, CA 94611
 P. 415 378 3016
 WILLIAM@OGLEDESIGNS.COM

No.	Description	Date



SCALE 1/4" = 1'-0"

(N) ELEVATIONS
 NORTH/SOUTH
A2.1

KEYNOTE LEGEND	
#	DESCRIPTION
P1	Paint, see Finish Addendum
T8	Tile, see Finish Addendum
W1	Wood, see Finish Addendum



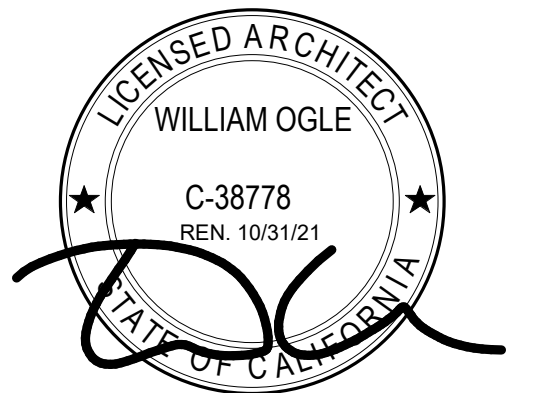
PROJECT

111 MARINA BLVD.
SAN RAFAEL, CA 94901

OWNER
MELISSA & JOSEF BERTA
111 MARINA BLVD.
SAN RAFAEL, CA 94901

ARCHITECT
OGLE DESIGN
1900 ARROWHEAD DR
OAKLAND, CA 94611
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

No.	Description	Date

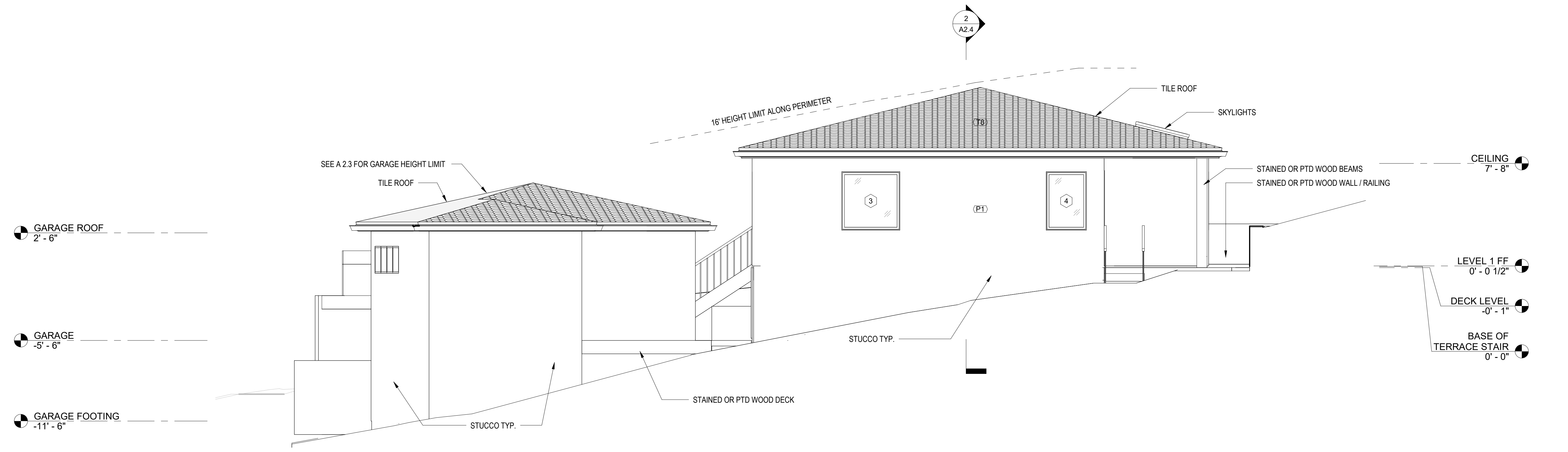


SCALE 1/4" = 1'-0"

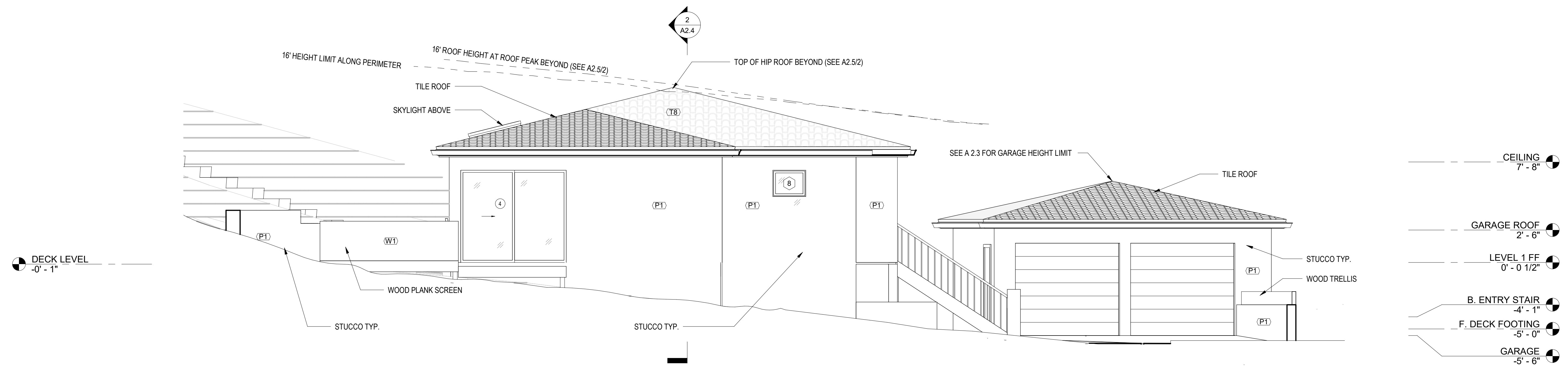
(N) ELEVATIONS
EAST/WEST

A2.2

7/29/2021 4:30:15 PM



② EAST ELEVATION
1/4" = 1'-0"



① WEST ELEVATION
1/4" = 1'-0"

#	DESCRIPTION
P1	Paint, see Finish Addendum
T8	Tile, see Finish Addendum
W1	Wood, see Finish Addendum
W3	Wood, see Finish Addendum

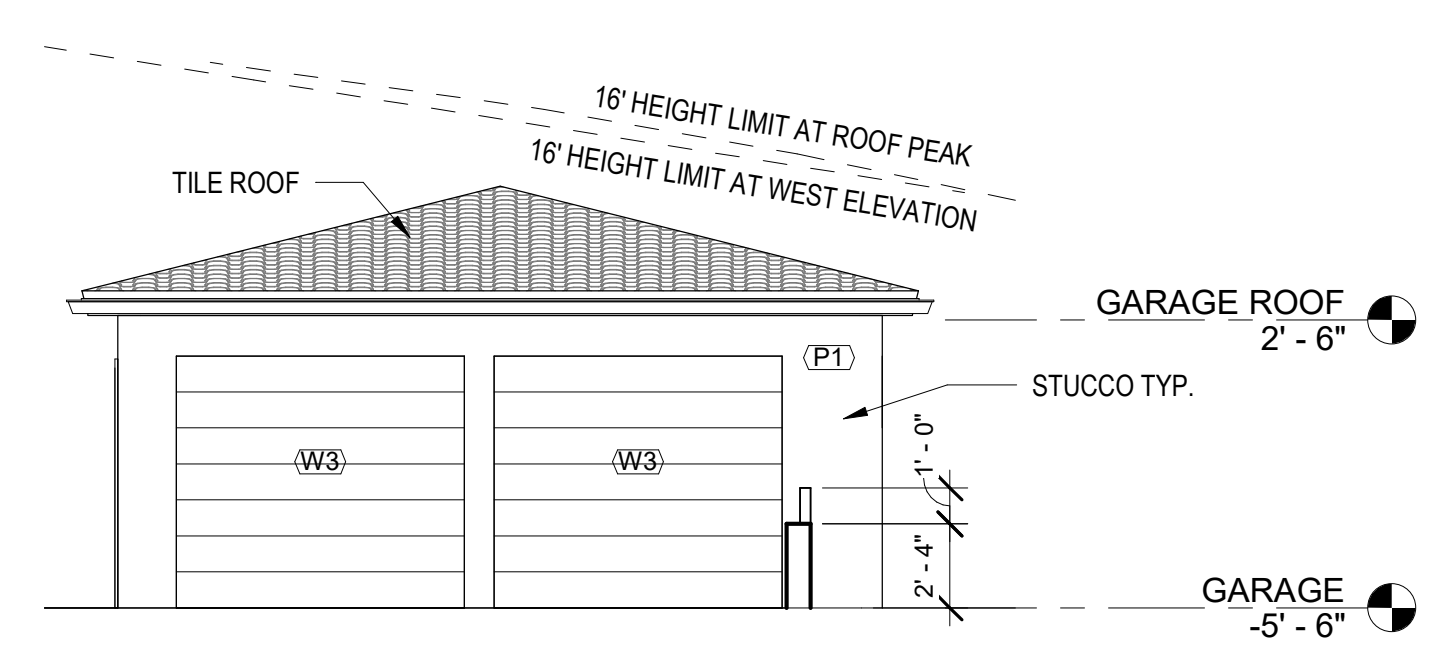


PROJECT

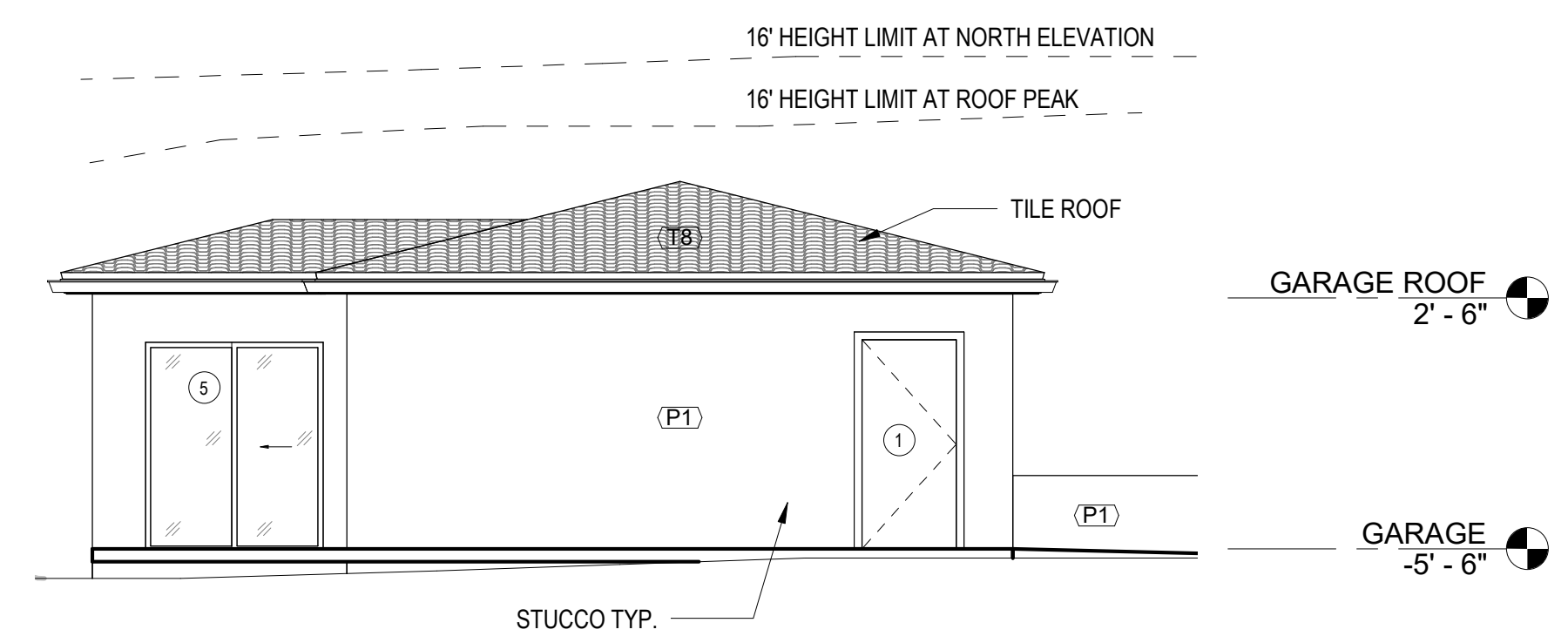
111 MARINA BLVD.
SAN RAFAEL, CA 94901

OWNER
MELISSA & JOSEF BERTA
111 MARINA BLVD.
SAN RAFAEL, CA 94901

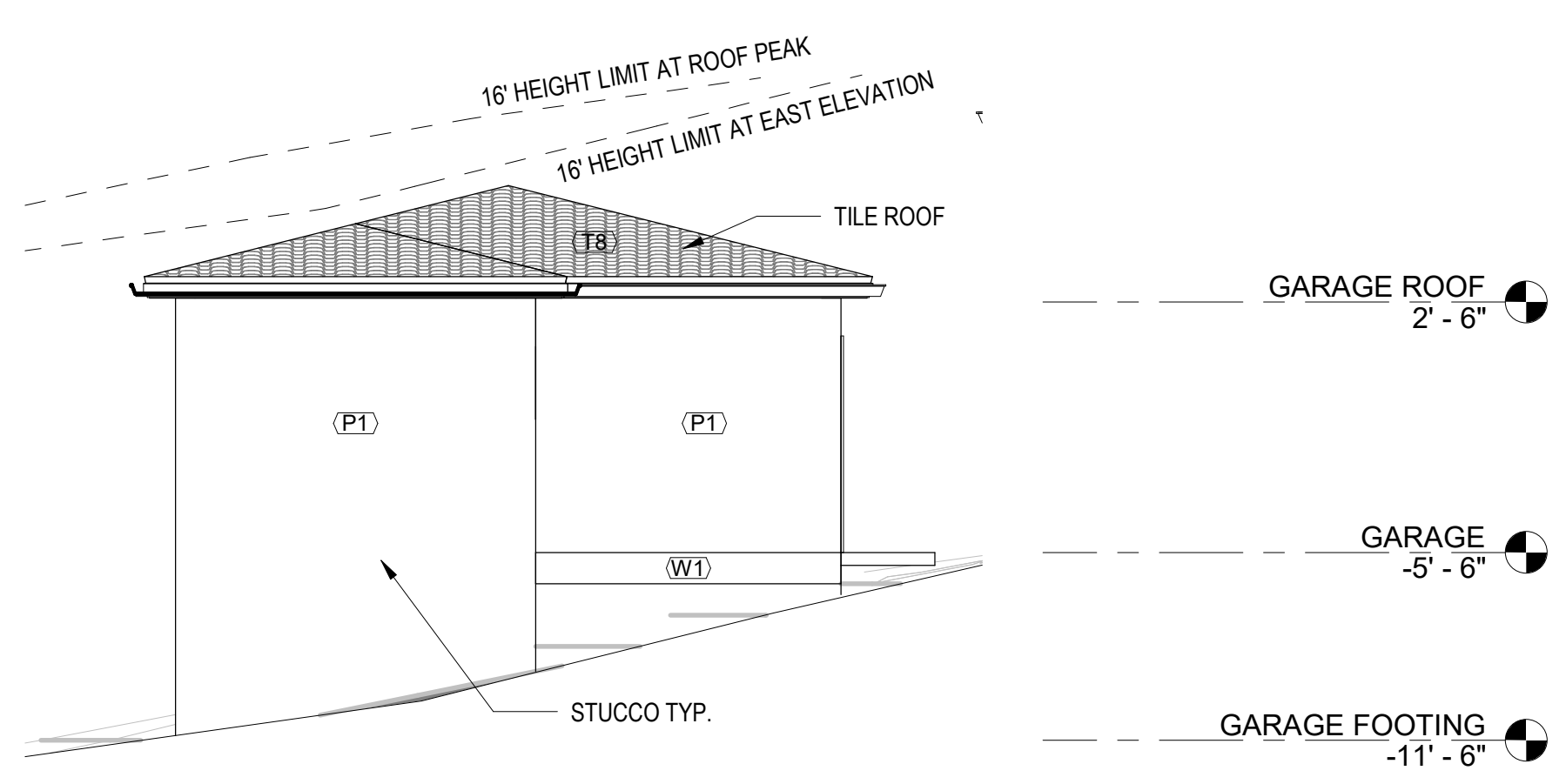
ARCHITECT
OGLE DESIGN
1900 ARROWHEAD DR
OAKLAND, CA 94611
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM



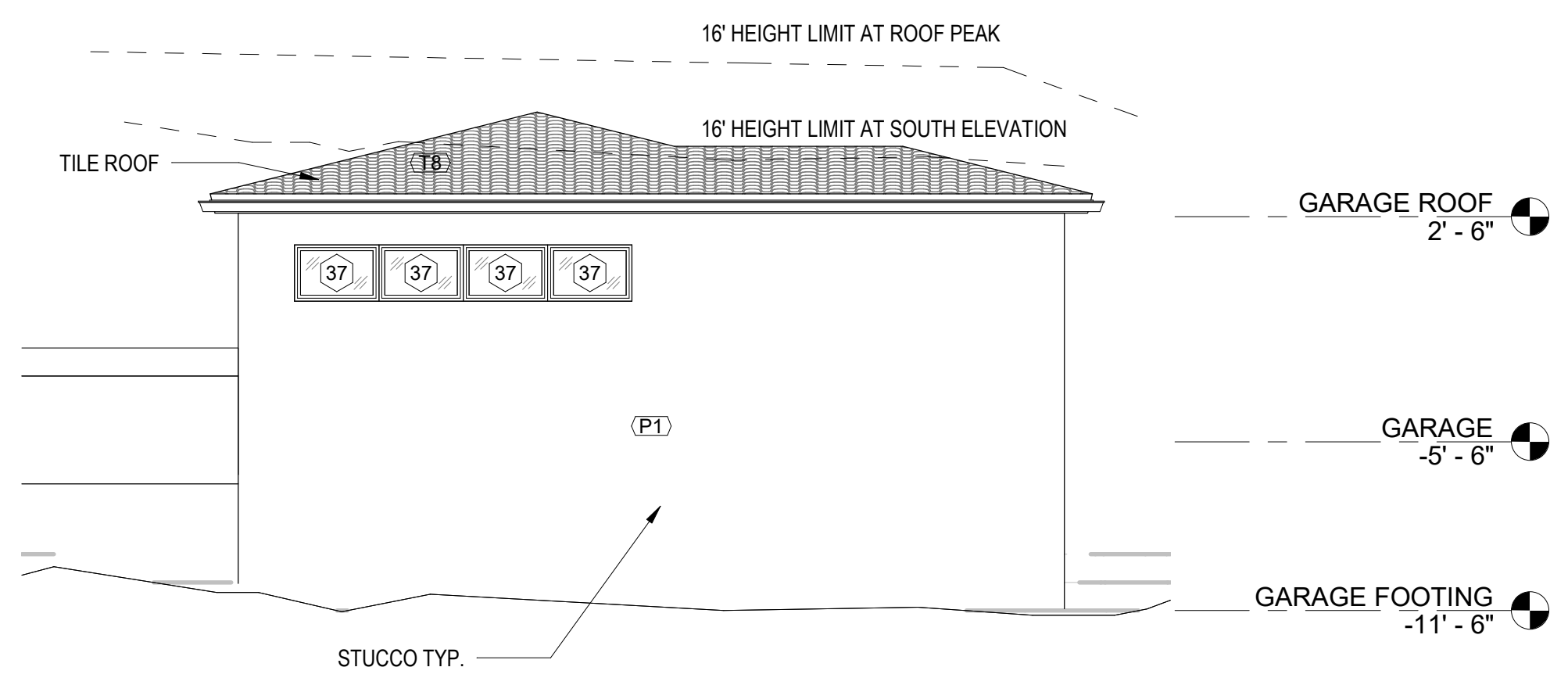
7 GARAGE WEST ELEVATION
3/16" = 1'-0"



8 GARAGE NORTH ELEVATION
3/16" = 1'-0"

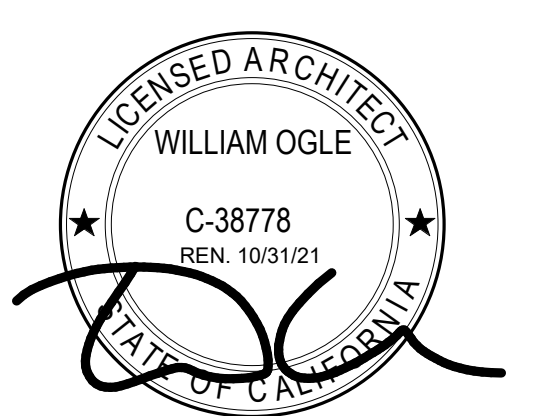


5 GARAGE EAST ELEVATION
3/16" = 1'-0"



6 GARAGE SOUTH ELEVATION
3/16" = 1'-0"

No.	Description	Date



SCALE 3/16" = 1'-0"

(N) GARAGE ELEVATIONS
& SECTIONS

A2.3

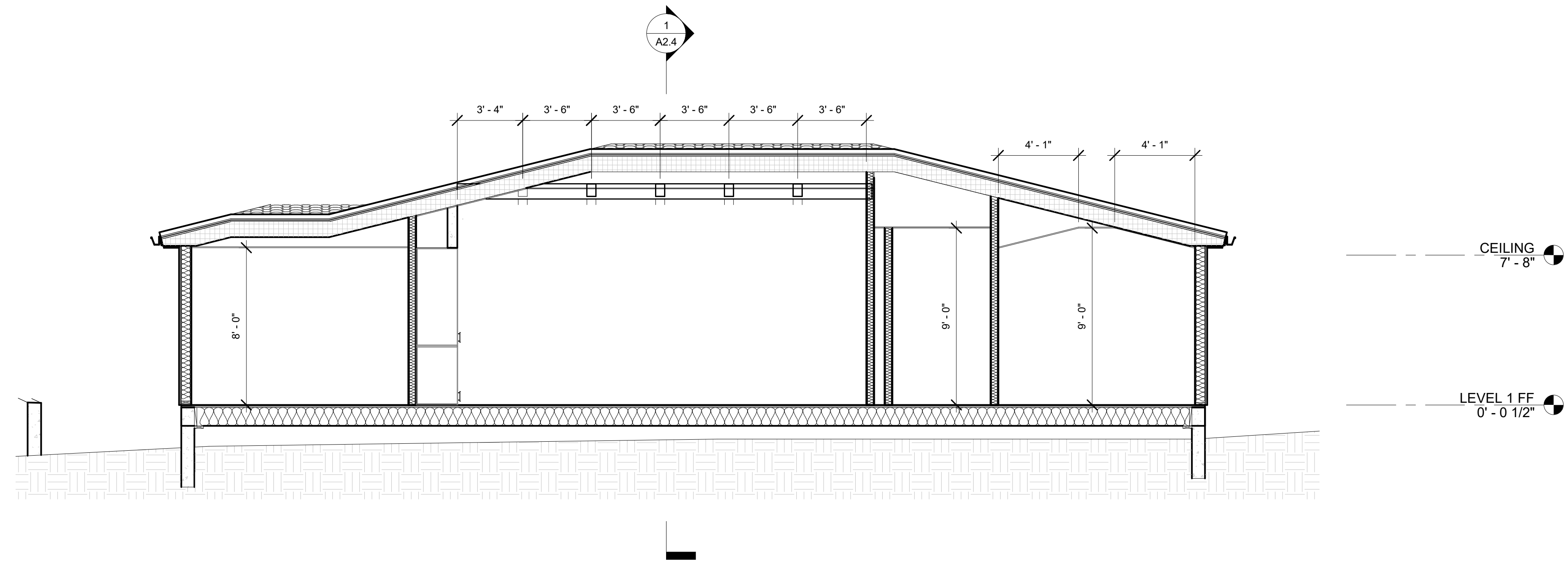


PROJECT

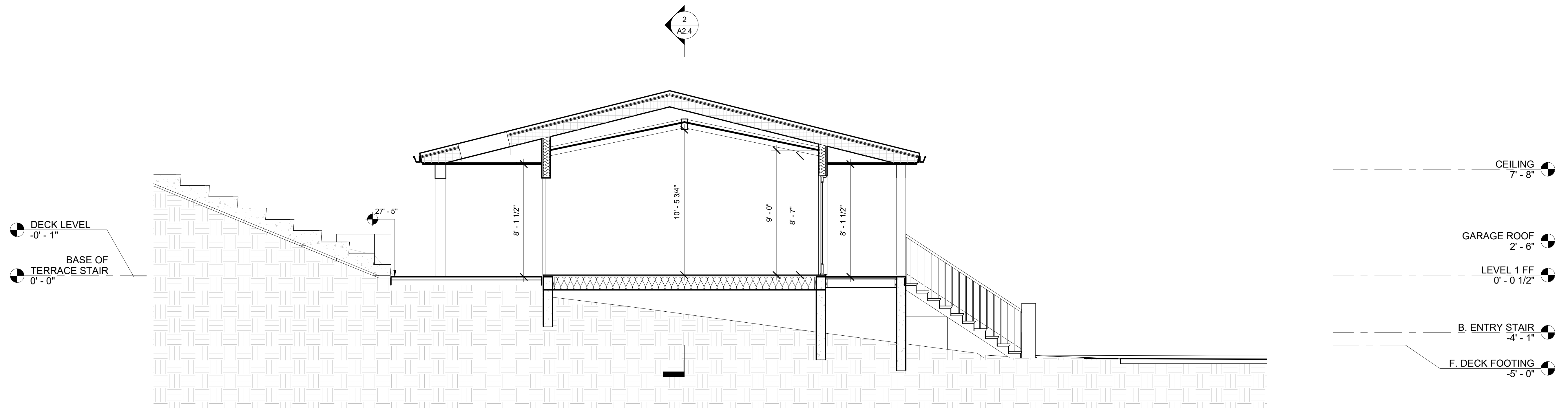
111 MARINA BLVD.
SAN RAFAEL, CA 94901

OWNER
MELISSA & JOSEF BERTA
111 MARINA BLVD.
SAN RAFAEL, CA 94901

ARCHITECT
OGLE DESIGN
1900 ARROWHEAD DR
OAKLAND, CA 94611
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM

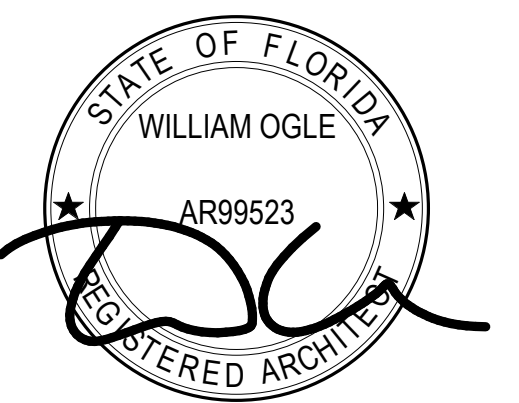


2 (N) TRANSVERSE SECTION
1/4" = 1'-0"



1 (N) CROSS SECTION
1/4" = 1'-0"

No.	Description	Date



SCALE 1/4" = 1'-0"

(N) SECTION

A2.4

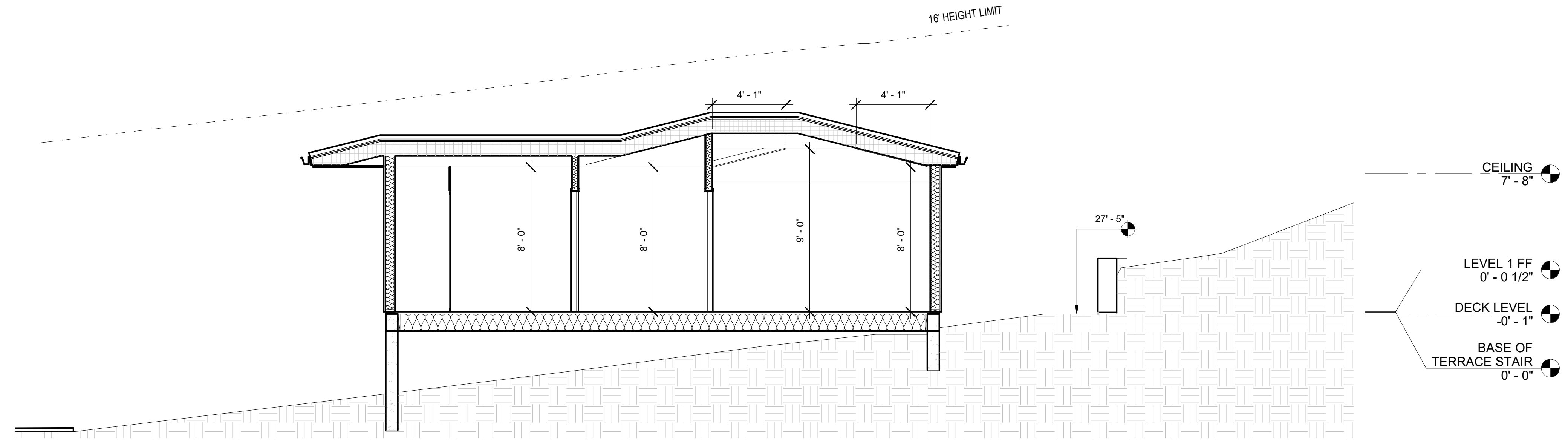


PROJECT

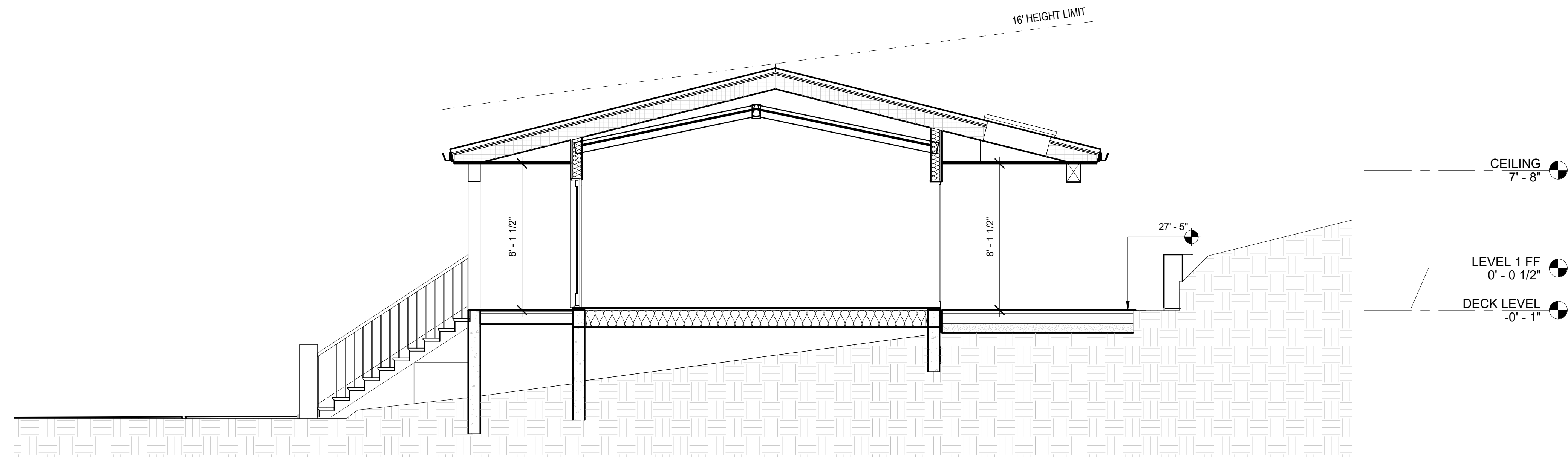
111 MARINA BLVD.
SAN RAFAEL, CA 94901

OWNER
MELISSA & JOSEF BERTA
111 MARINA BLVD.
SAN RAFAEL, CA 94901

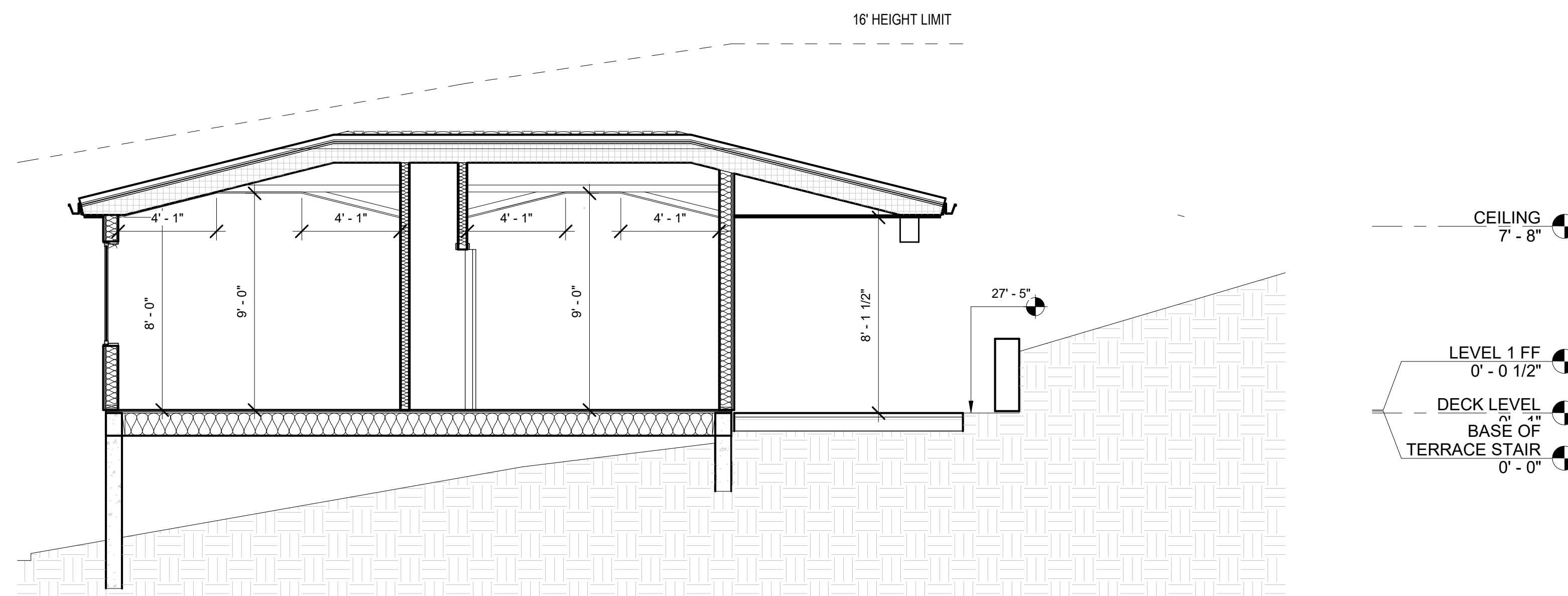
ARCHITECT
OGLE DESIGN
1900 ARROWHEAD DR
OAKLAND, CA 94611
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM



③ (N) MASTER BEDROOM SECTION
1/4" = 1'-0"

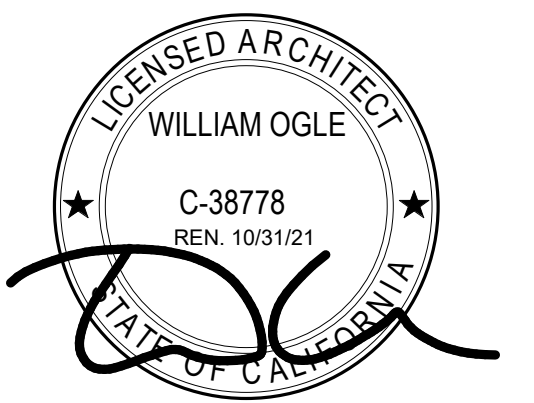


② (N) PRIMARY CROSS SECTION
1/4" = 1'-0"



① (N) BEDROOM SECTION
1/4" = 1'-0"

No.	Description	Date



SCALE 1/4" = 1'-0"

(N) SECTIONS CONT.

A2.5

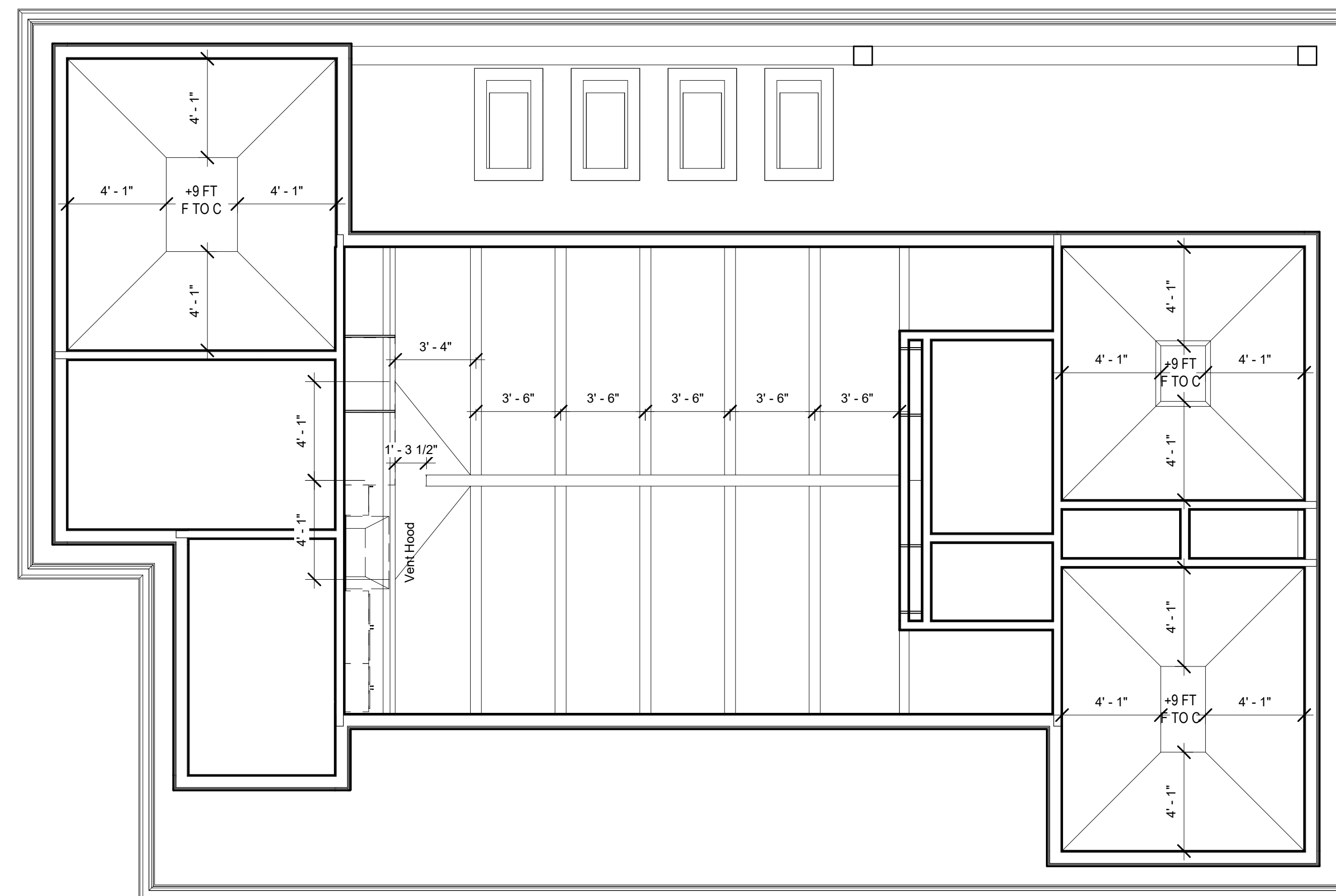


PROJECT

111 MARINA BLVD.
SAN RAFAEL, CA 94901

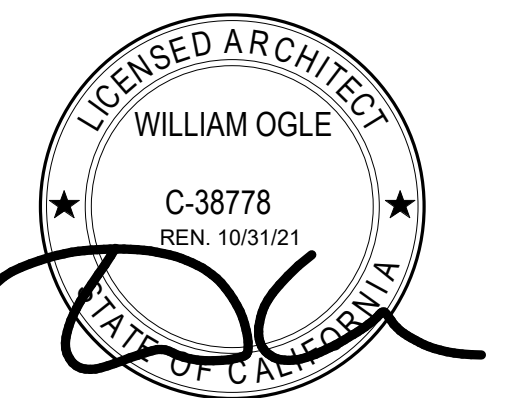
OWNER
MELISSA & JOSEF BERTA
111 MARINA BLVD.
SAN RAFAEL, CA 94901

ARCHITECT
OGLE DESIGN
1900 ARROWHEAD DR
OAKLAND, CA 94611
P. 415 378 3016
WILLIAM@OGLEDESIGNS.COM



① LEVEL 1 FF
1/4" = 1'-0"

No.	Description	Date



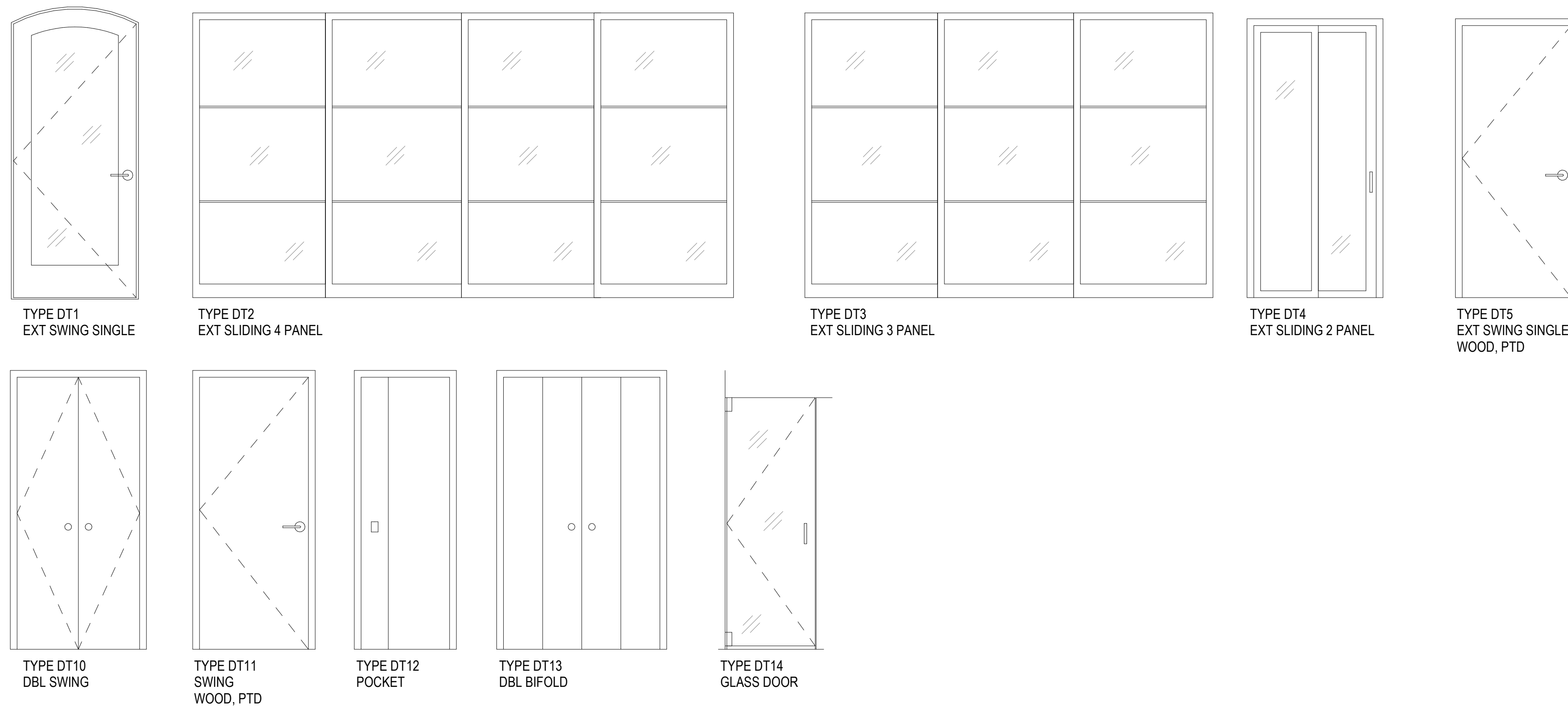
SCALE 1/4" = 1'-0"

(N) RCP

A2.6

DOOR TYPES

NOTE: SEE SCHEDULE FOR ALL TYPES IN PROJECT, DIMENSIONS, MATERIALS, FINISHES, AND HARDWARE.



NOTE: OVERSIZED DOOR DIMENSIONS ARE SOMETIMES MEASURED TO OUTSIDE OF FRAME DIMENSIONS (MAINTAIN MIN 80" CLR PASSAGE). COORDINATE & VERIFY PRIOR TO ORDER WITH ARCHITECT. ALL DOORS MUST BE VERIFIED TO MEET REQUIREMENTS OF ENERGY REPORT PRIOR TO ORDER. VERIFY DOOR SPECIFICATIONS ARE COMPATIBLE WITH DOOR DETAILS IN SET.

WINDOW TYPES

NOTE: SEE SCHEDULE FOR ALL TYPES IN PROJECT, DIMENSIONS, MATERIALS, FINISHES, AND HARDWARE.



NOTE: ALL WINDOWS MUST BE VERIFIED TO MEET REQUIREMENTS OF ENERGY REPORT PRIOR TO ORDER. VERIFY WINDOW SPECIFICATIONS ARE COMPATIBLE WITH WINDOW DETAILS IN SET.

DOOR SCHEDULE

#	ITEM	TYPE	COUNT	WIDTH	HEIGHT	THICK	PANEL MAT	PANEL FIN	FRAME MAT	FRAME FIN	COMMENTS
1	EXT SWING SINGLE FLUSH	DT1	1	3'-0"	6'-8"	1 3/4"	SOLID CORE	PTD	WOOD	PTD	
1	EXT-ENTRY-SWING	DT1	1	3'-1 7/16"	7'-2"	1 3/4"	SOLID CORE	PTD	WOOD	PTD	
2	EXT SLIDING 4 PANEL	DT2	1	20'-0"	7'-0"	1'-0"	GLASS	PTD	WOOD	PTD	
4	EXT SLIDING 2 PANEL	DT4	1	8'-0"	7'-0"	2"	GLASS	PTD	WOOD	PTD	
5	EXT SLIDING 2 PANEL	DT5	1	5'-8"	6'-8"	2"	SOLID CORE	PTD	WOOD	PTD	
6	EXT SWING SINGLE FLUSH	DT6	1	2'-6"	5'-0"	2"	SOLID CORE	PTD	WOOD	PTD	
10	SWING DOUBLE FLUSH	DT10	1	3'-10"	6'-8"	1 1/2"	SOLID CORE	PTD	WOOD	PTD	
11	SWING SINGLE FLUSH	DT11	1	2'-4"	6'-8"	1 3/8"	SOLID CORE	PTD	WOOD	PTD	
12	SWING SINGLE FLUSH	DT11	3	2'-8"	6'-8"	1 3/8"	SOLID CORE	PTD	WOOD	PTD	
13	POCKET	DT12	2	2'-8"	6'-8"	1 3/4"	SOLID CORE	PTD	WOOD	PTD	
14	BIFOLD	DT13	2	4'-0"	6'-8"	1 3/8"	SOLID CORE	PTD	WOOD	PTD	
15	SWING SHOWER	DT14	1	2'-6"	6'-8"	1/2"	GLASS	PTD	WOOD	PTD	
20	OVERHEAD SECTIONAL	DT15	2	8'-0"	7'-0"	1 1/2"	SOLID CORE	PTD	WOOD	PTD	

WINDOW SCHEDULE

#	ITEM	TYPE	SIZE	COUNT	SILL HT	COMMENTS
3	CASEMENT	WT1	52" x 52"	1	2'-8"	
4	CASEMENT	WT1	36" x 52"	4	2'-8"	
5	CASEMENT	WT1	30" x 52"	3	2'-8"	
6	CASEMENT	WT1	36" x 44"	1	3'-4"	
8	CASEMENT	WT1	30" x 24"	1	5'-0"	
10	SKYLIGHT FLAT	WT10	24" x 48"	4		
37	FIXED	B2020100	36" x 24"	4	5'-0"	

DOOR HARDWARE SCHEDULE

KEY	TYPE	LOCKSET	CLOSER	HINGES	SILENCER	KICKPLATE	COMMENTS	PROVIDED BY OWNER
A	Swing	Privacy	No	4"x4" Sq. Corners	No	No	Emtek Hardware in Flat Black. Add Deadbolt for exterior doors. Use self-closing spring hinge for garage doors.	Yes
B	Swing	Passage	No	If Single Door 3-1/2"x3-1/2"	No	No	Emtek Hardware in Flat Black. 1-1/4" Cadet Knob when bifold or door leaf less than 28" else Stuttgart/Disk Rossette	Yes
C	Folding/Sliding	Passage	No	N/A	No	No	Emtek Hardware in Flat Black. or by manufacturer if integral with door	Yes
D	Pocket	Privacy	No	N/A	No	No	Emtek Hardware in Flat Black.	Yes
E	Swing	Dummy	No	CRL Glass Hinges	No	No	CRL 6in Tubular 3/4in Diameter, Finish TBD.	Yes
F	Swing	Entry	No	TBD	No	No	TBD	Yes
G	Folding/Sliding	Entry	No	TBD	No	No	TBD	Yes

GENERAL NOTE:
ALL (N) OR RE-USED PLUMBING FIXTURES, LIGHTING, EQUIPMENT, HARDWARE, DOORS, CASEWORK, FINISHES AND WINDOWS SHOWN IN THIS DOCUMENT SET INCLUDING THOSE LISTED AS PROVIDED BY OWNER IN THIS SCHEDULE TO BE COORDINATED & INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED. ANY ADDITIONAL ELEMENTS REQUIRED TO COMPLETE INSTALLATION IN FULL OF THE SCHEDULED ELEMENTS TO BE PROVIDED BY CONTRACTOR AND APPROVED BY OWNER. SCHEDULED ELEMENTS ARE A MINIMUM TO COMPLETE THE WORK TO A FINISHED STANDARD.

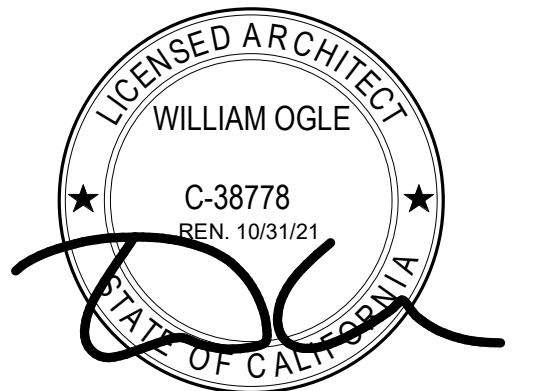
PROJECT

111 MARINA BLVD.
SAN RAFAEL, CA 94901

OWNER
MELISSA & JOSEF BERTA
111 MARINA BLVD.
SAN RAFAEL, CA 94901

ARCHITECT & DESIGNER
OGLE DESIGN
4236 MLK JR WAY
OAKLAND, CA 94609
P. 415 378 3016

No.	Description	Date
1	PRELIMINARY REVIEW	5/14/2021



SCALE 1/2" = 1'-0"

(N) DOOR AND WINDOW SCHEDULES

A3