

PROJECT ADDRESS:

81 Manzanita Ave
 Novato, CA 94945
 Latitude/Longitude
 38 DEGREES 6.436 MINUTES NORTH
 x 122 DEGREES 30.143 MINUTES WEST

APPLICANTS / PROPERTY OWNER:

Jim & Martha Davis
 81 Manzanita Ave
 Novato, CA 94945

SCOPE OF WORK:

REMODEL OF EXISTING RESIDENCE. EXPAND THE CONDITIONED MAIN FLOOR LIVING SPACE W/ A NEW PRIMARY SUITE AND AN EXPANDED OFFICE AND HALL BATH. EXPAND THE UNCONDITIONED SPACE AT THE LOWER FLOOR WITH ADDITIONAL STORAGE, AN EXPANDED LAUNDRY ROOM AND BATHROOM. ADD NEW UPPER AND LOWER WRAP AROUND DECKS W/ A LIFT FOR HANDICAP ACCESS. THE UPPER DECK WILL HAVE A TRELIS ADJACENT TO THE BEDROOMS AND A GREENHOUSE AREA.

APN: 157-103-51

OCCUPANCY: R3 Residential

STORIES: 2 Story

CONSTRUCTION: VB

SPRINKLERS:

NOT REQUIRED - HOUSE IS NOT CURRENTLY SPRINKLERED

TREE NOTE:

NO EXISTING TREES WILL BE REMOVED FOR THIS REMODEL AND EXPANSION

CAL GREEN NOTE:

ALL REQUIREMENTS IN THE CAL GREEN REPORT ARE HEREBY INCORPORATED INTO THESE PLANS. THEY ARE INCLUDED IN THIS PLAN SET AS SHEET A5.1

HERS TESTING NOTE:

HERS TESTS REQUIRED. SEE TITLE 24 SHEETS FOR REQUIRED TESTS.

WASTE MANAGEMENT

OWNER WILL SUBMIT A LETTER OF INTENT TO HIRE AN APPROVED WASTE MANAGEMENT COMPANY TO COLLECT & DOCUMENT ALL WASTE.

DRAINAGE & PERMEABLE PATHS

GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 6" (5% SLOPE) IN THE FIRST 10 FEET MEASURED PERPENDICULAR TO THE FACE OF WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

RODENT CONTROL

ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.

WUI NOTE:

WILDLAND-URBAN INTERFACE PROVISIONS OF THE 2019 CRC SECTION R337 APPLY TO THIS PROJECT.

EXISTING AREAS:

(CONDITIONED)	
MAIN FLOOR:	1,843 sf
LOWER FLOOR:	651 sf
TOTAL:	2,494 sf
(UNCONDITIONED)	
SHOP/LAUNDRY/STORAGE:	1,202 sf
LOT: 1.42 Acres (61,855 sf)	

LOT COVERAGE:

EXISTING	
HOUSE & ENTRY STEPS	2,019 sf
POND	1,120 sf
TOTAL:	3,139 sf

PROPOSED AREAS:

(CONDITIONED)	
MAIN FLOOR:	2,551 sf
LOWER FLOOR:	651 sf
TOTAL:	3,202 sf
(UNCONDITIONED UTILITY SPACES)	
SHOP/LAUNDRY/STORAGE:	1,202 sf
(N) STORAGE/BATH/MUD:	437 sf
GREENHOUSE:	326 sf
CARPORY:	658 sf
TOTAL:	2,623 sf

DECKS	
UPPER:	2,024 sf
UPPER W/ TRELIS:	448 sf
LOWER:	1,600 sf
TOTAL:	4,072 sf

PROPOSED	
HOUSE & ENTRY STEPS	2,726 sf
POND	1,120 sf
CARPORY (CONC. PAD)	658 sf
GREENHOUSE:	326 sf
TOTAL:	4,830 sf

3139/61855 = 5.1%

4830/61855 = 7.8%

SHEET INDEX RESIDENCE:

Architectural	
A0.1	Sheet Index, Project Data, Vicinity Map, Site & Roof Plan
A2.1	Existing Floor Plans
A2.2	Proposed Main Floor Plan
A2.3	Proposed Lower Floor Plan
A2.4	Roof Plan
A3.1	Existing & Proposed Front Elevations
A3.2	Existing & Proposed Rear Elevations
A3.3	Existing & Proposed Side Elevations
A3.4	Existing & Proposed Side Elevations
A4.1	Building Sections

APPLICABLE BUILDING CODES:

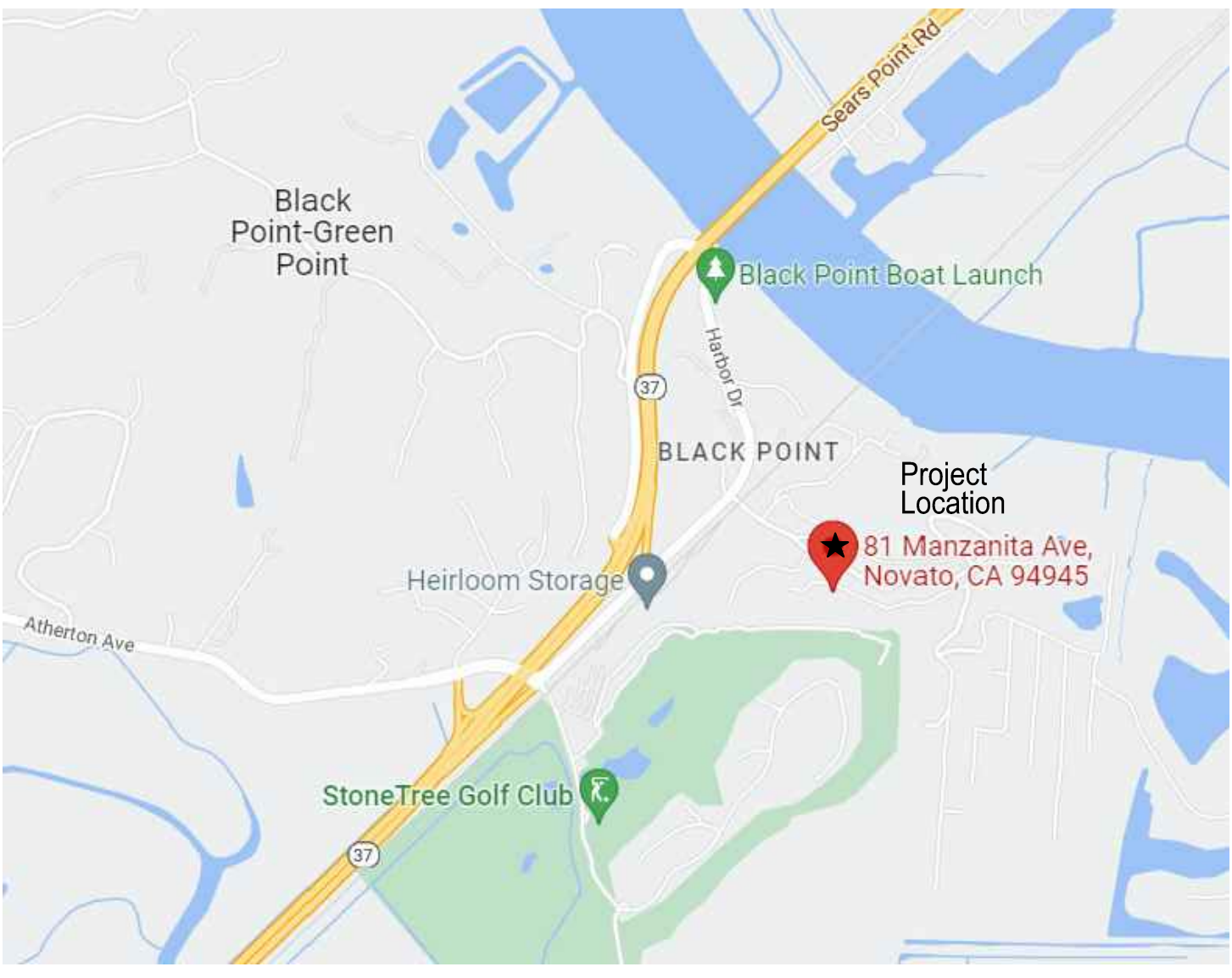
- 2022 CALIFORNIA BUILDING ADMINISTRATIVE CODE
- 2022 CALIFORNIA BUILDING CODE (CBC)
- 2022 CALIFORNIA RESIDENTIAL BUILDING CODE
- 2022 CALIFORNIA EXISTING BUILDING CODE (CEBC)
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA ENERGY CODE (CEC)
- 2022 CALIFORNIA GREEN CODE
- 2022 MARIN COUNTY CODE

GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL PERTINENT DIMENSIONS AND CONDITIONS AND NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF ANY WORK.
- CHANGES OR SUBSTITUTIONS FROM THE CONSTRUCTION DOCUMENTS SHALL BE MADE ONLY WITH THE APPROVAL OF THE OWNER.
- ALL DIMENSIONS ARE GIVEN TO FACE OF FINISH UNLESS NOTED OTHERWISE.
- DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS GOVERN. PROVIDE BACKING IN WALLS FOR ALL WALL-MOUNTED EQUIPMENT AND CABINETS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL INSPECTIONS AND APPROVALS REQUIRED BY THE APPLICABLE DEPARTMENTS OF MARIN COUNTY.
- APPROVED ADDRESS NUMBERS SHALL BE PLACED SO THEY ARE PLAINLY VISIBLE & LEGIBLE FROM THE STREET, AND SHALL CONTRAST WITH THE BACKGROUND.
- APPROVED SPARK ARRESTORS SHALL BE INSTALLED ON EACH CHIMNEY / FLUE / VENT USED FOR FIREPLACES AND HEATING APPLIANCES.

CONTRACTOR REQUIREMENTS

- DEMO TO SUBMIT ZERO WASTE MARIN RECYCLING AND REUSE FORM
- WADDLES TO BE USED FOR EROSION & SEDIMENT CONTROL
- MARIN LOW CARBON CONCRETE



Vicinity Map

Not to Scale

Revision	Date

Structural Engineer:
 MM Structural
 4096 Piedmont Ave. Ste 21
 Oakland, CA 94611
 (510) 945-6428
 info@mmstructural.com

Architectural Drafting:
 n2k CAD Services
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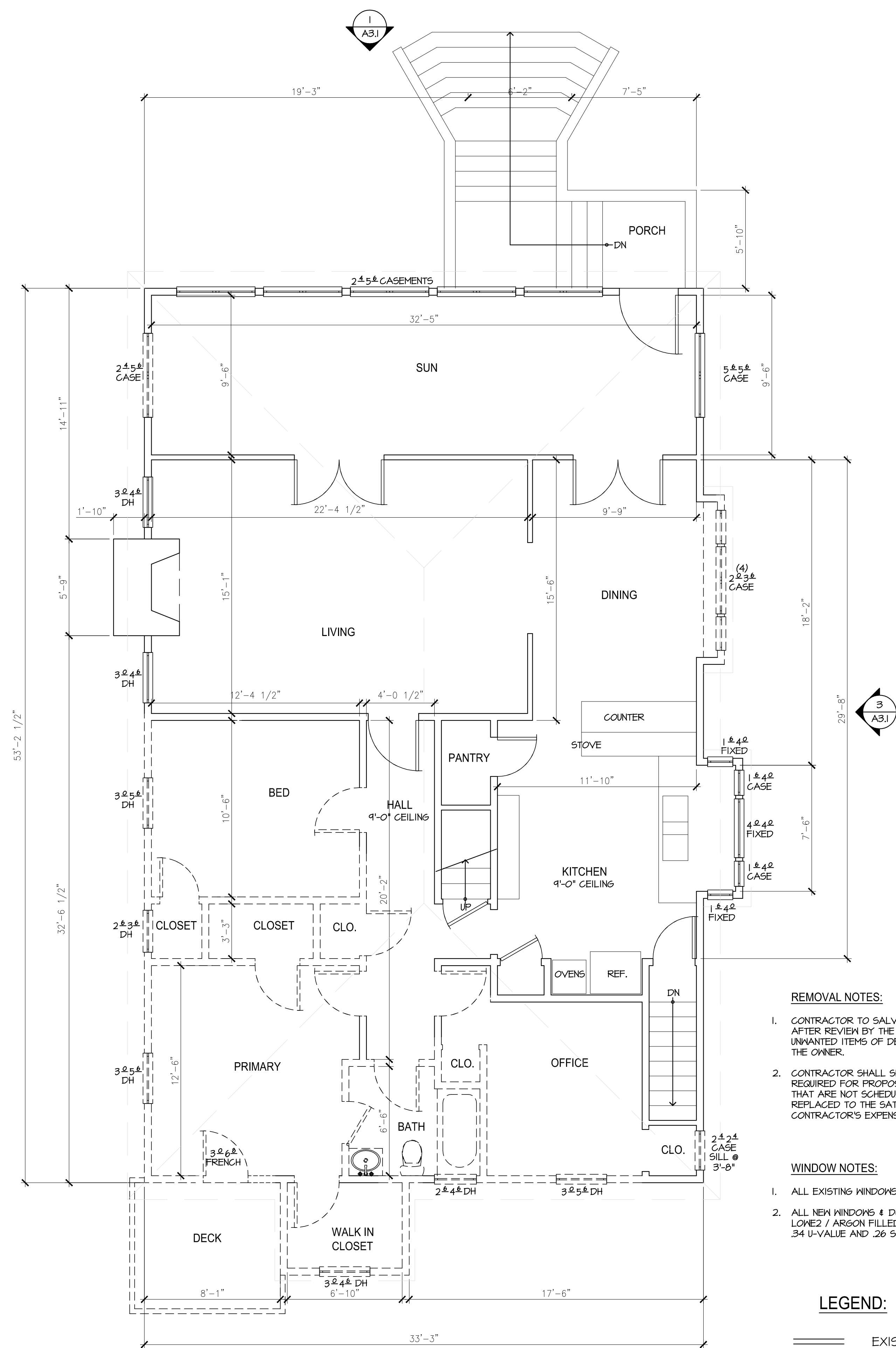
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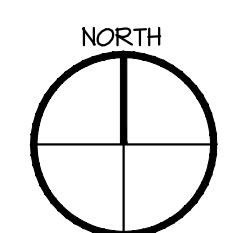
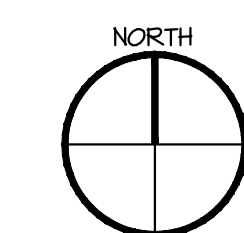
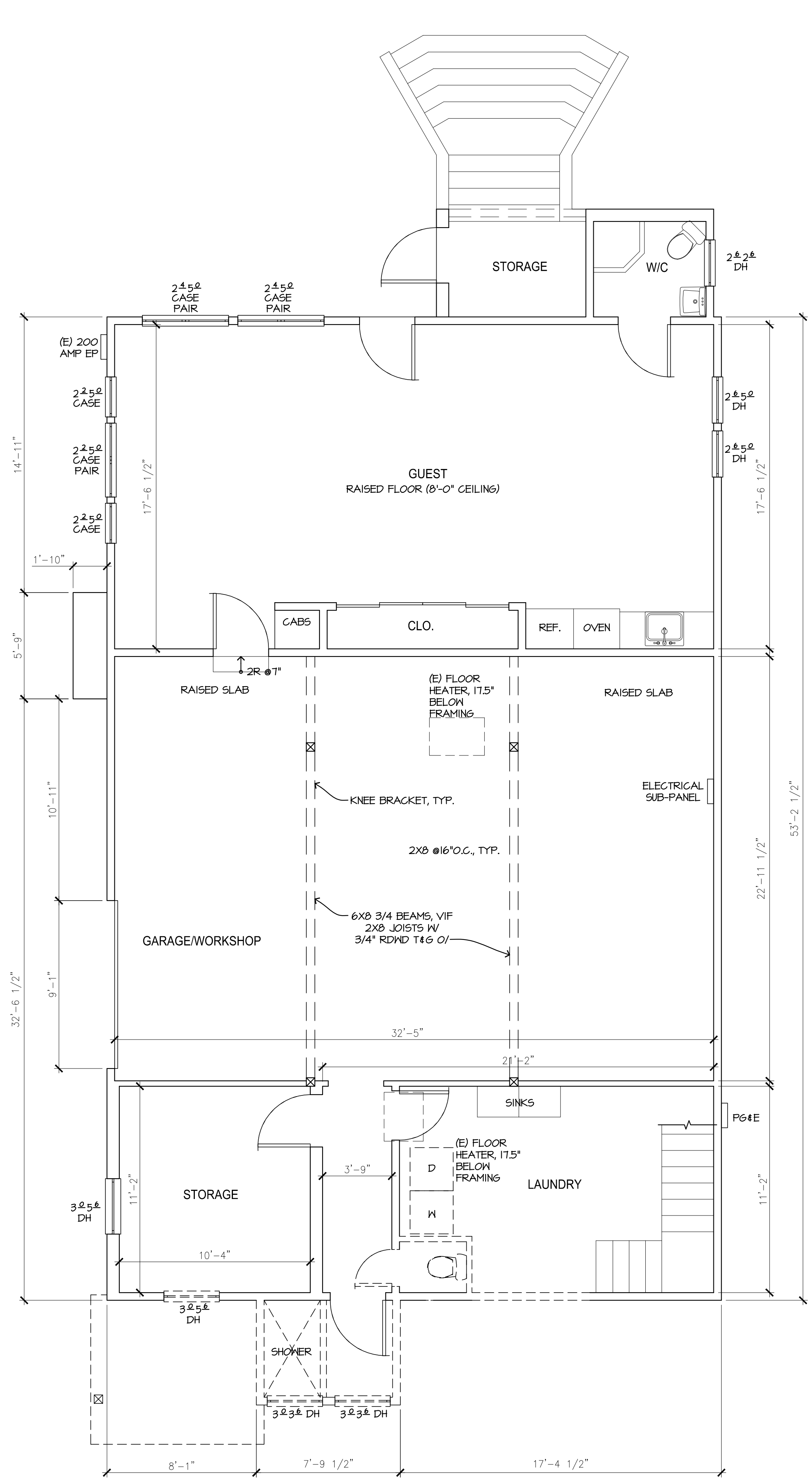
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- REMOVAL NOTES:**
- CONTRACTOR TO SALVAGE ALL REMOVED ITEMS TO THE OWNER AND AFTER REVIEW BY THE OWNER THE CONTRACTOR SHALL REMOVE ALL UNWANTED ITEMS OF DEMOLITION FROM THE JOB SITE AT NO COST TO THE OWNER.
 - CONTRACTOR SHALL SHORE ALL EXISTING WALLS AND CEILINGS AS REQUIRED FOR PROPOSED REMOVAL. ANY AREAS THAT ARE DAMAGED THAT ARE NOT SCHEDULED FOR REMOVAL SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND AT THE CONTRACTOR'S EXPENSE.

- WINDOW NOTES:**
- ALL EXISTING WINDOWS TO BE REPLACED.
 - ALL NEW WINDOWS & DOORS TO MEET LOWE2 / ARGON FILLED NFRC VALUES OF 34 U-VALUE AND .26 SHGC

- LEGEND:**
- EXISTING WALLS
 - DEMO ITEMS
 - ROOF ABOVE

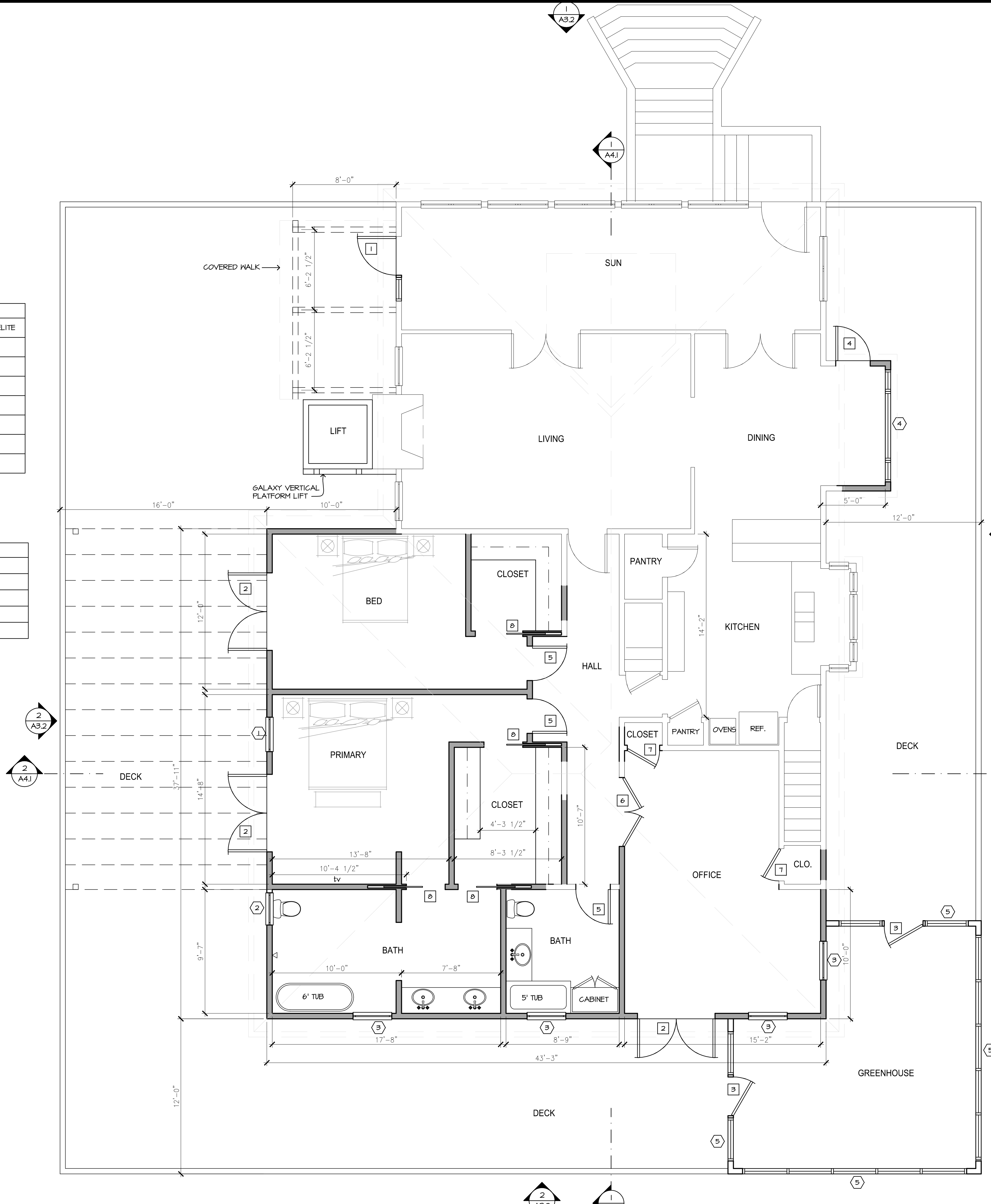


DOOR SCHEDULE

DOOR TAG	SIZE	TYPE	COUNT	COMMENT
1	3'-6"	GLASS	1	1/4" 2'-0"x6'-8" SIDELITE
2	3'-6"	FRENCH PAIR	3	OUTSWING CONCEALED HINGES
3	3'-6"	GREENHOUSE	2	
4	2'-6"	FRENCH	1	
5	2'-6"	SC	3	SOLID
6	2'-6"	FRENCH PAIR	1	INTERIOR FRENCH
7	2'-6"	SC	2	CLOSETS
8	6'-0"	SC POCKET	4	

WINDOW SCHEDULE

WINDOW TAG	SIZE	TYPE	COUNT	COMMENT
1	2'-5"	DH	1	
2	2'-2"	DH	1	
3	3'-4"	DH	4	
4	4'-3"	5'-3" FIXED CENTER	6	2'-3" CASSED SIDES
5		TBD		



PLAN NOTES:

- FIRE BLOCKING IS REQUIRED TO PROVIDE A SEPARATION BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, IN WALLS AT STAIR STRINGERS (TOP & BOTTOM), AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND AT OPENINGS AROUND DUCTS, VENTS, PIPES AND FLUE CHASES. FIRE BLOCKING SHALL BE PROVIDED VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET. CRC R302.11.
- DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD. CRC R311.3.2 & R311.3.3 EXCEPTION: A LANDING IS NOT REQUIRED WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THE DOOR, OTHER THAN A STORM/SCREEN DOOR, DOES NOT SWING OVER THE STAIRWAY.
- LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. WHEN EXTERIOR LANDINGS/FLOORS SERVING THE REQUIRED EGRESS DOOR ARE NOT AT GRADE, THEY SHALL BE PROVIDED WITH ACCESS TO GRADE BY MEANS OF A RAMP OR STAIRS. CRC R311.3. THE LANDING AT AN EXTERIOR DOORWAY SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR, OTHER THAN A STORM OR SCREEN DOOR, DOES NOT SWING OVER THE LANDING OR FLOOR. CRC R311.3.1 EXCEPTION & R311.3.3

SAFETY GLAZING NOTES (TEMPERED):

- GLAZING IN DOORS OR WITHIN 24" OF A DOOR
- GLAZING WITHIN 60" OF AN EXTERIOR WALKWAY
- GLAZING IN ENCLOSURES FOR BATHTUB AND SHOWER
- GLAZING IN WINDOWS MEASURED LESS THAN 60" FROM THE SHOWER OR BATHTUB.
- GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANEL MEETS ALL OF THE FOLLOWING:
 - THE EXPOSED AREA OF AN INDIVIDUAL PANEL IS LARGER THAN 9 SF.; AND
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE THE FLOOR; AND
 - THE TOP EDGE OF THE GLAZING IS MORE THAN 36" ABOVE THE FLOOR.

GLAZING NOTES (WUI):

FIRE ZONE - ALL WINDOWS TO BE TEMPERED, HIGH WIND GLASS

KITCHEN NOTES:

- KITCHEN IS REQUIRED TO HAVE A DEDICATED EXHAUST FAN DUCTED TO THE OUTSIDE.
- IF THE KITCHEN IS EQUIPPED WITH INTERMITTENT OPERATED EXHAUST FAN A MINIMUM VENTILATION RATE OF 100 CFMS IS REQUIRED.
- IF THE KITCHEN IS EQUIPPED WITH CONTINUOUSLY OPERATING KITCHEN FAN THE FAN MUST OPERATE AT 5 AIR CHANGES PER HOUR.
- THE RANGE HOOD OVER THE STOVE MUST COMPLY WITH VENTED TO THE OUTSIDE AND HAS A MINIMUM VENTILATION RATE OF 100 CFM.

TUB/SHOWER NOTE:

TUB AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. MATERIALS USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS SHALL BE GLASS MAT GYPSUM PANEL, FIBER-REINFORCED GYPSUM PANELS, NON-ASBESTOS FIBER-CEMENT BACKER BOARD, OR NON-ASBESTOS FIBER-CEMENT REINFORCED CEMENTITIOUS BACKER UNITS INSTALLED IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.

WATER EFFICIENCY NOTES:

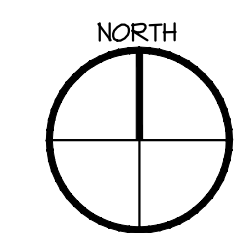
- WATER CLOSET TO BE 1.28 GALLONS PER FLUSH MAXIMUM OR DUAL FLUSH PER CPC 411.2.
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OUTDOOR AREA NOTES:

- AT EXTERIOR SPACES (SUCH AS PORCHES AND DECKS), PROVIDE A GFCI/MP RECEPTACLE OUTLET PER CEC 210.52(E), 210.8, AND 406.9(E).
- PROVIDE A GFCI, WATERPROOF, AND TAMPOR RESISTANT RECEPTACLE OUTLET AT THE FRONT AND REAR OF THE BUILDING PER CEC 210.8, 406.9(E), 406.12, AND 210.52(E).
- RECEPTACLES INSTALLED IN WET LOCATIONS SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WEATHER OR NOT THE ATTACHMENT PLUG CAP IS REMOVED.

LEGEND:

- EXISTING WALLS
- PROPOSED WALLS
- ROOF ABOVE



PROPOSED UPPER FLOOR PLAN

Scale: 1/4" = 1'-0"

2

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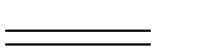


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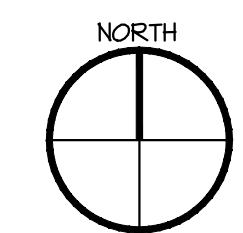
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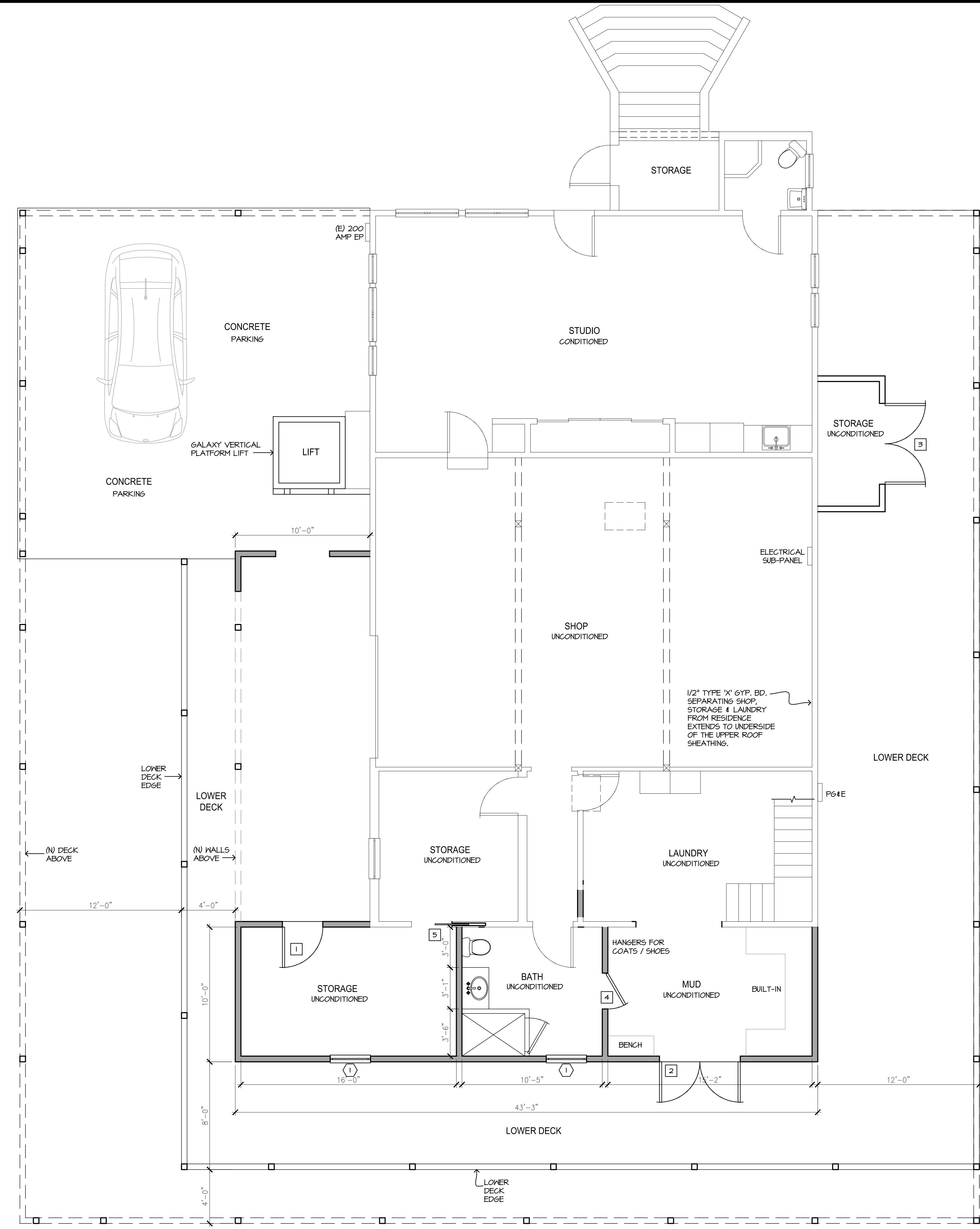
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-  ROOF ABOVE



PROPOSED LOWER FLOOR PLAN

Scale: 1/4" = 1'-0"

2



DOOR SCHEDULE

DOOR TAG	SIZE	TYPE	COUNT	COMMENT
1	3'-0" x 6'-0"	SC	1	
2	3'-0" x 6'-0"	FRENCH PAIR	1	OUTSWING CONCEALED HINGES
3	3'-0" x 6'-0"	SC PAIR	1	
4	2'-6" x 6'-0"	FRENCH	1	
5	2'-6" x 6'-0"	SC	3	SOLID

WINDOW SCHEDULE

WINDOW TAG	SIZE	TYPE	COUNT	COMMENT
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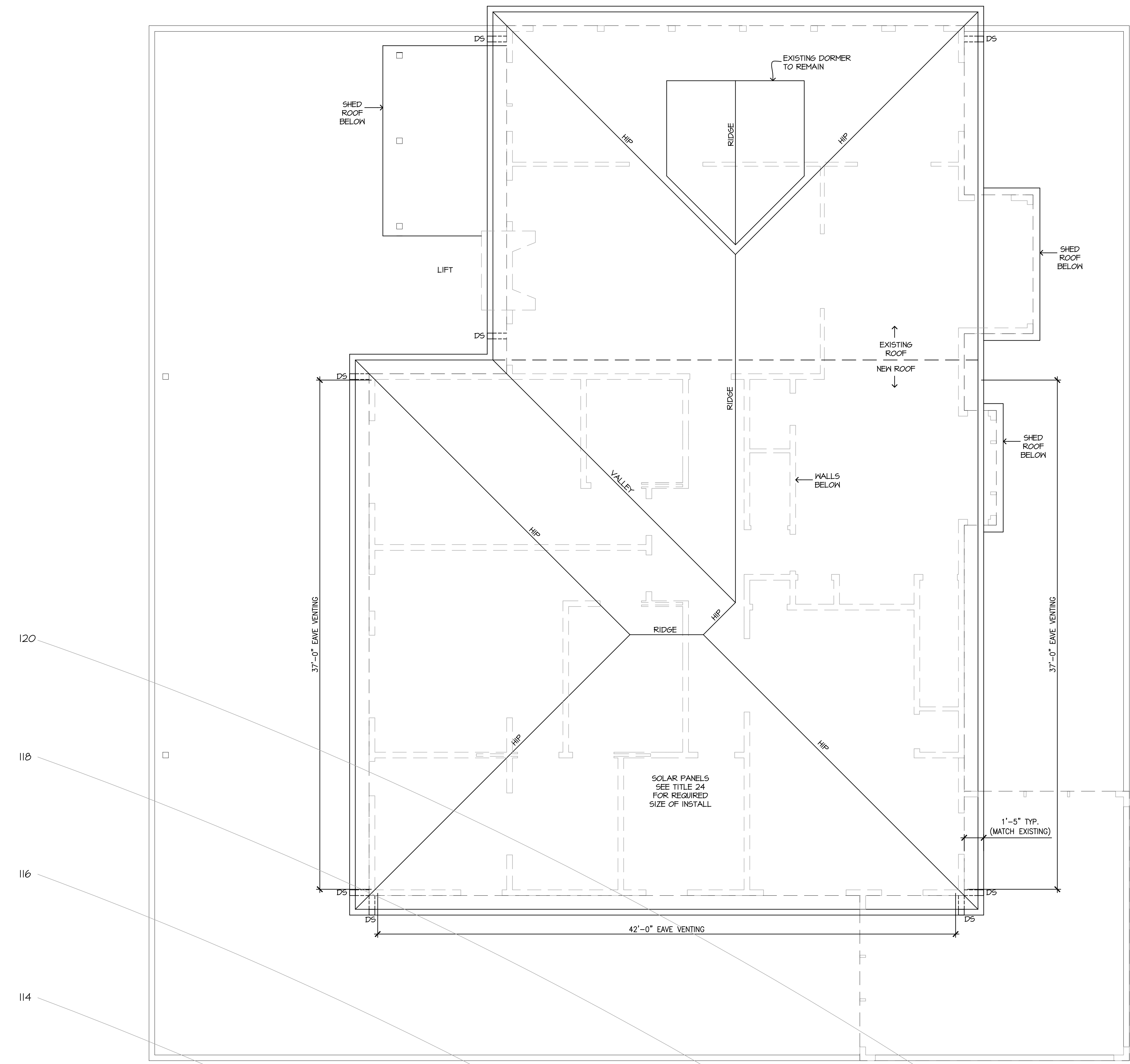
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WUI WALKING SURFACE NOTES:

THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES AND STAIRS SHALL BE CONSTRUCTED WITH ONE OF THE FOLLOWING MATERIALS IN COMPLIANCE W/ CBC 109A.3, CRC 321.9.3

- a. IGNITION RESISTANT MATERIAL
- b. EXTERIOR FIRE-RETARDANT TREATED WOOD
- c. NONCOMBUSTIBLE MATERIAL
- d. ANY MATERIAL COMPLIANT WITH PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-TA-4A, WHEN ATTACHED WALL COVERING IS ALSO EITHER NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL.

WUI ROOF DECK NOTES:

THE EXPOSED ROOF DECK ON THE UNDERSIDE OF THE ENCLOSED ROOF EAVES SHALL CONSIST OF THE FOLLOWING PER CRC 321.7.4

- a. NONCOMBUSTIBLE MATERIAL
- b. IGNITION RESISTANT MATERIAL
- c. ONE LAYER OF 5/8" TYPE 'X' GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE EXTERIOR OF THE ROOF DECK
- d. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK DESIGNED FOR EXTERIOR FIRE EXPOSURE INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTANT DESIGN MANUAL.
- e. CLASS A ROOFING

SOLAR NOTE:

PHOTOVOLTAIC SYSTEM SHALL BE SUBMITTED UNDER A SEPARATE BUILDING PERMIT APPLICATION. THE REQUIRED DRAWINGS AND DOCUMENTS FOR THE PHOTOVOLTAIC SYSTEM SHALL BE SUBMITTED AND APPROVED PRIOR TO THE ROOF SHEATHING INSPECTION.

ATTIC VENTILATION CALCS MAIN HOUSE:

ATTIC VENTILATION REQUIRED:
1843 SQ. FT. AT 1:150 = 1764 SQ. IN. OF VENTILATION.

ATTIC VENTILATION PROVIDED:
(N) EAVE LENGTH = 37' + 37' + 42' = 116' LINEAR FEET AVAILABLE
EAVE VENTING = 100 LIN. FT. OF 2" BANDGARD WUI APPROVED CONTINUOUS VENTING OR EQUAL = 2,400 SQ. IN.
RIDGE VENTING = NONE REQUIRED
2,400 SQ. IN. > 1,769 SQ. IN.

120
118
116
114

PLAN
ROOF PLAN
Scale: 1/4" = 1'-0"

1

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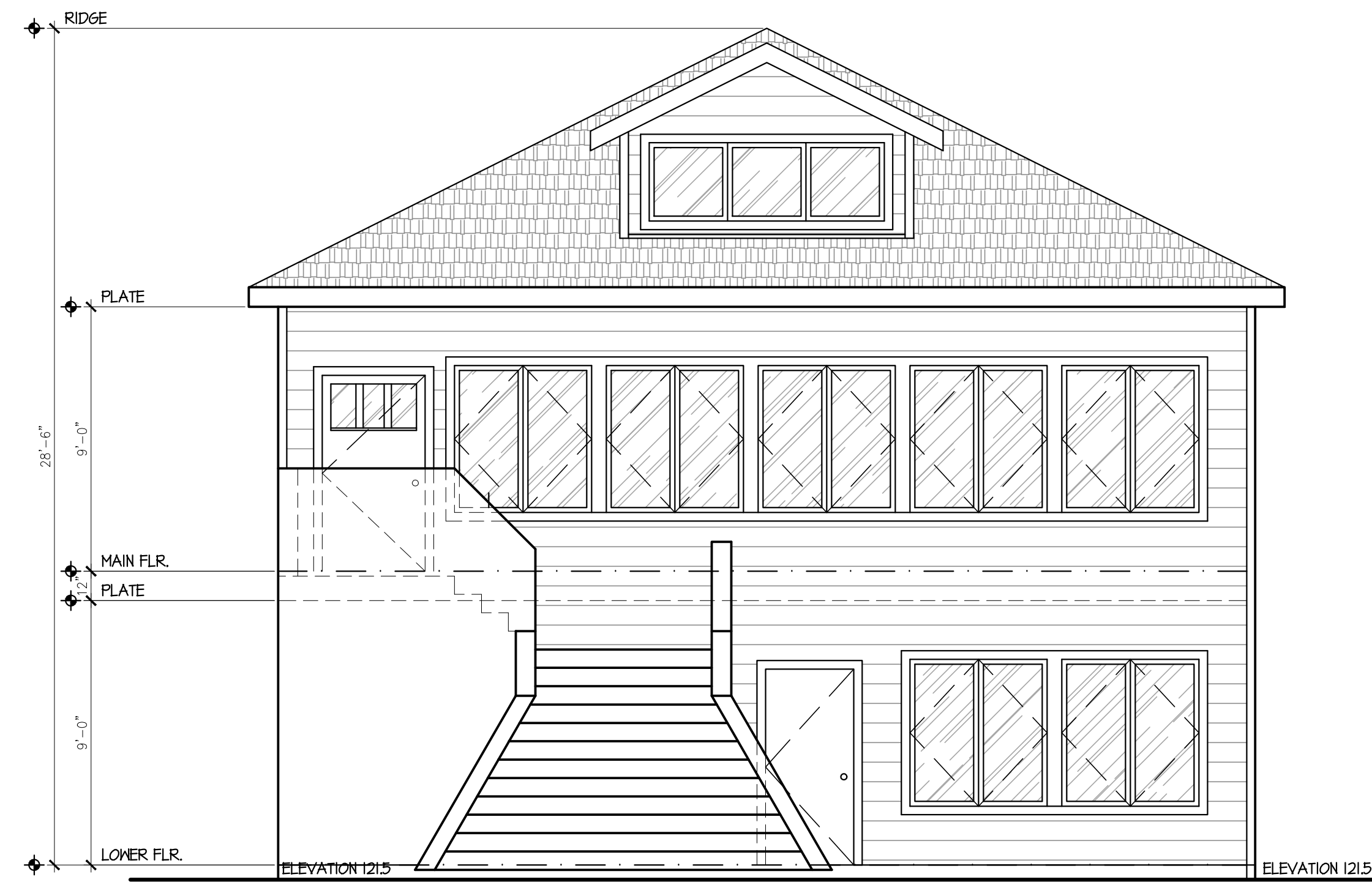
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APN 151-103-51

DRAWN
n2k
ISSUED
Design Review
DATE
March 18, 2024
SCALE
AS NOTED
0 1/4" 1/2" 1"
SHEET

A2.4

Revision	Date



EXISTING FRONT ELEVATION - NORTH
Scale: 1/4" = 1'-0"

1



PROPOSED FRONT ELEVATION - NORTH
Scale: 1/4" = 1'-0"

2

Structural Engineer:
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(510) 995-6428
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Architectural Drafting:
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Petaluma, CA 94452
707.778.6919
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Signature

Drawings for:
Martha Davis Residence
Addition & Remodel
81 Manzanita Ave
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A3.1

Revision	Date



EXISTING REAR ELEVATION - SOUTH

Scale: 1/4" = 1'-0"

1
-



PROPOSED REAR ELEVATION - SOUTH

Scale: 1/4" = 1'-0"

2
-

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Drawings for:

**Martha Davis
Residence**

Addition & Remodel

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A3.2

Revision	Date



EXISTING SIDE ELEVATION - EAST

Scale: 1/4" = 1'-0"

1
-



PROPOSED SIDE ELEVATION - EAST

Scale: 1/4" = 1'-0"

2
-

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A3.3

Revision	Date

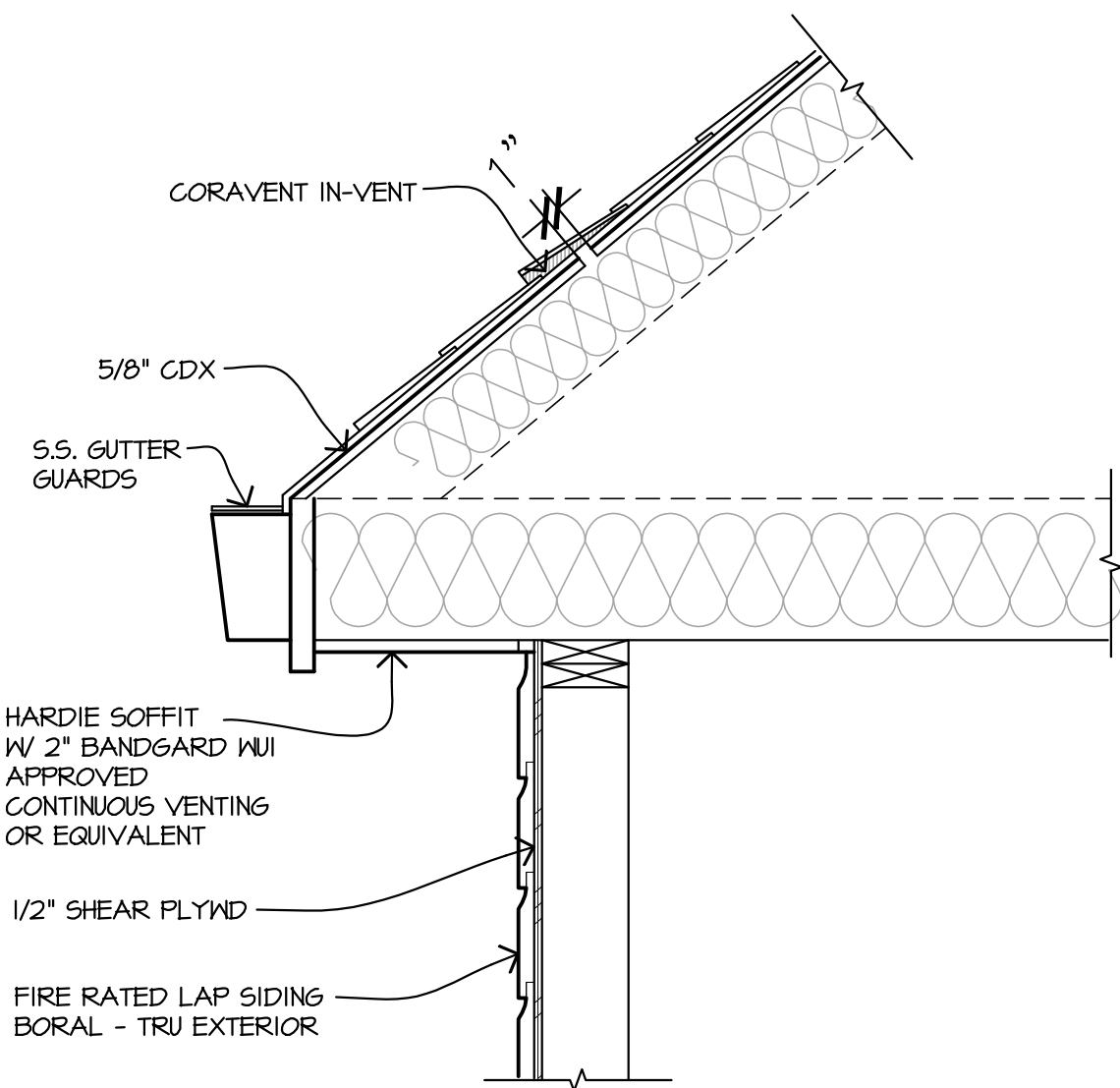
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APR 18 2024
 SCALE AS NOTED

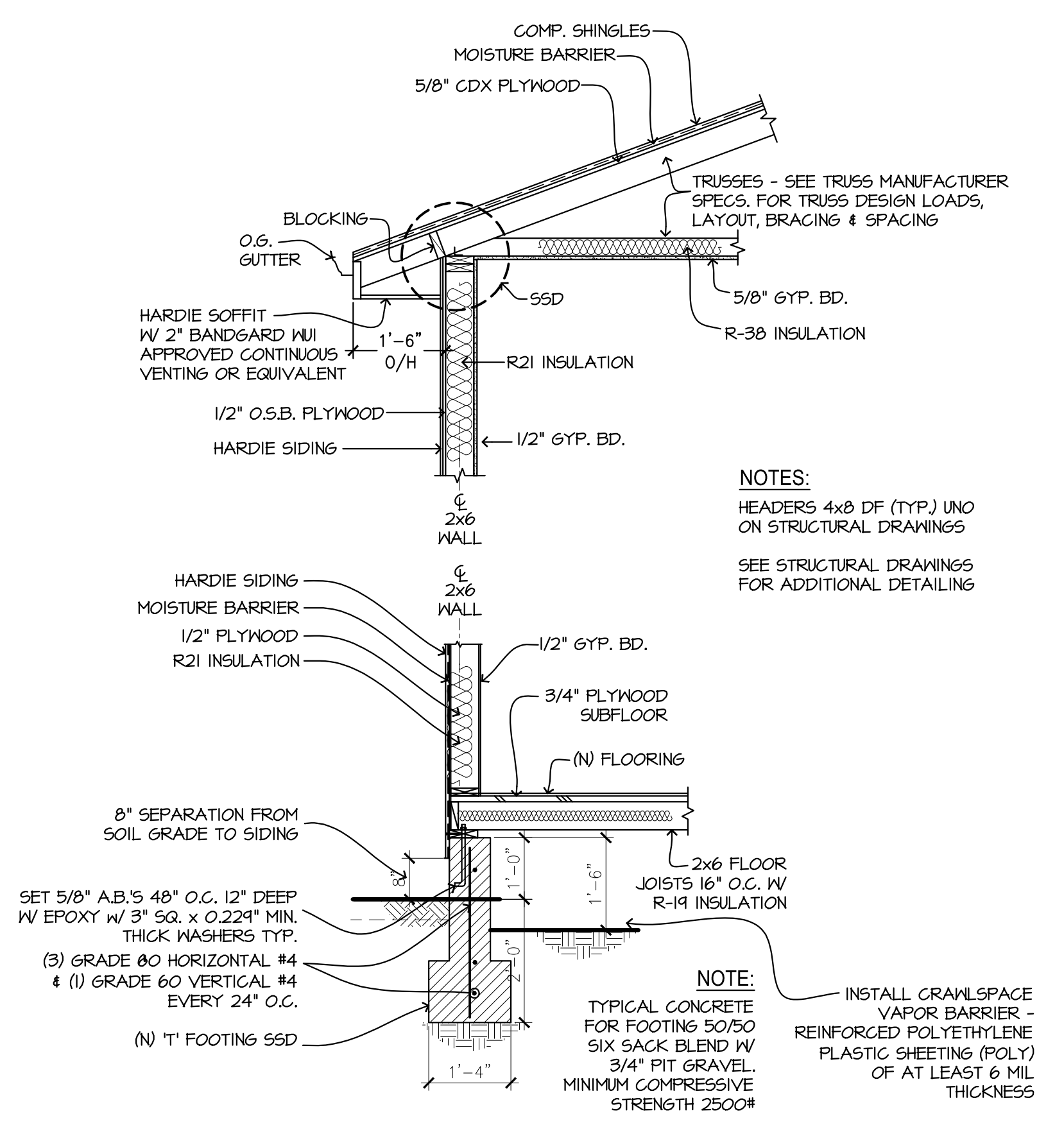
 SHEET
A3.4



SECTION @ EAVE
 Scale: 1" = 1'-0"



EXISTING SIDE ELEVATION - WEST
 Scale: 1/4" = 1'-0"



TYPICAL ROOF/WALL/FOUNDATION DETAIL
 Scale: 1/2" = 1'-0"



PROPOSED SIDE ELEVATION - WEST
 Scale: 1/4" = 1'-0"

GUARDRAIL NOTES (PER CRC R312):

A. PROVIDE A GUARD AT ANY WALKING SURFACE OVER 30" ABOVE GRADE OR FLOOR BELOW, INCLUDING NEW DECKS AND TOP OF STAIRWAY.

B. MINIMUM HEIGHT OF 42" (A GUARD WHOSE TOP RAIL ALSO SERVES AS A STAIR HANDRAIL MAY BE 34" TO 38" ABOVE TREAD NOSING).

C. SPACING FOR INTERMEDIATE RAILS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH (OR SPECIFY THAT RAIL IS SOLID). EXCEPTIONS: 4.375" ALLOWED AT STAIR GUARD; 6" ALLOWED AT TRIANGLE OPENING FORMED BY RISER, TREAD AND BOTTOM RAIL.

D. HANDRAIL ASSEMBLIES AND GUARDS SHALL BE MOUNTED SO THAT THE COMPLETED RAIL AND SUPPORTING STRUCTURE ARE CAPABLE OF WITHSTANDING A CONCENTRATED LOAD OF 200 POUNDS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.

CRAWL VENTILATION CALCS:

INSTALL CRAWLSPACE VAPOR BARRIER - REINFORCED POLYETHYLENE PLASTIC SHEETING (POLY) OF AT LEAST 6 MIL THICKNESS

CRAWL VENTILATION REQUIRED:
 1843 SQ. FT. AT 1:150 = 123 SQ. FT. OF VENTILATION OR 176.93 SQ. IN.

CRAWL VENTILATION PROVIDED:
 VENTING = (8) TOTAL 4x12 VENTS = 48*8 = 384 SQ. IN.
384 SQ. IN. > 176 SQ. IN.

WITHOUT CRAWLSPACE VAPOR BARRIER

CRAWL VENTILATION REQUIRED:
 1843 SQ. FT. AT 1:150 = 12.24 SQ. FT. OF VENTILATION OR 1764.28 SQ. IN.

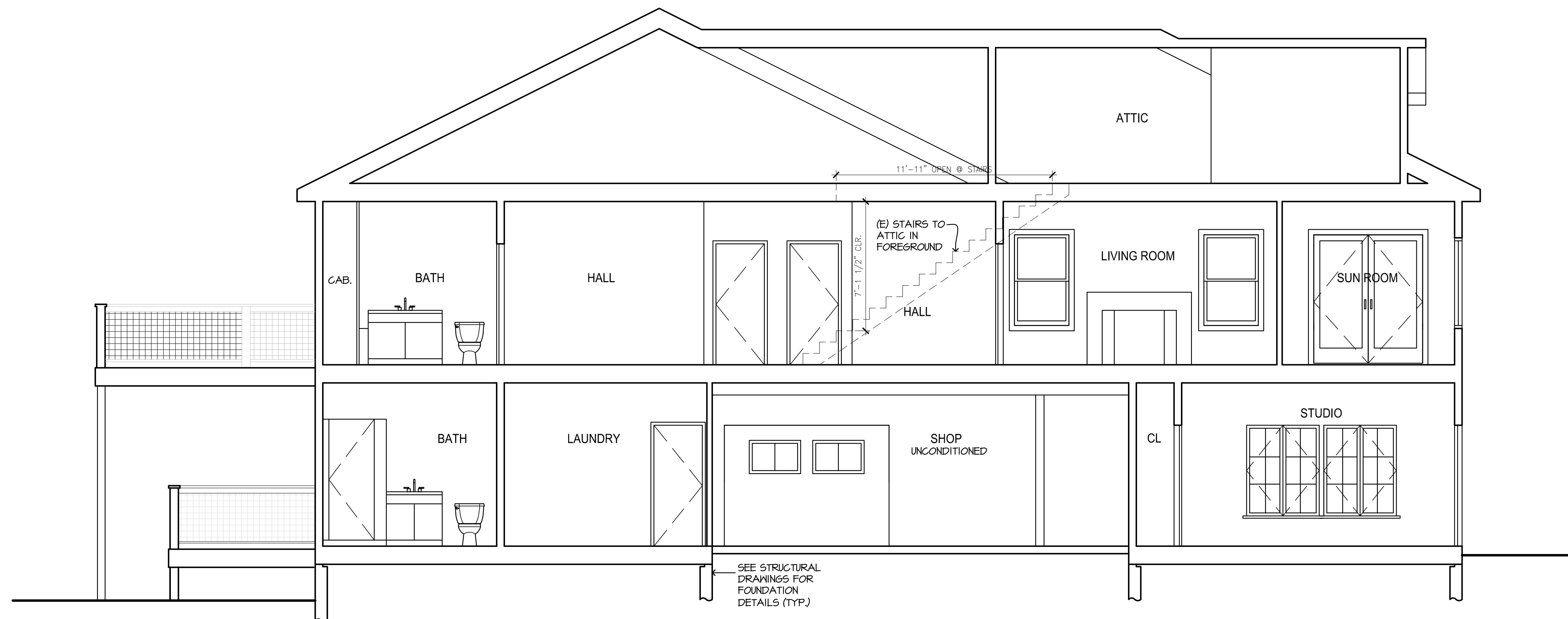
CRAWL VENTILATION PROVIDED:
 VENTING = (40) TOTAL 4x12 VENTS = 48*40 = 1920 SQ. IN.
1920 SQ. IN. > 1769 SQ. IN.

CRAWL VENTILATION NOTE:
 AT LEAST ONE VENTILATION OPENING SHALL BE WITHIN 3' OF EACH CORNER OF THE BUILDING. THEY SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH OPENINGS OF 1/8" TO 1/4" IN DIMENSION. CRC R408.2.

NOTES:
 HEADERS 4x8 DF (TYP) UNO ON STRUCTURAL DRAWINGS
 SEE STRUCTURAL DRAWINGS FOR ADDITIONAL DETAILINGS

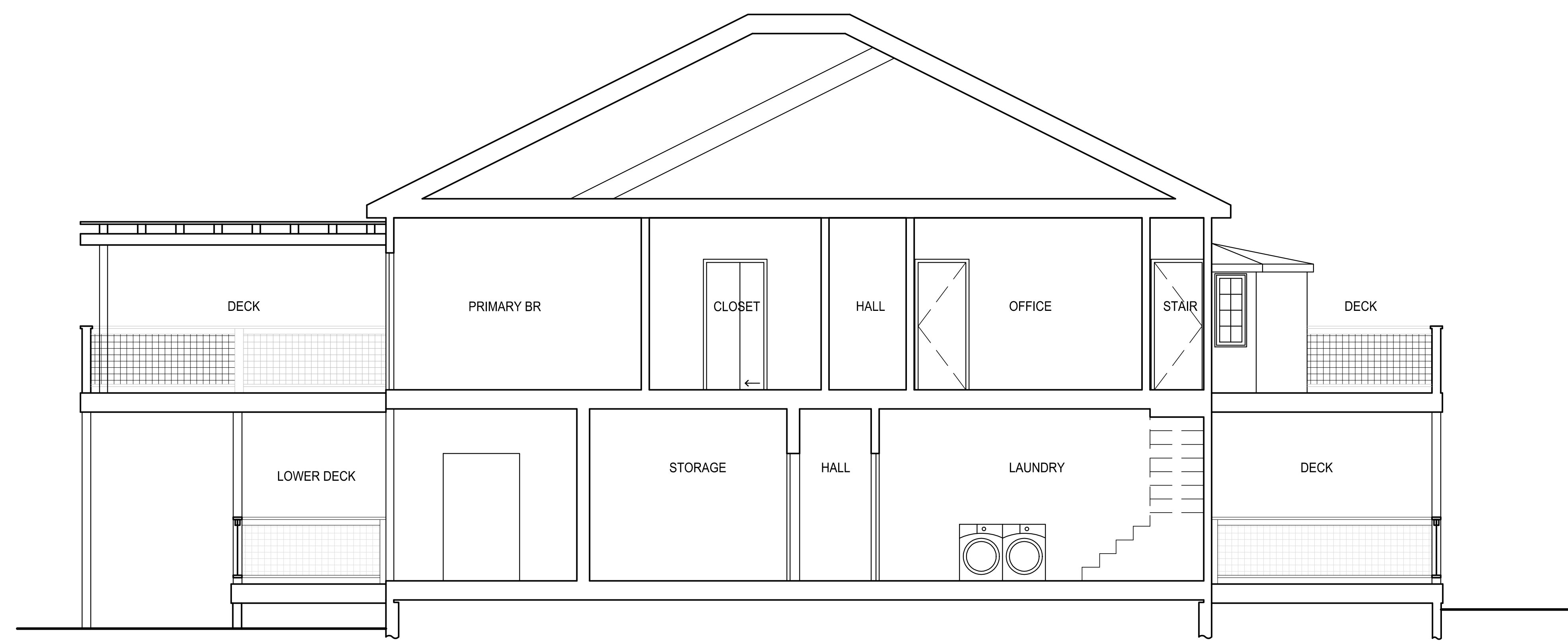
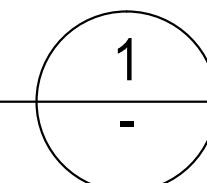
NOTE:
 TYPICAL CONCRETE FOR FOOTING 50/50 SIX SACK BLEND W/ 3/4" PIT GRAVEL MINIMUM COMPRESSIVE STRENGTH 2500#

NOTE:
 INSTALL CRAWLSPACE VAPOR BARRIER - REINFORCED POLYETHYLENE PLASTIC SHEETING (POLY) OF AT LEAST 6 MIL THICKNESS



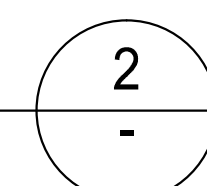
PROPOSED SECTION '1'

Scale: 1/4" = 1'-0"



PROPOSED SECTION '2'

Scale: 1/4" = 1'-0"



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