

SCOPE OF WORK

SELECTED DEMOLITION OF THE EXISTING HOME; NEW HOME TO BE BUILT ON SITE, NEW ATTACHED ADU, NEW MECHANICAL, ELECTRICAL, PLUMBING; NEW ATTACHED GARAGE AND DECK STRUCTURE, DRAINAGE, LANDSCAPING

SPECIAL OBSERVATION

- SPECIAL INSPECTION REQUIREMENTS: SPECIAL INSPECTIONS SHALL BE PERFORMED TO THE EXTENT REQUIRED BY THE STRUCTURAL DESIGN. THE CONTRACTOR, ACTING AS THE OWNER'S AGENT, SHALL RETAIN AN INDEPENDENT TESTING COMPANY WHO SHALL PROVIDE INSPECTIONS DURING CONSTRUCTION ON THE FOLLOWING TYPES OF WORK, AS REQUIRED:
 - CONCRETE WITH A DESIGN STRENGTH >2,500PSI
 - CONC. PIERS, CAISSONS; SHOTCRETE
 - ALL FIELD WELDING
 - STRUCTURAL MASONRY
 - INSTALLATION OF EPOXY ANCHORS
 - GRADING, EXCAVATION AND FILLING (INSPECTED BY THE SOILS ENGINEER OF RECORD)
 - EPOXY
- THE SPECIAL INSPECTOR SHALL SUBMIT INSPECTION REPORTS TO THE BUILDING DEPARTMENT.
- STRUCTURAL OBSERVATION SHALL BE PERFORMED BY THE STRUCTURAL ENGINEER FOR STRUCTURAL CONFORMANCE TO THE APPROVED PLANS. (SECTION R109 C.R.C.)

HERS FEATURE SUMMARY

THE FOLLOWING ITEMS MUST BE FIELD VERIFIED BY A CERTIFIED HERS RATER

SEE THE CF-1R FOR ADDITIONAL INFORMATION

GENERAL CONDITIONS

- ALL WORK AND MATERIALS SHALL MEET OR EXCEED ANY APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REQUIREMENTS. SHOULD THE CONTRACTOR OR SUBCONTRACTORS FIND ANY DISCREPANCIES OR OMISSIONS FROM THESE DOCUMENTS, OR SHOULD THERE BE ANY DOUBT AS TO THEIR MEANING OR INTENT, HE SHOULD NOTIFY THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- WRITTEN DIMENSIONS GOVERN THE CONSTRUCTION. SHOULD ADDITIONAL DIMENSIONING BE REQUIRED, NOTIFY THE ARCHITECT FOR CLARIFICATION. **DO NOT SCALE DRAWINGS.**
- ANY DIMENSIONS, ROOF PITCHES, GRADES, ETC. RELATED TO EXISTING CONDITIONS (WHERE APPLICABLE) SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. SUBMIT ANY CONSEQUENT CLARIFICATION REQUESTS IN WRITING TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND IDENTIFY CONFLICTS BETWEEN THE DOCUMENTS' EXISTING REQUIREMENTS AND SITE CONDITIONS.
- ALL MATERIAL AND/OR EQUIPMENT SHALL BE HANDLED, STORED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- VERIFY THE LOCATION OF ALL UTILITY SERVICES AND COORDINATE THEIR PROTECTION, RELOCATION AND/OR REPLACEMENT, AS REQUIRED BY THE CONTRACT DOCUMENTS. CONFORM TO THE APPLICABLE REQUIREMENTS OF EACH AFFECTED UTILITY PROVIDER.
- CONTRACTOR AND SUBCONTRACTORS SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM EXCESSIVE ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR OPERATIONS BY THE TIMELY REMOVAL OF DEBRIS BOXES, EMPTYING OF TRASH CANS AND REMOVAL OF DEBRIS PILES. AT THE COMPLETION OF WORK REMOVE ALL WASTE MATERIALS AND RUBBISH FROM THE PROJECT SITE AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT MACHINERY, AND SURPLUS MATERIALS.
- ALL REQUESTED MATERIALS SUBSTITUTIONS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO PURCHASE, EITHER VERBALLY OR IN WRITING AS APPLICABLE TO THE CONDITION.
- ALL COLORS AND/OR COLOR SAMPLES SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OR APPLICATION.
- THE CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS IN A QUALITY, QUANTITY AND LOCATION AS REQUIRED BY LOCAL FIRE DEPARTMENT OR GOVERNMENT FIRE PROTECTION AGENCIES, (TO BE PROVIDED PRIOR TO OCCUPANCY), OR AS SHOWN ON THE CONSTRUCTION DOCUMENTS.

ABBREVIATIONS

&	and	IN	inch
<	angle, less than	INCL	include
>	greater than	INSUL	insulation
@	at	INT	interior
⊙	centerline	JT	joint
⌀	diameter	KD	kiln dried
/	per	LAV	lavatory
#	pound or number	LB	pound
AB	anchor bolt	LDSCP	landscape
A/C	air conditioning	LH	left hand
ADJ	adjustable	MAX	maximum
AFF	above finished floor	MB	machine bolt
AIA	American Institute of Architects	MEMB	membrane
ALT	alternate	MEZZ	mezzanine
APPROX	approximate	MFR	manufacturer
ARCH	architectural	MIN	minimum
AWG	american wire gage	MISC	miscellaneous
BD	board	MTL	metal
BLDG	building	(N)	new
BLKG	blocking	NIC	not in contract
BM	beam	NOM	nominal
BOT	bottom	NTS	not to scale
BUR	built-up roof	O/	over
CAB	cabinet	OA	on axis
CAR	cold air return	OC	on center
CB	catch basin	OCEW	on center each way
C.E.C.	California Energy Commission	OD	outside diameter
CI	cast iron	OFCI	owner furnish, contractor install
CLG	ceiling	OPP HAND	opposite hand
CMU	concrete masonry unit	OPNG	opening
C.O.	cleanout	PL	plate
COAX	coaxial cable	PLAM	plastic laminate
COL	column	PLF	pounds per lineal foot
COMM	communication	PLY	plywood
CONC	concrete	PR	psf
CONN	connection	PSF	pounds per square foot
CONST	construction	PSI	pounds per square inch
CONT	continuous	PT	pressure treated with preservative
CONTR	contractor	RD	roof drain
CU	cubic	REIN	reinforcement
DBL	double	REQ	required
DF	douglas fir	RESIL	resilient
DIA	diameter	REV	reversion or revised
DIM	dimension	RH	right hand
DISP	disposal	RM	room
DIV	divided or division	RO	rough opening
DSP	downspout	RS	ring shank
DW	dishwasher	RWD	redwood
DWG	drawing	RWL	rain water leader
DWR	drawer	SAD	see architectural drawings schedule
EA	each	SCHED	schedule
ELECT	electric	SD	smoke detector
ELEV	elevation	SECT	section
ENGR	engineer	SH	sheaf
EQ	equal	SIM	similar
(E) EXIST	existing	SLAD	see landscape architect drawings specification
EXP	expansion	SPEK	speaker
EXT	exterior	SQ	square
FD	floor drain	SS	stainless steel or sanitary sewer
FDN	foundation	SSD	see structural drawings
FIN	finish	STD	standard
FL, FLR	floor	STL	steel
FOC	face of concrete	STRL	structural
FOF	face of finish	SUSP	suspend (rod)
FOS	face of stud	SYM	symmetrical
FP	fireplace	T & B	top & bottom
FR	floor register	TC	top of curb
FT	foot or feet	T & G	tongue & groove
FTG	footing	TEMP	tempered
FURR	turning	TOC	top of concrete
G	gas	TW	top of wall
GA	gauge	TYP	typical
GALV	galvanized	UON	unless otherwise noted
GB	grade beam	VERT	vertical
GEN	general	VGDF	vert. grain doug. fir (10 ring/inch min)
GFI	ground fault interrupter	VIF	verify in field
GL	glazing or glass	WI	with
GR	grade	WC	water closet
GSM	galvanized sheet metal	WD	wood
GYP	gypsum	WDW	window
HB	hose bibb	WP	waterproof
HDB	hot dip galvanized	WPING	waterproofing
HDR	header	WR	wall register
HORIZ	horizontal		
HT	height		
HW	hot water		
HWH	hot water heater		

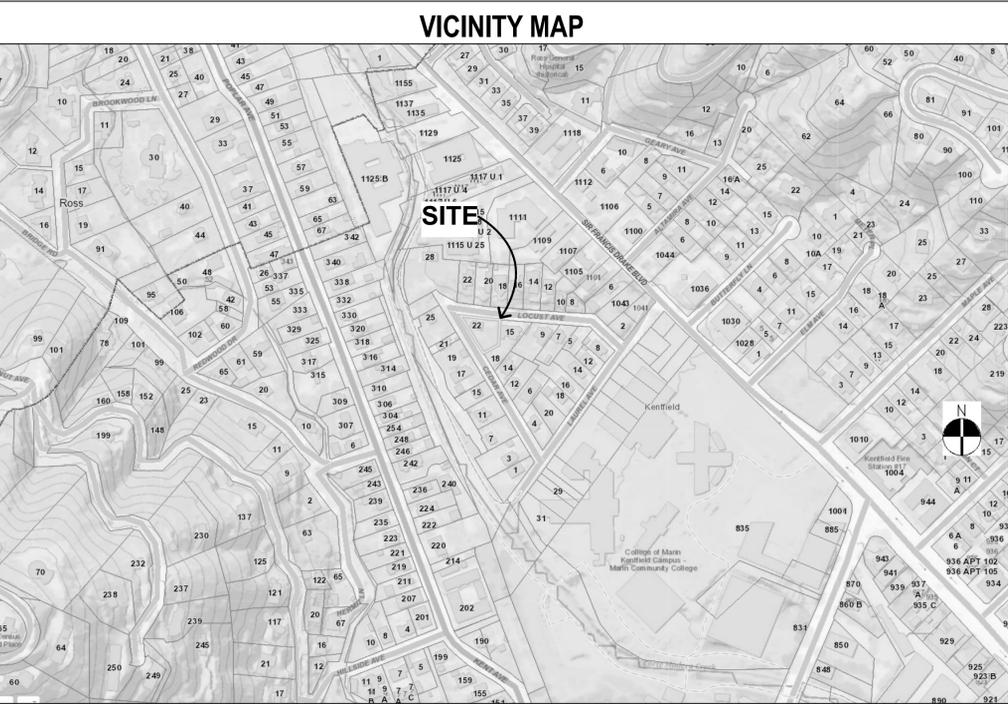
DRAWING SYMBOLS LEGEND

GENERAL		DATUM POINT, CONTROL POINT	
	DIMENSION (FACE OF FRAMING, U.O.N.)		DATUM POINT, CONTROL POINT
	DETAIL CUT DETAIL NUMBER SHEET NUMBER		SPOT ELEVATION
	EXTERIOR ELEVATION ELEVATION NUMBER SHEET NUMBER		FINISH FLOOR ELEVATION
	CROSS SECTION SECTION NUMBER SHEET NUMBER		CEILING HEIGHT
	INTERIOR ELEVATION ELEVATION NUMBER VIEW NUMBER SHEET NUMBER		DRAWING REVISION (MOST RECENT IS CLOUDED; PRIOR IS ARE PERMANENT)
	KEY NOTE		DOOR- SEE DOOR SCHEDULE
MECHANICAL/ PLUMBING		SCHEDULES	
	CW COLD WATER		WINDOW- SEE WINDOW SCHEDULE
	G GAS		LIGHT FIXTURE- SEE LIGHT FIXTURE SCHEDULE
	HB HOSE BIBB		APPLIANCE- SEE APPLIANCE SCHEDULE
	CAR COLD AIR RETURN REGISTER		INTERIOR FINISH- SEE INTERIOR REVISION SCHEDULE
	CLG CEILING REGISTER		PLUMBING FITTING- SEE PLUMBING FITTING SCHEDULE
	FL FLOOR REGISTER		PLUMBING FIXTURE- SEE PLUMBING FIXTURE SCHEDULE
	TOE TOE KICK REGISTER		
	WR WALL REGISTER (VERIFY HEIGHTS)		
WALL TYPES		SITE ELEMENTS	
	EXISTING WALLS TO REMAIN		EXISTING TREE TO BE REMOVED
	EXISTING WALLS TO BE REMOVED		
	NEW WALL CONSTRUCTION		
	NEW 1HR. FIRE RATED WALL CONSTRUCTION		
	NEW ACOUSTIC WALL CONSTRUCTION		

DEFERRED APPROVAL ITEMS

Two copies of each deferred submittal will first be submitted to the Architect/Engineer-of-Record, who will review them and forward them to the Building Department with notations indicating that the submittals conform to the design of the building. The engineer(s) responsible for the design of the deferred submittal items shall stamp and wet-sign those drawings and calculations for which he/she is responsible:

- Automatic fire sprinkler system- calculations and system design drawings
- Electrical panel schedules, if required by the Building Department
- Plumbing calculations for gas line sizing, if required by the Building Department
- Manufacturer's installation instructions for the fireplaces, water heater and furnace.



CODES

All construction shall comply with all local codes and ordinances and the codes listed below:

2019 California Residential Code: CRC
 2019 California Mechanical Code: CMC
 2019 California Electrical Code: CEC
 2019 California Plumbing Code: CPC
 2019 California Fire Code
 2019 California Energy Efficiency Standards Code (CEES)
 2019 California Building Code: CBC
 2019 California Green Building Standards Code (CGBS or CALGreen)

County of Marin Municipal Code

FIRE SPRINKLER SYSTEM NOTES

- All house areas shall incorporate an automatic fire protection sprinkler system designed and installed in accordance with the requirements of the local Fire Protection District and prevailing code requirements as applicable. (NFPA, CBC, CEC, CPC and CMC)
- A copy shall be submitted to the Architect for review of the head placements prior to agency submittal.
- All riser components shall be located to the interior of the structure at the point of entry.
- All heads shall be **concealed** head type, ceiling or sidewall as appropriate to the final head layout design.
- Verify final configuration and capacity of storage tank and booster pump system.
- Submit drawings and calculations to the building department a minimum three weeks before requesting the close-in inspection. A hold on close-in inspection is placed on this project for compliance with this item.
- The fire protection system shall be monitored for water flow by an approved alarm company.

CALIFORNIA FIRE CODE

PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION CLEARANCE REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906

PERMIT NOTES

- PROJECT IS IN CLIMATE ZONE 2 FOR T24
- SEISMIC DESIGN CATEGORY: D

W.U.I. REQUIREMENTS

This property is not located in the Wildland Urban Interface Area.

PROJECT TEAM

OWNER	ELIANA BROOKE 22 Cedar Avenue Kentfield CA Tel: 415-797-2239 E: lovebrazil@me.com
ARCHITECT	Polsky Perstein Architects 469B Magnolia Avenue Larkspur CA 94939 Tel: 415-927-1156 x306 Fax: 415-927-0847 Contact: Laura Van Amburgh laura@polskyarchitects.com
STRUCTURAL ENGINEER	Steven Chu Associates 10615 John Way Cupertino CA 95014 Tel: 408-505-9985 Contact: Steven Chu E: stevenchu@hotmail.com
GENERAL CONTRACTOR	TBD
T-24 ENERGY CONSULTANTS	Energy Calc Company 3255 Kerner Blvd #5 San Rafael CA 94901 Tel: 415-457-0990 Fax: 415-457-1986
SURVEYOR:	JLH Engineering 1539 Fourth St San Rafael, CA 94901 Tel: 415-457-6647 Contact: Jay Hallberg E: staff@jlengrs.com
CIVIL	LTD Engineering Inc 1050 Northgate Drive, Suite 315 San Rafael CA 94903 Tel: (415) 446-7400 Fax (415) 446-7419 Contact: Glenn Dearth E: gdearth@ltdengineering.com

PROJECT DATA

Owners:	Eliana Brooke
Phone:	707-481-6538
Address:	22 Cedar Ave
Zoning Designation:	R1-B1
Assessor's Parcel Number:	071-142-06
Actual Site Area (SF):	7,337
Occupancy Type:	R-3
Building Type:	V-B
Latitude	37° 57' 26.4276" N
Longitude	122° 33' 7.5924" W

	Zoning Req't.	Existing Bldgs.	Proposed Project
Lot Coverage (SF)			
Main House		970	1,241
ADU		0	99
Garage		0	476
Roof overhangs (first 2' is excluded)		0	0
Porches and stairs >18" above grade		108	369
Total Lot Coverage		1,078	2,185
Lot Coverage (%)		14.7%	29.8%
Floor Areas (SF)			
House			
First Floor		970	1,241
Second Floor		369	958
Total		1,339	2,199
Garage over 540 sq ft		0	0
Total Floor Areas	3174	1339	2199
Floor Area Ratio	30%	18%	30%
Floor Area (SF) ADU			
First Floor			99
Second Floor			546
Total			645
Building Height			
House	30'-0"	25'-1"	29'-11"
Setbacks			
Front	25'-0"	7'-10"	25'-0"
Left Side- Corner	10'-0"	6'-3"	10'-0"
Right Side	5'-0"	5'-3"	6'-10"
Rear	12'-6"	46'-11"	12'-6"
Parking			
Required spaces	2	0	3

INDEX OF DOCUMENTS

ARCHITECTURAL	A0.1 PROJECT INFORMATION A0.2 CALGREEN GREEN BUILDING CHECKLIST/ CONST. WASTE A0.3 TITLE 24 ENERGY MANDATORY MEASURES A0.4 TITLE 24 ENERGY COMPLIANCE REPORT A0.5 WINDOW, DOOR, SKYLIGHT SCHEDULES A1.0 DEMO SITE PLAN A1.1 PROPOSED SITE PLAN A1.2 EXISTING FLOOR PLANS A1.3 PROPOSED FLOOR PLANS A1.4 PROPOSED CRAWL SPACE + ROOF PLAN A1.5 PROPOSED ELECTRICAL PLANS A1.6 PROPOSED MECHANICAL PLANS A1.7 PERSPECTIVE VIEWS A2.1 EXTERIOR ELEVATIONS A2.2 EXTERIOR ELEVATIONS A3.1 BUILDING SECTIONS A3.2 BUILDING SECTIONS A4.1 DETAILS
STRUCTURAL	S1.1 FTG/BASEMENT FRAMING PLANS S1.2 FIRST FLR FRAMING PLAN S1.3 SECOND FLR FRAMING PLAN S1.4 SECOND FLR CEILING FRAMING PLAN S1.5 ROOF FRAMING PLAN S2.1 DETAILS S2.2 DETAILS S2.3 DETAILS S3.1 DETAILS AND NOTES S3.2 DETAILS AND NOTES SSW1 STRONG WALL DETAILS SSW2 STRONG WALL DETAILS TJ1 TRUSS JOIST DETAILS
CIVIL	C-1 COVER C-2 GRADING/DRAINAGE PLAN C-3 DETAILS C-4 SEWER DETAILS C-5 SEWER DETAILS C-6 SPECIFICATIONS C-7 EROSION CONTROL PLAN C-8 EROSION CONTROL STORMWATER POLLUTION PREVENTION NOTES
SURVEY	

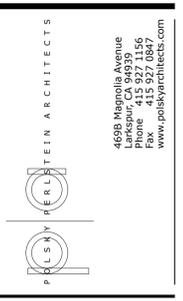
DATE	DESCRIPTION	BY
14 FEB 2022	BUILDING PERMIT SET	KH LV
11 MAY 2022	TREE REMOVAL	LV

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF POLSKY PERSTEIN ARCHITECTS AND MAY NOT BE REPRODUCED, COPIED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF POLSKY PERSTEIN ARCHITECTS
© 2018 POLSKY PERLSTEIN ARCHITECTS

PRINT DATE: 5/11/22
 DRAWN: LV
 JOB #: 2041
 SCALE: NOTED

PROJECT INFORMATION

SHEET **A0.1**



BROOKE RESIDENCE

22 CEDAR AVE
KENTFIELD CA
AP# 074-013-01



