



183 SUNSET WAY MUIR BEACH

MICHAEL HEACOCK ARCHITECTS
ECOLOGICAL ARCHITECTURE + GREEN INTERIORS

129 Miller Ave., Suite 623 Mill Valley CA 94941
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GRONEMAN RESIDENCE
183 SUNSET WAY
MUIR BEACH, CA 94965

APN 199-235-66



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PLANNING REVIEW

Revision	Description	Date
PLANNING SUBMITTAL		12/07/2020
EHS SUBMITTAL		12/07/2020
PLANNING REVISION		02/17/2021

COVER SHEET

A000

Sheet

Scale: AS NOTED



VICINITY MAP

PROJECT DIRECTORY

Owners	Brett and Graham Groneman 183 Sunset Way Muir Beach, CA 94965 415.717.1505
Architect	Michael Heacock, Architect LEED AP CA License No. C32082 129 Miller Ave., Suite 623, Mill Valley CA 94941 415-845-5326 mh@MichaelHeacock.com
Surveyor	Meridian Surveying and Engineering Inc. 777 Grand Avenue #202 San Rafael, CA 94901 415.456.5450 nathan@meridiansurvey.com
Civil	Michael Tamoff Engineering 1442 A Walnut Street, #428 Berkeley CA 94709 415.279.5996 michael@tamoffengineering.com
Biological	Huffman-Broadway Group, Inc. 828 Mission Avenue San Rafael CA 94901 415.925.2009 gdeghi@b-hgroup.com
Geotechnical	Miller Pacific Engineering Group Mike Jewett 504 Redwood Blvd., Suite 220 Novato, CA 94947 415.382.3444 MJewett@millerpac.com
Septic	CSW/Stuber-Stroeh Engineering Group, Inc. Rich Souza 45 Leveroni Court Novato, CA 94949 415.883.9850 richs@csstw2.com

PROJECT DATA

APN:	199-235-66			
Lot Size:	18,372			SF
Zoning:	C-RA-B2			
WUJ:	YES			
Flood Zone:	A			
Construction Type:	VB			
Occupancy	R3			
Slope:	60%			
Area Calculations	Req./Allowed	Existing	Proposed	
House Upper Floor		0	1,000	SF
House Lower Floor		0	1,160	SF
Subtotal (conditioned)	5,511	0	2,160	SF
Garage	480	0	430.5	SF
Storage (unconditioned)		0	369	SF
Gross Floor Area	6,791	0	2,959.5	SF
Gross Floor Area Ratio	30%	0%	16%	
Setbacks	Req./Allowed	Existing	Proposed	
House (Front)	25'0"	NA	56'-6"	
House Side (East)	10'0"	NA	10'-0"	
House Side (West)	10'0"	NA	10'-0"	
Rear	20% of Lot Depth/25'0" Max	NA	105'-6"	
Garage (Front)	3'-0"	NA	3'-0"	
Garage Side (East)	3'-0"	NA	6'-1"	
Garage Side (West)	3'-0"	NA	7'-8"	
Environmental Health	50'0" from unstable land form			
	100'0" from water body			
CWP	100'0" from wetlands	NA		
CA Coastal Commission	Jurisdiction within 25' most seaward feet			
LCP	Within 150'0" from blufftop see Geological report			
Height:	25'0"	NA		SF
Cut			400	CY
Fill			5	CY
Import/Off-Haul			395	CY
Impervious		0	2,528	SF
Pervious		18,372	15,844	SF
On-Site Parking:	2	0	2	

PROJECT DESCRIPTION

NEW TWO STORY SINGLE FAMILY RESIDENCE AND DETACHED GARAGE

SEPARATE PERMIT ITEMS

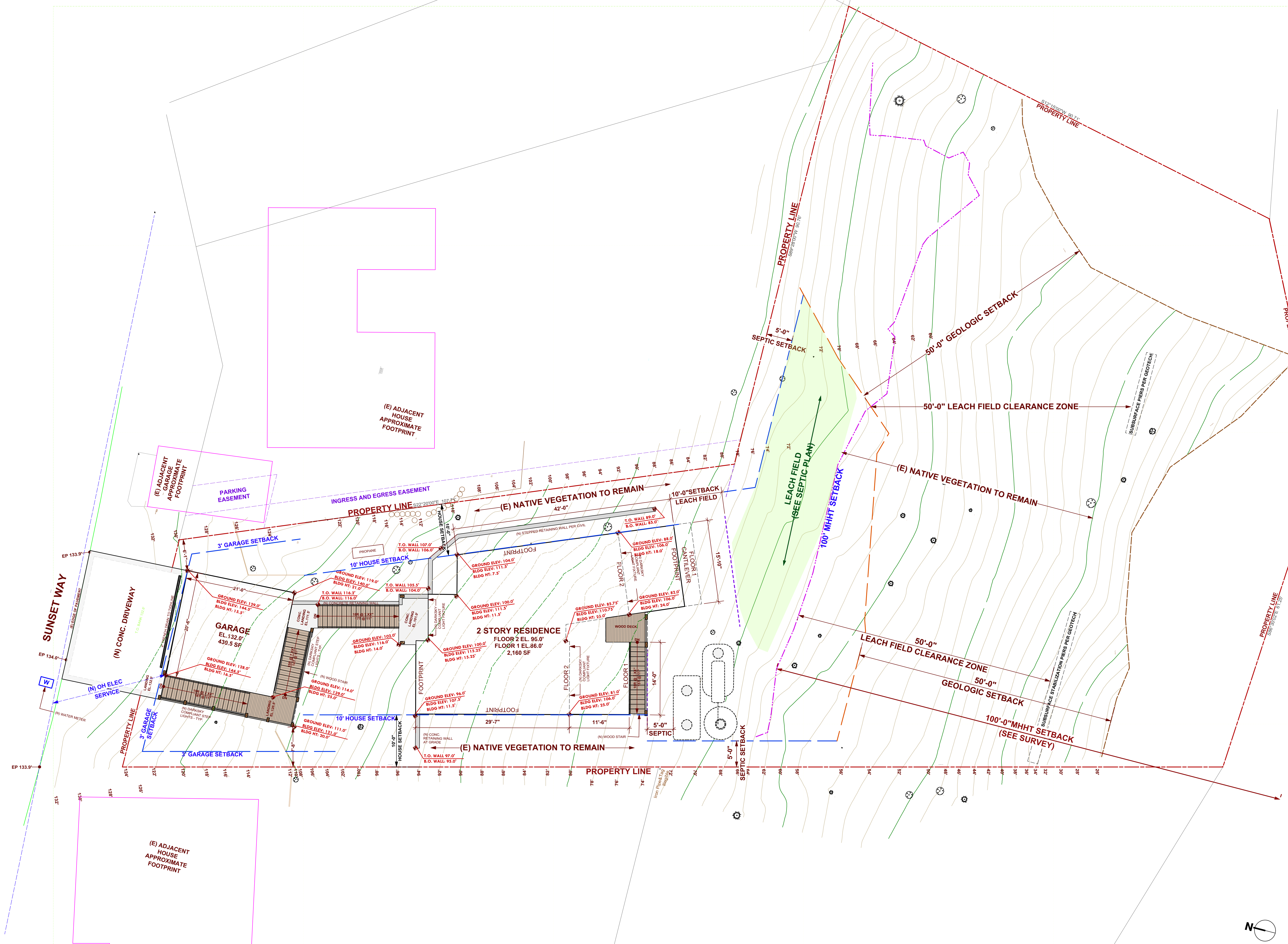
- SEPTIC SYSTEM
- ENCROACHMENT PERMIT - DRIVEWAY
- FIRE SPRINKLERS

BUILDING CODES

- 2019 CBC / CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALGREEN
- WILDLAND URBAN INTERFACE
- COUNTY OF MARIN MUNICIPAL CODE

SHEET INDEX

Architectural	
A000	Cover Sheet
	Survey
A001	Construction Management Plan
A100	Site Plan, Utility and Zoning
A101	Story Pole Plan
A200	Floor Plans
A300	Exterior Elevations
A400	Site Section
Civil	
C1	Design Review Title Sheet, Notes & Legend
C2	Design Review Grading & Drainage Plan
C3	Design Review Erosion Control Plan
L1	Landscape Plan
Septic	
SSP	Septic Feasibility Plan 11/18/2020



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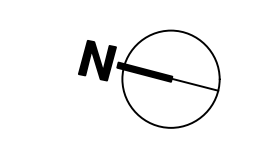
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PLANNING REVIEW

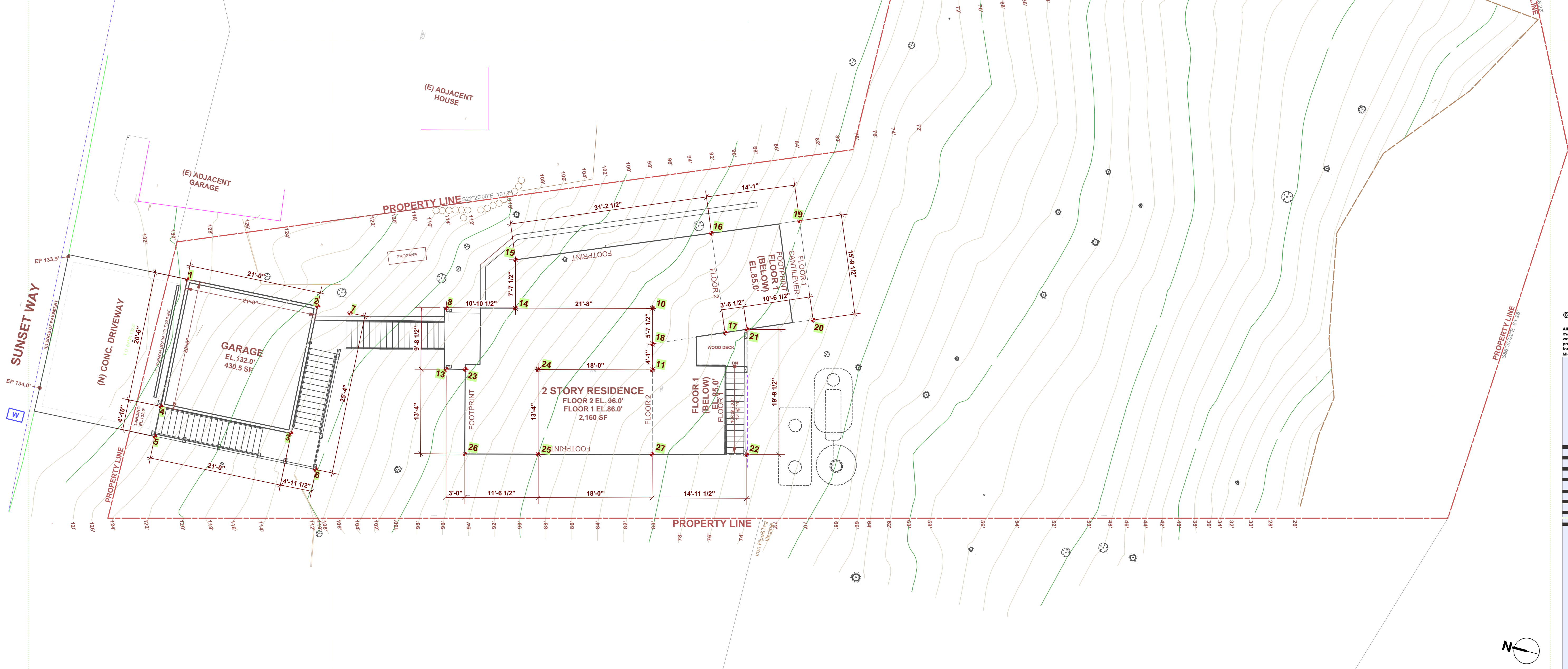
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SITE PLAN UTILITIES & MAX. HEIGHTS

Sheet **A100**
 Scale: 1/8" = 1'-0"



STOREY POLE PLAN						01/21/2021
	POLE NO.	LOCATION	BLDG. ELEV.	GRADE ELEV.	POLE HT.	MAX PER CODE
GARAGE	1	GARAGE	144.17'	129.60'	14.57'	25'-0"
	2	GARAGE	138.75'	119.00'	19.75'	25'-0"
	3	GARAGE	138.75'	113.75'	25.00'	25'-0"
	4	GARAGE	144.17'	127.25'	16.92'	25'-0"
STAR CANDY	4	STAIR	141.83'	127.25'	14.58'	25'-0"
	5	STAIR	141.83'	126.00'	15.83'	25'-0"
	6	STAIR	131.00'	110.00'	21.00'	25'-0"
	7	STAIR	131.00'	116.20'	14.80'	25'-0"
VOLUME 1	2	STAIR	133.08'	119.00'	14.08'	25'-0"
	8	ENTRY	117.06'	106.00'	11.06'	25'-0"
	9	NOT USED				25'-0"
	10	KITCHEN	113.00'	88.00'	25.00'	25'-0"
VOLUME 2	11	FAMILY ROOM	110.75'	85.75'	25.00'	25'-0"
	12	NOT USED				25'-0"
	13	ENTRY	117.06'	101.75'	15.31'	25'-0"
	14	PANTRY	111.68'	100.00'	11.68'	25'-0"
BACK DECK	15	CHASE	111.68'	104.50'	7.18'	25'-0"
	16	DINING	106.00'	88.20'	17.80'	25'-0"
	17	DINING	106.00'	81.00'	25.00'	25'-0"
	18	DINING	107.67'	86.50'	21.17'	25'-0"
VOLUME 3	16	BACK DECK	96.00'	88.20'	7.80'	25'-0"
	19	BACK DECK	96.00'	80.25'	15.75'	25'-0"
	20	BACK DECK	96.00'	75.60'	20.40'	25'-0"
	21	BACK DECK	96.00'	80.20'	15.80'	25'-0"
VOLUME 4	22	BACK DECK	96.00'	75.00'	21.00'	25'-0"
	27	BACK DECK	96.00'	81.00'	15.00'	25'-0"
	23	POWDER ROOM	110.00'	100.60'	9.40'	25'-0"
	24	FAMILY ROOM	110.00'	93.60'	16.40'	25'-0"
VOLUME 5	25	FAMILY ROOM	107.50'	90.00'	17.50'	25'-0"
	26	PLAY ROOM	107.50'	96.40'	11.10'	25'-0"
	25	FAMILY ROOM	106.00'	90.00'	16.00'	25'-0"
	24	FAMILY ROOM	108.50'	93.60'	14.90'	25'-0"
VOLUME 6	11	FAMILY ROOM	108.50'	85.75'	22.75'	25'-0"
	27	FAMILY ROOM	106.00'	81.00'	25.00'	25'-0"



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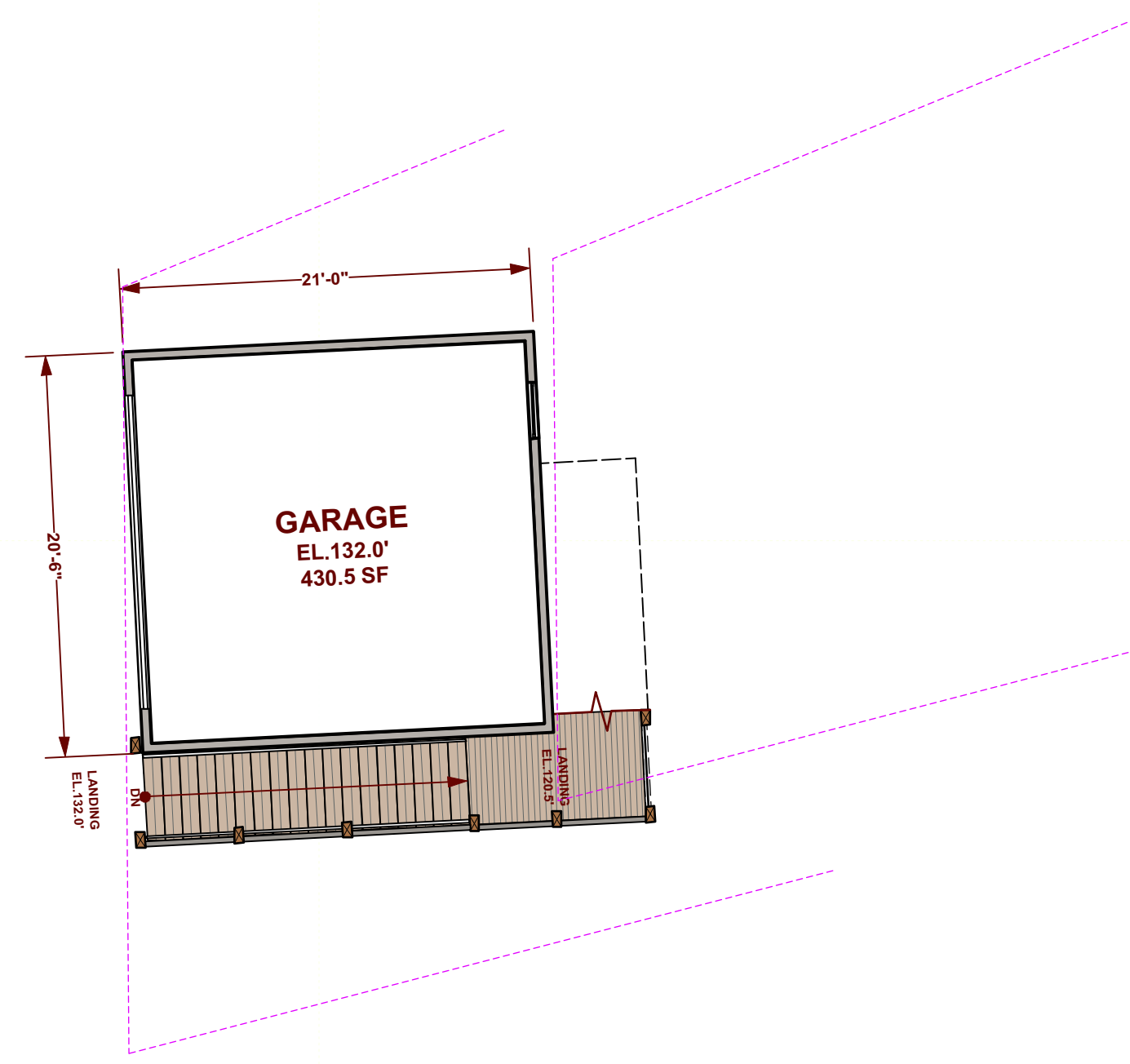


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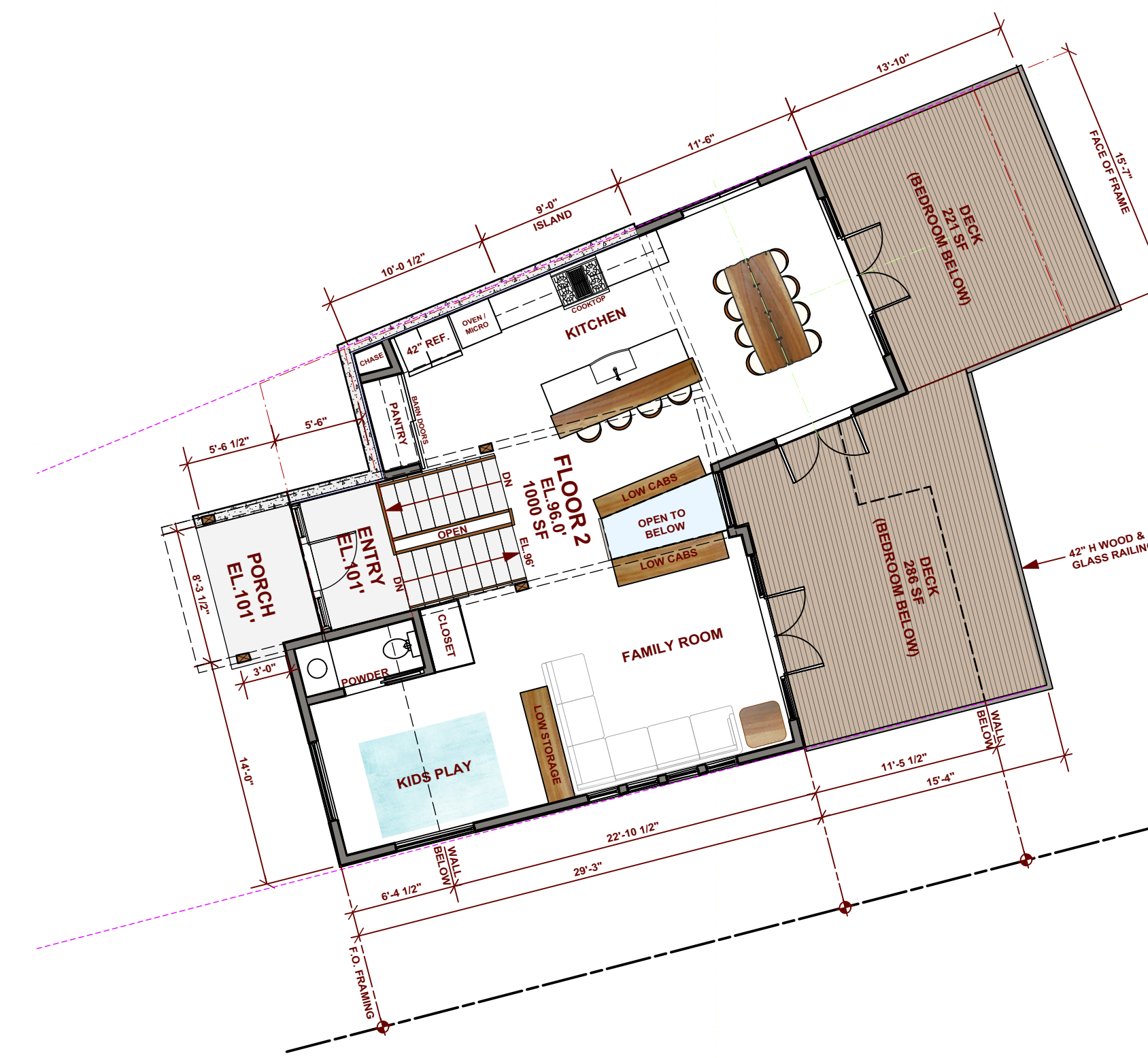
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STORY POLE PLAN



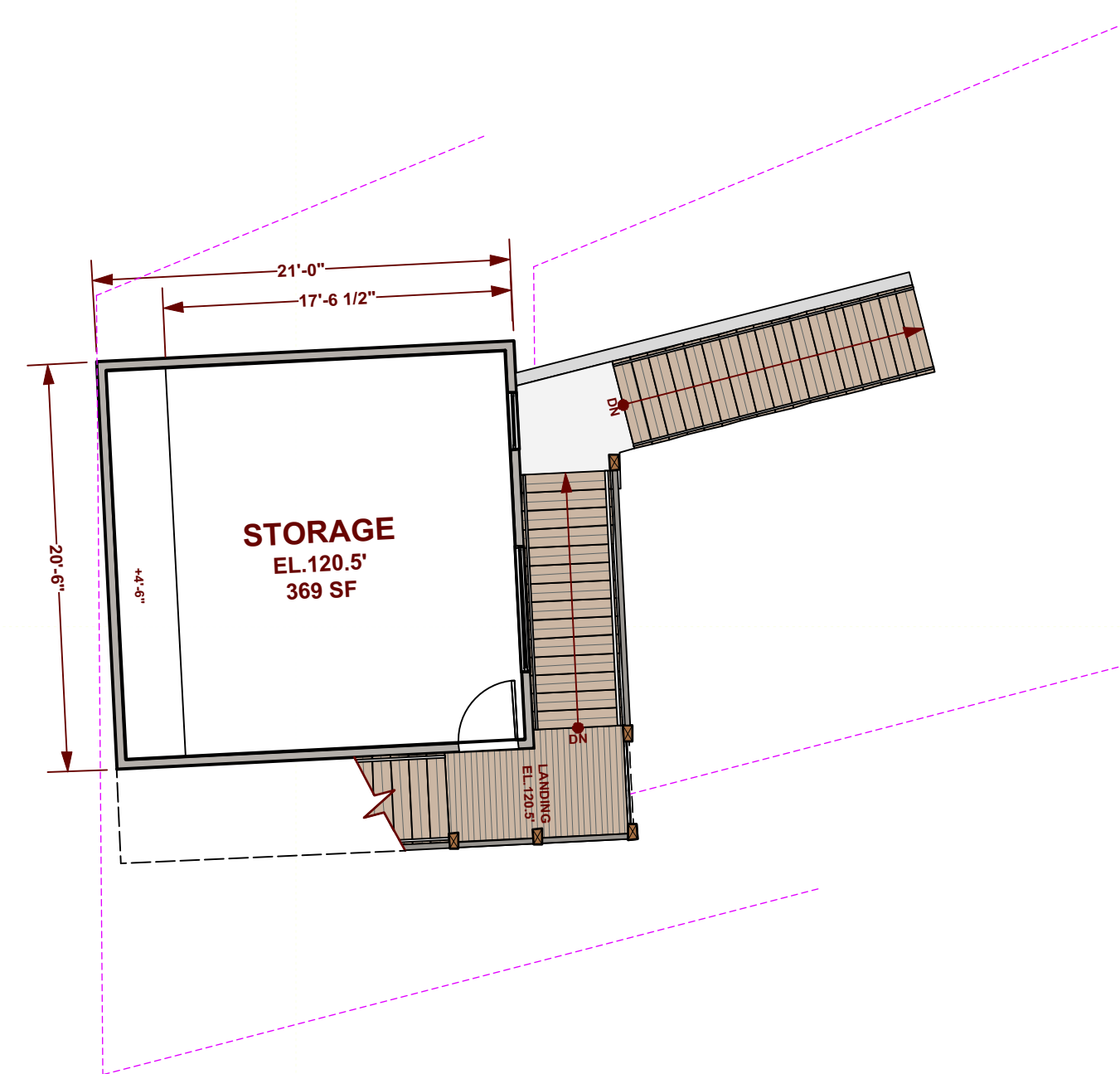
4 NEW GARAGE FLOOR PLAN

SCALE: 1/8" = 1'-0"



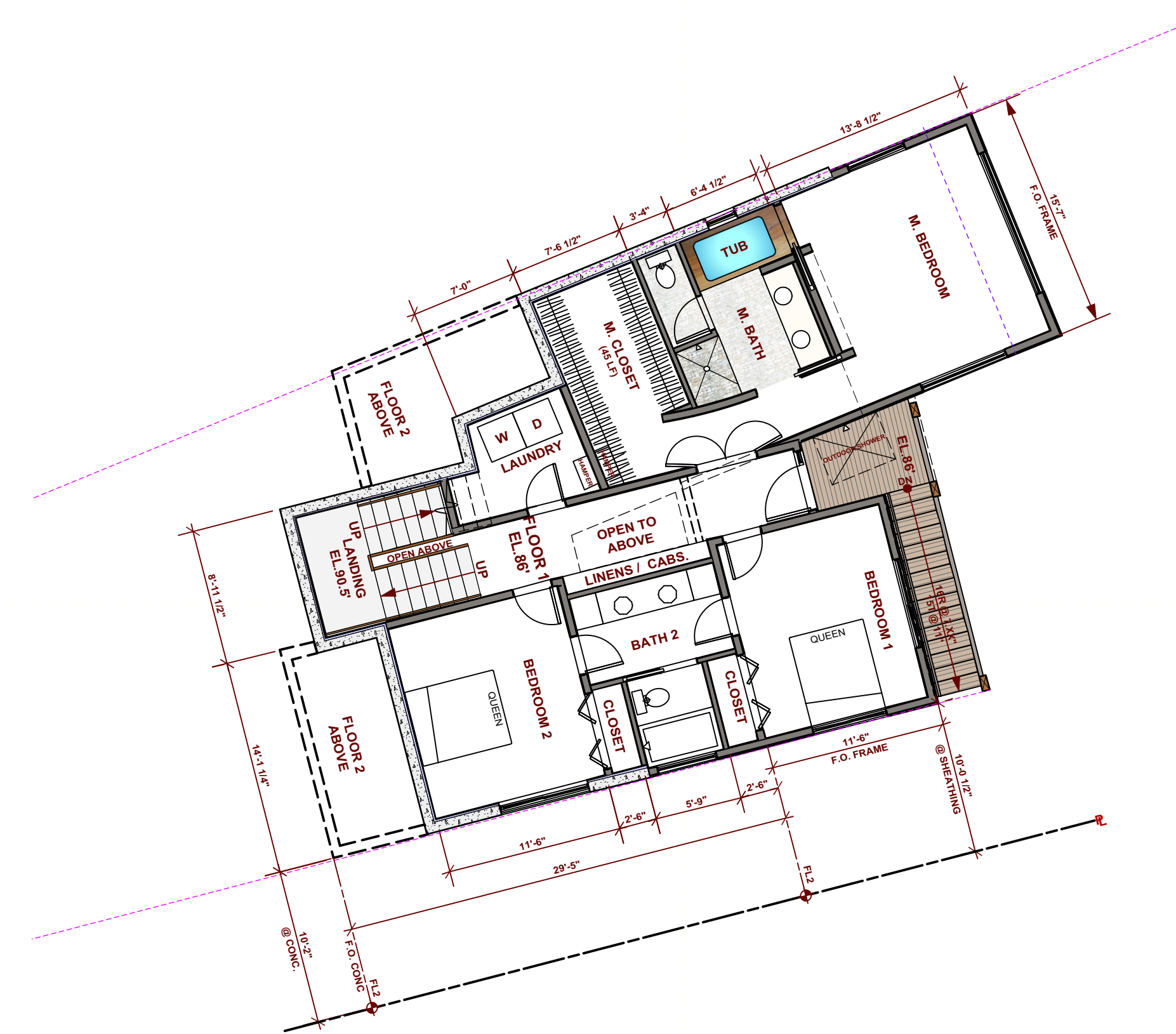
2 NEW UPPER FLOOR PLAN

SCALE: 1/8" = 1'-0"



3 NEW STORAGE FLOOR PLAN

SCALE: 1/8" = 1'-0"



1 NEW LOWER FLOOR PLAN

SCALE: 1/8" = 1'-0"

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FLOOR PLANS

Sheet **A200**

Scale: 1/8" = 1'-0"



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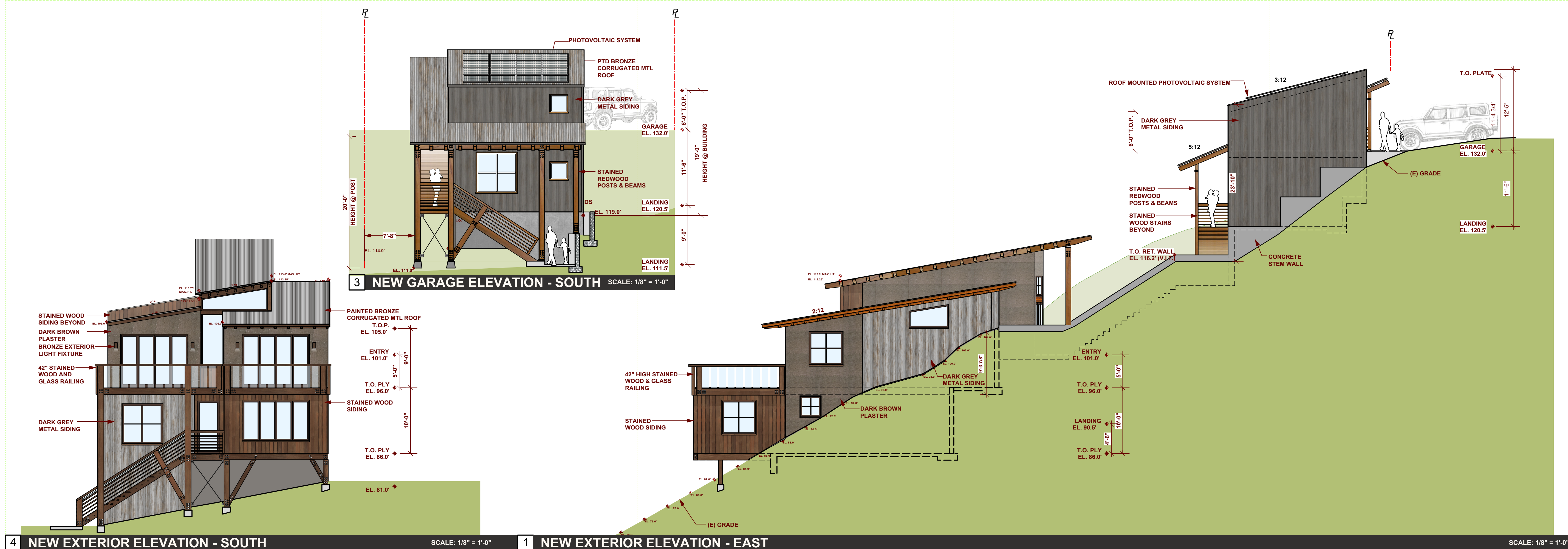
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EXTERIOR ELEVATIONS

Sheet **A300**

Scale: 1/8" = 1'-0"



3 NEW GARAGE ELEVATION - SOUTH SCALE: 1/8" = 1'-0"
4 NEW EXTERIOR ELEVATION - SOUTH SCALE: 1/8" = 1'-0"
1 NEW EXTERIOR ELEVATION - EAST SCALE: 1/8" = 1'-0"
5 NEW GARAGE ELEVATION - NORTH SCALE: 1/8" = 1'-0"
6 NEW EXTERIOR ELEVATION - NORTH SCALE: 1/8" = 1'-0"
2 NEW EXTERIOR ELEVATION - WEST SCALE: 1/8" = 1'-0"

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SITE SECTION

Sheet **A400**
 Scale: 1/8" = 1'-0"

