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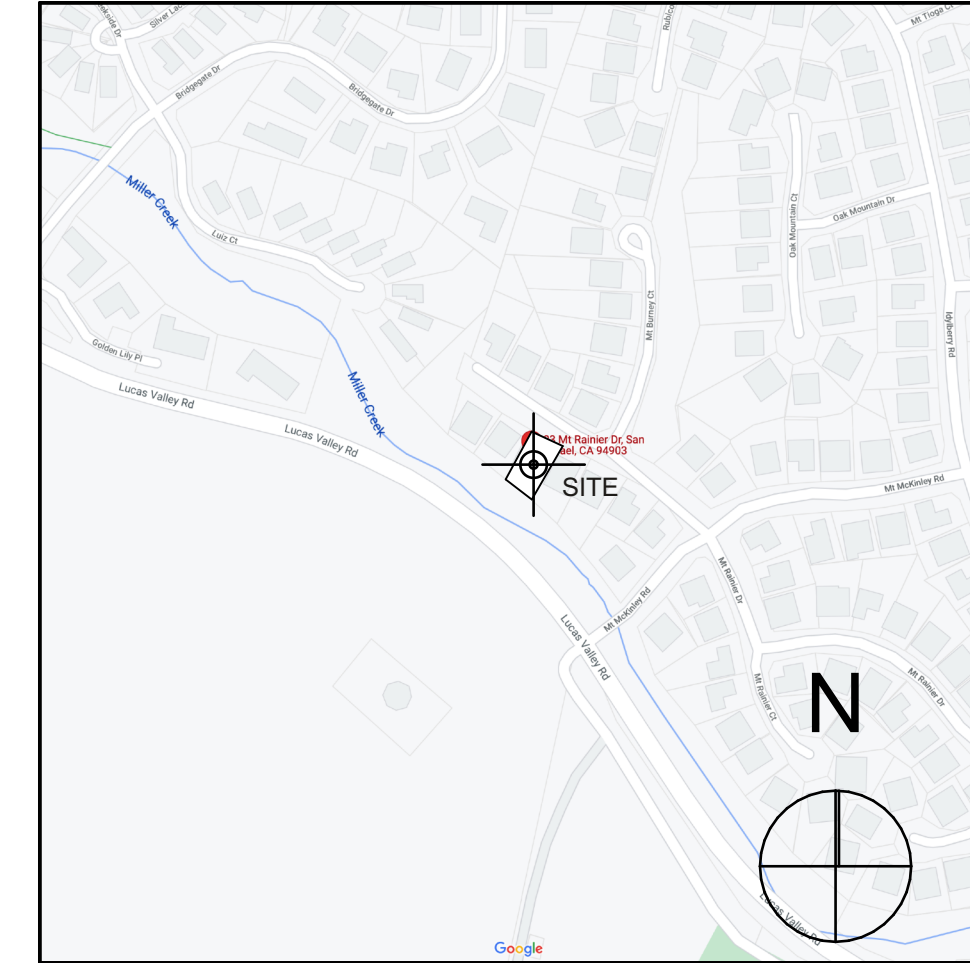
SYMBOLS

- GRID LINE - F.O.S. UNLESS OTHERWISE NOTED
- DIMENSION TO FACE OF FRAMING
- DIMENSION TO CENTERLINE
- DIMENSION TO FACE OF FINISH
- DETAIL REFERENCE SHEET LOCATION
- INTERIOR ELEVATION KEY AND SHEET LOCATION
- DOOR NUMBER, SEE DOOR SCHEDULE
- WINDOW NUMBER, SEE WINDOW SCHEDULE
- ELEVATION DATUM POINT
- CROSS SECTION SHEET LOCATION
- EXTERIOR ELEVATION
- SPOT ELEVATION
- DRAWING KEYNOTE
- MATCH LINE
- DRAWING REVISION



NEW RESIDENCE FOR RYAN & TINA FACKETT

VICINITY MAP



ABBREVIATIONS

A.F.F. ABOVE FINISHED FLOOR	J.H. JOIST HANGER
AB ANCHOR BOLT	JB JUNCTION BOX
ABV ABOVE	JST JOIST
AC AIR CONDITIONING	JT JOINT
ADJ. ADJUSTABLE	K.D. KILD DRIED
ALUM. ALUMINUM	L.H. LEFT HAND
ASPH. ASPHALT	LAV. LAVATORY
B.O. BOTTOM OF	LT. LIGHT
B.U.R. BUILT-UP ROOFING	MAX. MAXIMUM
BD BOARD	MED. MEDIUM
BLDG. BUILDING	MFR. MANUFACTURER
BLKG. BLOCKING	MIN. MINIMUM
BL.W. BELOW	MIR. MIRROR
BM. BEAM	MTD. MOUNTED
BRZ. BRONZE	MTL. METAL
BTW. BETWEEN	(N) NEW
C.I. CAST IRON	N.T.S. NOT TO SCALE
C.I.P. CAST IN PIPE	NIC NOT IN CONTRACT
C.O. CLEAN OUT	O/ OVER
CAB. CABINET	OC ON CENTER
CL CENTER LINE	OPG. OPENING
CLG. CEILING	P.T. PRESSURE TREATED
CLO. CLOSET	PL. PLATE
CLR. CLAMP	PLAM. PLASTIC LAMINATE
CMU CONCRETE MASONRY UNIT	PLYWD. PLYWOOD
COL. COLUMN	PNL. PANEL
CONC. CONCRETE	PR. PAIR
CONT. CONTINUOUS	PTD. PAINTED
CSK. COUNTERSINK	R. RISER
CSMT. CASEMENT	R.H. RIGHT HAND
CTR. CENTER	R.O. ROUGH OPENING
CW COLD WATER	R.W.L. RAIN WATER LEADER
DF DOUGLAS FIR	RAD. / R. RADIUS
DH DOUBLE HUNG	REINF. REINFORCED
DIA. DIAMETER	REQ'D. REQUIRED
DIM. DIMENSION	RESIL. RESILIENT
DISP. GARBAGE DISPOSAL	RM. ROOM
DN. DOWN	RWD. REDWOOD
DR. DOOR	S.A.D. SEE ARCHITECTURAL DRAWINGS
DTL. DETAIL	S.C. SOLID CORE
DW. DISHWASHER	S.C.D. SEE CIVIL DRAWINGS
DWG. DRAWING	S.L.D. SEE LANDSCAPE DRAWINGS
DWR. DRAWER	S.P. SOLID PIPE
(E) EXISTING	S.S. STAINLESS STEEL
EA. EACH	S.S.D. SEE STRUCTURAL DRAWINGS
EL. ELEVATION	S.T. STEEL TROWEL
ELEV. ELEVATOR (OR ELEVATION)	S.H. SHELF
EQ. EQUAL	SHR. SHOWER
EXP. EXPOSED	SIM. SIMILAR
EXT. EXTERIOR	SPK. SPEAKER
F.G. FINISHED GRADE/FIXED GLASS	STL. STEEL
F.O.C. FACE OF CONCRETE	STN. STAIN
F.O.F. FACE OF FINISH	T&G TONGUE & GROOVE
F.O.S. FACE OF STUD	T. TREAD
FD. FLOOR DRAIN	T.O. TOP OF
FDN. FOUNDATION	T.O.C. TOP OF CONCRETE
FIN. FINISH	T.O.P. TOP OF PLATE
FLR. FLOOR	T.O.S. TOP OF STEEL / SLAB
FRPR. FIREPROOFING	T.O.W. TOP OF WALL
FTG. FOOTING	T.P.H. TOILET PAPER HOLDER
G.I. GALVANIZED IRON	T.S. TUBE STEEL
G.W.B. GYPSUM WALLBOARD	THK. THICKNESS
GA. GAUGE	TYP. TYPICAL
GL. GLASS	U.O.N. UNLESS OTHERWISE NOTED
H.C. HOLLOW CORE	V.I.F. VERIFY IN FIELD
H.W. HOT WATER	V.T.R. VENT THROUGH ROOF
HB. HOSE/BIB	VP. VENT PIPE
HDR. HEADER	W.O. WHERE OCCURS
HOR. HORIZONTAL	W.P. WATERPROOFING
HT. HEIGHT	W.S. WEATHER STRIPPING
HTR. HEATER	W/ WITH
I.D. INSIDE DIAMETER	WC WATER CLOSET
I.D. INSIDE DIAMETER	WD. WOOD
INS. INSULATION	WDW. WINDOW
INT. INTERIOR	WH. WATER HEATER

NOTES

- PRIOR TO ANY SITE DISTURBANCE, A LICENSED SURVEYOR OR CIVIL ENGINEER SHALL STAKE THE BUILDING CORNERS, ESTABLISH AVERAGE NATURAL GRADE, AND SET A REFERENCE POINT (IF HEIGHT REFERENCE IS OTHER THAN NATURAL GRADE, LICENSED SURVEYOR OR CIVIL ENGINEER SHALL DETERMINE THE SPECIFIED REFERENCE POINT).
- CONSTRUCTION SHALL BE ENCLOSED BY 6' OPAQUE FENCE AT ALL TIMES DURING CONSTRUCTION.
- NO CONSTRUCTION MATERIAL, EQUIPMENT, PORTABLE TOILETS, TRASH CONTAINERS, OR DEBRIS SHALL BE PLACED IN THE PUBLIC RIGHT-OF-WAY.
- A TRASH CONTAINER SHALL BE MAINTAINED ON SITE AT ALL TIMES AND DEBRIS ON SITE WHICH COULD OTHERWISE BLOW AWAY, SHALL BE REGULARLY COLLECTED AND PLACED IN CONTAINER.
- ALL CONSTRUCTION DEBRIS (WOOD SCRAPS AND OTHER DEBRIS, WHICH CANNOT BLOW AWAY) SHALL BE PILED WITHIN THE PROPERTY LINES OF THE PROJECT IN A NEAT AND SAFE MANNER.
- PROJECT SHALL HAVE A SIGNAGE VIEWABLE FROM THE PUBLIC STREET THAT INDICATES THE HOURS OF CONSTRUCTION AS: MON-FRI FROM 7:30AM TO 6:00PM, SATURDAYS FROM 9:00AM TO 5:00PM.
- PRIOR TO REQUESTING A FOUNDATION INSPECTION BY THE CITY, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL PROVIDE A FIELD REPORT (IN WRITING) WHICH SHALL STATE THE FOLLOWING:
 - THE BUILDING PAD WAS PREPARED AND COMPACTED IN ACCORDANCE WITH THE SOIL REPORT AND SPECIFICATIONS
 - THE FOUNDATION AND/OR PIER EXCAVATION, DEPTH AND BACKFILL MATERIALS, AND DRAINAGE (IF APPLICABLE) SUBSTANTIALLY CONFORM TO THE SOIL REPORT AND APPROVED PLANS.
- PRIOR TO FINAL INSPECTION FOR ANY BUILDING OR STRUCTURE, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL ISSUE A FINAL REPORT STATING THE COMPLETED PAD, FOUNDATION, FINISH GRADING, AND ASSOCIATED SITE WORK SUBSTANTIALLY CONFORM TO THE APPROVED PLANS, SPECIFICATIONS, AND INVESTIGATION.
- POOL EXCAVATION, E.V. CHARGER AND CONSTRUCTION NOT APPROVED AS PART OF THIS PROJECT. A SEPARATE BUILDING PERMIT WILL BE OBTAINED PRIOR TO ANY POOL EXCAVATION/CONSTRUCTION.

ENERGY

- THIS BUILDING MEETS THE ENERGY BUILDING DESIGN REQUIREMENTS OF TITLE 24 PART 6. SEE SHEET T-1 FOR CERTIFICATE OF COMPLIANCE.
- FOR PROJECTS IN CALIFORNIA:
 - INSULATION SHALL MEET THE CALIFORNIA ENERGY COMMISSION (C.E.C.) QUALITY STANDARDS AND BE CERTIFIED BY THE MANUFACTURER
 - ALL FREEZERS, REFRIGERATORS, AND FLUORESCENT LAMP BALLASTS SHALL BE CERTIFIED BY THE C.E.C.
 - ALL HVAC EQUIPMENT, WATER HEATERS, FAUCETS, AND SHOWER HEADS SHALL BE CERTIFIED BY THE C.E.C.
- THE HOT WATER PLUMBING SYSTEM MUST BE A RECIRCULATING HOT WATER SYSTEM* DUE TO THE LOCATION OF THE PROJECT [TITLE 24 ENERGY]

ENTIRE STRUCTURE SPRINKLERS

- WHERE REQUIRED BY LOCAL JURISDICTIONS, BUILDINGS TO BE FULLY SPRINKLERED IN ACCORDANCE W/ 2019 CRC SEC. R-313R-309.6 AND 2016 NFPA. DRAWINGS TO BE SUBMITTED FOR PERMIT BY DESIGN/BUILD SUBCONTRACTOR
- THE SPRINKLER CONTRACTOR SHALL PROVIDE (3) COPIES OF THE WORKING DRAWINGS AND CALCULATIONS TO THE FIRE DISTRICT.
- THE FIRE DISTRICT MUST ISSUE A PERMIT PRIOR TO THE INSTALLATION OF THE FIRE SPRINKLER SYSTEM.
- THE SPRINKLER CONTRACTOR MUST HAVE A CITY BUSINESS LICENSE AND WORKER'S COMPENSATION CERTIFICATE.
- FIRE SPRINKLERS ARE TO BE REVIEWED AND APPROVED UNDER A SEPARATE PERMIT.

ARCHITECT SHALL HAVE ACCESS TO THE SITE AT ALL TIMES

PROJECT DATA

LOCATION:	83 MT. RAINIER DR. SAN RAFAEL, CA 94903
APN:	164-387-03
ZONING:	R1-B-LV
LOT SIZE:	8,168 S.F.
BLDG USE:	SINGLE FAMILY
OCCUPANCY GROUP:	R-3U
GENERAL PLAN:	RESIDENTIAL LOW DENSITY
CONSTRUCTION TYPE:	TYPE V-B
FLOOD ZONE:	NO
LOMA:	NO
PARKING DISTRICT:	NO
AIRPORT INFLUENCE AREA:	NO
HISTORIC STATUS:	NONE
ALLOWABLE FRONT SETBACK:	25'-0"
ALLOWABLE REAR SETBACK:	25'-0"
ALLOWABLE INTERIOR SIDE SETBACKS:	6'-0"
CONTEXTUAL GARAGE PLACEMENT:	COVERED PARKING
BLDG. CODES:	2019 CBC, CGBC, CRC, CMC, CPC, CFC, CEC AND C ENERGY CODE
PROJECT SCOPE:	106 S.F. ADDITION TO EXISTING ONE-STORY SINGLE FAMILY HOUSE. REMODEL EXISTING KITCHEN, TWO (2) BATHROOMS AND INTERIOR COURTYARD.
EXISTING MAIN FLOOR AREA:	2,322 SQ.FT
PROPOSED MAIN FLOOR AREA:	2,427 SQ.FT
TOTAL PROPOSED FAR:	2,427 SQ.FT
ALLOWABLE FAR:	2,450 SQ.FT (30% OF LOT AREA)
EXISTING MAIN FLOOR AREA:	5,835 SQ.FT
PROPOSED LOT COVERAGE:	5,421 SQ.FT
DEFERRED PERMITS:	FUTURE POOL, FIRE SPRINKLER, P.V. PANEL AND EVSE SHALL BE APPROVED UNDER SEPARATE PERMITS

DIRECTORY

OWNER:	RYAN & TINA FACKETT 705 MONTECILLO RD SAN RAFAEL, CA TEL: (415) 518-9332 E: ryan.fackett@gmail.com
ARCHITECT:	MODERN HOUSE ARCHITECTS 1177 CALIFORNIA ST. #1401 SAN FRANCISCO, CA 94108 TEL: (415) 596-7281 E: MODERNHOUSE@MAC.COM
GENERAL CONTRACTOR:	SMOLLEN THE BUILDER 204 RICHARDSON DRIVE MILL VALLEY, CA 94941 TEL: 415.271.0568 E: CRAIGSMOLLEN@MAC.COM
STRUCTURAL ENGINEER:	SFA DESIGN GROUP 1813 RUTAN DRIVE UNIT C LIVERMORE, CA 94551 TEL: 503.641.8311 E: ENGINEERING@SFADG.COM
SURVEYOR/ CIVIL ENGINEER:	BKF ENGINEERS 4040 CIVIC CENTER DRIVE, SUITE 530 SAN RAFAEL, CA 94903 TEL: 707.583.8524 E: NRASHED@BKF.COM
ENERGY CONSULTANT:	MONTEREY ENERGY GROUP 26465 CARMEL RANCHO BLVD #8 CARMEL, CA 93923 TEL: (831) 372-8328 E: INFO@MEG4.COM

DRAWING INDEX

CIVIL	SURVEY
SU-1	TITLE SHEET
C1.0	EXISTING CONDITIONS
C2.0	GRADING AND DRAINAGE PLAN
C3.0	UTILITY PLAN
C4.0	
ARCHITECTURAL	
A0.0	COVER SHEET
A0.4	COLOR & MATERIALS BOARD
A1.0	SITE PLAN
A2.0	MAIN FLOOR PLAN (EXISTING)
A2.1	MAIN FLOOR PLAN (PROPOSED)
A2.2	ROOF PLAN (EXISTING)
A2.3	ROOF PLAN (PROPOSED)
A3.1	FRONT ELEVATION (NORTH)
A3.2	SIDE ELEVATION (WEST)
A3.3	REAR ELEVATION (SOUTH)
A3.4	SIDE ELEVATION (EAST)
A3.5	COURT YARD ELEVATIONS
A4.1	BUILDING SECTIONS

MODERN HOUSE

ARCHITECTURE

& DESIGN

1177 California Street #1401
San Francisco, CA 94108
P. 415.596.7281
modernhouse@mac.com
www.modernhousearchitects.com



Curt Cline Architect

BUILDING PERMIT REVIEW SET
164-387-03
FACKETT RESIDENCE
83 MT. RAINIER DR.
SAN RAFAEL, CA

Revisions:	
SCALE :	AS NOTED
DATE :	3/31/22
SHEET :	A0.0

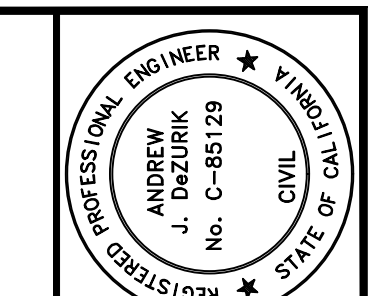
THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF CURT CLINE ARCHITECT. WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT, NO PART OF THESE DRAWINGS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

PRELIMINARY SITE IMPROVEMENT DRAWINGS FOR 83 MOUNT RAINIER DRIVE FACKETT RESIDENCE SAN RAFAEL, CALIFORNIA

OWNER: RYAN FACKETT
83 MOUNT RAINIER DR
SAN RAFAEL, CA 94903
PH: 415-518-9332

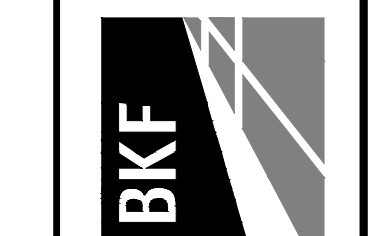
CIVIL ENGINEER: BKF ENGINEERS
200 4TH ST, STE. 300
SANTA ROSA, CA. 95401
PH: 707-583-8500
FAX: 707-583-8539

ARCHITECT: MODERN HOUSE ARCHITECTURE & DESIGN
1177 CALIFORNIA ST, #1401
SAN FRANCISCO, CA 94108
PH: 415-596-7281



PRELIMINARY
FOR STUDY PURPOSES ONLY
DATE: 03/11/2022
ANDREW J. DEZURIK
C-85129

4040 CIVIC CENTER DR.
SUITE 530
SAN RAFAEL, CA 94903
(415) 930-7960
www.bkf.com



83 MOUNT RAINIER DRIVE
APN 84-387-03
SAN RAFAEL, CALIFORNIA
PROJECT INFORMATION

Date	No.	Revisions
Date: MAR 2022	No.	
Scale: AS SHOWN		
Design: NR		
Drawn: CAG		
Approved: AUB		
Job No: 212327-50		

Drawing Number: **C1**
1 OF 4

GENERAL NOTES:

THE DESIGN PROFESSIONAL WHO PREPARED THIS DRAWING IS NOT RESPONSIBLE FOR THE MISUSE OF, OR UNAUTHORIZED CHANGES MADE TO THIS DRAWING. WRITTEN PERMISSION SHALL BE OBTAINED FROM THE DESIGN PROFESSIONAL WHO PREPARED THIS DRAWING AND THE COUNTY OF MARIN PRIOR TO INSTALLING IMPROVEMENTS IN A MANNER WHICH DEVIATE FROM THIS DRAWING.

THE CONTRACTOR SHALL:

ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION FOR THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT APPLIES CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS.

HOLD HARMLESS, INDEMNIFY, AND DEFEND THE OWNER, THE DESIGN PROFESSIONAL, THEIR CONSULTANTS AND THE COUNTY OF MARIN FROM LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE WILLFUL MISCONDUCT OR SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

OBTAIN RELEVANT PERMITS AND APPROVALS REQUIRED BY GOVERNING AGENCIES PRIOR TO COMMENCING WORK.

AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC UTILITY EASEMENT AND THE PUBLIC RIGHT-OF-WAY.

SUBMIT A TRAFFIC CONTROL PLAN TO THE DEPARTMENT OF PUBLIC WORKS AND OBTAIN APPROVAL PRIOR TO COMMENCING WORK IN THE PUBLIC RIGHT-OF-WAY.

PROVIDE A PROPERLY SIGNED ALTERNATE ACCESSIBLE ROUTE OF TRAVEL IF CONSTRUCTION ACTIVITIES IMPACT PEDESTRIAN ACCESS. THIS REQUIREMENT APPLIES CONTINUOUSLY, AND IS NOT LIMITED TO NORMAL WORKING HOURS.

PROPERLY MUFFLE EQUIPMENT AND LIMIT CONSTRUCTION HOURS TO 7:00 AM TO 6:00 PM MONDAY THROUGH FRIDAY, AND 9:00 AM TO 6:00 PM ON SATURDAY, EXCLUDING HOLIDAYS. THIS RESTRICTION INCLUDES THE STARTUP OF MOTOR VEHICLES AND OTHER HEAVY EQUIPMENT.

REPAIR DAMAGE TO FACILITIES OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES TO RETURN THEM TO THEIR CONDITION PRIOR TO CONSTRUCTION. IF THE CONTRACTOR DOES NOT ACT PRUDENTLY, THE COUNTY OF MARIN MAY, AT ITS DISCRETION PERFORM THE CORRECTION AND CHARGE THE CONTRACTOR FOR COSTS INCURRED.

PROVIDE RECORD DRAWINGS TO THE OWNER'S REPRESENTATIVE WHICH INCLUDE IMPROVEMENTS WHICH DEVIATE FROM AND IMPROVEMENTS NOT SHOWN ON THE ORIGINAL DESIGN DRAWINGS.

UTILITY NOTES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERT (U.S.A.). CALL TOLL-FREE (800) 642-2444 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION.

EXPOSE EXISTING UTILITIES PRIOR TO TRENCHING TO VERIFY THE ALIGNMENTS AND ELEVATIONS OF THE UTILITIES, AND TO VERIFY DESIGN ASSUMPTIONS. EXISTING UTILITIES MAY REQUIRE RELOCATION AND/OR PROPOSED IMPROVEMENTS MAY REQUIRE GRADE OR ALIGNMENT REVISION DUE TO FIELD CONDITIONS. IF THE EXPOSED UTILITY IS DETERMINED TO BE IN A LOCATION WHICH IS NOT REFLECTED BY THIS DRAWING, NOTIFY THE ENGINEER IN WRITING SO THAT APPROPRIATE ADJUSTMENTS CAN BE MADE.

REPORT UTILITY CONFLICTS TO THE OWNER'S REPRESENTATIVE IN WRITING AS THEY ARE ENCOUNTERED SO THAT THE OWNER AND OWNER'S REPRESENTATIVE CAN MAKE A DECISION AS TO HOW THE CONTRACTOR SHOULD PROCEED WITH THE WORK.

UNLESS OTHERWISE NOTED, PROVIDE SCH40 POLYVINYL CHLORIDE PIPE (PVC) WHERE ANNOTATED AS STORM DRAIN (SD) ON THIS DRAWING.

DISCHARGE DOWNSPOUTS AND DRAINAGE MEASURES WHICH CONCENTRATE STORMWATER AWAY FROM STRUCTURES INTO SOLID PIPE, OR AT LEAST 2.5- FEET AWAY ONTO SPLASH BLOCKS OR OTHER IMPERMEABLE SURFACES WHICH DRAIN AWAY FROM STRUCTURES.

THE CONTRACTOR IS CAUTIONED NOT TO ORDER PRECAST ITEMS OR INSTALL IMPROVEMENTS UNTIL CONFLICTS ARE RESOLVED. IMPROVEMENTS INSTALLED OR ORDERED PRIOR TO CONFLICT RESOLUTION SHALL BE DONE SOLELY AT THE CONTRACTOR'S RISK AND AT NO EXPENSE TO THE OWNER, THE DESIGN PROFESSIONAL, OR THE COUNTY OF MARIN.

UTILITY CONFLICTS MAY OCCUR IN THOSE INSTANCES WHERE TWO GRAVITY UTILITIES CROSS AND LACK THE REQUIRED SEPARATION, OR IN THOSE INSTANCES WHERE AN EXISTING UTILITY HAS NOT BEEN IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.

CROSSING UTILITIES WHICH HAVE BEEN IDENTIFIED IN THE CONSTRUCTION DOCUMENTS MAY NOT BE CONSTRUCTED AS UTILITY CONFLICTS. THE CONTRACTOR SHALL INSTALL GRAVITY UTILITIES TO THE LINES AND ELEVATIONS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS AND INSTALL OTHER UTILITIES ABOVE OR BELOW GRAVITY UTILITIES WHILE COMPLYING WITH THE MINIMUM COVER REQUIREMENTS FOR EACH UTILITY INSTALLED.

UTILITY LENGTHS SHOWN REFLECT ROUNDED LENGTHS MEASURED HORIZONTALLY BETWEEN THE CENTERS OF STRUCTURES. THE CONTRACTOR SHALL VERIFY SLOPED UTILITY LENGTHS IN THE FIELD PRIOR TO ORDERING MATERIAL.

GRADING NOTES:

PERFORM GRADING IN CONFORMANCE WITH CHAPTER 18 AND APPENDIX J OF THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE.

FINAL CUT AND FILL SLOPES SHALL BE CONSTRUCTED AT 2:1 HORIZONTAL TO VERTICAL RATIO OR FLATTER UNLESS OTHERWISE NOTED.

THE CALIFORNIA BUILDING CODE REQUIRES THAT MATERIALS USED FOR THE CONSTRUCTION OF PERMANENT STRUCTURES WITHIN A CERTAIN PROXIMITY TO EARTH BE TREATED, OR OF NATURAL RESISTANCE TO DECAY. PRIOR TO COMMENCING HOUSE CONSTRUCTION CONFIRM THAT THE MATERIALS PROPOSED ON THE ARCHITECTURAL DRAWINGS WILL NOT VIOLATE THIS REQUIREMENT WHEN INSTALLED USING THE ELEVATIONS SHOWN ON THIS DRAWING.

SLOPE SOIL AWAY FROM STRUCTURES IN ACCORDANCE WITH SECTION 1804.4 OF THE 2016 CALIFORNIA BUILDING CODE.

PERFORM GRADING TO WITHIN 0.10- FEET OF THE LINES AND ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS.

PROVIDE A MOISTURE BARRIER IN AREAS WHERE CURB AND GUTTER ARE ADJACENT TO LANDSCAPING AND WHERE THE SOIL EXPANSION INDEX IS GREATER THAN 51.

REMOVE MATERIAL WHICH WILL NOT BE USED ON SITE AS IT IS EXCAVATED AND DISPOSE OF IN ACCORDANCE WITH THE GOVERNING AGENCY'S REQUIREMENTS.

MAINTAIN A CLEAN CONSTRUCTION SITE TO PREVENT THE INTRODUCTION OF FOREIGN MATERIALS INTO THE STORM WATER CONVEYANCE SYSTEM. ACTIVITY DURING CONSTRUCTION WHICH RESULTS IN THE DISCHARGE OF POLLUTANTS TO THE STORM WATER CONVEYANCE SYSTEM IS IN VIOLATION OF THE COUNTY OF MARIN CODE OF ORDINANCES AND THE SAN FRANCISCO BAY REGIONAL WATER QUALITY CONTROL BOARD'S REGULATIONS.

PROVIDE DUST CONTROL THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT TO MINIMIZE AIRBORNE POLLUTANTS.

STOP WORK IF CONTAMINATED MATERIAL IS ENCOUNTERED. PREPARE A WORK PLAN AND ACQUIRE APPROVAL IN WRITING FROM THE MARIN COUNTY FIRE DEPARTMENT AND THE SAN FRANCISCO BAY REGIONAL WATER QUALITY CONTROL BOARD PRIOR TO RESUMING WORK.

IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST OF THE COUNTY OF MARIN PLANNING DIVISION AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE SOCIETY OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.

THE CALIFORNIA BUILDING CODE REQUIRES THAT MATERIALS USED FOR THE CONSTRUCTION OF PERMANENT STRUCTURES LOCATED NEARER THAN 6-INCHES TO EARTH BE TREATED, OR OF NATURAL RESISTANCE TO DECAY. ELEVATIONS HAVE BEEN ESTABLISHED WITH THIS SET OF CIVIL DRAWINGS, WHICH MAY REQUIRE THE IMPLEMENTATION OF A RAISED CURB ALONG THE PERIMETER OF THE BUILDING WHERE ADJACENT TO LANDSCAPE AREAS. THE CONTRACTOR SHALL COORDINATE THE LOCATION(S) OF RAISED CURBS PRIOR TO POURING THE CONCRETE SLAB.

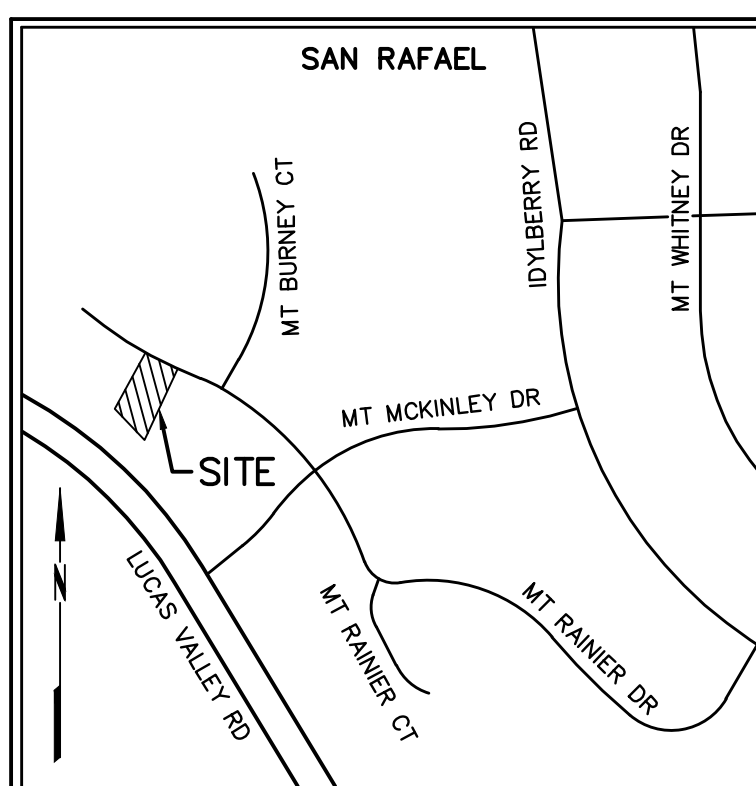
THE CONTRACTOR SHALL NOT IMPEDE DRAINAGE FROM EXISTING UPSTREAM PROPERTIES. THE CONTRACTOR SHALL PLACE STOCKPILES AWAY FROM CREEK SETBACKS, AWAY FROM VEGETATION DESIGNATED TO REMAIN, A MINIMUM OF 10- FEET FROM ADJACENT EXISTING RESIDENTIAL PARCELS, AND A MINIMUM OF 50- FEET FROM ADJACENT EXISTING RESIDENTIAL PARCELS WHERE THE STOCK PILE DEPTH EXCEEDS 2.5- FEET.

A PROTECTION ZONE SHALL BE ESTABLISHED TO PROTECT NATURAL VEGETATION AND TREES (WHICH WILL REMAIN FOLLOWING CONSTRUCTION) FROM CONSTRUCTION ACTIVITIES. THE FOLLOWING CONDITIONS AND RESTRICTIONS SHALL APPLY:

- I. THE ZONE SHALL ENCOMPASS THE "PROTECTED PERIMETER" WHICH SHALL BE EITHER THE ROOT ZONE OR OTHER LIMIT AS ESTABLISHED IN THIS APPROVAL.
- II. THE ZONE SHALL BE DELINEATED WITH A BRIGHTLY COLORED CONSTRUCTION FENCE. SUCH FENCES SHALL REMAIN CONTINUOUSLY IN PLACE FOR THE DURATION OF ALL WORK UNDERTAKEN ON THE SITE.
- III. NO STORAGE OR CONSTRUCTION ACTIVITIES (INCLUDING TRENCHING, GRADING OR FILLING) SHALL BE PERMITTED WITHIN THE PROTECTED ZONE.
- IV. NO BURNING OR USE OF EQUIPMENT WITH AN OPEN FLAME SHALL OCCUR NEAR OR WITHIN THE PROTECTED PERIMETER.
- V. BRUSH, EARTH AND OTHER DEBRIS SHALL BE REMOVED IN A MANNER WHICH PREVENTS INJURY TO THE PROTECTED TREES AND/OR SHRUBS.
- VI. NO OIL, GAS, CHEMICALS OR OTHER SUBSTANCES THAT MAY BE HARMFUL TO TREES SHALL BE STORED OR DUMPED WITHIN THE PROTECTED PERIMETER OR ANY OTHER LOCATION FROM WHICH SUBSTANCES MIGHT ENTER THE PERIMETER OF A PROTECTED TREE.

THE PROTECTION ZONE DELINEATED WITH THE BRIGHTLY COLORED CONSTRUCTION FENCE SHALL BE POSTED WITH SIGNS WHICH STATE "TREE/VEGETATION PROTECTION ZONE-NO CONSTRUCTION OR STORAGE PERMITTED." ANY SPECIAL WORK, INCLUDING MITIGATION, WITHIN THE "PROTECTION ZONE" MUST BE DONE UNDER THE SUPERVISION OF A COUNTY APPROVED CERTIFIED ARBORIST.

A.P.N. 164-387-03 MARCH 2022



VICINITY MAP
NOT TO SCALE

INDEX OF DRAWINGS

- C1. PROJECT INFORMATION
- C2. DEMOLITION PLAN
- C2. GRADING AND DRAINAGE PLAN
- C4. EROSION & SEDIMENT CONTROL PLAN

TOPOGRAPHIC NOTES:

PRESERVE AND PERPETUATE EXISTING SURVEY MONUMENTATION WHICH WILL BE DISTURBED OR REMOVED TO FACILITATE THE PROPOSED IMPROVEMENTS. IF WORK WILL BE CONDUCTED IN AN AREA WHICH RESULTS IN THE DISTURBANCE OF MONUMENTATION, RETAIN THE SERVICES OF A LICENSED LAND SURVEYOR TO LOCATE SAID MONUMENTATION PRIOR TO DISTURBANCE. ADDITIONALLY, RETAIN THE SERVICES OF A LICENSED LAND SURVEYOR TO RE-ESTABLISH MONUMENTATION WHICH HAS BEEN DISTURBED AS A RESULT OF PROJECT CONSTRUCTION AND TO FILE THE APPROPRIATE DOCUMENTATION, PURSUANT TO BUSINESS AND PROFESSIONS CODE SECTION 8771, WITH THE MARIN COUNTY RECORDER ONCE CONSTRUCTION IS COMPLETE.

UNAUTHORIZED CHANGES & USES: THE PROFESSIONAL PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. CHANGES TO THIS MAP MUST BE REQUESTED IN WRITING AND MUST BE APPROVED BY THE PROFESSIONAL.

THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND ARE BASED ON OBSERVED TOPOGRAPHIC SURFACE FEATURES. THE PROFESSIONAL PREPARING THIS MAP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THESE FACILITIES OR FOR THE INADVERTENT OMISSION OF RELATED INFORMATION.

TREE DIAMETERS ARE MEASURED AT CHEST HEIGHT (48"). DRIPLINE DIAMETERS AND TREE SPECIES ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

BASIS OF BEARINGS: BEING S82°41'00"E BETWEEN TWO FOUND CENTERLINE MONUMENTS ALONG MOUNT RAINIER DRIVE, AS SHOWN ON THAT MAP OF LUCAS VALLEY UNIT FOUR, FILED AT BOOK 11 PAGE 69 OF RECORD MAPS, MARIN COUNTY RECORDS.

BENCHMARK: PIN IN MONUMENT WELL, LOCATION SHOWN HEREON, ELEVATION 183.04' (DATUM NAVD 88, GEOID '18 BY STATIC GPS OBSERVATIONS PROCESSED THROUGH NOAA'S ONLINE POSITIONING USER SERVICE).

FIELD SURVEY DATE: DECEMBER 11, 2021

SYMBOLS & LEGEND

EXISTING	PROPOSED	
		BENCHMARK
		VALVE
		SITE LIGHT
		AREA DRAIN
		DRAINAGE ARROW
		TREE
		TREE CLUSTER
		TREE TO BE REMOVED
		BOUNDARY LINE
		FENCE
		STORM DRAIN
		CONCRETE
		KEYNOTE
		SECTION IDENTIFICATION
		SHEET WHERE SECTION IS SHOWN

ABBREVIATIONS

AC	ASPHALT CONCRETE
AD	AREA DRAIN
APN	ASSESSOR'S PARCEL NUMBER
BLDG	BUILDING
DS	DOWNSPOUT
E	ELECTRIC
ELEV	ELEVATION
EM	DRAINAGE EMITTER
FF	FINISHED FLOOR
FG	FINISHED GRADE
GI	GRATE INLET
GM	GAS METER
HB	HOSE BIB
INV	BOTTOM INSIDE OF PIPE
LS	LANDSCAPING
SGD	SLIDING GLASS DOOR
SD	STORM DRAIN
TC	TOP FACE OF CURB
TEL	TELECOMMUNICATION LINE
TG	TOP OF GRATE
TV	TELEVISION
UB	UTILITY BOX
WM	WATER METER

THE ENGINEER SHALL CERTIFY TO THE COUNTY IN WRITING UPON THE COMPLETION OF WORK THAT ALL GRADING AND DRAINAGE IMPROVEMENTS WERE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND FIELD DIRECTION. BE AWARE THAT A DEPARTMENT OF PUBLIC WORKS ENGINEER WILL NEED TO INSPECT AND ACCEPT WORK AFTER RECEIPT OF THE CERTIFICATION LETTER. CERTIFICATION LETTERS SHALL REFERENCE BUILDING PERMIT NUMBER OR NUMBERS FOR SPECIFIC WORK BEING CERTIFIED, THE ADDRESS OF THE PROPERTY AND THE ASSESSOR'S PARCEL NUMBER (APN), AND SHALL BE SIGNED AND STAMPED BY THE CERTIFYING PROFESSIONAL.

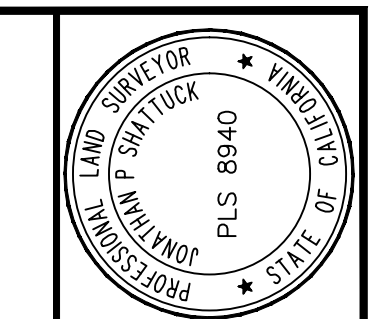
EROSION CONTROL NOTES:

PROVIDE DUST CONTROL THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT TO MINIMIZE AIRBORNE POLLUTANTS.

CONSTRUCT CONCRETE WASHOUT AREA IN CONFORMANCE WITH THE STATE WATER RESOURCES CONTROL BOARD'S BEST MANAGEMENT PRACTICES.

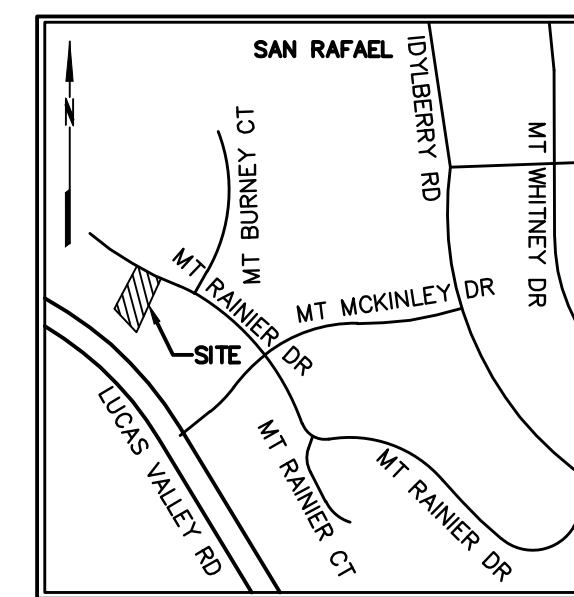
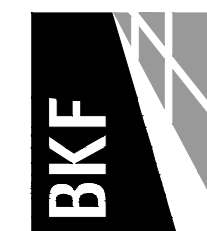
IF THE SITE IS DISTURBED DURING THE RAINY SEASON, PROVIDE TEMPORARY EROSION CONTROL MEASURES SUCH AS STRAW AND/OR WATTLES ONSITE TO STABILIZE EARTH AND PREVENT EROSION. PROVIDE GRAVEL BAGS IN FRONT OF STORMWATER INLETS TO PREVENT FOREIGN MATERIAL FROM ENTERING THE STORM DRAIN SYSTEM.

DRAINAGE SHALL NOT BE IMPEDED FROM UPSTREAM PROPERTIES.

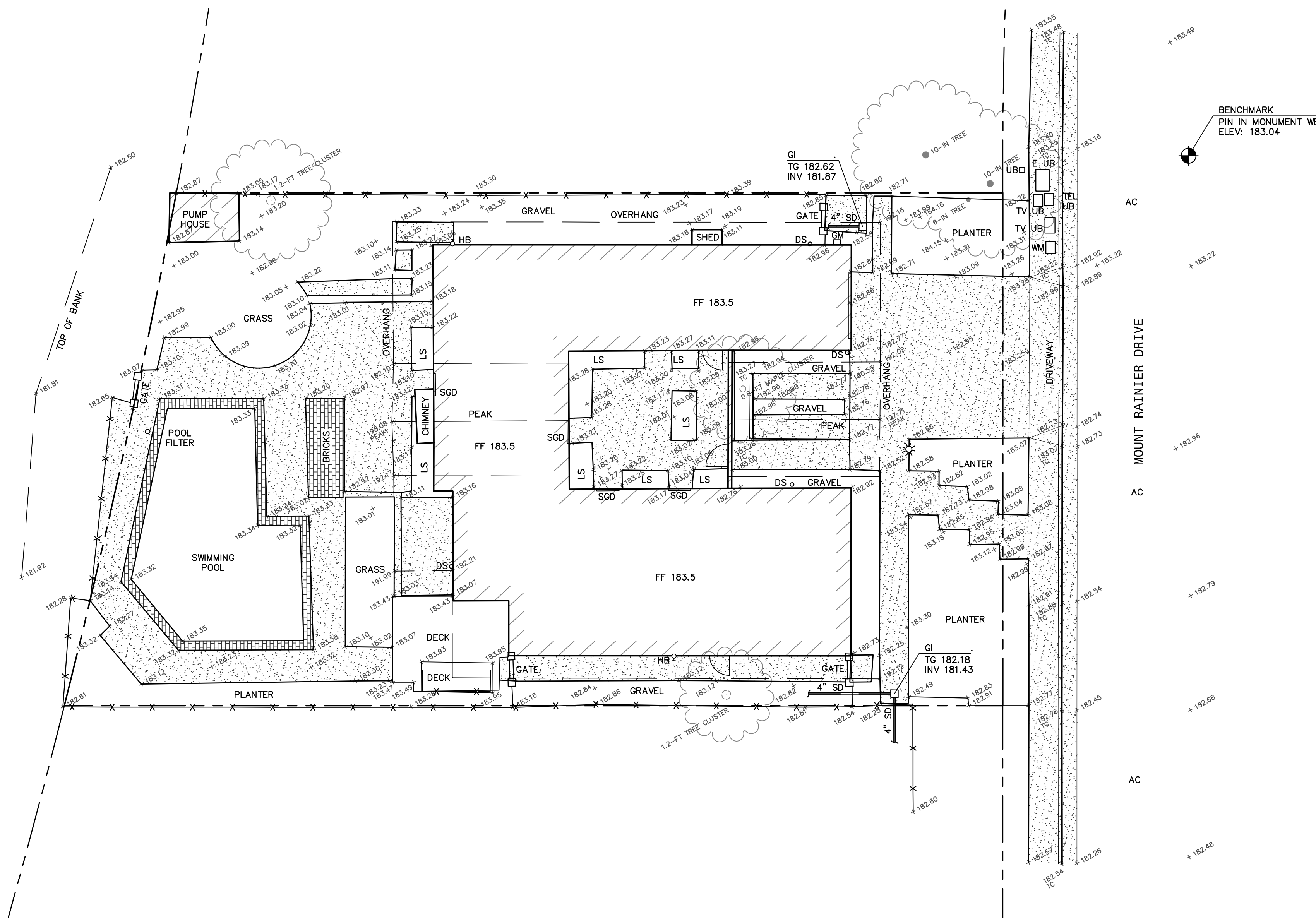


JONATHAN P. SHATTUCK PLS 8940

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SAN RAFAEL, CA 94903
(415) 930-7960
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VICINITY MAP
NOT TO SCALE



- ABBREVIATIONS**
- AC ASPHALT CONCRETE
 - APN ASSESSOR'S PARCEL NUMBER
 - DS DOWNSPOUT
 - E ELECTRIC
 - ELEV ELEVATION
 - FF FINISHED FLOOR
 - GI GRATE INLET
 - GM GAS METER
 - HB HOSE BIB
 - INV BOTTOM INSIDE OF PIPE
 - SGD SLIDING GLASS DOOR
 - SD STORM DRAIN
 - TC TOP FACE OF CURB
 - TEL TELECOMMUNICATION LINE
 - TG TOP OF GRATE
 - TV TELEVISION
 - UB UTILITY BOX
 - WM WATER METER

- SYMBOLS & LEGEND**
- EXISTING**
- BENCHMARK
 - VALVE
 - SITE LIGHT
 - TREE
 - TREE CLUSTER
 - BOUNDARY LINE
 - FENCE
 - STORM DRAIN
 - CONCRETE

TOPOGRAPHIC NOTES

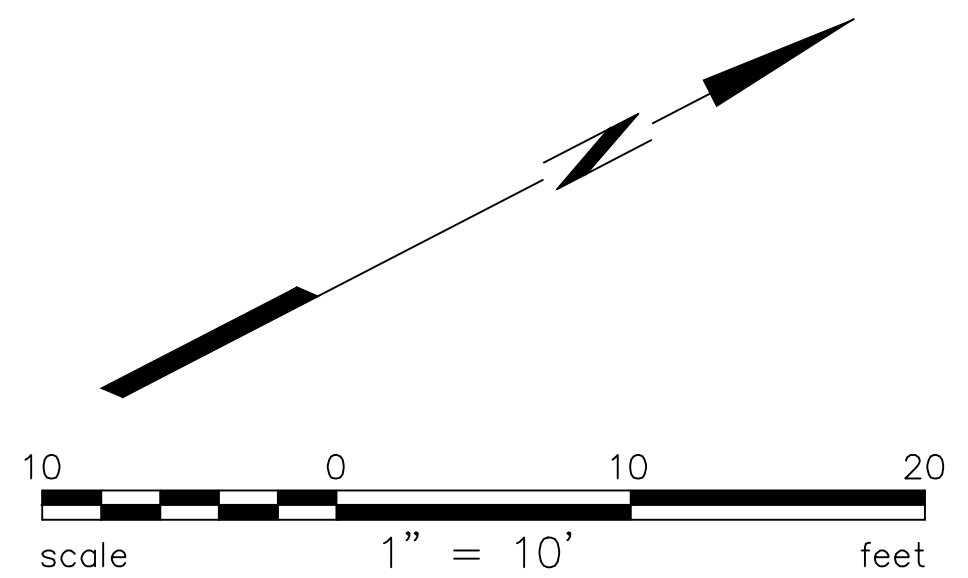
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FIELD SURVEY DATE: DECEMBER 11, 2021

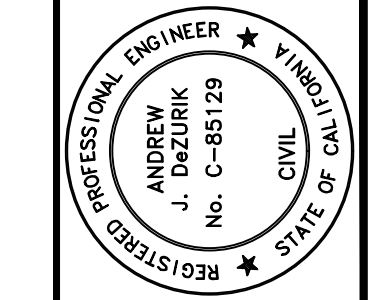


**83 MOUNT RAINIER DRIVE
APN 464-387-03
SAN RAFAEL, CALIFORNIA
TOPOGRAPHIC MAP**

Revisions	No.	Date	By	Check

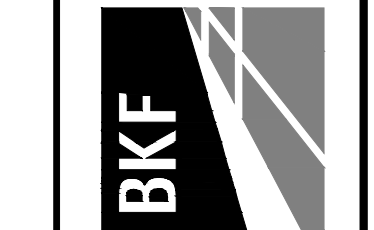
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Scale: AS SHOWN
Design: N/A
Drawn: DAC
Approved: JPS
Job No: 212327-50
Drawing Number:

SU-1



PRELIMINARY
FOR STUDY PURPOSES ONLY
DATE: 03/11/2022
ANDREW J. DEZURIK
C-85129

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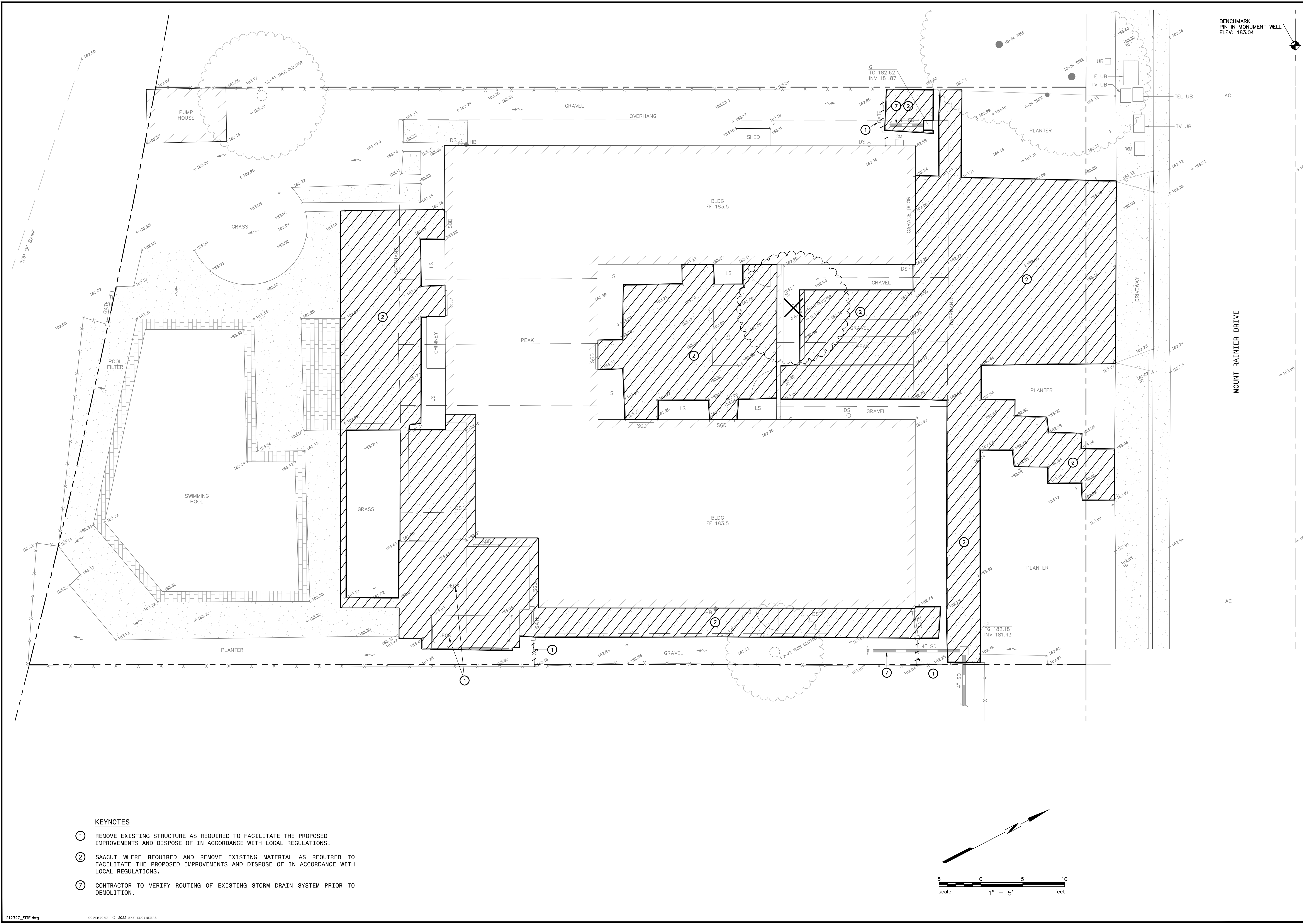


83 MOUNT RAINIER DRIVE
APN 184-387-03
SAN RAFAEL, CALIFORNIA
DEMOLITION PLAN

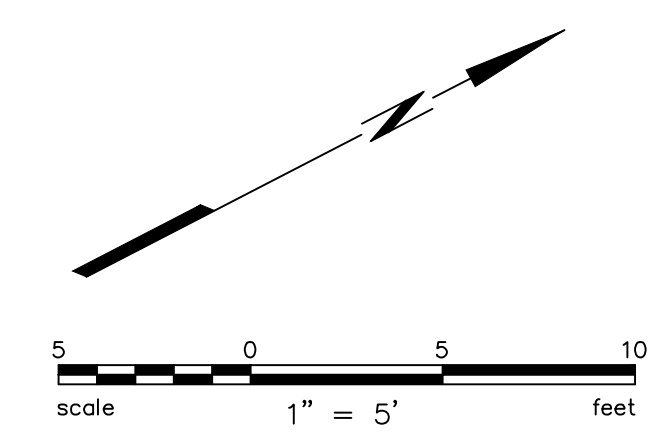
Revisions

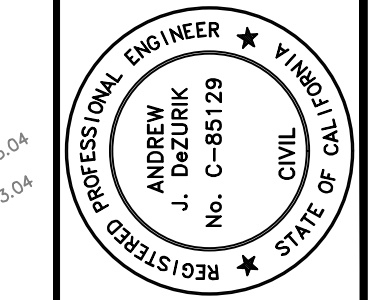
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Drawn: CAG	
Approved: AJD	
Job No: 212327-50	

Drawing Number:
C2
2 OF 4



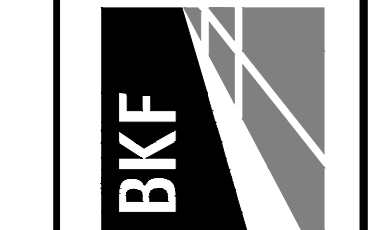
- KEYNOTES**
- ① REMOVE EXISTING STRUCTURE AS REQUIRED TO FACILITATE THE PROPOSED IMPROVEMENTS AND DISPOSE OF IN ACCORDANCE WITH LOCAL REGULATIONS.
 - ② SAWCUT WHERE REQUIRED AND REMOVE EXISTING MATERIAL AS REQUIRED TO FACILITATE THE PROPOSED IMPROVEMENTS AND DISPOSE OF IN ACCORDANCE WITH LOCAL REGULATIONS.
 - ⑦ CONTRACTOR TO VERIFY ROUTING OF EXISTING STORM DRAIN SYSTEM PRIOR TO DEMOLITION.





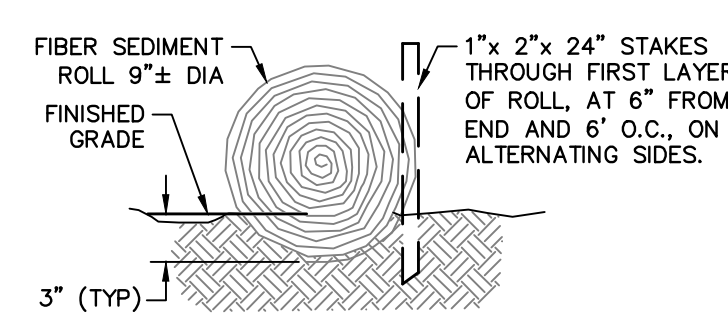
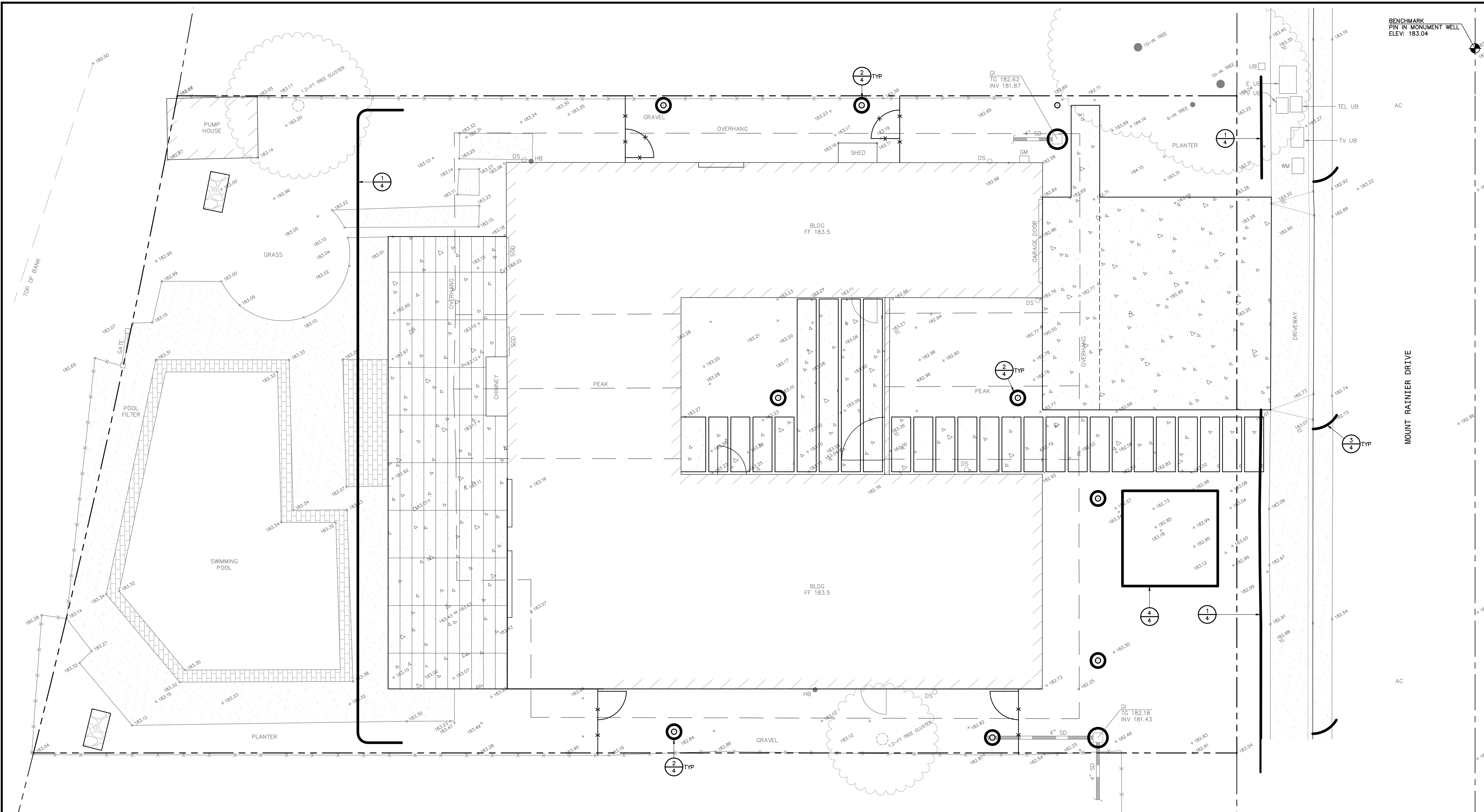
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DATE: 03/11/2022
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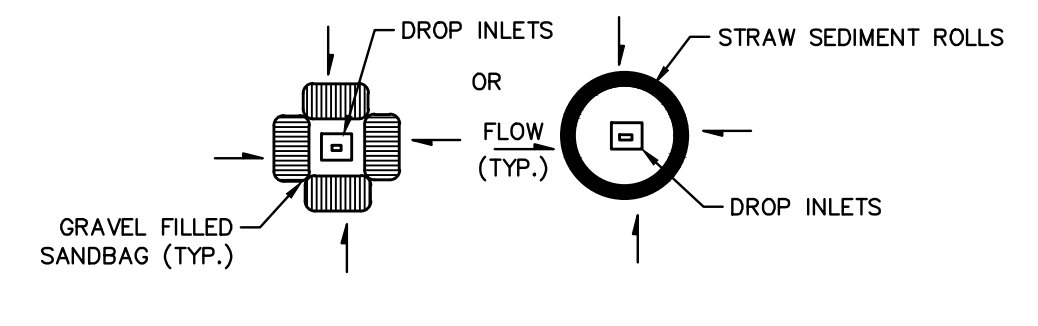


83 MOUNT RAINIER DRIVE
APN 164-387-03
SAN RAFAEL, CALIFORNIA

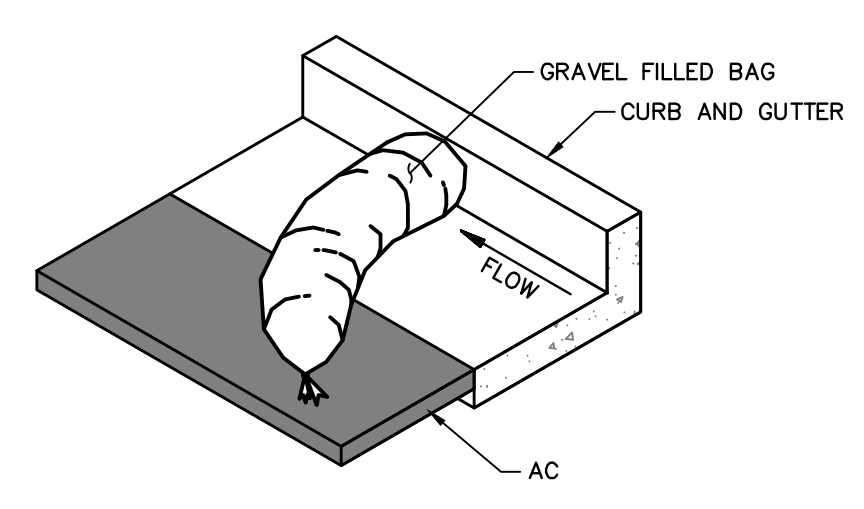
EROSION & SEDIMENT CONTROL PLAN



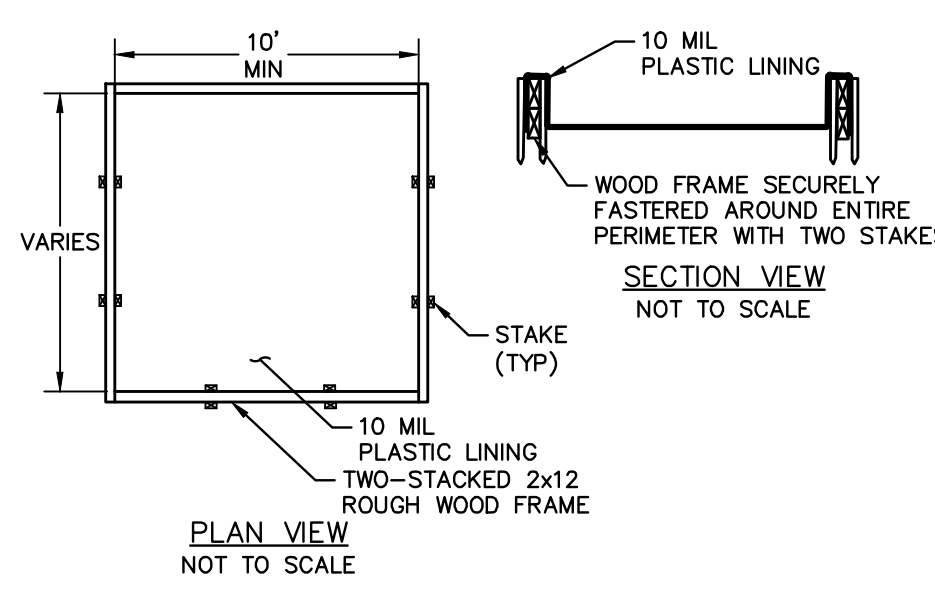
1 FIBER ROLL DETAIL
NO SCALE



2 TYPICAL SEDIMENT DEVICES
NO SCALE

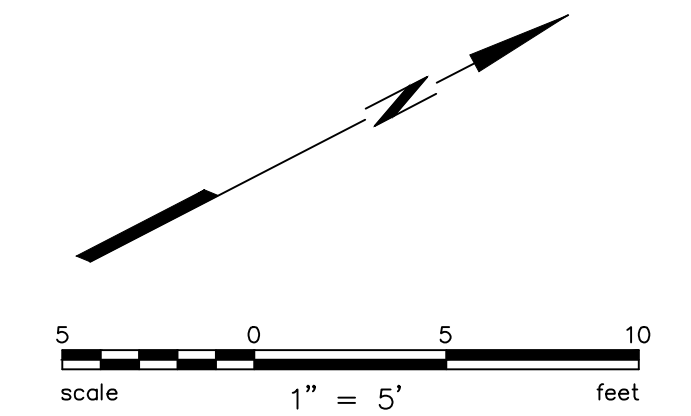


3 GRAVEL BAG DETAIL
NO SCALE



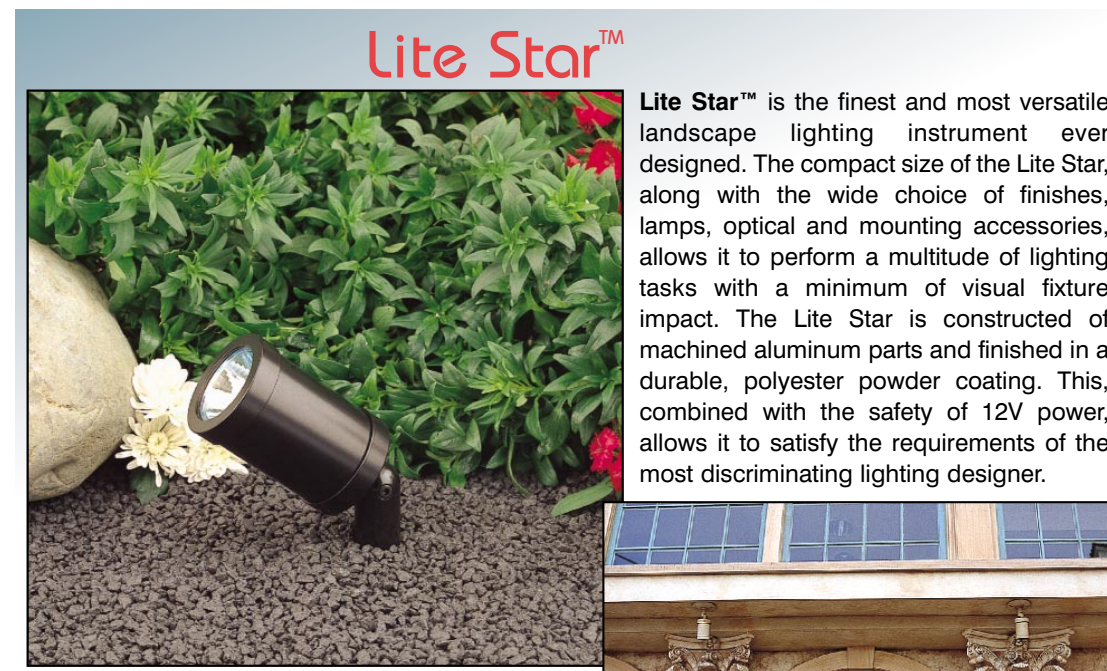
4 CONCRETE WASHOUT DETAIL
NO SCALE

NOTES:
1. LOCATION IN PLAN SHOWN FOR GRAPHIC PURPOSE ONLY. LOCATION TO BE APPROVED BY INSPECTOR.
2. CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. CONSTRUCT A BERMED AREA LARGE ENOUGH FOR LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES. WASHOUT WASTES INTO THE TEMPORARY WASHOUT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED PROPERLY. WASHOUT SHOULD BE LINED WITH A 10 MIL PLASTIC SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL. REFER TO PROJECT SWPPP FOR BMP INSPECTION AND MAINTENANCE.

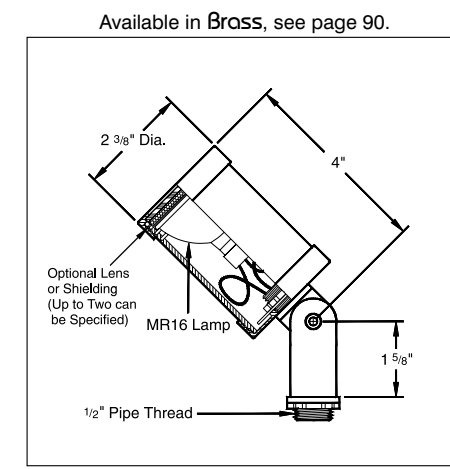


Plot Mar 11, 2022 at 8:12am

Revisions	No.	Date	Scale	Design	Drawn	Approved	Job No.



- Lite Star™** is the finest and most versatile landscape lighting instrument ever designed. The compact size of the Lite Star, along with the wide choice of finishes, lamps, optical and mounting accessories, allows it to perform a multitude of lighting tasks with a minimum of visual fixture impact. The Lite Star is constructed of machined aluminum parts and finished in a durable, polyester powder coating. This, combined with the safety of 12V power, allows it to satisfy the requirements of the most discriminating lighting designer.
- Features**
- Straight optical compartment.
 - Enclosed wireway mounting knuckle.
 - Clear, tempered glass lens, factory sealed.
 - Machined aluminum construction with stainless steel hardware.
 - **Ø 4 1/2"** Lenses with MR16 lamps to 50 watts.
 - For use with remote transformers, see pages 92, 94, and 97.



CATALOG NUMBER LOGIC

Example: LS-8-BLW-7-9-11

Series: 8 11

Lamp Type	16 - EYS(42W), 25° N, Flood
0 - By others	17 - EYP(42W), 40° Flood
1 - ESN(20W), 12° Spot	5 - EYD(20W), 13° Spot
2 - SAE(30W), 40° Flood	7 - EXZ(50W), 20° N, Flood
3 - FRB(35W), 12° Spot	8 - FNV(50W), 60° W, Flood
4 - FRM(35W), 25° N, Flood	9 - FNV(50W), 60° W, Flood
5 - FFW(35W), 40° Flood	15 - EYP(42W), 12° Spot

Finish	Powder Coat Color	Satin	W/White
Bronze	BPT	BW	
Black	BLP	BLW	
White/Gloss	WGL	WGW	
Aluminum	SAP		
Venice		VER	

Mounting

7 - Uplight (Standard), 8 - Downlight*

Lens Type

0 - Clear (Standard), 10 - Spread, 12 - Soft Focus, 13 - Rectilinear

Shielding

11 - Honeycomb (Patte)

*Note: Downlight cuff required for below horizontal aiming.

B-K LIGHTING

Exterior Light Type aa Manf. BK Lighting
Name: Lite Star LS-8-BLP-7-9-11
Fin. Black Powder Coat



EXTERIOR WOOD SIDING

DURO-LAST®
Roofing, Inc.

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Michigan	1-800-248-0280
Oregon	1-800-356-6646
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Iowa	1-877-556-6700

ROOFING MATERIAL
MANF.: DURO-LAST



WINDOW TRIM MATERIAL
MANF.: BLOMBERG WINDOW SYSTEMS/ SAF
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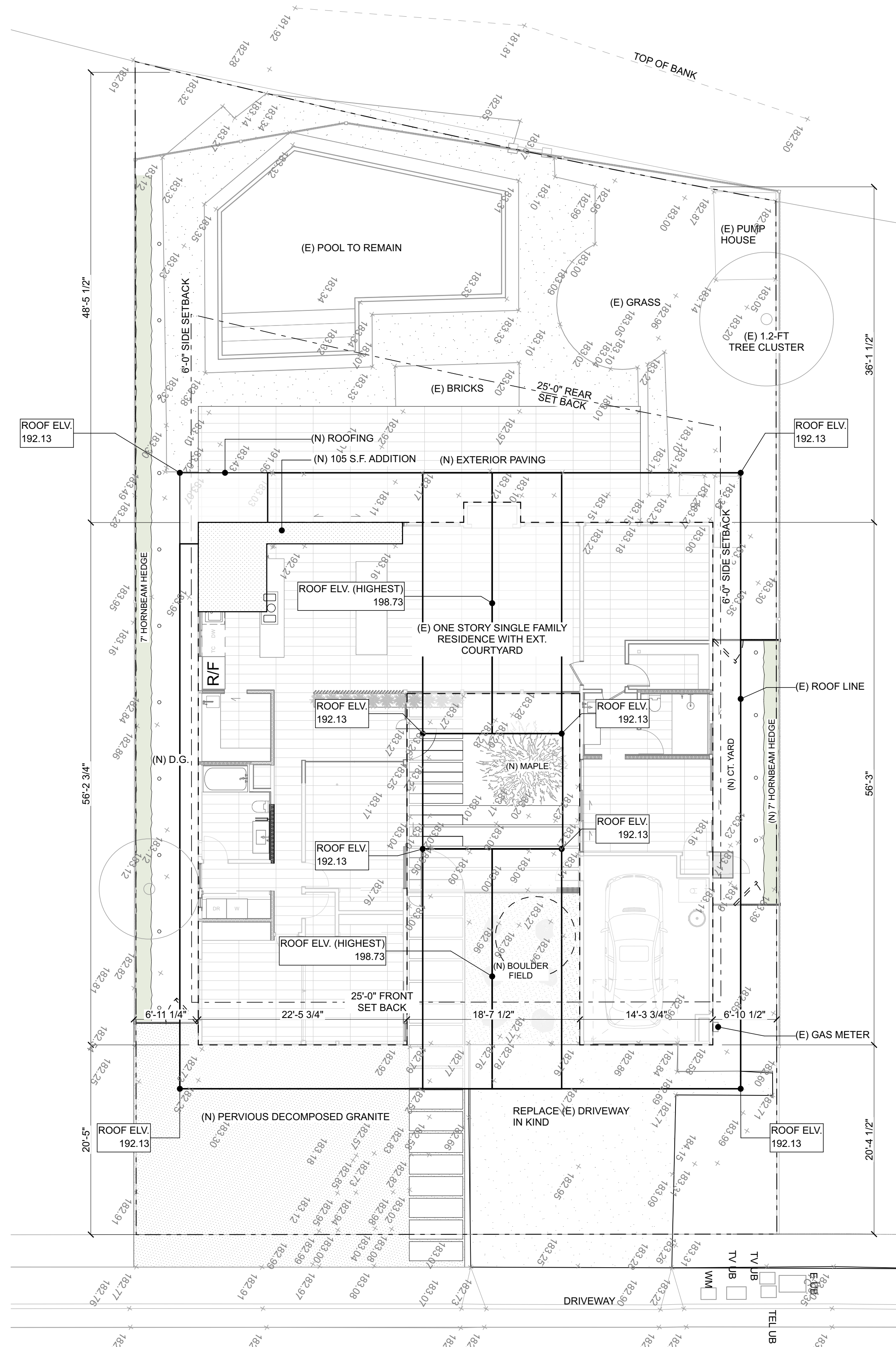
164-387-03

FACKETT RESIDENCE
 83 MT. RAINIER DR.
 SAN RAFAEL, CA

Revisions:

COLOR & MATERIALS BOARD

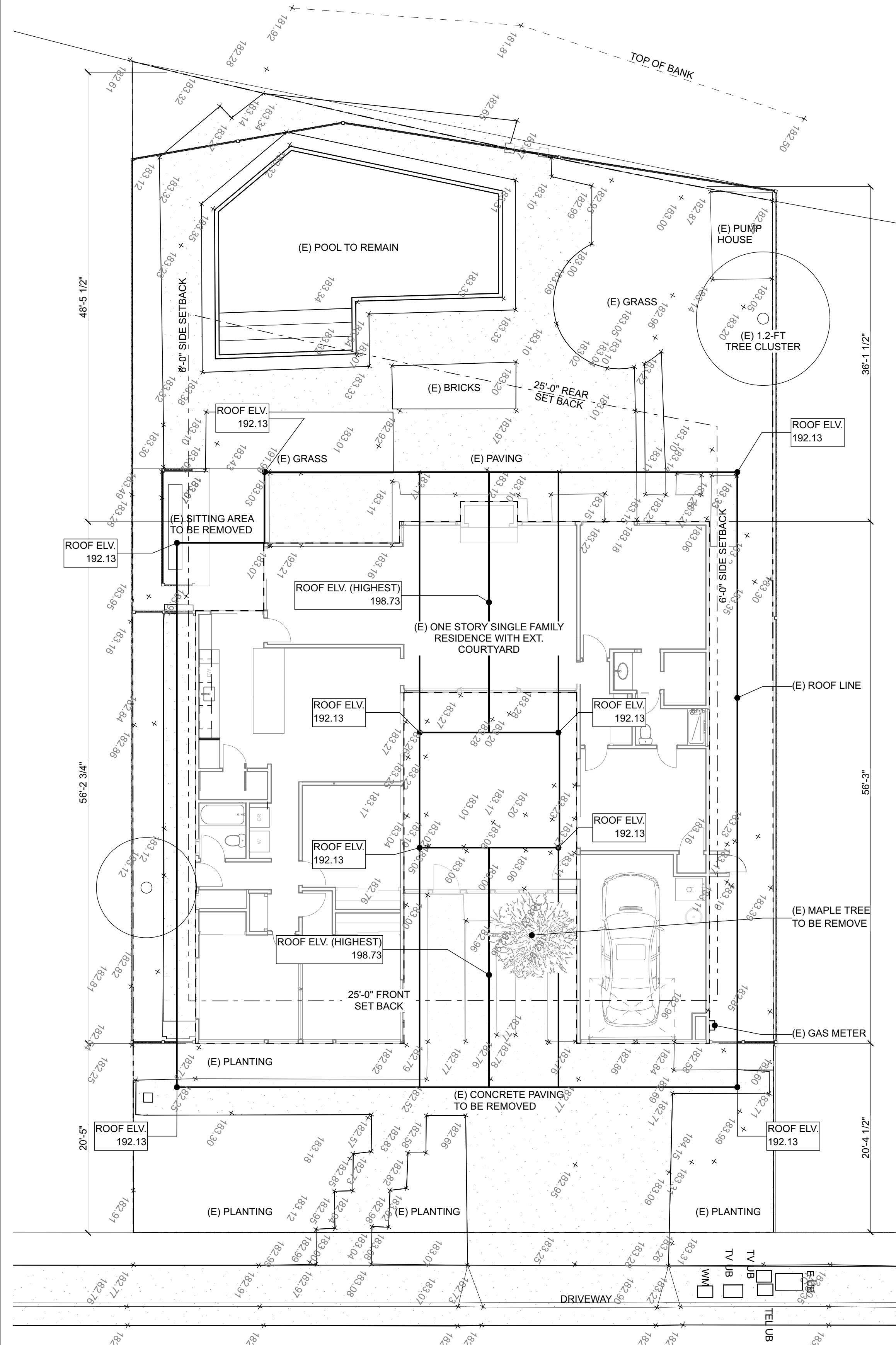
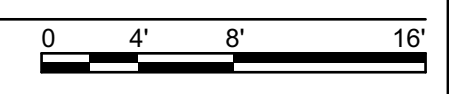
SCALE : AS NOTED
 DATE : 3/31/22
 SHEET : **A0.4**



MOUNT RAINIER DRIVE

2 SITE PLAN | LANDSCAPE PLAN (PROPOSED)

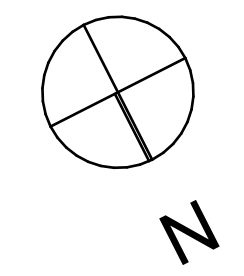
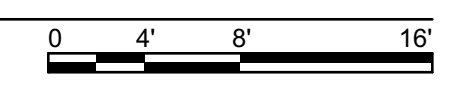
A1.0 SCALE: 1/8" = 1'-0"



MOUNT RAINIER DRIVE

1 SITE PLAN (EXISTING)

A1.0 SCALE: 1/8" = 1'-0"



Standard Project Data On Site Plan
Based on applicable definitions in Marin County Code, include the following information:

1. Lot area (both the dry land area and the total area must be provided for lots that are partially submerged)	Existing	8,168 s.f.
	Proposed	8,168 s.f.
2. Building Area	Existing	2,322 s.f.
	Proposed	2,427 s.f.
3. Floor Area	Existing	2,322 s.f.
	Proposed	2,427 s.f.
4. Floor Area Ratio	Existing	28.4%
	Proposed	29.7%
5. Proposed Area of additional disturbance		
7. Lot Coverage	Existing	5,835 s.f.
	Proposed	5,421 s.f.
8. Grading Calculations (cubic yards)		
	Cut	0 s.f.
	Fill	0 s.f.
	Off-haul	0 s.f.
9. Parking	Existing	1
	Proposed	1
10. Minimum setbacks for exterior walls of proposed building area		FRONT 25 FT REAR 25 FT SIDE 6 FT
11. Maximum height of proposed building area		15'-0"



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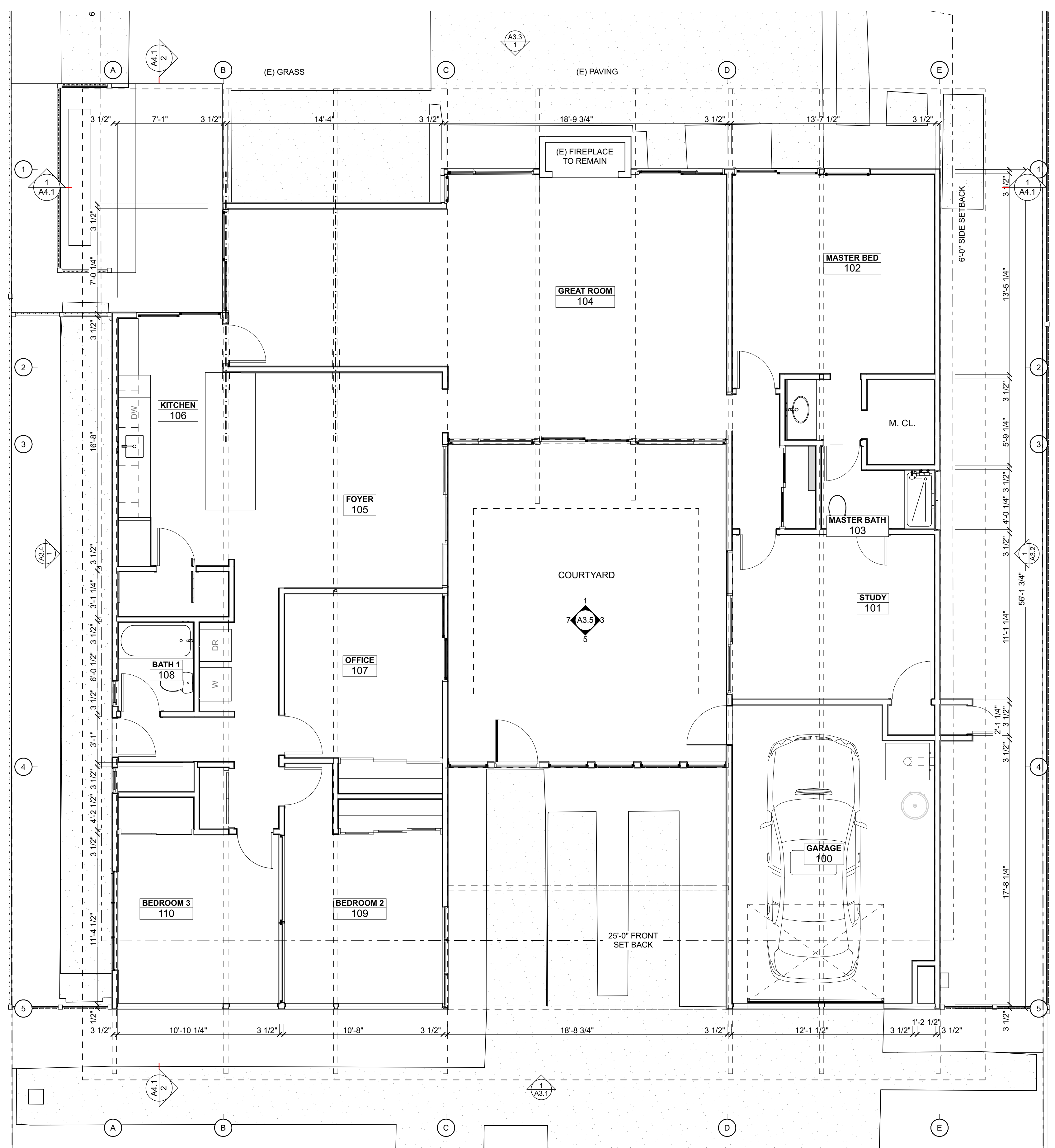
Revisions:

SITE PLAN

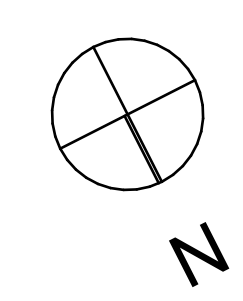
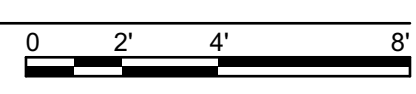
SCALE: AS NOTED

DATE: 4/7/22

SHEET: **A1.0**



1
A2.0
MAIN FLOOR PLAN (EXISTING)
SCALE: 1/4" = 1'-0"



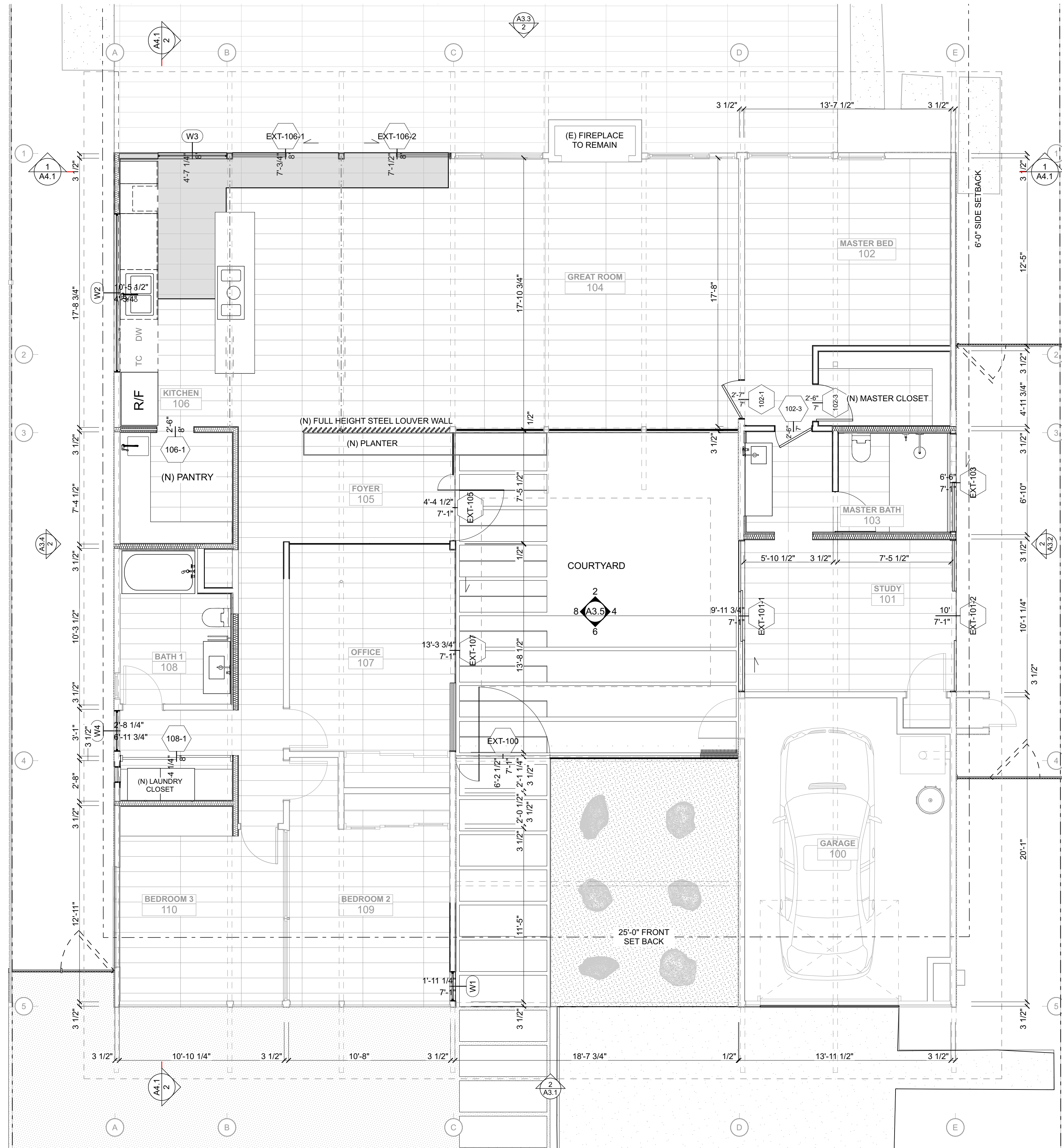
Revisions:

MAIN FLOOR PLAN (EXISTING)

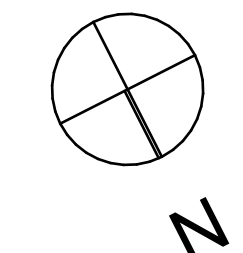
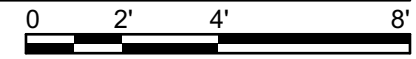
SCALE: AS NOTED

DATE: 3/31/22

SHEET: **A2.0**



1
A2.1
SCALE: 1/4" = 1'-0"





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164-387-03

FACKETT RESIDENCE
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SAN RAFAEL, CA

Revisions:

ROOF PLAN (EXISTING)

SCALE: AS NOTED

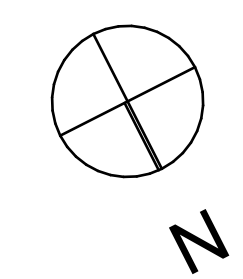
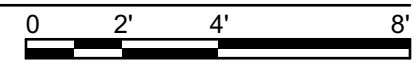
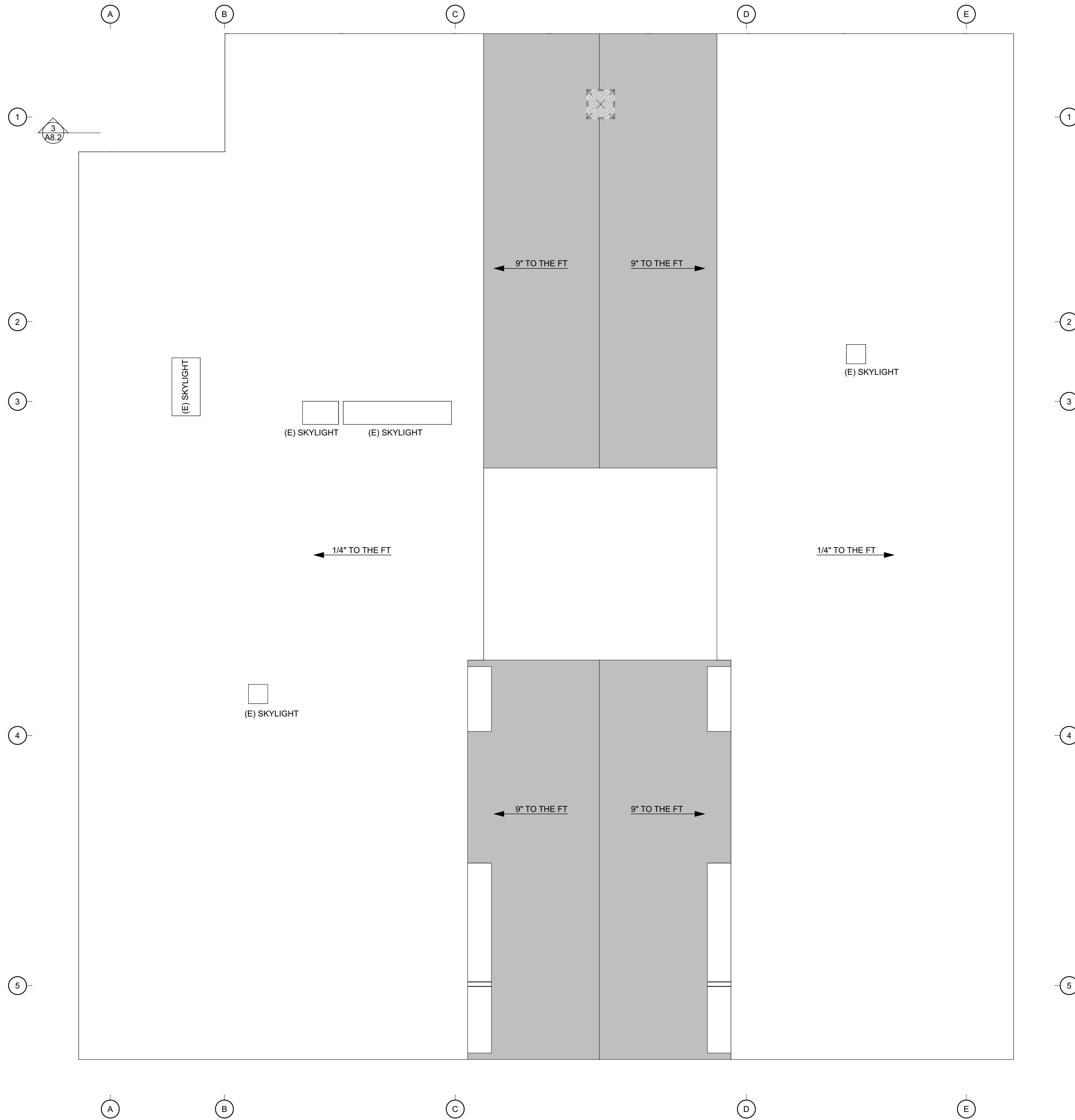
DATE: 3/31/22

SHEET: **A2.2**

1
A2.2

ROOF PLAN (EXISTING)

SCALE: 1/4" = 1'-0"





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164-387-03
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SAN RAFAEL, CA

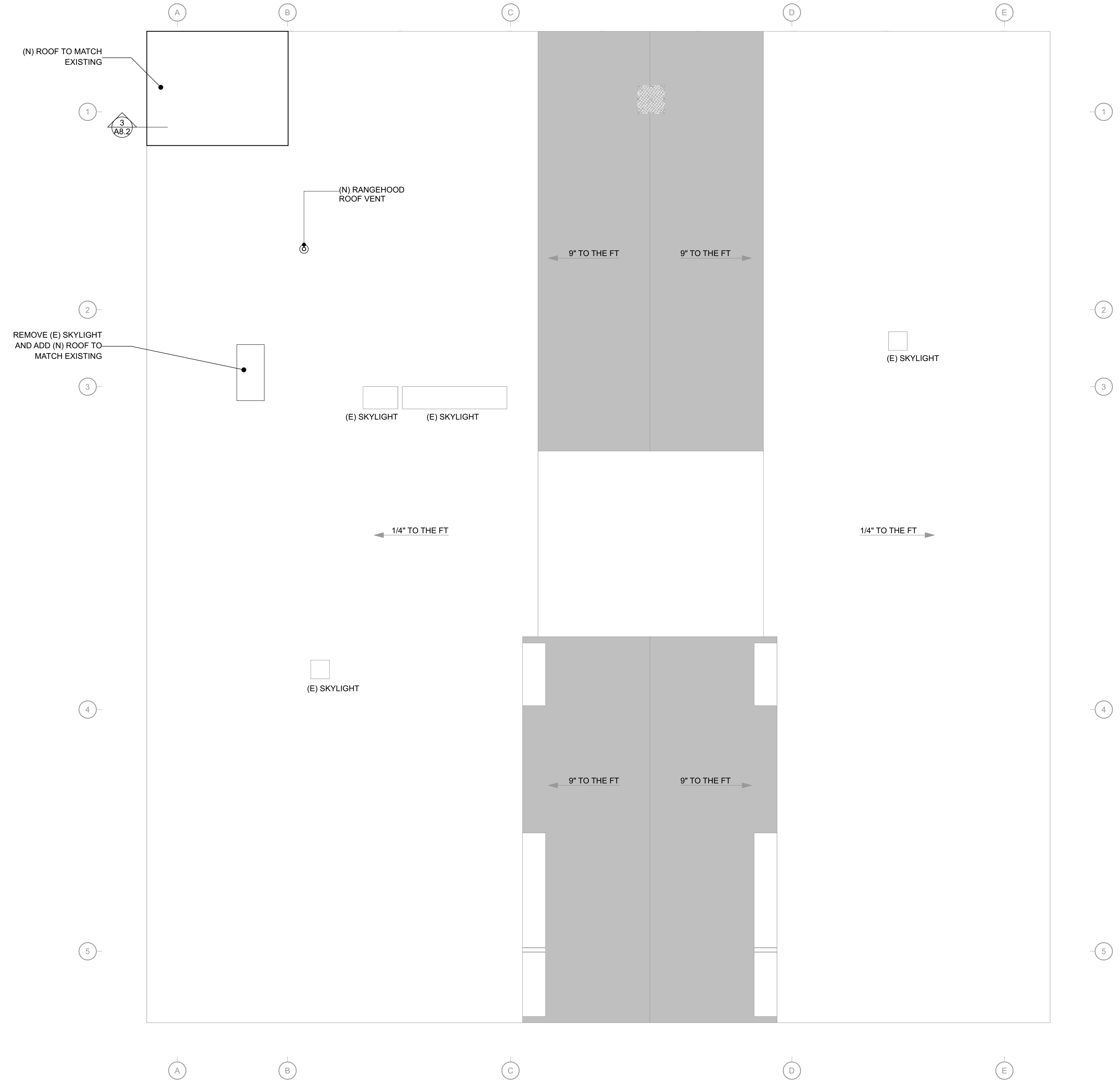
Revisions:

ROOF PLAN (PROPOSED)

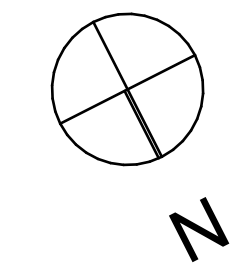
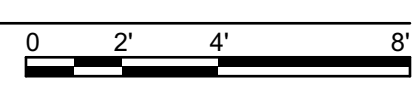
SCALE : AS NOTED

DATE : 3/31/22

SHEET : **A2.3**



1
A2.3 ROOF PLAN (PROPOSED)
SCALE: 1/4" = 1'-0"





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BUILDING PERMIT REVIEW SET

164-387-03

FACKETT RESIDENCE
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SAN RAFAEL, CA

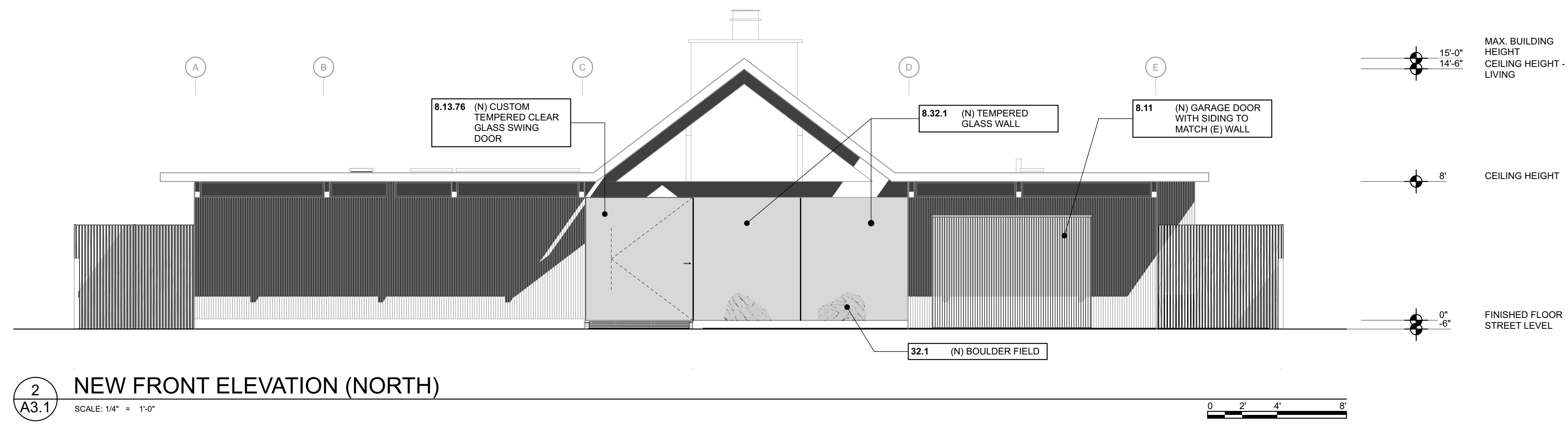
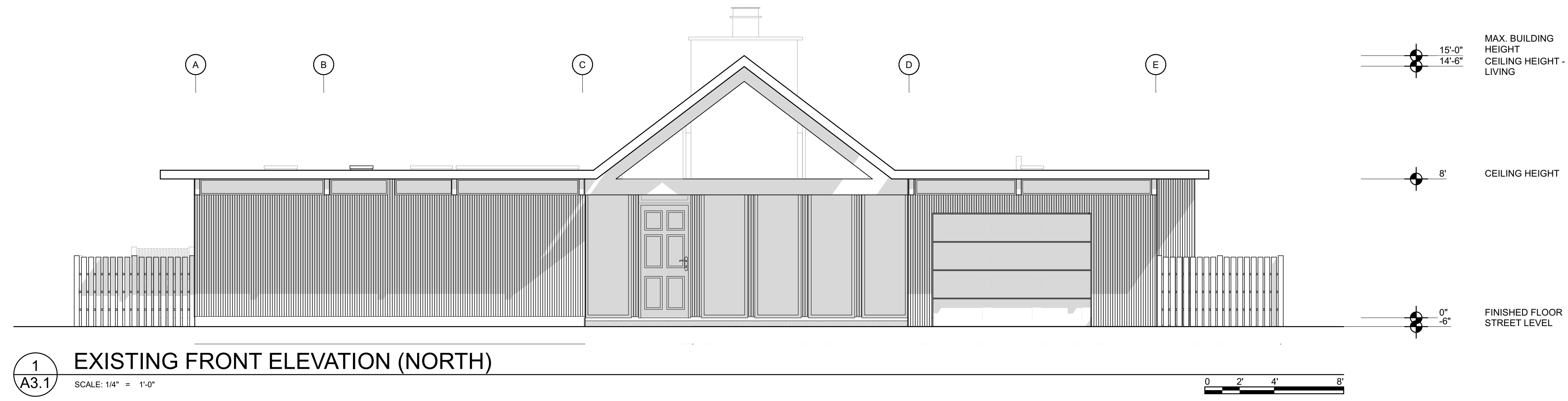
Revisions:

FRONT ELEVATION (NORTH)

SCALE: AS NOTED

DATE: 3/31/22

SHEET: **A3.1**





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164-387-03
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SAN RAFAEL, CA

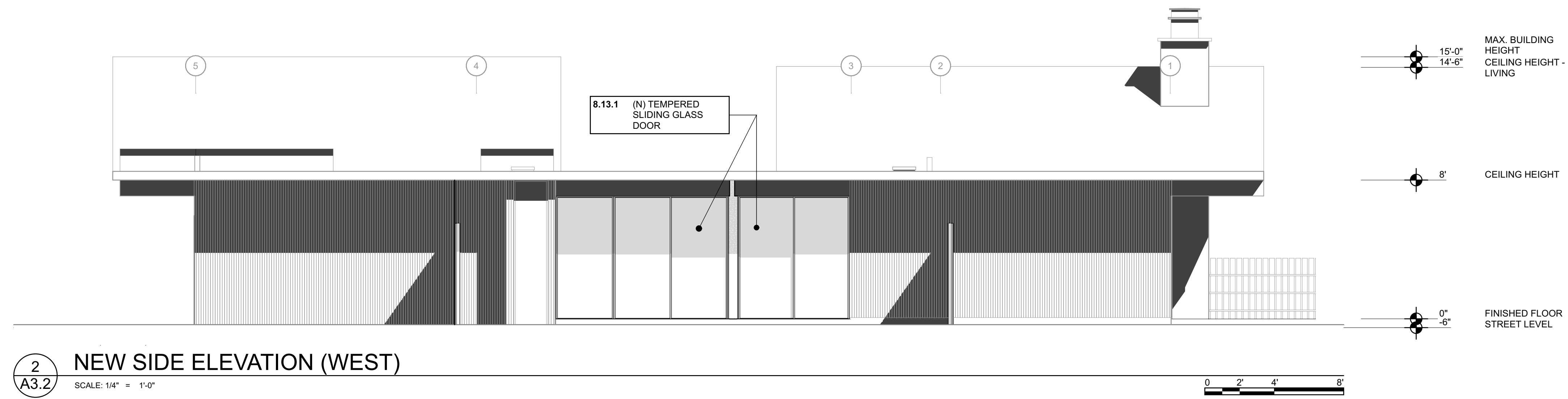
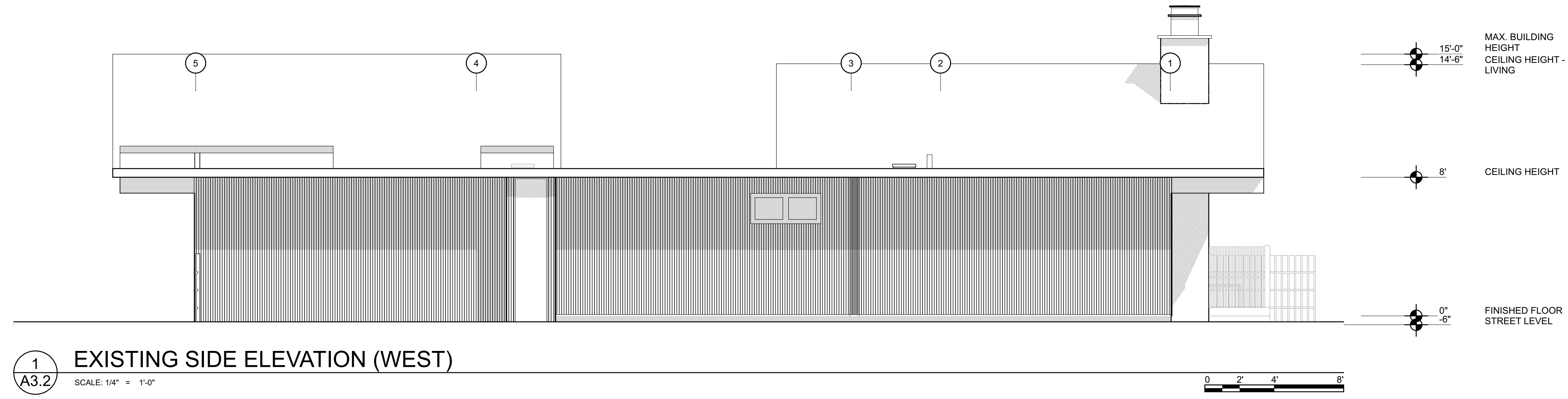
Revisions:

SIDE ELEVATION (WEST)

SCALE: AS NOTED

DATE: 3/31/22

SHEET: **A3.2**





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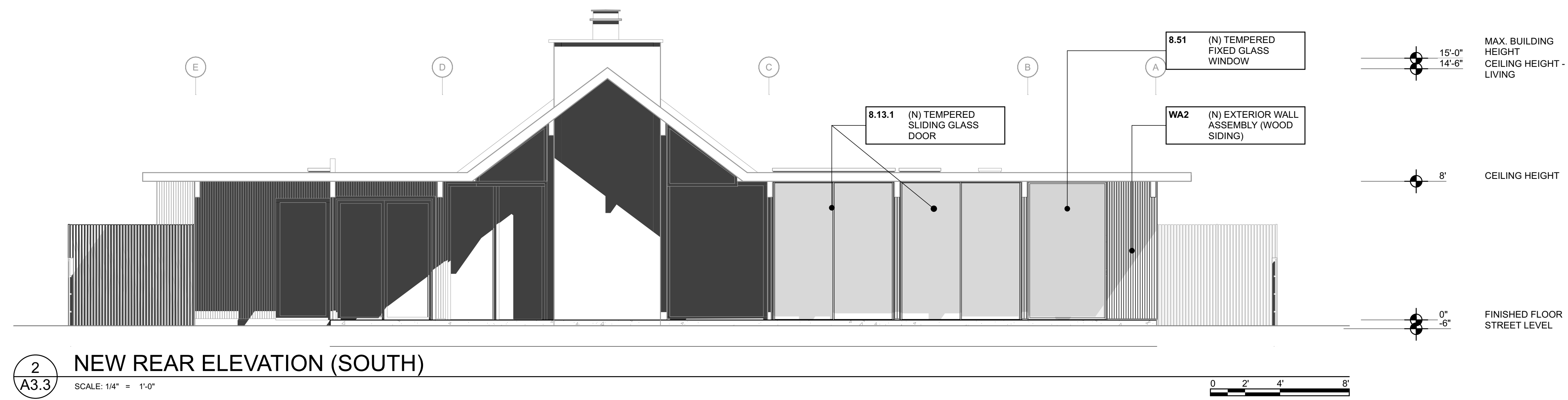
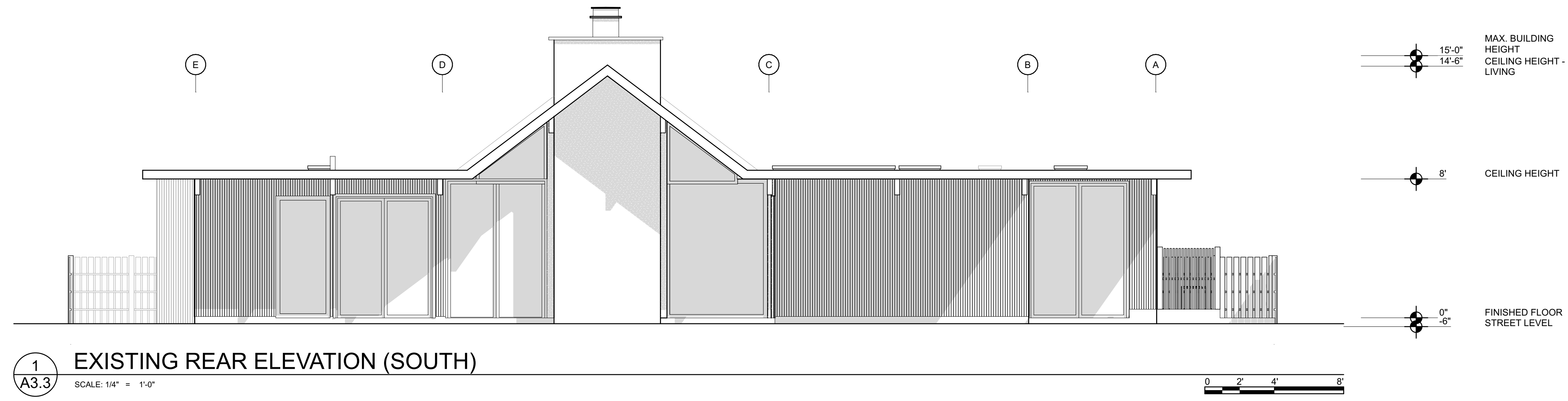
Revisions:

REAR ELEVATION (SOUTH)

SCALE: AS NOTED

DATE: 3/31/22

SHEET: **A3.3**





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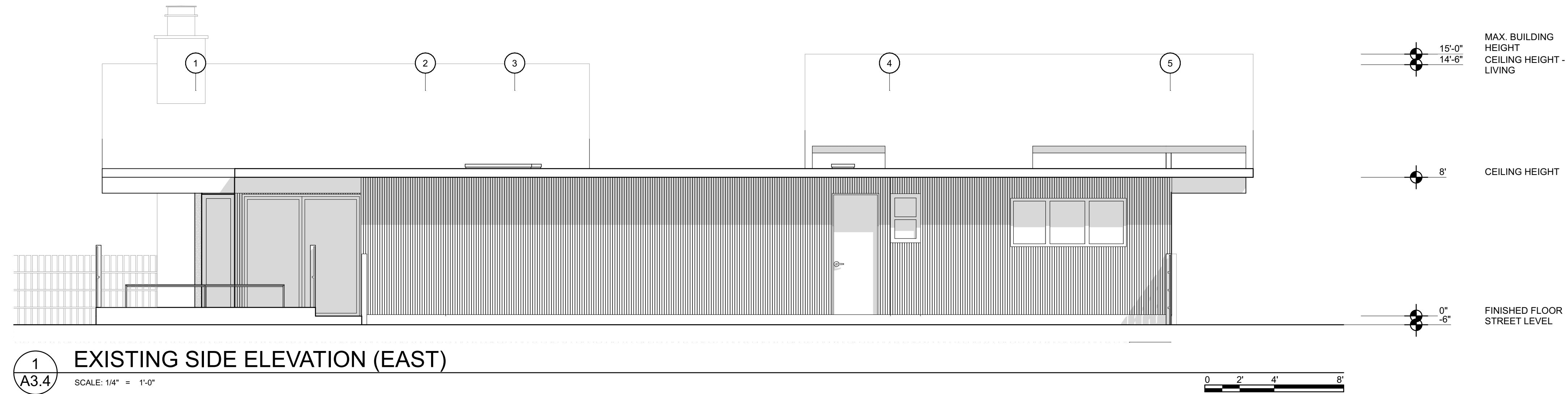
Revisions:

SIDE ELEVATION (EAST)

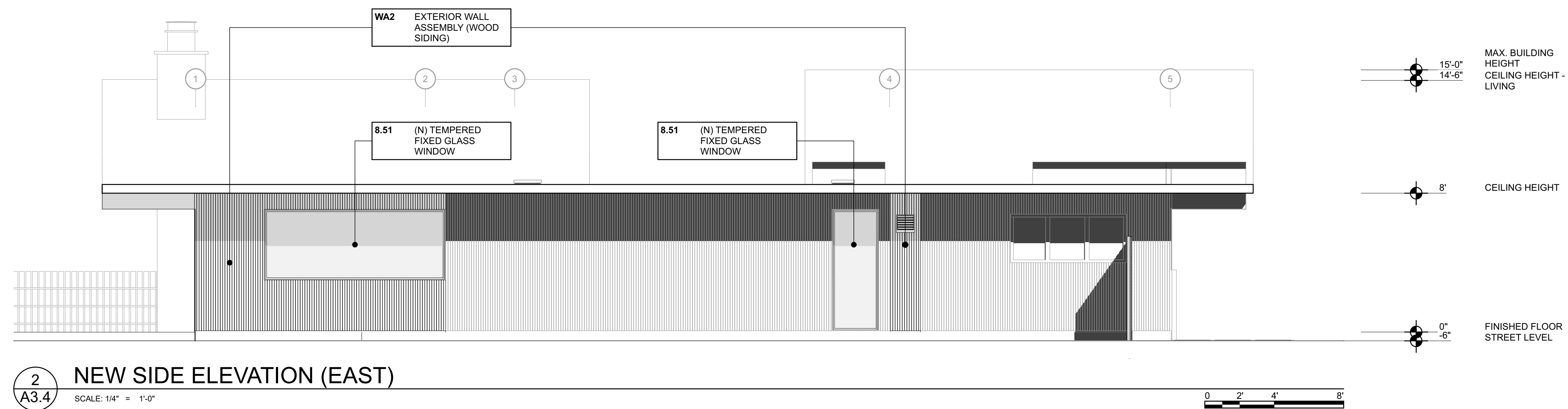
SCALE: AS NOTED

DATE: 3/31/22

SHEET: **A3.4**

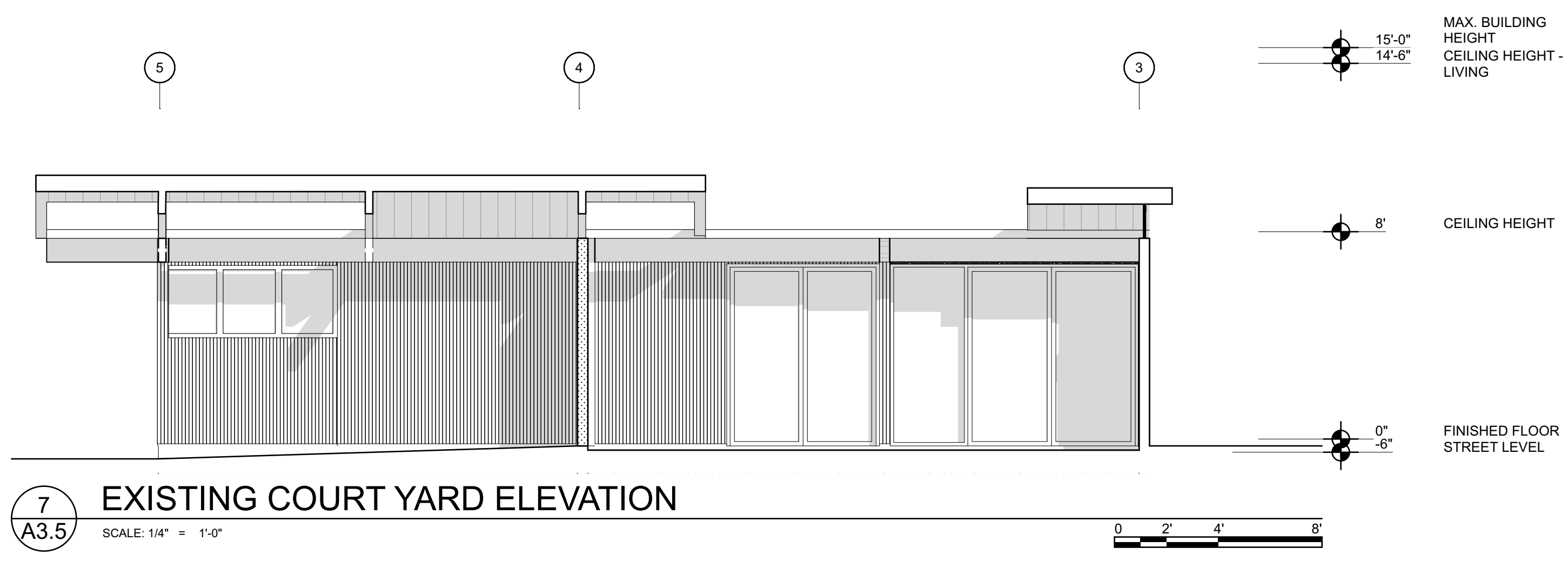


1 EXISTING SIDE ELEVATION (EAST)

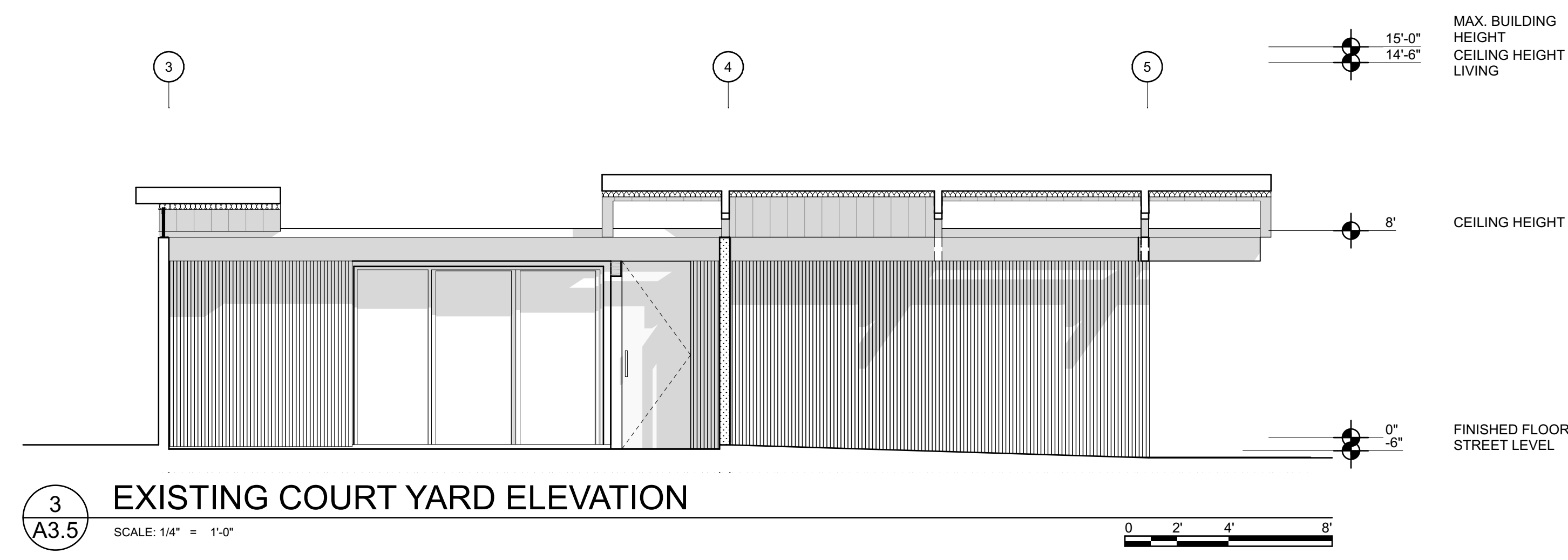


2 NEW SIDE ELEVATION (EAST)

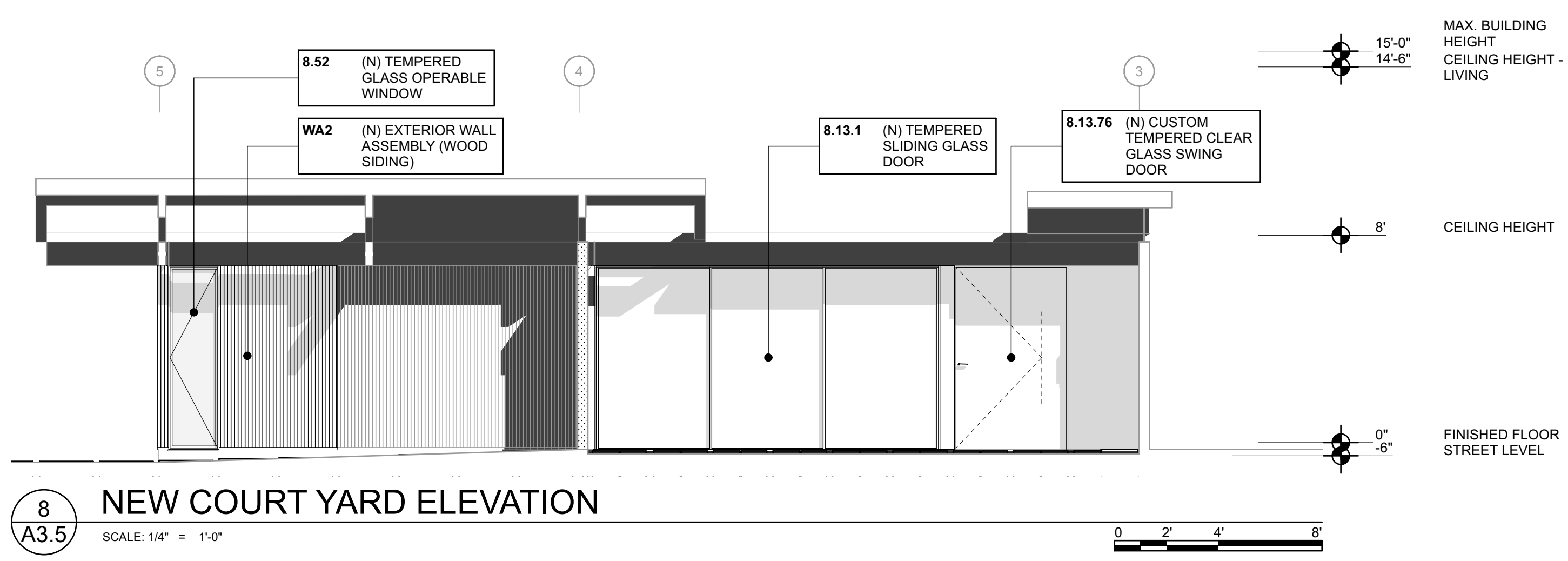
#Contact Company - FACKETT RESIDENCE - #Pin - A3.5



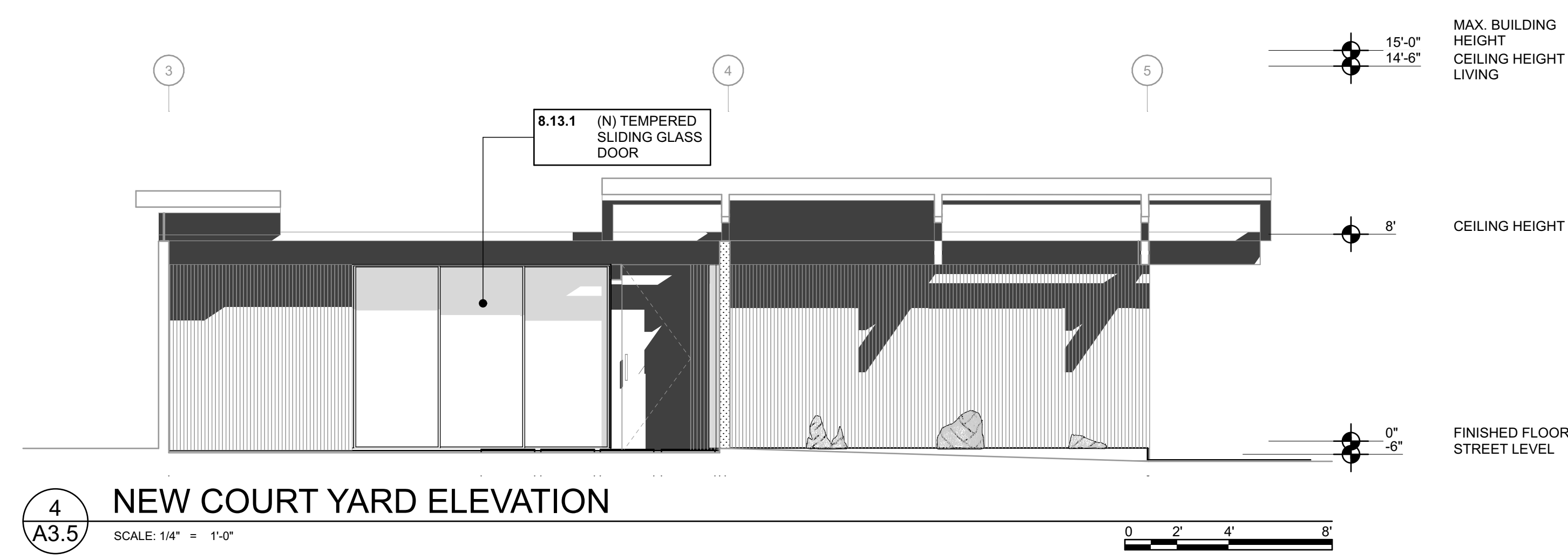
7 EXISTING COURT YARD ELEVATION
A3.5 SCALE: 1/4" = 1'-0"



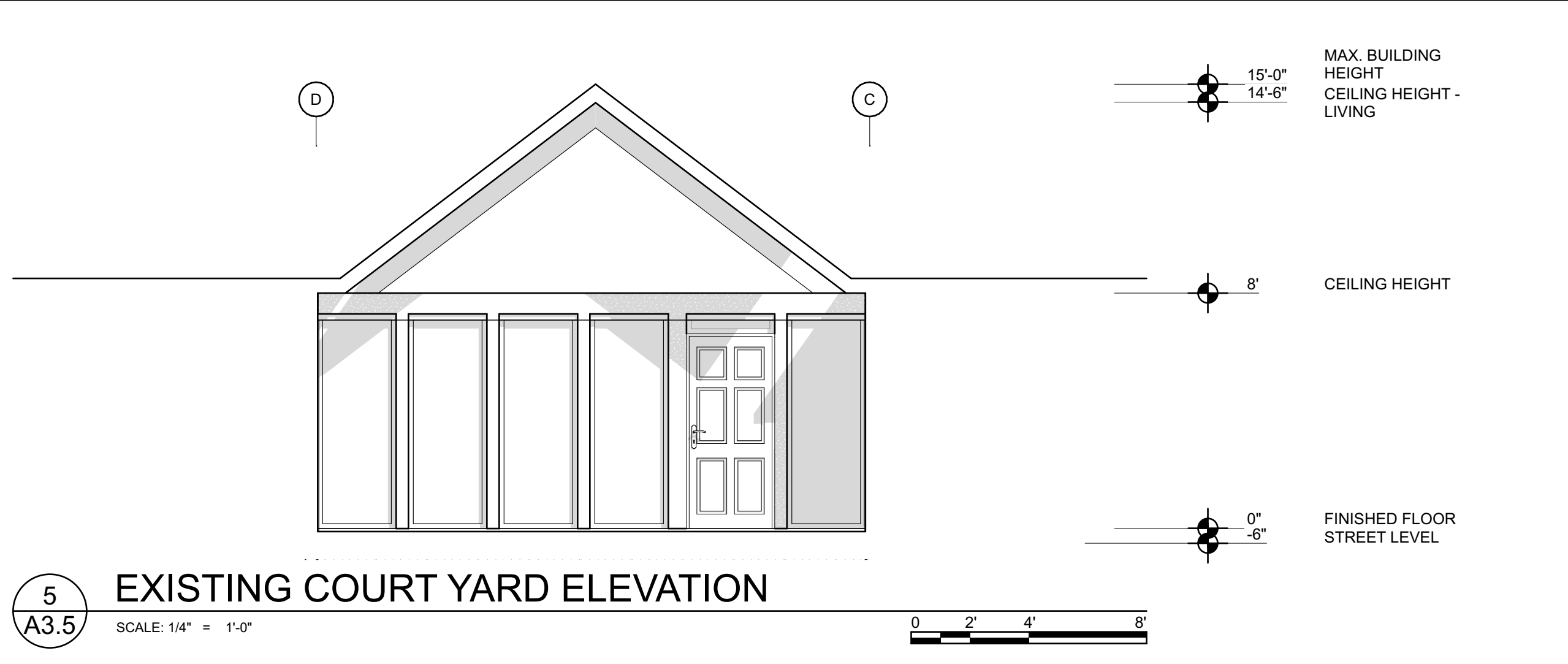
3 EXISTING COURT YARD ELEVATION
A3.5 SCALE: 1/4" = 1'-0"



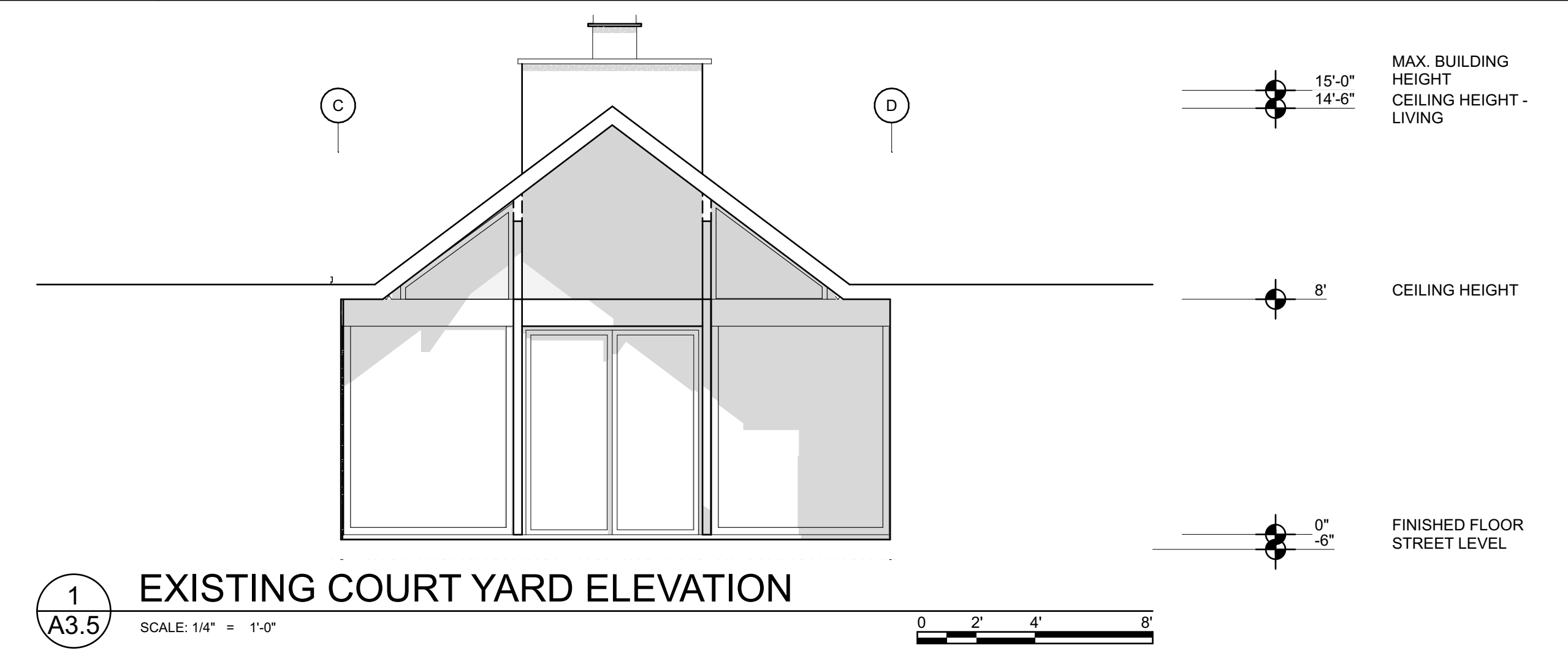
8 NEW COURT YARD ELEVATION
A3.5 SCALE: 1/4" = 1'-0"



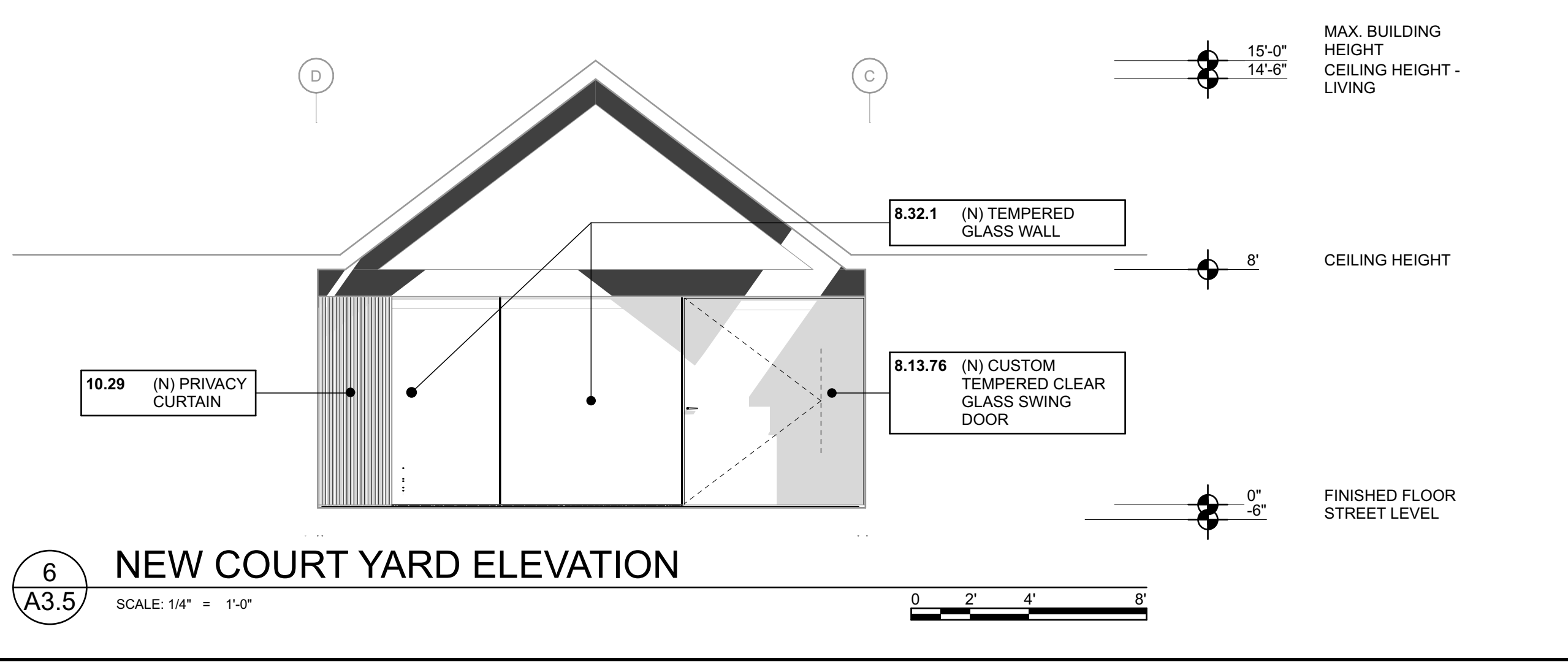
4 NEW COURT YARD ELEVATION
A3.5 SCALE: 1/4" = 1'-0"



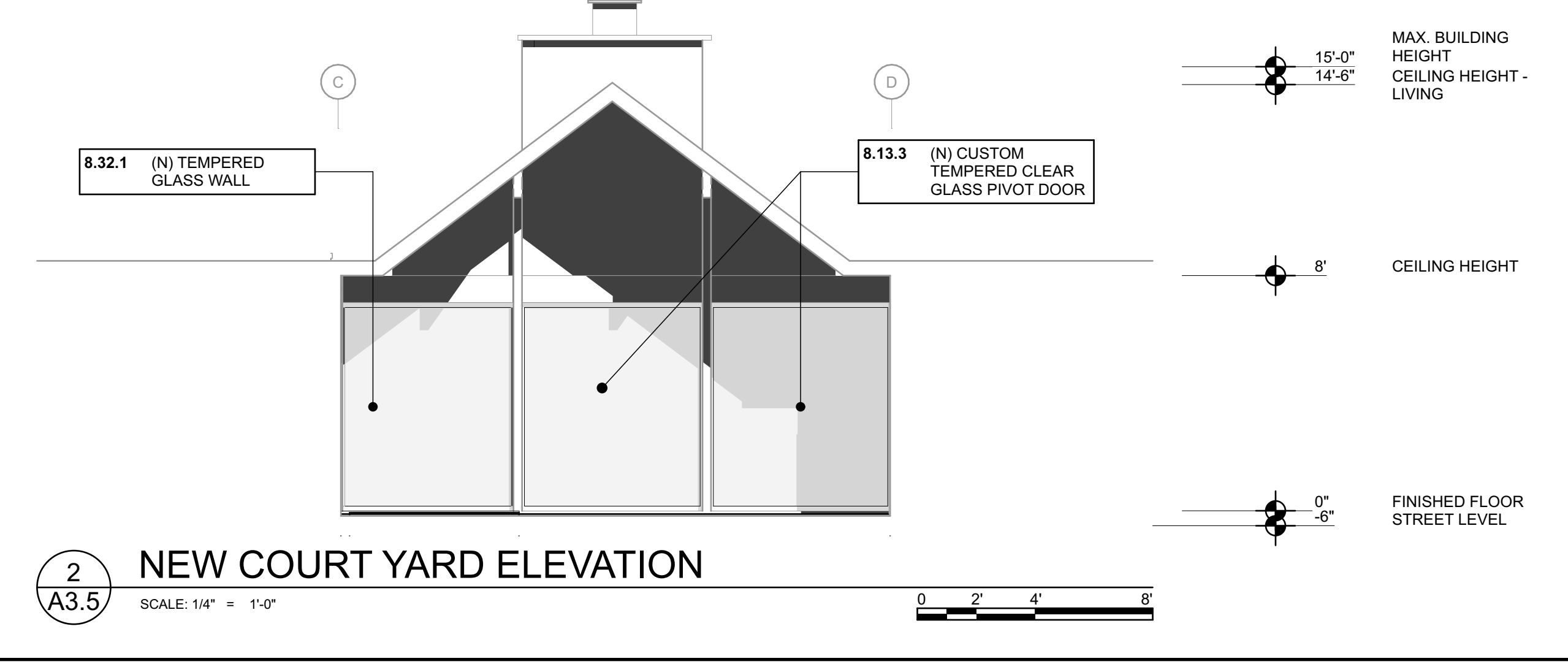
5 EXISTING COURT YARD ELEVATION
A3.5 SCALE: 1/4" = 1'-0"



1 EXISTING COURT YARD ELEVATION
A3.5 SCALE: 1/4" = 1'-0"



6 NEW COURT YARD ELEVATION
A3.5 SCALE: 1/4" = 1'-0"



2 NEW COURT YARD ELEVATION
A3.5 SCALE: 1/4" = 1'-0"

MODERN HOUSE

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Revisions:

COURT YARD ELEVATIONS

SCALE: AS NOTED

DATE: 3/31/22

SHEET: **A3.5**

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Revisions:

BUILDING SECTIONS

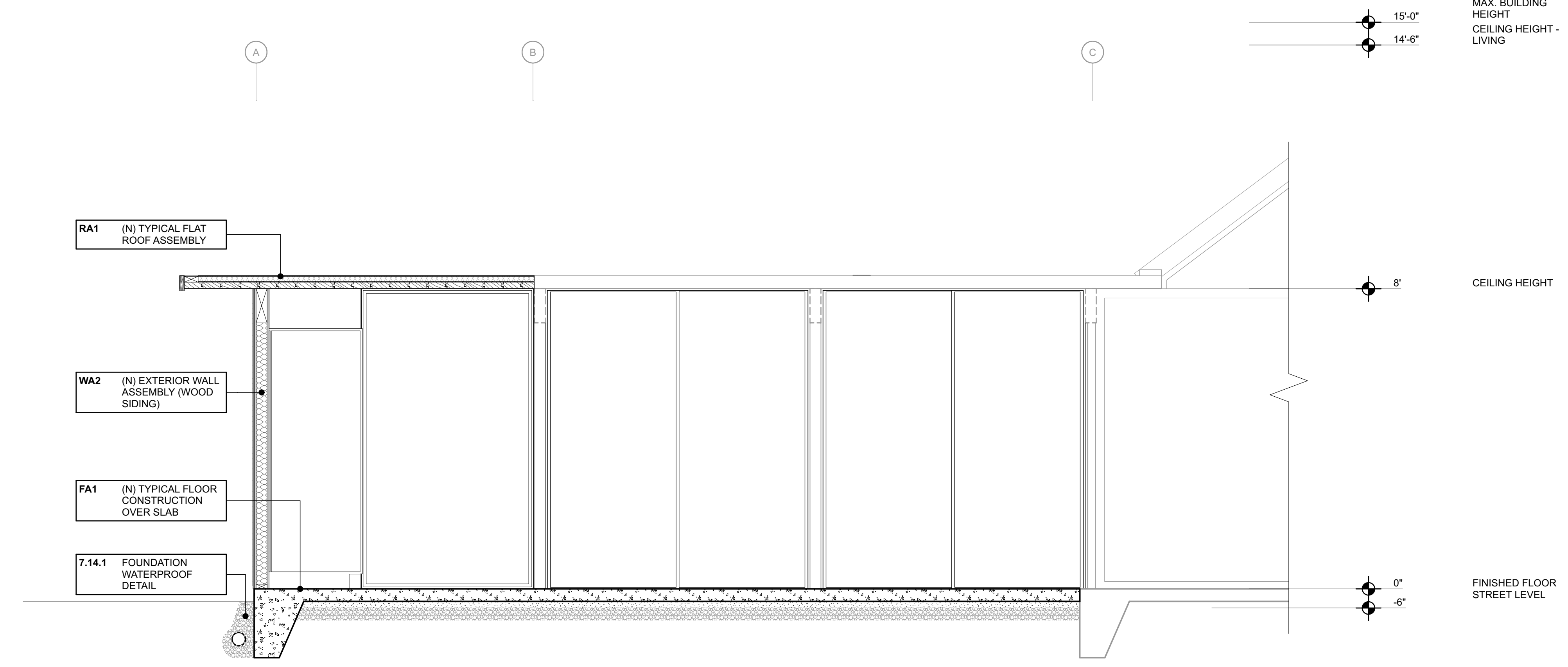
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DATE: 4/7/22

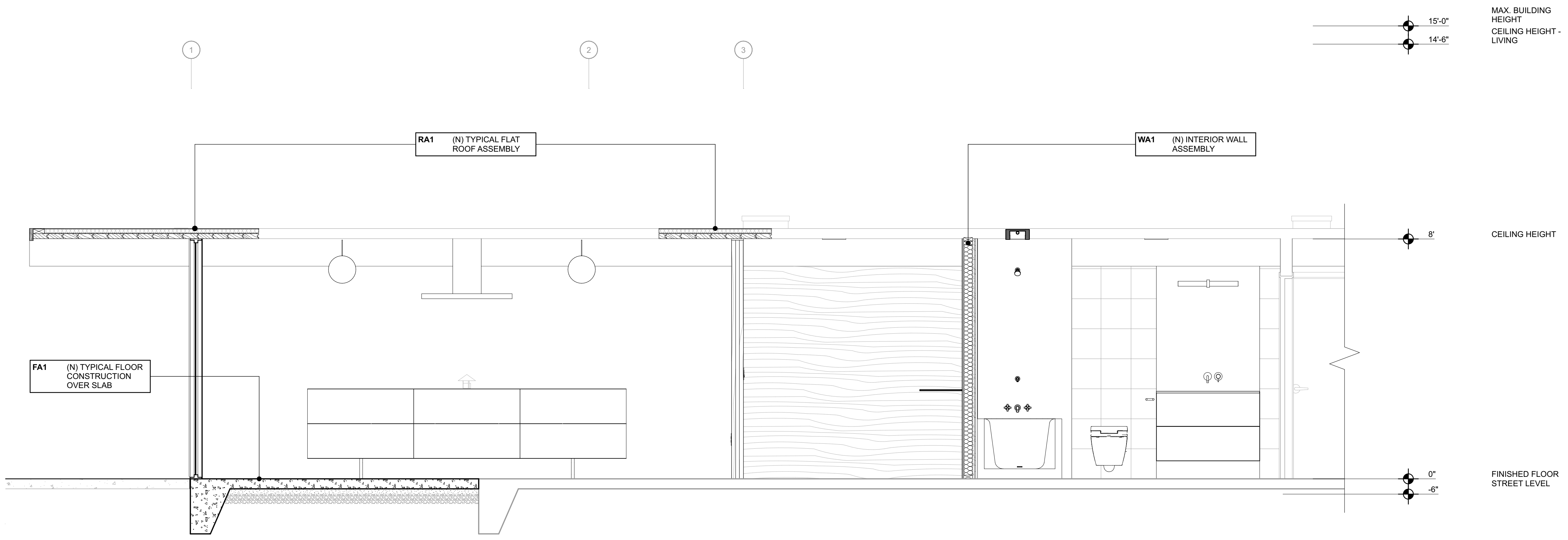
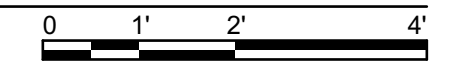
SHEET: **A4.1**

NOTES: INTERIOR ELEVATIONS

- 00 CONSTRUCTION ASSEMBLIES
 - FA1 (N) TYPICAL FLOOR CONSTRUCTION OVER SLAB
3/4" LIMESTONE TILING OVER INTEGRAL PLYWOOD OVER CONCRETE SLAB (SEE STRUCTURAL FOR REQUIREMENTS) OVER VAPOR DIFFUSION RETARDER OR 2" SAND OVER 4" GRAVEL
 - RA1 (N) TYPICAL FLAT ROOF ASSEMBLY TO MATCH EXISTING ROOFING
 - WA1 (N) EXTERIOR WALL ASSEMBLY (WOOD SIDING)
 - WA2 (N) INTERIOR WALL ASSEMBLY (WOOD SIDING)
WOOD PANEL OVER PLYWOOD SHEAR (SEE STRUCTURAL) OVER 2X4 STUDS AT 16" O.C. WITH BATT INSULATION FULL THICKNESS
-
- 7 THERMAL & MOISTURE PROTECTION
 - 7.14.1 FOUNDATION WATERPROOF DETAIL
SEE DETAIL ON SHEET A8.2



1
SECTION AT KITCHEN/GREATROOM/MASTERBED
SCALE: 1/2" = 1'-0"



2
LONGITUDINAL SECTION AT KITCHEN
SCALE: 1/2" = 1'-0"

