

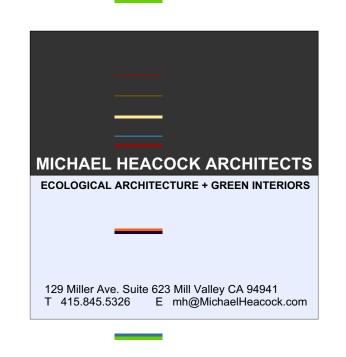




PROJECT	Γ DIRECTORY
Owners	Brett and Graham Groneman 183 Sunset Way Muir Beach, CA 94965 415.717.1505
Architect	Michael Heacock, Architect LEED AP CA License No. C32082 129 Miller Ave., Suite 623, Mill Valley CA 94941 415-845-5326 mh@MichaelHeacock.com
Surveyor	Meridian Surveying and Engineering Inc. 777 Grand Avenue #202 San Rafael, CA 94901 415.456.5450 nathan@meridiansurvey.com
Civil	Michael Tarnoff Engineering 1442 A Walnut Street, #428 Berkeley CA 94709 415.279.5996 michael@tarnoffengineering.com
Biological	Huffman-Broadway Group, Inc. 828 Mission Avenue San Rafael CA 94901 415.925.2009 gdeghi@b-hgroup.com
Geotechnical	Miller Pacific Engineering Group Mike Jewett 504 Redwood Blvd., Suite 220 Novato, CA 94947 415.382.3444 MJewett@millerpac.com
Septic	CSW/Stuber-Stroeh Engineering Group, Inc. Rich Souza 45 Leveroni Court Novato, CA 94949 415.883.9850 richs@cswst2.com

	100.005.00		
APN:	199-235-66		
Lot Size:	18,372		
Zoning:	C-RA-B2		
WUI:	YES		
Flood Zone:	A		
Construction Type:	VB		
Occupancy	R3		
Slope:	60%		
Area Calculations	Req./Allowed	Existing	Propose
House Upper Floor		0	1,00
House Lower Floor		0	1,16
Subtotal (conditioned)	5,511	0	2,16
Garage	480	0	430.
Storage (unconditioned)		0	36
Gross Floor Area	6,791	0	2,959.
Gross Floor Area Ratio	30%	0%	169
Setbacks	Req./Allowed	Existing	Propose
House (Front)	25'0"	NA	56'-6
House Side (East)	10'0"	NA	10'-0
House Side (West)	10'0"	NA	10'-0
Rear	20% of Lot Depth/25'0" Max	NA	105'-6
Garage (Front)	3'-0"	NA	3'-0
Garage Side (East)	3'-0"	NA	6'
Garage Side (West)	3'-0"	NA	7'-8
Environmental Health	50'0" from unstable land form		
	100'0" from water body		
CWP	100'0" from wetlands	NA	
CA Coastal Commision	Jurisdiction within 25' most seaward	feet	
LCP	Within 150'0" from from blufftop see		
Height:	25'0"	NA	
Cut			40
Fill			-
Import/Off-Haul			39
Impervious		0	2,52
Pervious		18,372	15,84
On-Site Parking:	2	0	

		TORY SINGLE FAMILY RESIDENCE AND DETACHED GARAGE	
SF.	SEDA	RATE PERMIT ITEMS	
-1			
7	SEPTIC SYS		
		HMENT PERMIT - DRIVEWAY	
-	FIRE SPRIN	ILDING CODES	
4			
		BC / CALIFORNIA RESIDENTIAL CODE	
F		ALIFORNIA ELECTRICAL CODE	
F F		ALIFORNIA PLUMBING CODE	
F F		ALIFORNIA MECHANICAL CODE	
F		ALIFORNIA ENERGY CODE	
F	2019 C	ALGREEN	
	WILDLA	AND URBAN INTERFACE	
-	COUNT	Y OF MARIN MUNICIPAL CODE	
-1	SHEE.	T INDEX	
-1		.	
	Architectu		
	A000	Cover Sheet	
		Survey	
_	A001	Construction Management Plan	
_	A100	Site Plan, Utility and Zoning	
-	A101	Story Pole Plan	
1	A200	Floor Plans	
	A300	Exterior Elevations	
	A400	Site Section	
4	Civil		
F	C1	Design Review Title Sheet, Notes & Legend	
Υ	C2	Design Review Grading & Drainage Plan	
Ϋ́	C3	Design Review Errosion Control Plan	
Y	L1	Landscape Plan	
F	Septic		
F	SSP	Septic Feasibility Plan 11/18/2020	
	1001		



GRONEMAN RESIDENCE 183 SUNSET WAY MUIR BEACH, CA 94965

APN 199-235-66



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PLANNING REVIEW

Revision Description	Date
PLANNING SUBMITTAL	12/07/2020
EHS SUBMITTAL	12/07/2020
PLANNING REVISION	02/17/2021

COVER SHEET

A000

AS NOTED

415-845-5326

MAXIMUM 3 CONSTRUCTION **VEHICLES SHALL BE PARKED ALONG SUNSET WAY AT ANY TIME** ADDITIONAL VEHICLES SHALL PARK ALONG FRANK VALLEY ROAD AND SHALL BE SHUTTLED TO/FROM THE JOB SITE. SUNSET WAY ADJACENT HOME AT 181 SUNSET IS **OWNER'S PARENTS. ADDITIONAL** 181 SUNSET STORAGE & STAGING, INCLUDING ADJACENT PARKING, IS AVAILABLE AT GARAGE **ADJACENT GARAGE AS NEEDED** TEMPORARY I STORAGE & ! STAGING AREA -PORTABLE TOILET AND **TEMPORARY POWER, VERIFY FINAL** LOCATION WITH OWNER ON SITE -PATH FOR EXCAVATOR DURING CONSTRUCTION, FINAL LOCATION TBD BY OWNER **TEMPORARY SOIL-STAGING AREA WITH** SEE CIVIL FOR EROSION **EROSION CONTROL CONTROL & DRAINAGE, TYP.** PER CIVIL PROTECT (E) TREES TO REMAIN **DURING CONSTRUCTION, TYP.** _____ TEMPORARY SOIL STAGING AREA WITH EROSION **CONTROL PER CIVIL** SEE CIVIL FOR EROSION **CONTROL & DRAINAGE, TYP.**

CONSTRUCTION TRAFFIC / TRUCK ROUTE



N FROM US101
TO 183 SUNSET AVE,
MUIR BEACH, CA 94965

1. FROM US-101 TAKE EXIT 445B TO CA-1 n
TOWARDS MILL VALLEY/STINSON BEACH
2. TURN LEFT TO STAY ON CA-1 n
3. TAKE A SLIGHT LEFT ONTO SUNSET WAY

FROM 183 SUNSET AVE, MUIR BEACH, CA 94965 TO US101

1. HEAD EAST ON SUNSET WAY TOWARD MUIR BEACH
COMMUNITY TRAIL
2. SLIGHT RIGHT ONTO CA-1 S
3. TURN RIGHT TO STAY ON CA-1 S
4. MERGE ONTO CA-1 S

CONSTRUCTION WASTE MANAGEMENT PLAN

- 1. The Contractor shall investigate and document local options for diversion (recycling, reuse) of all anticipated major constituents of the project waste stream, including cardboard packaging and household recyclables (beverage containers).
- 2. The Contractor shall document the diversion rate for construction waste. Record the diversion rate for land clearing and/or demolition, if applicable, separately from the rate for the new construction of the project.
- 3. The Contractor shall reduce or divert from landfills and incineration waste generated from new construction by a minimum of 75% as measured by weight or volume.

WASTE DIVERSION/LANDFILL LOG

Report Period: _____ to ____

Material/Item	Quantity (lbs)	Reused, Salvaged, Recycled, or Disposed	Destination	Date	Notes
	1				

CONSTRUCTION MANAGEMENT PLAN

CMP SIGNAGE:

PROVIDE A 24" X 36" WEATHERPROOF SIGN AT THE JOB SITE LOCATED SO AS TO BE CLEARLY READABLE FROM THE PUBLIC RIGHT-OF-WAY.

PRE-CONSTRUCTION MEETING:

A PRE-CONSTRUCTION MEETING SHALL BE REQUIRED PRIOR TO THE START OF ANY SITE WORK AND/OR THE ISSUANCE OF A BUILDING OR GRADING PERMIT. SCHEDULING THE MEETING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. REQUIRED ATTENDANCE SHALL BE COUNTY STAFF, THE PROPERTY OWNER, GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS. THE PURPOSE OF THE MEETING WILL BE TO REVIEW THE CMP AND ALL OTHER CONSTRUCTION MANAGEMENT REQUIREMENTS. THE REQUIRED CMP SIGN SHALL BE AVAILABLE FOR REVIEW BY THE COUNTY AT THE PRE-CONSTRUCTION MEETING.

CONSTRUCTION HOURS:

7 AM TO 6 PM MONDAY THROUGH FRIDAY, AND 9 AM TO 5 PM ON SATURDAYS, CONSTRUCTION WORK IS NOT ALLOWED ON SUNDAYS AND HOLIDAYS. LOUD NOISE-GENERATING CONSTRUCTION-RELATED EQUIPMENT CAN BE MAINTAINED, OPERATED, OR SERVICED 8AM-5PM WEEKDAYS ONLY

DELIVERIES AND OFF-HAUL

(INCLUDING EQUIPMENT, MATERIALS, REMOVAL OF SOIL, REFUSE OR DEMOLITION DEBRIS) FOR SITES IN IMPACTED NEIGHBORHOODS IS LIMITED TO WEEKDAYS BETWEEN THE HOURS OF 9:30AM AND 3:00PM. ALL DRIVERS SHALL BE ADVISED OF THE DESIGNATED PROJECT TRUCK ROUTE, INCLUDING APPROVED TURNAROUND LOCATIONS, PRIOR TO ANY DELIVERIES OR MATERIAL REMOVAL.

ROAD AND OR LANE CLOSURES:

ROAD CLOSURES SHALL ONLY BE PERMITTED BY THE DEPARTMENT OF PUBLIC WORKS (DPW). APPLICANTS SHALL APPLY TO DPW WELL ENOUGH IN ADVANCE TO PROCESS THE REQUEST. APPLICANT SHALL PROVIDE SIGNAGE A MINIMUM OF 48 HOURS NOTICE IN ADVANCE OF THE PROPOSED DATE. COPIES OF THESE PERMITS MUST BE MAINTAINED AT THE JOB SITE FOR THE DURATION OF THE CLOSURE. NOTICE SHALL INCLUDE DATE(S) AND DURATION OF PROPOSED CLOSURE, THE TRAFFIC CONTROL PLAN, AS WELL AS ANY DETOURS THAT MAY BE AVAILABLE. EVIDENCE OF SUCH WRITTEN NOTIFICATION TO AFFECTED RESIDENTS AND PROPERTY OWNERS SHALL BE PROVIDED TO DPW.

WORKER AUTO PARKING SPACE LOCATIONS/CONSTRUCTION PARKING:
ALL WORKER VEHICLES MUST BE PARKED AT TO JOB SITE OR CARPOOL. IDENTIFY ALL
OFF-SITE WORKER PARKING LOCATIONS, AND CARPOOL PICK-UP AND DROP-OFF LOCATIONS.
VEHICLE PARKING IN THE PUBLIC RIGHT-OF-WAY AT OR NEAR THE JOB WORK SITE WILL
REQUIRE A PARKING PLACARD FROM

ENFORCEMENT

IT SHALL BE THE RESPONSIBILITY OF THE PROJECT APPLICANT OR THEIR DESIGNATED REPRESENTATIVE TO ADVISE THE COUNTY OF ANY MODIFICATIONS TO THE CMP, TO NOTIFY THE NEIGHBORING PROTERTY OWNERS OF MODIFICATIONS TO THE CMP AND TO POST ANY MODIFICATIONS OF THE CMP ON THE JOB SITE SIGN

FIRST OFFENSE VIOLATION OF ANY PORTION OF THE APPROVED CMP OR OTHER APPLICABLE CONSTRUCTION MANAGEMENT REQUIREMENTS WILL BE ADDRESSED BY A WRITTEN WARMING FROM THE COUNTY, ANY FURTHER SUBSEQUENT VIOLATIONS WILL BE ADDRESSED BY A "STOP WORK ORDER."

ANY MODIFICATIONS TO THE CMP MUST BE APPROVED BY THE DPW.

GENERAL CONTRACTOR:

ARCHITECT:
MICHAEL HEACOCK, ARCHITECTS
129 MILLER AVE., SUITE 623
MILL VALLEY, CA 94941
PH. (415) 845-5326
mh@MichaelHeacock.com

EMERGENCY CONTACT: GRAHAM GRONEMAN PH. (415) 717-1505

OCCUPANCY

COUNTY OF MARIN CODE ENFORCEMENT OFFICE: PH. (415) 473-7880

CONSTRUCTION SCHEDULE	REV. 02/2021		
MOBILIZATION	MAY	2021	
SEPTIC INSTALL	JUNE	2021	
EXCAVATION, GRADING & UNDERGROUND	AUGUST	2021	
FOUNDATION	SEPTEMBER	2021	
FRAMING	OCTOBER	2021	
ROUGH PLUMBING, SPRINKLER, HVAC & ELECTRICAL	NOVEMBER	2021	
ROOFING, FLASHING & WATERPROOFING	NOVEMBER	2021	
WINDOWS & DOORS	DECEMBER	2021	
INSULATION	JANUARY	2022	
SHEETROCK	FEBRUARY	2022	
CABINETRY	FEBRUARY	2022	
FINISH PLUMBING, SPRINKLER, HVAC & ELECTRICAL	MARCH	2022	
FINISH CARPENTRY	MARCH	2022	
SUBSTANTIAL COMPLETION	ΔPRII	2022	



GRONEMAN RESIDENCE 183 SUNSET WAY MUIR BEACH, CA 94965

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CONSTRUCTION MANAGEMENT PLAN

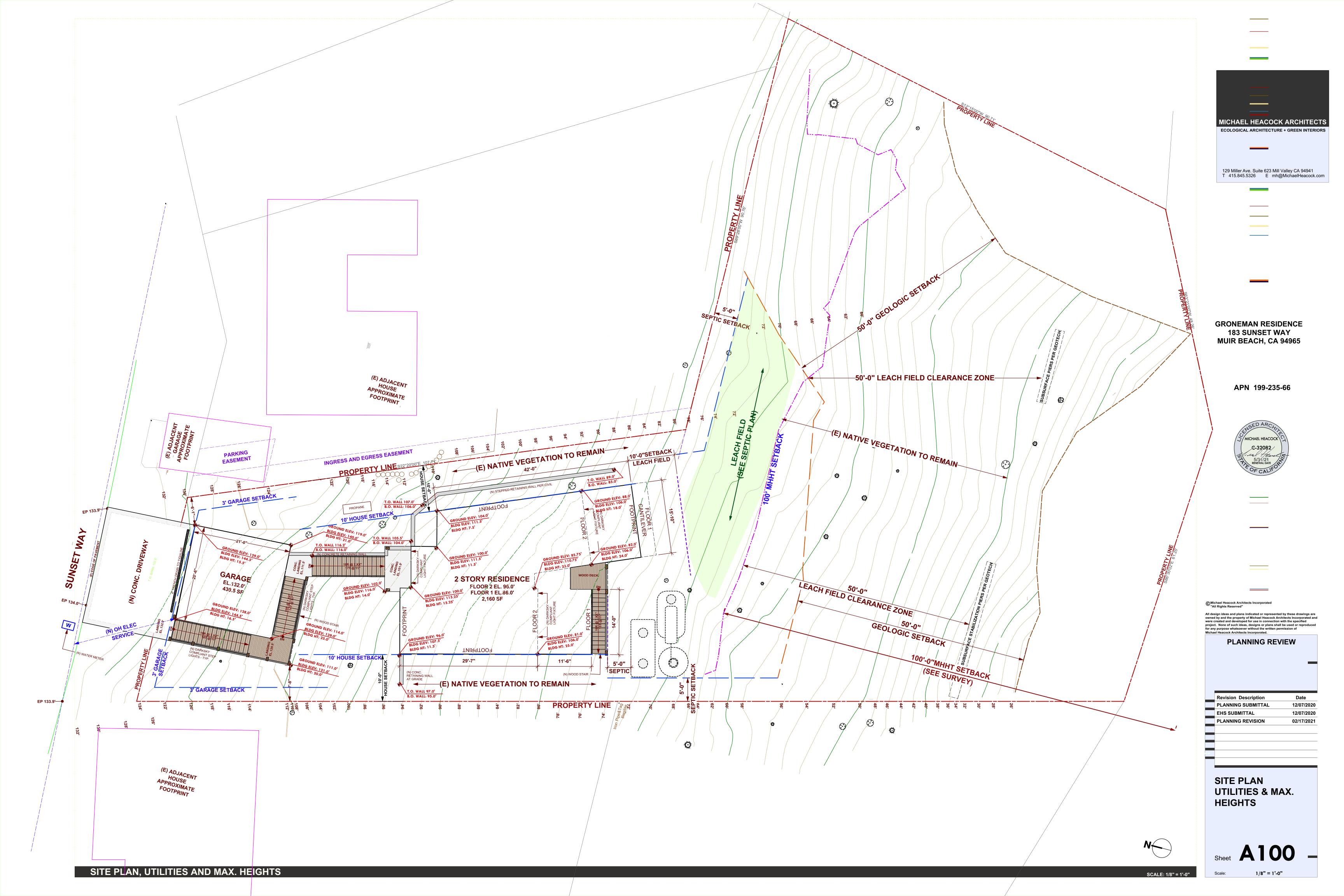
Sheet A001

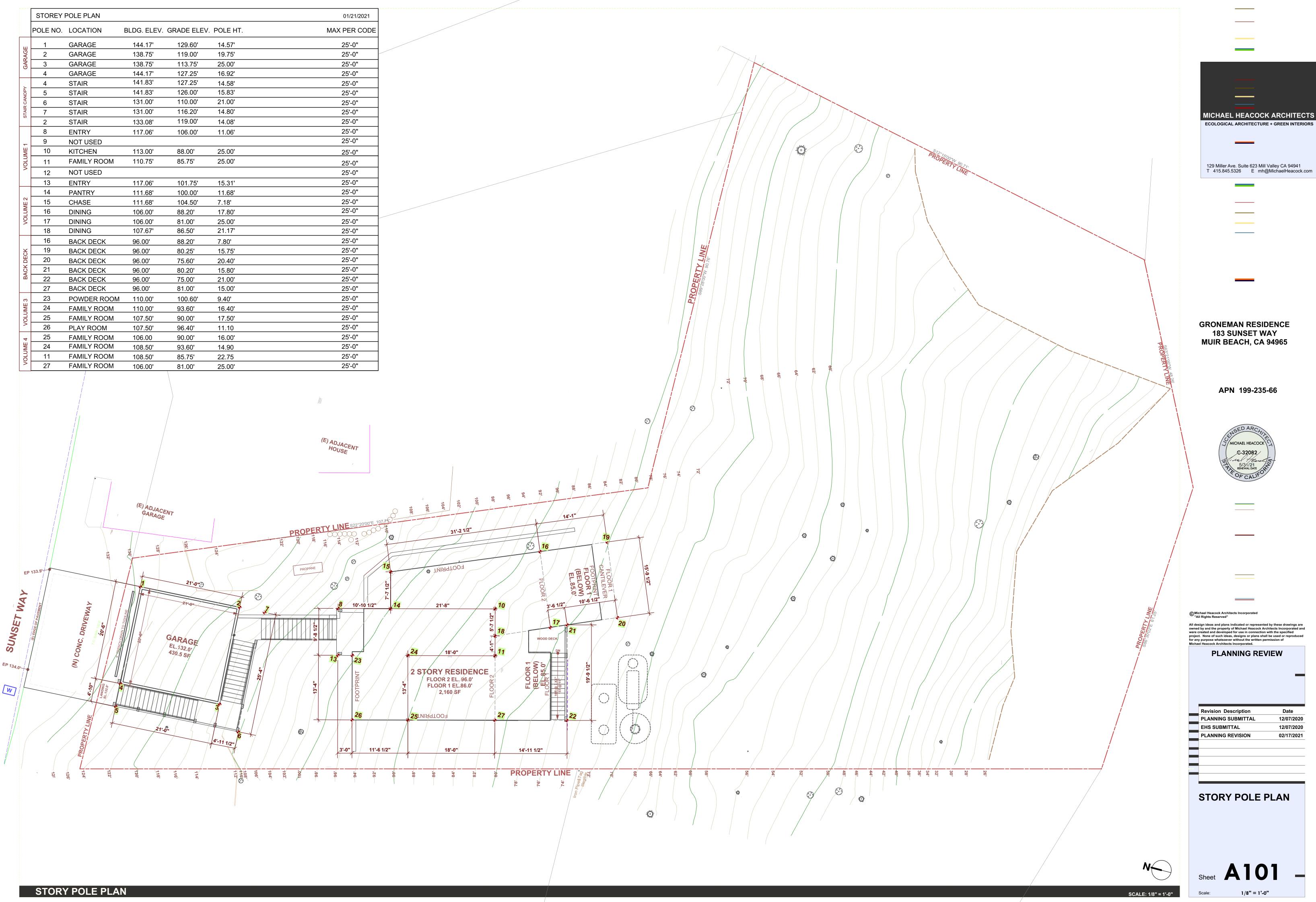
CMP SITE MAP

MAY

2022

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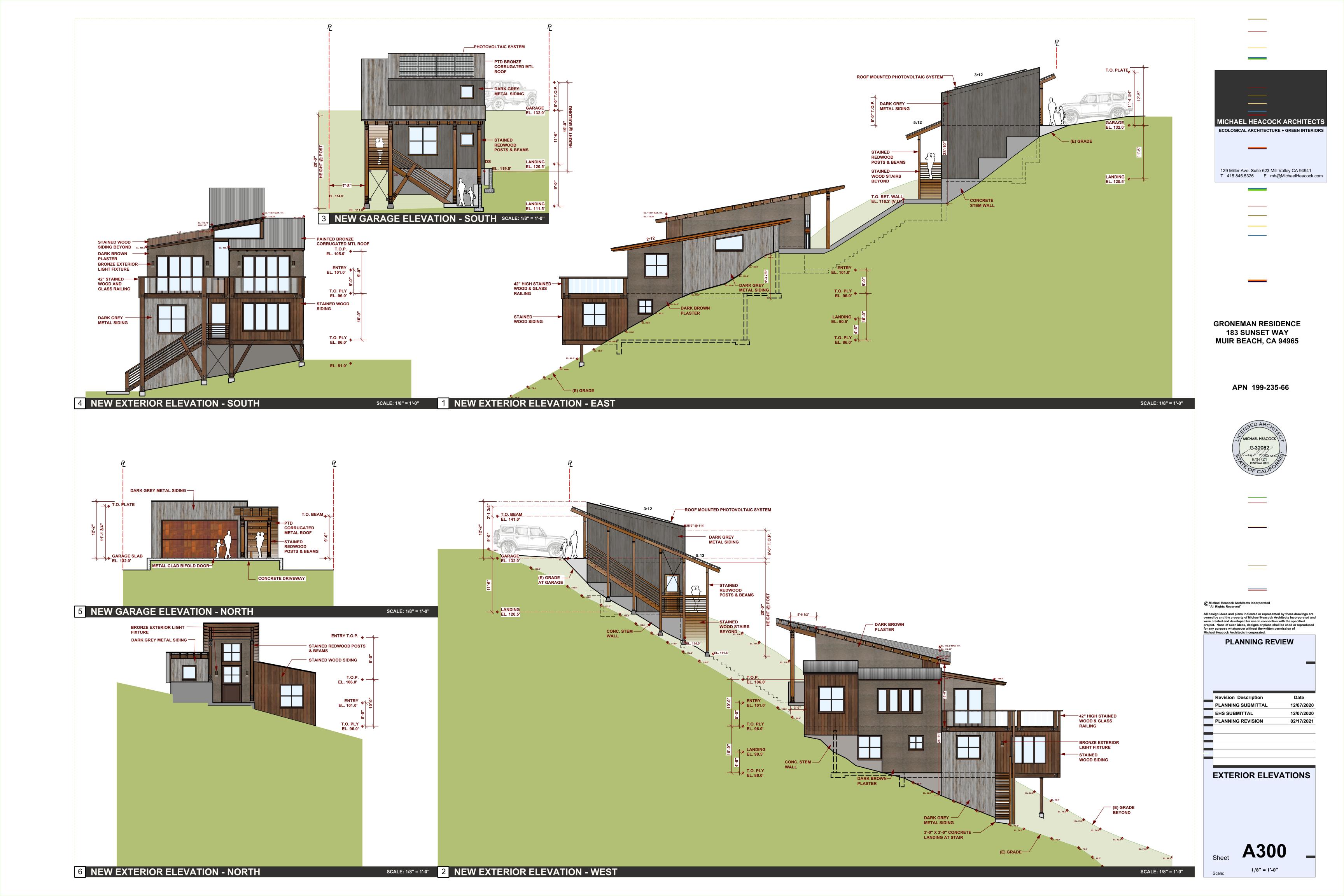


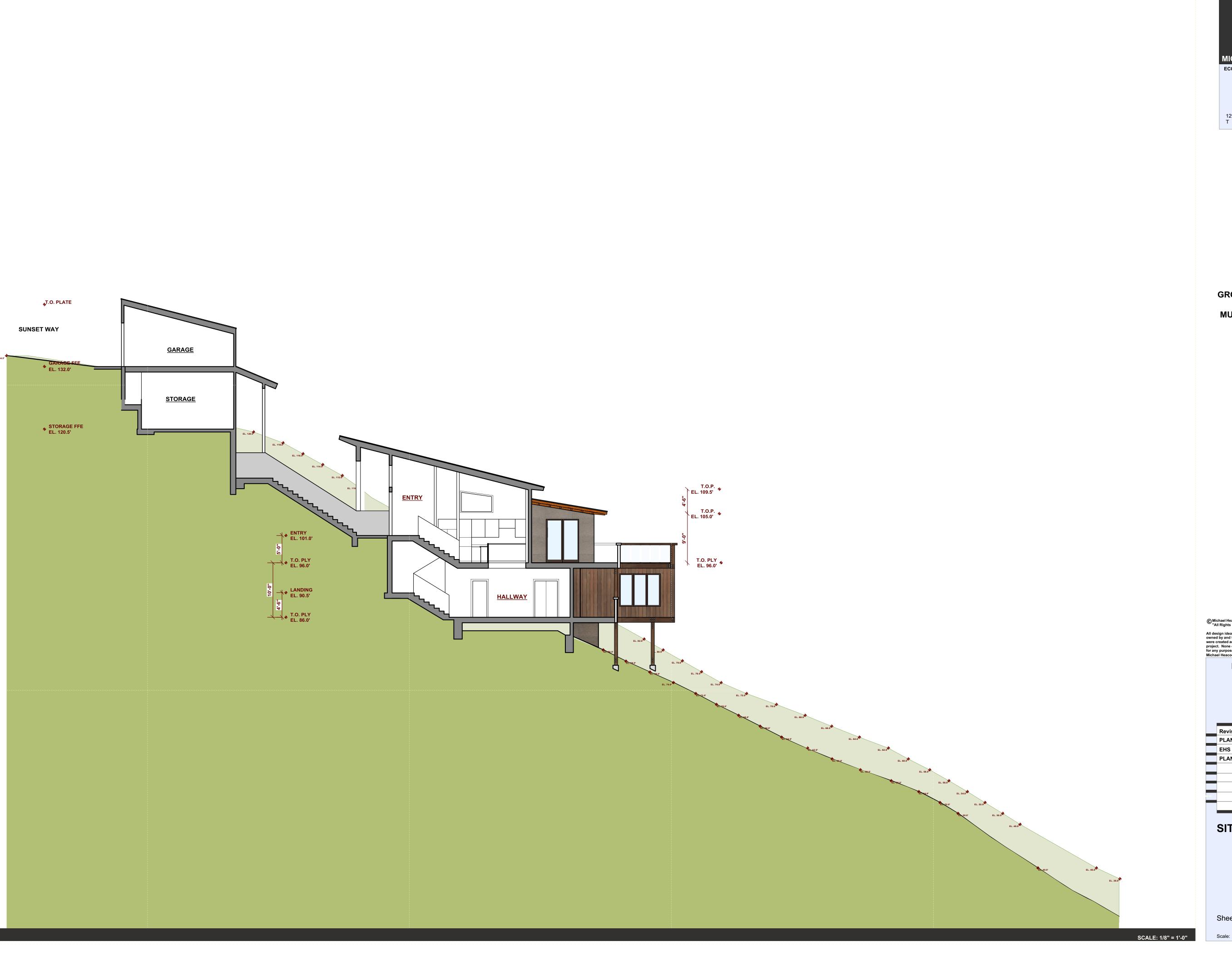


MICHAEL HEACOCK ARCHITECTS ECOLOGICAL ARCHITECTURE + GREEN INTERIORS 129 Miller Ave. Suite 623 Mill Valley CA 94941

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GRONEMAN RESIDENCE 183 SUNSET WAY MUIR BEACH, CA 94965

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SITE SECTION

Sheet **A400**

1/8" = 1'-0"