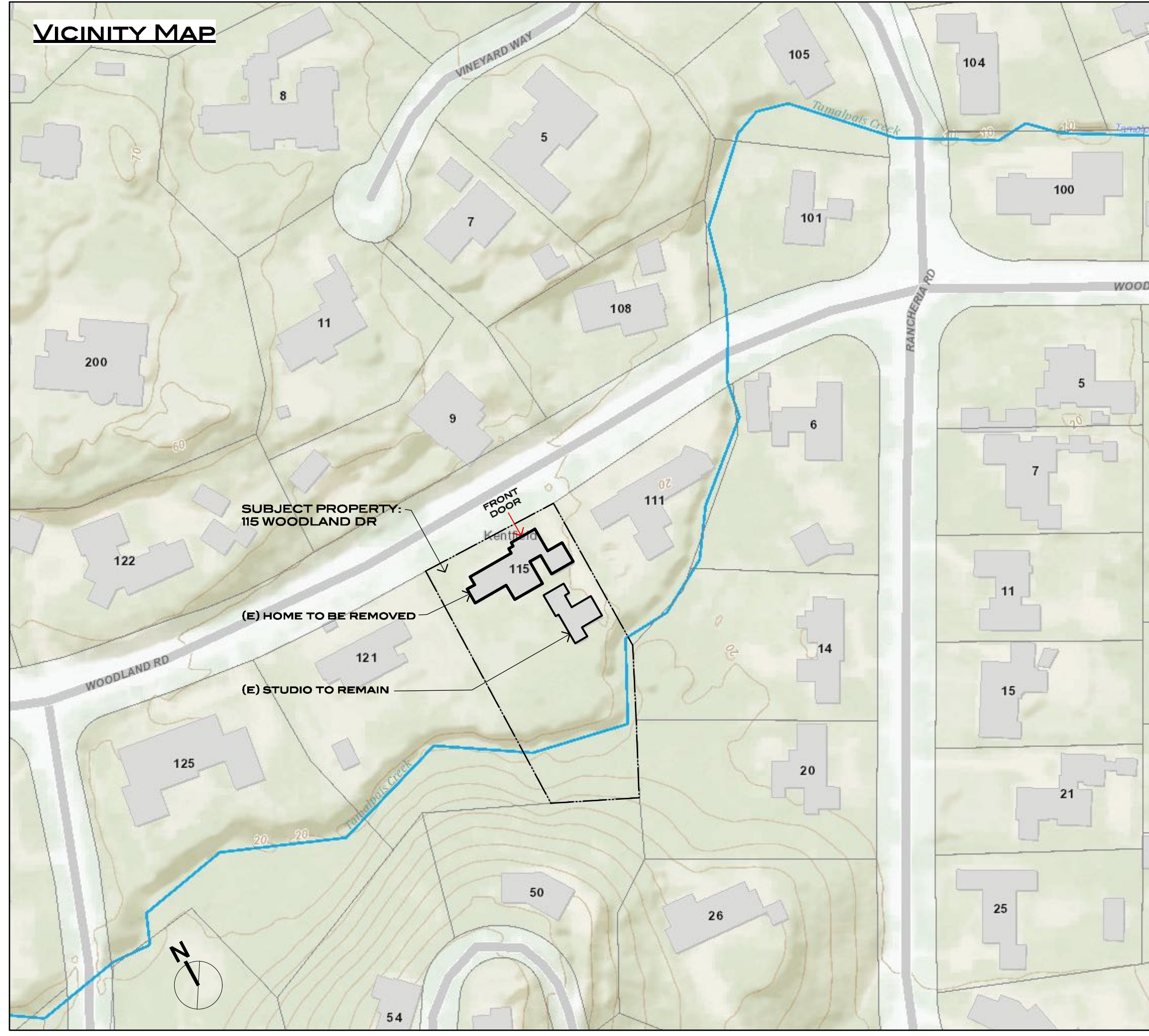
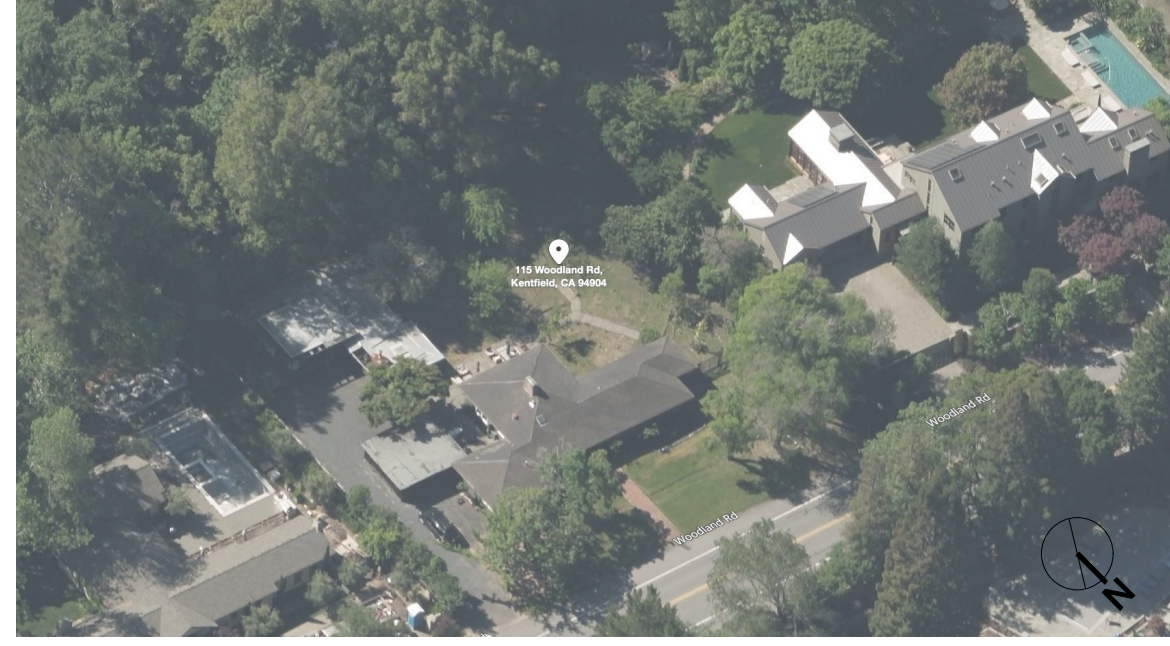
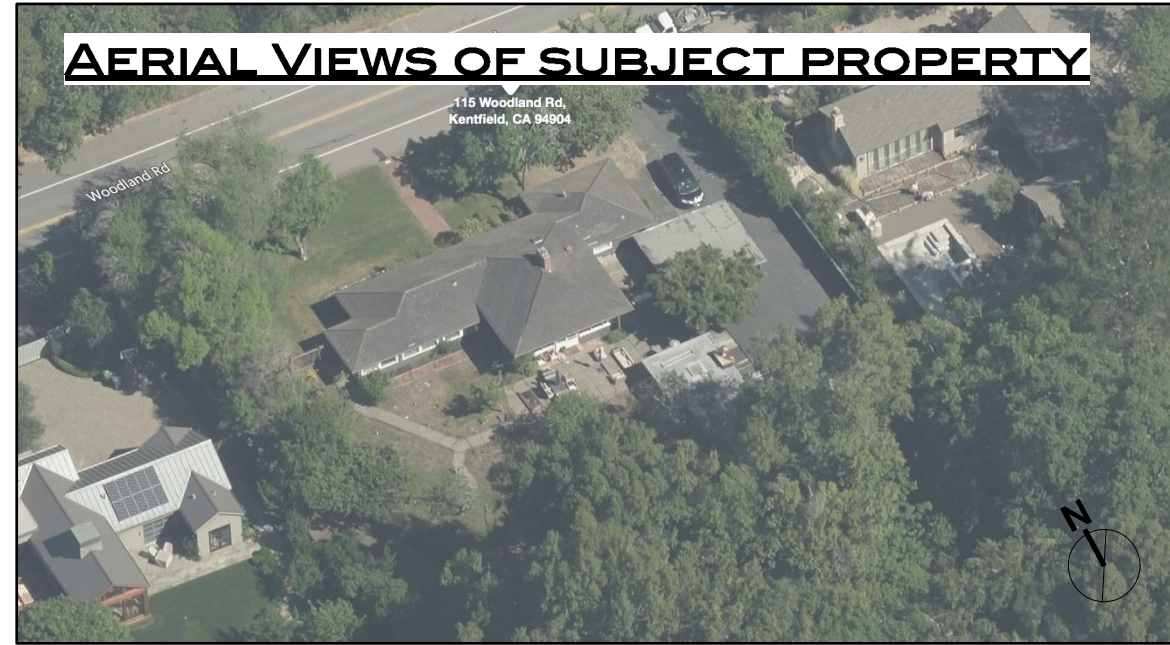




4 VIEW FROM NE CORNER OF PROPERTY



STREET VIEW

CAL GREEN
ALL NEW STRUCTURES WILL COMPLY WITH CURRENT PLANNING AND BUILDING REGULATIONS IN ADDITION TO CURRENT GREEN BUILDING PRACTICES

ZERO WASTE MARIN
RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH THE REPORTING STANDARDS OUTLINED BY ZERO WASTE MARIN. (CALGREEN 4.408.11)

APPLICABLE CODE NOTICE:

- ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH THE FOLLOWING:
- 2016 CALIFORNIA BUILDING CODE (CBC)
 - 2016 CALIFORNIA FIRE CODE (CFC)
 - 2016 CALIFORNIA RESIDENTIAL CODE (CRC), 1 & 2-FAMILY DWELLINGS ONLY
 - 2016 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2016 CALIFORNIA PLUMBING CODE (CPC)
 - 2016 CALIFORNIA MECHANICAL CODE (CMC)
 - 2016 CALIFORNIA GREEN BUILDING STANDARDS
 - 2016 CALIFORNIA ENERGY CODE
 - MARIN COUNTY CODES & ORDINANCES
 - CITY OF KENTFIELD FIRE DEPARTMENT REQUIREMENTS

PROJECT DESCRIPTION:

- THE REMOVAL OF AN EXISTING SINGLE FAMILY HOME AND THE CONSTRUCTION OF A NEW RESIDENCE WITH AN ATTACHED GARAGE.
- THE REPAIR AND REFURBISHMENT OF AN EXISTING STUDIO (ACCESSORY BUILDING).
- SITE IMPROVEMENTS INCLUDING INSTALLATION OF A NEW POOL AND HOT TUB.
- DISEASED (E) TREES AND SNAGS WILL BE REMOVED. HEALTHY (E) TREES WILL BE MANAGED FOR FIRE SAFETY & TO REDUCE FUEL LOAD.
- SITE WILL BE LANDSCAPED WITH NATIVE SPECIES THROUGHOUT
- A NEW PAVED MCC 24.04.290 COMPLIANT DRIVEWAY APRON, CURB AND GUTTER SHALL BE INSTALLED IN THE COUNTY'S RIGHT-OF-WAY WITH NO EXCAVATIONS OF/INTO WOODLAND ROAD SURFACE.
- DRIVEWAY APPROACHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH U.C.S. DRAWING NO.
- AN ENCROACHMENT PERMIT FROM MC DPW WILL BE OBTAINED PRIOR TO NEW WORK IN THE COUNTY RIGHT-OF-WAY.

SHEET INDEX

- A0.0 COVER SHEET / PROJECT INFO
- A0.1 HOME OWNER ASSOCIATION APPROVAL

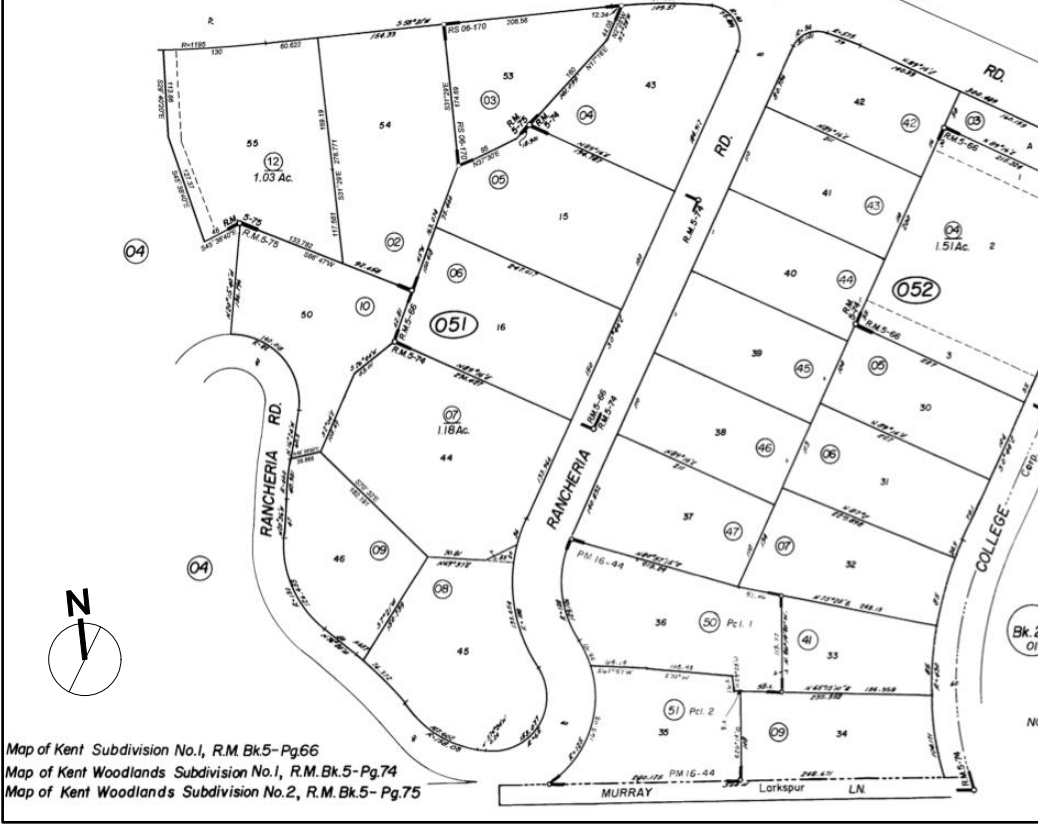
CIVIL SHEETS:

- C1 TOPOGRAPHIC SURVEY
- C2 GRADING & DRAINAGE PLAN
- C3 UTILITY PLAN
- C4 STORMWATER CONTROL PLAN

ARCHITECTURAL SHEETS

- A0.2 DEMOLITION PLAN
- A0.3 SITE PLAN & ROOF PLAN
- L1 ARBORIST'S TREE REMOVAL MAP
- L1.1 ARBORIST'S TABLES, LISTS & NOTES
- L2 ARBORIST'S TREE PRESERVATION MAP
- L3 PROPOSED LANDSCAPE PLAN
- L4 PROPOSED LIGHTING PLAN
- A1.0 PROPOSED MAIN FLOOR PLAN
- A2.0 PROPOSED EXTERIOR ELEVATIONS
- A2.1 PROPOSED EXTERIOR ELEVATIONS
- A3.0 PROPOSED BUILDING SECTIONS
- A4.0 PROPOSED PERSPECTIVE VIEWS
- A5.0 PROPOSED MATERIAL SPECIFICATIONS
- A6.0 (E) STUDIO PLANS & ELEVATIONS

ASSESSOR'S MAP



STANDARDS & GUIDELINES

- KWPOA APPROVAL OF PROJECT 12/10/19.
- NEW LANDSCAPING WILL PROVIDE SCREENING & SOFTENING OF NEW STRUCTURE.
- REPAIR & REFURBISHMENT OF (E) REAR YARD STUDIO.
- DRIVEWAY & DRIVEWAY APRON IN THE RIGHT-OF-WAY SHALL MEET MARIN COUNTY MUNICIPAL CODE STANDARDS + DIMENSIONS AND MCC 24.04.290 APPROACHES.
- CWP STANDARDS: PROJECT WILL NOT ALTER RIPARIAN CORRIDORS OR WOODLANDS
- NEW STRUCTURES WILL BE COMPATIBLE IN SCALE & MASSING PER D-17 DEVELOPMENT STANDARDS AND DESIGN GUIDELINES.
- NEW EXTERIOR LIGHTING WILL BE MAX 30 LUMENS AND BE ALL DOWNLIGHTING, DARK SKY DESIGN COMPATIBLE.

PROJECT CONTACTS:

OWNER
JOHN & SUSAN BROWNRIDGE
115 WOODLAND DR
KENTFIELD, CA 94904
CONTACT: SUSAN BROWNRIDGE
415.203.5963
SUZMACDP@GMAIL.COM

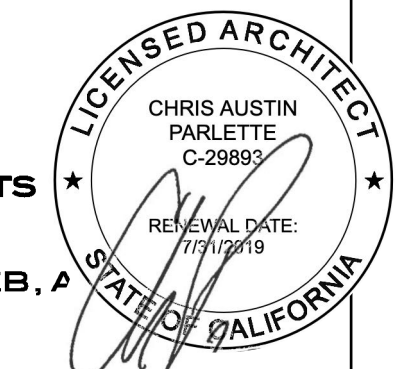
ARCHITECT
HOLDER DESIGN I ASSOCIATES
1010 SIR FRANCIS DRAKE BLVD #204
KENTFIELD, CA 94904
CONTACT: CHRIS PARLETTE
510.502.1893
CHRIS@HOLDERDESIGNASSOCIATES.COM

LANDSCAPE DESIGN
HOLDER DESIGN I ASSOCIATES
1010 SIR FRANCIS DRAKE BLVD #204
KENTFIELD, CA 94904
CONTACT: CHRIS PARLETTE
510.502.1893
CHRIS@HOLDERDESIGNASSOCIATES.COM

STRUCTURAL ENGINEER:
I ASSOCIATES
1314 FOUNTAIN STREET
ALAMEDA, CA 94501
CONTACT: DAVID INLOW
510.337.0623
DAVID.INLOW@IASSOCIATES.PRO

ARBORIST:
BARTLETT TREE EXPERTS
60 HOG AVENUE
SAN RAFAEL, CA 94901
CONTACT: LEE NACHTRIEB
415.388.9598
WWW.BARTLETT.COM

LAND SURVEYOR:
DOYLE LAWRENCE
100 HELENS LANE
MILLVALLEY, CA 94941
415.388.9598



PLANNING & ZONING DATA

ADDRESS: 115 WOODLAND ROAD, KENTFIELD
ASSESSOR'S PARCEL #: 075-051-02

STORIES (E) & PROPOSED YEAR BUILT	1	1
ZONING TYPE:	1940 RSP-1 RESIDENTIAL SINGLE FAMILY PLANNED	
LOCAL AREA:	SF-3 RURAL RESIDENTIAL	
BLDG TYPE:	VE	
OCCUPANCY GROUP	R-3 / U-1	PER CBC 601.1

TOTAL LOT AREA: 43,400 SF (PER COUNTY)
AVERAGE SLOPE: 12.9% (PER COUNTY)

LOT COVERAGE

MAX LOT COVERAGE	%
BUILDING AREA	
SINGLE STORY HOME	EXISTING: 1,961 SF, PROPOSED: 5,234 SF
DETACHED CARPORT + STORAGE	496 SF
STUDIO	1,470 SF, 1,231 SF
TOTAL BUILDING AREA:	3,927 SF, 6,465 SF
LOT COVERAGE :	9.0%, 14.9%

FLOOR AREA RATIO
MAX FLOOR AREA RATIO: %

FLOOR AREA:	EXISTING:	PROPOSED:
SINGLE STORY HOME:	1,961 SF	5,234 SF
STUDIO	1,470 SF	1,231 SF
GARAGE ALLOWANCE		-540 SF
TOTAL FLOOR AREA:	3,578 SF	5,925 SF
CALCULATED FAR:	8.2%	13.7%

BLDG LIMITATIONS:

SETBACKS	REQ'D	EXISTING:	PROPOSED
FRONT	30'0" FT	30'0" FT	30'0" FT
SIDE YARDS	15'0" FT	15'0" FT	15'0" FT
REAR YARD	50'0" CREEK SETBACK		20% OF LOT DEPTH
MAX BLDG HT:	REQ'D 30 FT	EXISTING: 18' FT	PROPOSED 26'-10"

PARKING SPACES:

	COVERED	REQUIRED	PROPOSED:
	UNCOVERED	0	2
		2	2

FEMA FLOOD ZONE DATA: NO
W.U.I. DESIGNATED ZONE: YES
BUILD-IT-GREEN POINTS: REQUIRED

LOT COVERAGE:

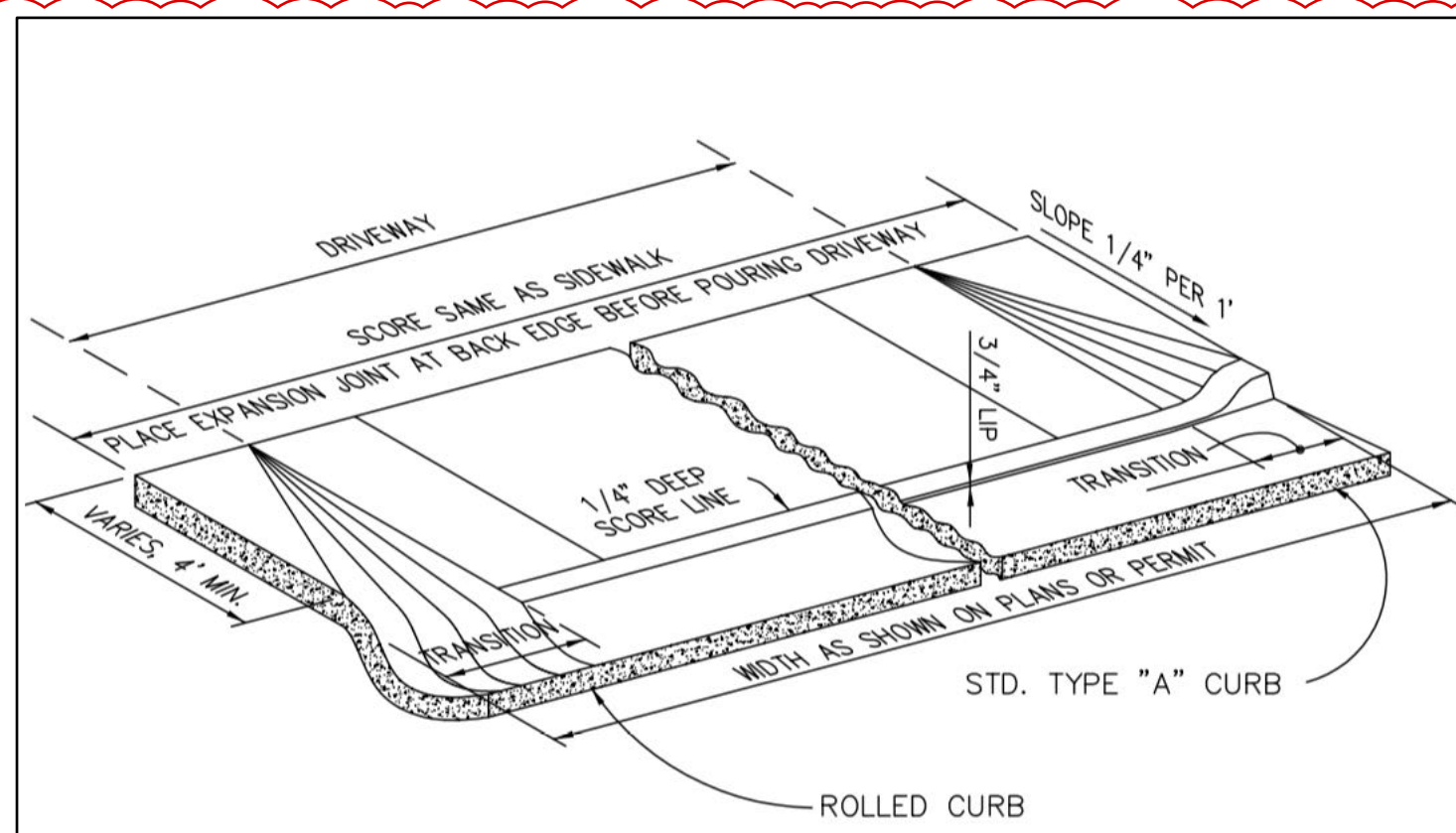
IMPERVIOUS	EXISTING:	PROPOSED
DRIVEWAY	3,207 SF	806 SF
CARPORY + STORAGE	496 SF	
STUDIO	1,470 SF	1,231 SF
HOUSE	1,961 SF	5,234 SF
PATIO	1,498 SF	3,704 SF
WALKWAYS	911 SF	154 SF
POOL+HOT TUB	-	1,000 SF
TOTAL	9,543 SF (22%)	12,129 SF (28%)

PERVIOUS

LANDSCAPING	REQ'D ?	EXISTING:	PROPOSED
		33,857 SF (78%)	31,271 SF (72%)

GRADING CALCULATIONS:

	PROPOSED
CUT	360 CU YDS
FILL	140 CU YDS
OFF HAUL	240 CU YDS



TYPE	TRANSITION WIDTH FROM DRIVEWAY PROJECTION TO OUTER EDGE OF APPROACH	THICKNESS
RESIDENTIAL	2' MIN.	6"
COMMERCIAL	4' MIN.	8"

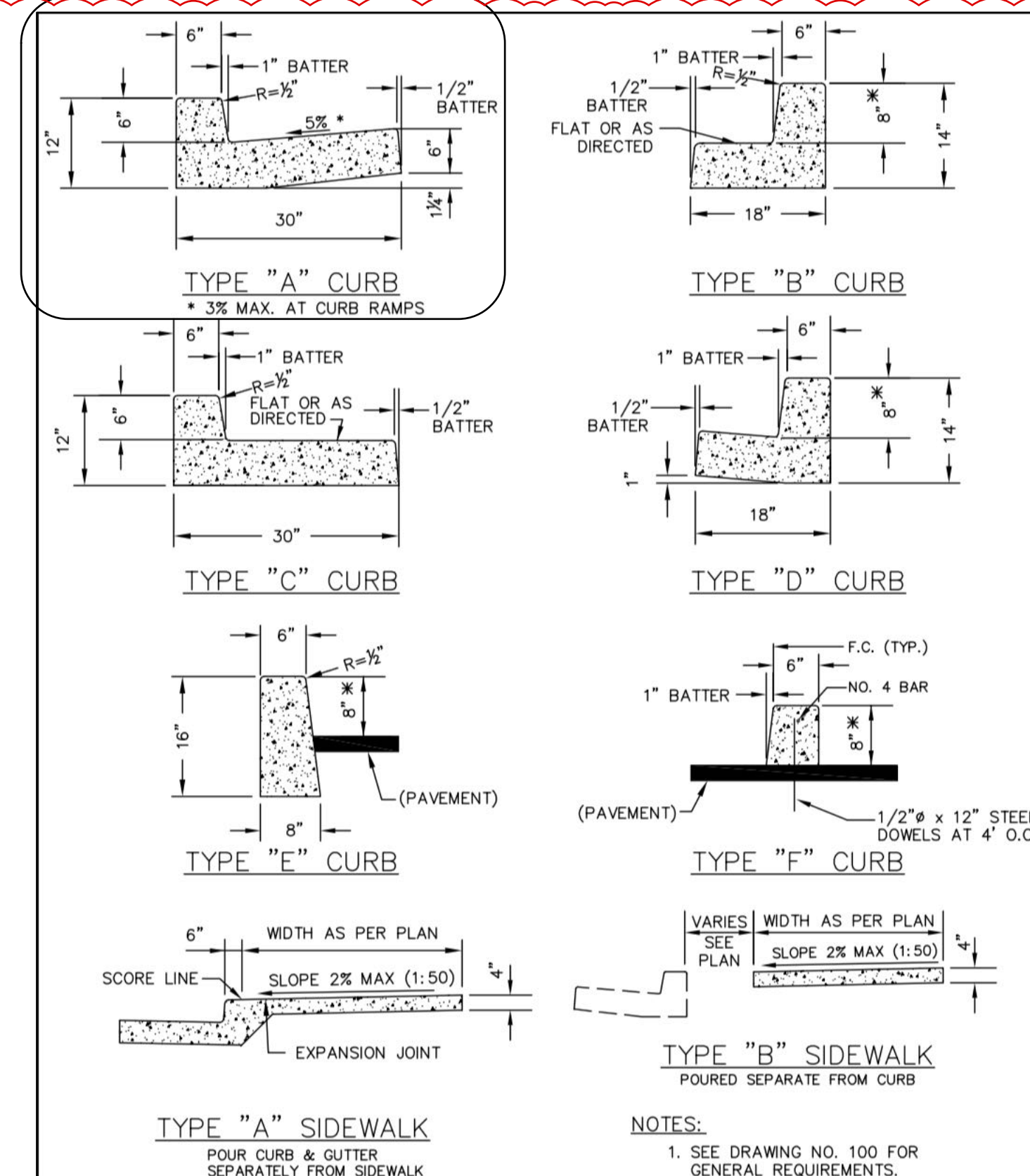
NOTES:

- SEE DRAWING NO. 100 FOR GENERAL NOTES.
- THIS DRIVEWAY STANDARD MAY ONLY BE USED WHERE ANY EXISTING SIDEWALKS (OR PATHWAYS) ARE LOCATED MORE THAN 48" FROM BACK OF CURB (OR EDGE OF PAVEMENT).

UNIFORM STANDARDS ALL CITIES AND COUNTY OF MARIN	DRIVEWAY APPROACH ROLLED CURB AND STANDARD CURB	REV.	DATE	BY	MAY 2008 DWG. NO. 100
--	---	------	------	----	--------------------------

- EXISTING CONCRETE SHALL BE REMOVED AT EXPANSION OR WEAKENED PLANE JOINTS OR AT SAWCUTS AS FIELD MARKED BY AGENCY ENGINEER. SAWCUTS MUST GO ENTIRELY THROUGH CONCRETE.
- FOR NEW DEVELOPMENT, NO UTILITY BOXES OR POLES WILL BE PERMITTED IN THE SIDEWALK AREA WITHOUT THE PRIOR WRITTEN APPROVAL OF THE AGENCY ENGINEER.
- WHERE UNDERCUT SUBGRADE OR UNSUITABLE SUBGRADE MATERIAL IS ENCOUNTERED, THE AGENCY ENGINEER MAY REQUIRE REMEDIAL WORK TO BE DONE, INCLUDING OVER EXCAVATION AND BACKFILLING WITH CRUSHED ROCK AND, WHEN DIRECTED BY THE ENGINEER, PLACING GEOTEXTILE FABRIC BENEATH THE NEW CONCRETE SECTION.
- SUBGRADE SHALL BE COMPACTED TO AT LEAST 95% RELATIVE COMPACTION IN THE TOP SIX INCHES.
- NEW WORK SHALL MATCH EXISTING AS CLOSELY AS POSSIBLE IN FINISH, SCORING AND COLOR. FOR NEW INSTALLATIONS PLACED ADJACENT TO EXISTING, 2LB. DAVIS BLACK #8084 (OR EQUIVALENT) PER CU. YD. CONCRETE SHALL BE ADDED TO MIX.
- EXCEPT WHERE SPECIFIED OTHERWISE HEREIN, NO ADMIXTURES SHALL BE USED WITHOUT THE PERMISSION OF THE AGENCY ENGINEER.
- FORMS SHALL MEET GRADE AND FORM FACES SHALL NOT VARY FROM THE DIMENSIONS SHOWN BY MORE THAN 1/2 INCH.
- NO CONCRETE SHALL BE PLACED UNTIL THE AGENCY ENGINEER HAS INSPECTED AND APPROVED FORMS AND SUBGRADE/BASE.
- SUBGRADE/BASE SHALL BE THOROUGHLY WETTED IMMEDIATELY PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL BE A MINIMUM CLASS B (5 SACK MIX) WITH 1 INCH MAXIMUM AGGREGATE FROM AN APPROVED MIXING PLANT. NO BAGGED MIX IS PERMITTED.
- CONCRETE SHALL HAVE A SLUMP OF NOT MORE THAN FOUR INCHES.
- FOR SIDEWALKS AND DRIVEWAY APPROACHES, 1/4 INCH DEEP SCORE LINES SHALL BE PLACED AT FOUR FEET ON CENTER OR AS DIRECTED BY THE AGENCY ENGINEER.
- WEAKENED PLANE JOINTS AT LEAST 3/4" DEEP SHALL BE PLACED AT A MINIMUM 16 FEET ON CENTER EXCEPT FOR SIDEWALKS AND DRIVEWAY APPROACHES WHICH SHALL BE A MINIMUM 5 FEET ON CENTER.
- 3/8 INCH THICK EXPANSION JOINTS SHALL BE PLACED ON BOTH SIDES OF DRIVEWAY APPROACHES, AT CURB AND SIDEWALK RETURN POINTS, DRAINAGE STRUCTURES AND OTHER LOCATIONS AS SHOWN ON THE PLANS.
- ALL EXPOSED EDGES SHALL BE ROUNDED WITH 1/2 INCH RADIUS TOOL.
- ALL FLAT SURFACES SHALL BE LIGHT BROOM FINISHED UNLESS OTHERWISE SPECIFIED BY AGENCY ENGINEER.
- CURBS, SIDEWALKS AND DRIVEWAY APPROACHES SHALL HAVE FORMS REMOVED AND BE BACKFILLED WITHIN SEVEN DAYS AFTER POURING.
- THE DESIGNATED DIMENSIONS AND SLOPES MAYBE MODIFIED TO ACCOMMODATE EXISTING ADJACENT FACILITIES SUBJECT TO THE APPROVAL OF THE AGENCY ENGINEER.

UNIFORM STANDARDS ALL CITIES AND COUNTY OF MARIN	REQUIREMENTS FOR CONCRETE CURB, GUTTER, SIDEWALK, DRIVEWAY AND OTHER "FLATWORK"	REV.	DATE	BY	MAY 2008 DWG. NO. 100
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UNIFORM STANDARDS ALL CITIES AND COUNTY OF MARIN	CURB, GUTTER AND SIDEWALK DETAILS	REV.	DATE	BY	MAY 2008 DWG. NO. 105
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holder parlette
holderparlette.com
1010 Sir Francis Drake Blvd., Suite 204
Kentfield, CA 94904 415.268.5236

BROWNRISE RESIDENCE - 115 WOODLAND RD. KENTFIELD CA
HOA APPROVAL DOCUMENTS & DRIVEWAY APRON DETAILS
APN# 075-051-02

2 DRIVEWAY APRON DETAILS & SPECIFICATIONS
A0.1



December 10, 2019

Susan and John Brownridge
115 Woodland Road
Kentfield, CA 94904

Subject: Changes to approved plan -115 Woodland Road

Dear Susan and John,

This letter represents KWPOA administrative approval of the architectural and site changes to approved plans based on the drawings by Holder Parlette Architects, Sheets C50 (three sheets) dated December 10, 2019.

If (1) there are any changes to the plans approved by the Architectural Committee, or (2) there are any conditions listed above that cannot be satisfied, then you must promptly notify the Architectural Committee, and you must obtain the Architectural Committee's prior written approval of all proposed changes to the approved plans. Please review the construction rules included in the attached Standard Conditions of Approval and make sure that any contractors working on your project are made aware of these rules. Any approvals required by Marin County are your responsibility.

If you have any questions or concerns, please do not hesitate to contact me at 415.721.7429 or at mbarber@kwpoa.com. Best of luck with your project.

Thank you,

Michael Barber
Architectural Coordinator

P.O. Box 404, Kentfield, CA 94914 • Phone: 415-721-7429 • Fax: 415-721-7468 • www.kwpoa.com

Standard Conditions of Approval

- The project shall conform to the plans listed above in this approval letter as herein conditioned. Any changes to the plans as approved by the AC must be resubmitted to the AC for approval prior to obtaining a building permit for same, with the exception of substituting native and non-pyrophytic vegetation of the same height for those indicated on the plant list. This includes changes required by Marin County Planning, Public Works, Kentfield Fire Department, MMWD, or applicant's preferences or materials providers, and changes to grading and landscaping, as well as flat work and structures.
- The Applicant shall provide the AC with copies of certain plans at various times throughout the course of County review. Those plans include the following:

Plans approved by County Planning together with County approved Conditions of Approval	1 Set of reduced plans signed and dated as approved by the County	Within 5 working days of approval by the County
Plans submitted to the County of Marin Community Development Agency Building and Safety Division ("Building Division")	1 set of reduced plans as follows: Site Plan, Grading and Drainage Plans, Landscape Plans, Fuel Modification Plans, Architectural Elevations and Construction Management Plan	Simultaneously with your submission to the County
1 set of plans approved by the Building Division	1 set of reduced plans together with a copy of the permit issued	Within 5 working days of permit issuance
1 set of revised plans any time such revisions are submitted to the County	1 set of reduced plans together with a written explanation of the changes	Simultaneously with your submission to the County
- Additional approvals may be required by the County of Marin Planning Department or other agencies, and are not part of this approval. Within ten (10) days of final County approval, a set of final construction drawings (including the site plan, landscape, irrigation and lighting plans and architectural elevations) is to be provided to the AC for its official records, including a letter describing any changes required by the County or other agencies. Depending upon the nature of such changes, additional approval by the AC may be required.
- While under construction, the applicant or his lead consultant shall make the site and any supporting materials available to the AC in a timely manner. Supporting materials includes any information required to document compliance with these conditions of approval. Such site visits may include intermittent site visits and a final site visit prior to final County inspection.

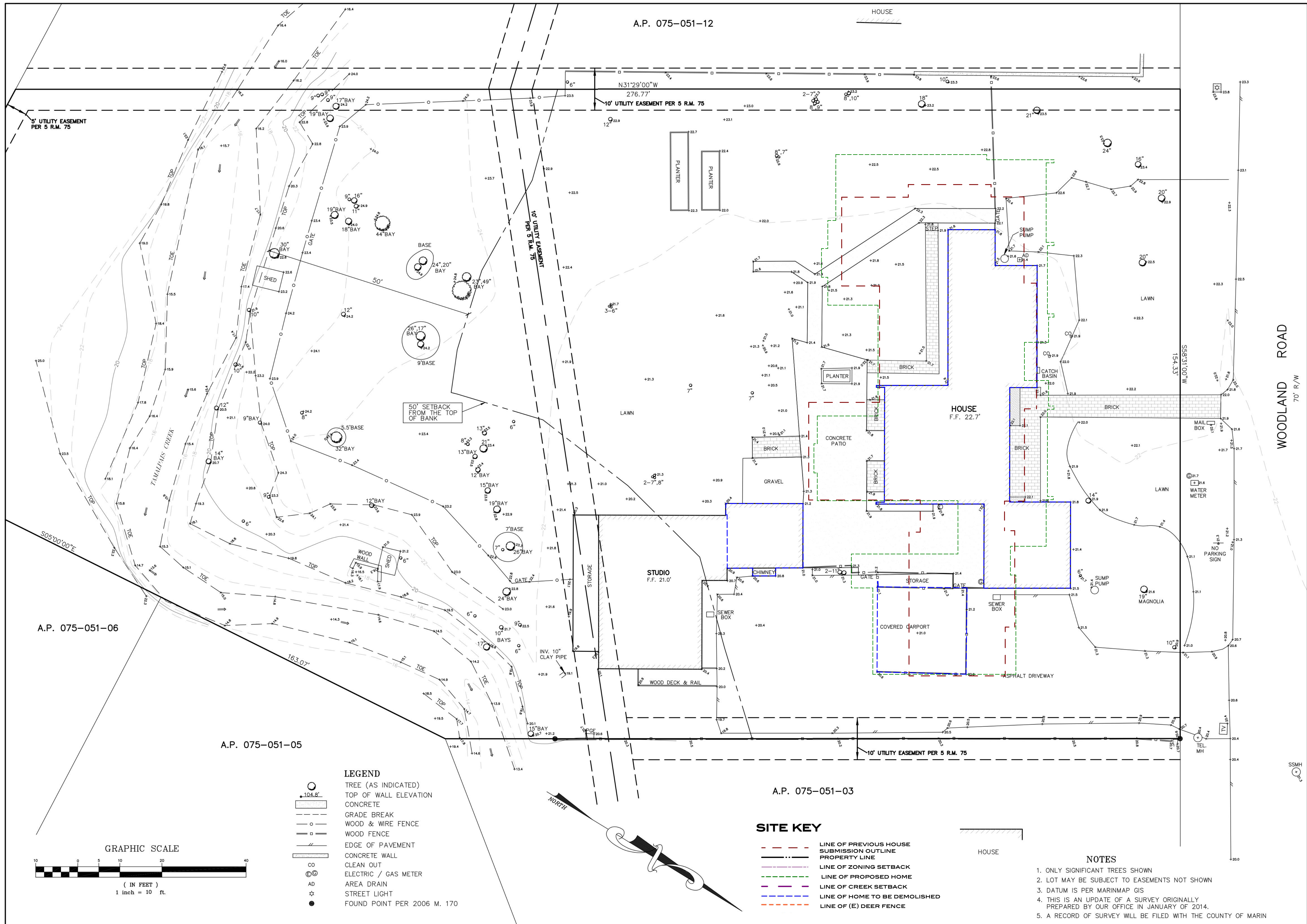
- Construction regulations and permit approvals limit the hours for construction-related activities to between 7:30 a.m. and 5:00 p.m. Monday through Friday, 9:00 a.m. and 4:00 p.m. on Saturdays. No construction is allowed on Sundays, state or national holidays (New Year's Day, President's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day, and Christmas Day). Loud noise generating construction-related equipment (e.g., backhoes, generators, jackhammers) can be maintained, operated, or serviced at a construction site from 8 am to 5 pm Monday-Friday only.
- Use of heavy equipment or noise-making machinery is restricted to weekdays only. The use of public streets and/or sidewalks by contractors, subcontractors or construction workers as lay down areas for materials

and/or equipment is not permitted. Portable toilets are considered to be equipment. Construction vehicles, equipment and materials shall be parked or stored to allow for safe traffic circulation on and off site.

- If existing vegetation that provides significant screening to nearby neighbors is lost due to disease, construction management requirements, techniques or accidents, or through any other means, that vegetation shall be replaced with like plantings at a ratio of 2 new for every one lost (2:1). No trees shall be removed without prior consent of the AC.
- The AC reserves the right to require additional vegetative screening for up to three (3) years from project completion in order to insure compliance with required screening softening, and erosion control. A set of drawings including the site plan, landscape, irrigation and lighting plans and architectural elevations as approved by the County of Marin Planning Division and again by the Building Department, shall be submitted to KWPOA within 10 days of approval for comparison purposes with KWPOA approval.
- This approval is not complete until ratified by the Board of Directors, and is subject to an appeal period of 30 days running from the date of approval.
- Commencement of construction of approved work is to begin within (2) two years of the date of approval by the Board and all construction (whether based on initial approved plans or later approved changes to such plans) is to be completed within (2) two years after construction first commences (the "completion period"). The completion period may be extended for good cause upon application to the Board provided that such application is made at least 30 days prior to the expiration of the completion period. (Adopted 9/27/12).
- This approval is valid for two years from the date of approval. Failure to secure permits and begin construction within that time will nullify this approval and require resubmission of the project.
- Any successor owner, with approved, unexpired plans from KWPOA, must notify the AC of the proposed construction start date. Any changes to approved plans must be submitted to the AC and corresponding fees paid.

DATE:	ISSUE:
12.10.19	KWPOA APPROVAL
03.13.20	AMENDMENT
06.27.20	PLANNING REVISION

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A.P. 075-051-12

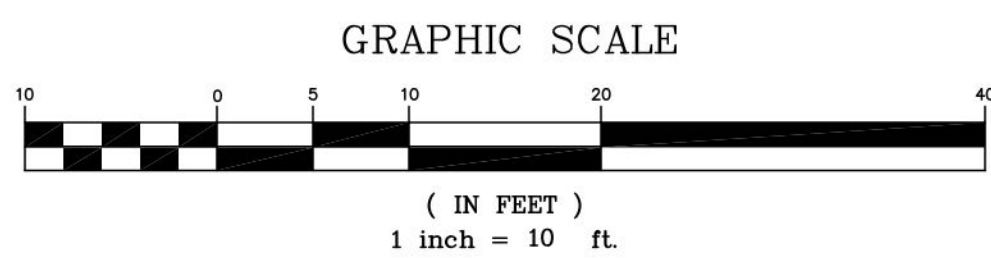
5' UTILITY EASEMENT PER 5 R.M. 75

10' UTILITY EASEMENT PER 5 R.M. 75

A.P. 075-051-06

A.P. 075-051-05

A.P. 075-051-03



- LEGEND**
- TREE (AS INDICATED)
 - TOP OF WALL ELEVATION
 - CONCRETE
 - GRADE BREAK
 - WOOD & WIRE FENCE
 - WOOD FENCE
 - EDGE OF PAVEMENT
 - CONCRETE WALL
 - CLEAN OUT
 - ELECTRIC / GAS METER
 - AREA DRAIN
 - STREET LIGHT
 - FOUND POINT PER 2006 M. 170

- SITE KEY**
- LINE OF PREVIOUS HOUSE SUBMISSION OUTLINE
 - PROPERTY LINE
 - LINE OF ZONING SETBACK
 - LINE OF PROPOSED HOME
 - LINE OF CREEK SETBACK
 - LINE OF HOME TO BE DEMOLISHED
 - LINE OF (E) DEER FENCE

- NOTES**
1. ONLY SIGNIFICANT TREES SHOWN
 2. LOT MAY BE SUBJECT TO EASEMENTS NOT SHOWN
 3. DATUM IS PER MARINMAP GIS
 4. THIS IS AN UPDATE OF A SURVEY ORIGINALLY PREPARED BY OUR OFFICE IN JANUARY OF 2014.
 5. A RECORD OF SURVEY WILL BE FILED WITH THE COUNTY OF MARIN

LAWRENCE DOYLE
 LAND SURVEYOR
 CIVIL ENGINEER
 100 HELENS LANE
 MILL VALLEY, CA 94941
 415 388 9585 F 415 388 0412

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 THIS DRAWING IS THE PROPERTY OF LAWRENCE P. DOYLE LAND SURVEYOR CIVIL ENGINEER AND MAY NOT BE DUPLICATED OR USED WITHOUT PERMISSION



115 WOODLAND ROAD
 KENTFIELD CALIFORNIA
 A.P. 075-021-02

TOPOGRAPHIC SURVEY

DRAWN BY: CPD

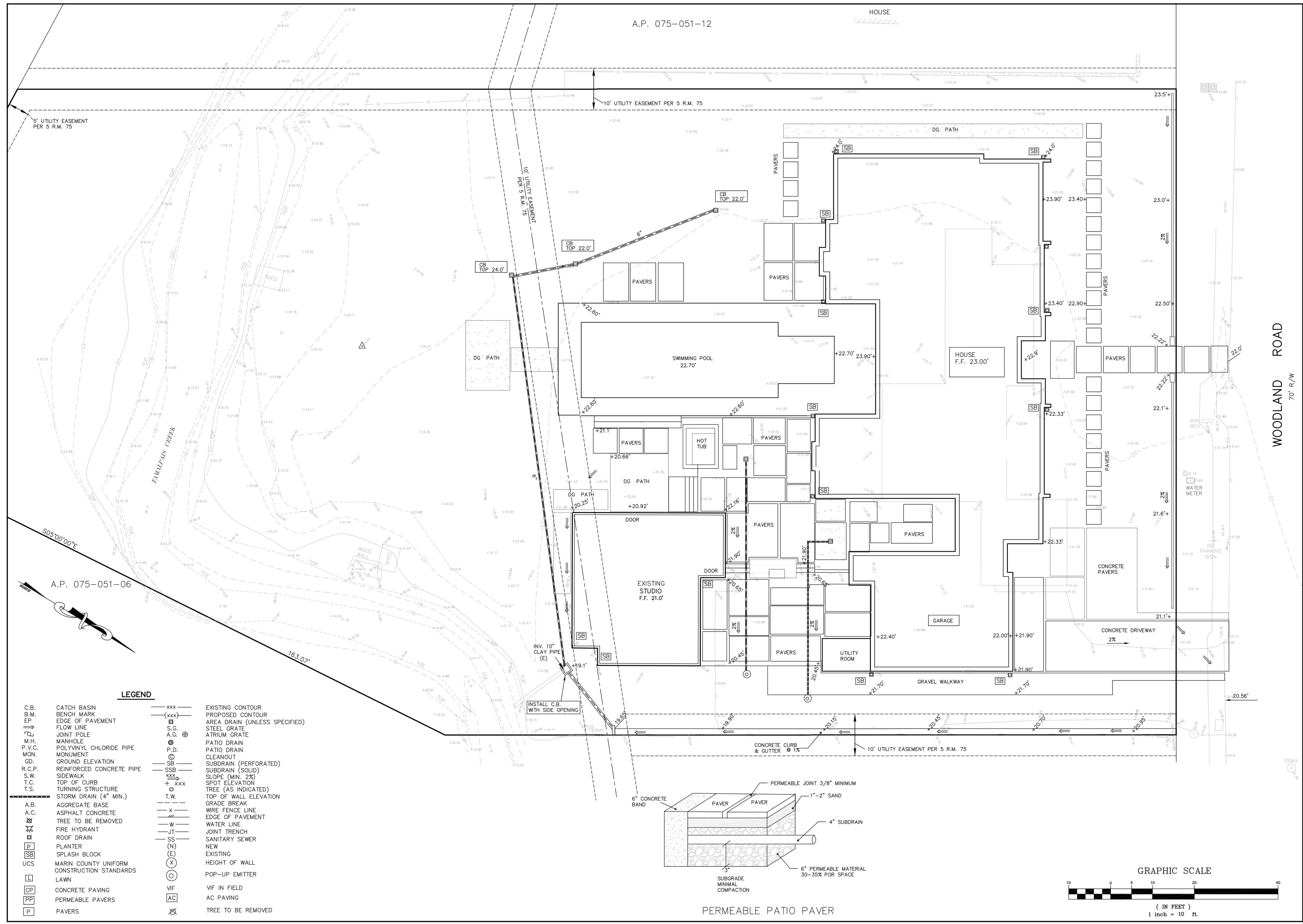
DATE:	ISSUE:
1/3/14	
10/9/19	UPDATE
2/25/20	CREEK SETBACK

C-1

DRAWING NUMBER: 2444-13
 SHEET 1 OF 1

A.P. 075-051-12

HOUSE



LAWRENCE DOYLE
 LAND SURVEYOR
 CIVIL ENGINEER
 100 HELENS LANE
 MILL VALLEY, CA 94941
 415 388 9585 F 415 388 0412

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115 WOODLAND ROAD
 KENTFIELD CALIFORNIA
 A.P. 075-021-02

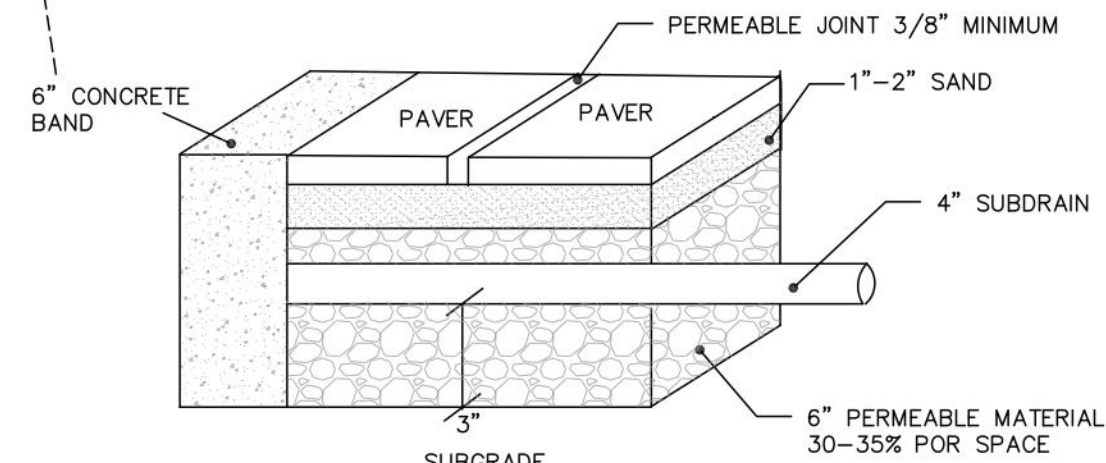
PRELIMINARY GRADING & DRAINAGE PLAN

DRAWN BY: JWR
 DATE: 5/19/20
 ISSUE:

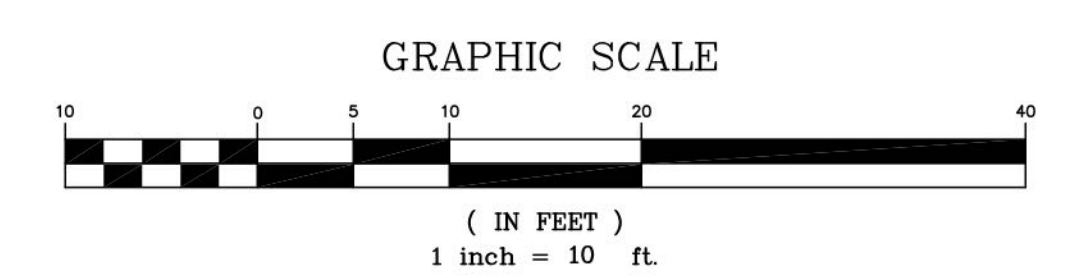
C-2
 DRAWING NUMBER: 2444-13

LEGEND

- | | | | |
|--------|---|-----------|-------------------------------|
| C.B. | CATCH BASIN | ---xxx--- | EXISTING CONTOUR |
| B.M. | BENCH MARK | (xxx) | PROPOSED CONTOUR |
| EP | EDGE OF PAVEMENT | --- | AREA DRAIN (UNLESS SPECIFIED) |
| → | FLOW LINE | --- | STEEL GRATE |
| ○ | JOINT POLE | S.C. | ATRIUM GRATE |
| M.H. | MANHOLE | ⊗ | PATIO DRAIN |
| P.V.C. | POLYVINYL CHLORIDE PIPE | ⊙ | PATIO DRAIN |
| MON. | MONUMENT | ⊙ | CLEANOUT |
| GD. | GROUND ELEVATION | SB | SUBDRAIN (PERFORATED) |
| R.C.P. | REINFORCED CONCRETE PIPE | SSB | SUBDRAIN (SOLID) |
| S.W. | SIDEWALK | --- | SLOPE (MIN. 2%) |
| T.C. | TOP OF CURB | +xxx | SPOT ELEVATION |
| T.S. | TURNING STRUCTURE | ○ | TREE (AS INDICATED) |
| --- | STORM DRAIN (4" MIN.) | T.W. | TOP OF WALL ELEVATION |
| A.B. | AGGREGATE BASE | --- | GRADE BREAK |
| A.C. | ASPHALT CONCRETE | -x- | WIRE FENCE LINE |
| ⊗ | TREE TO BE REMOVED | --- | EDGE OF PAVEMENT |
| ⊗ | FIRE HYDRANT | -w- | WATER LINE |
| ⊗ | ROOF DRAIN | -jt- | JOINT TRENCH |
| ⊗ | PLANTER | --- | SANITARY SEWER |
| SB | SPLASH BLOCK | (N) | NEW |
| UCS | MARIN COUNTY UNIFORM CONSTRUCTION STANDARDS | (E) | EXISTING |
| L | LAWN | ⊙ | HEIGHT OF WALL |
| CP | CONCRETE PAVING | ⊙ | POP-UP EMITTER |
| PP | PERMEABLE PAVERS | VIF | VIF IN FIELD |
| P | PAVERS | AC | AC PAVING |
| | | ⊗ | TREE TO BE REMOVED |



PERMEABLE PATIO PAVER



Stormwater Control Plan

BASMAA Format July 14, 2019

Project Data Form and Runoff Reduction Measure Selection

Project Name/Number	Brownridge Residence
Application Submittal Date	
Project Location	115 Woodland Road Kentfield, CA APN 075-051-02
Name of Owner or Developer	
Project Type and Description	Demolish existing single family home and construct new single family home. An existing studio will remain.
Total Project Site Area	0.97 acre
Total New or Replaced Impervious Surface Area	sq ft 6,725
Total Pre-Project Impervious Surface Area	sq ft 9,344 s.f.
Total Post-Project Impervious Surface Area	sq ft 10,230
Runoff Reduction Measures Selected	<input checked="" type="checkbox"/> 1. Disperse runoff to vegetated area <input checked="" type="checkbox"/> 2. Pervious pavement <input type="checkbox"/> 3. Cisterns or Rain Barrels <input type="checkbox"/> 4. Bioretention Facility or Planter Box

Impervious Areas and Location of Runoff Reduction Measures

Drawing C-2A, dated 05-19-2020 attached.

Brownridge Residence, 115 Woodland Road, Kentfield, CA

Page 1 of 4

Runoff Reduction Options

Option 1: Disperse runoff from roofs or pavement to vegetated areas.

This is the simplest option. Downspouts can be directed to vegetated areas adjacent to buildings, or extended via pipes to reach vegetated areas further away. Paved areas can be designed with curb cuts, or without curbs, to direct flow into surrounding vegetation.

On the site plan, show:

- Each impervious area from which runoff will be directed, and its square footage.
- The vegetated areas that will receive runoff, and the approximate square footage of each.
- If necessary, explain in notes on the plan how runoff will be routed from impervious surfaces to vegetated areas.

Confirm the following standard specifications are met:

- Tributary impervious square footage in no instance exceeds twice the square footage of the receiving pervious area.
- Roof areas collect runoff and route it to the receiving pervious area via gutters and downspouts.
- Paved areas are sloped so drainage is routed to the receiving pervious area.
- Runoff is dispersed across the vegetated area (for example, with a splash block) to avoid erosion and promote infiltration.
- Vegetated area has amended soils, vegetation, and irrigation as required to maintain soil stability and permeability.
- Any drain inlets within the vegetated area are at least 3 inches above surrounding grade.

Option 2: Permeable Pavement

This option can be easy to install and maintain, cost-effective, and can add aesthetic value to your project. Permeable pavements may include pervious concrete, pervious asphalt, porous pavers, crushed aggregate, open pavers with grass or plantings, open pavers with gravel, or solid pavers.

Show on your site plan:

- Location, extent and types of pervious pavements.

Confirm the following standard specifications are met:

- No erodible areas drain on to permeable pavement.

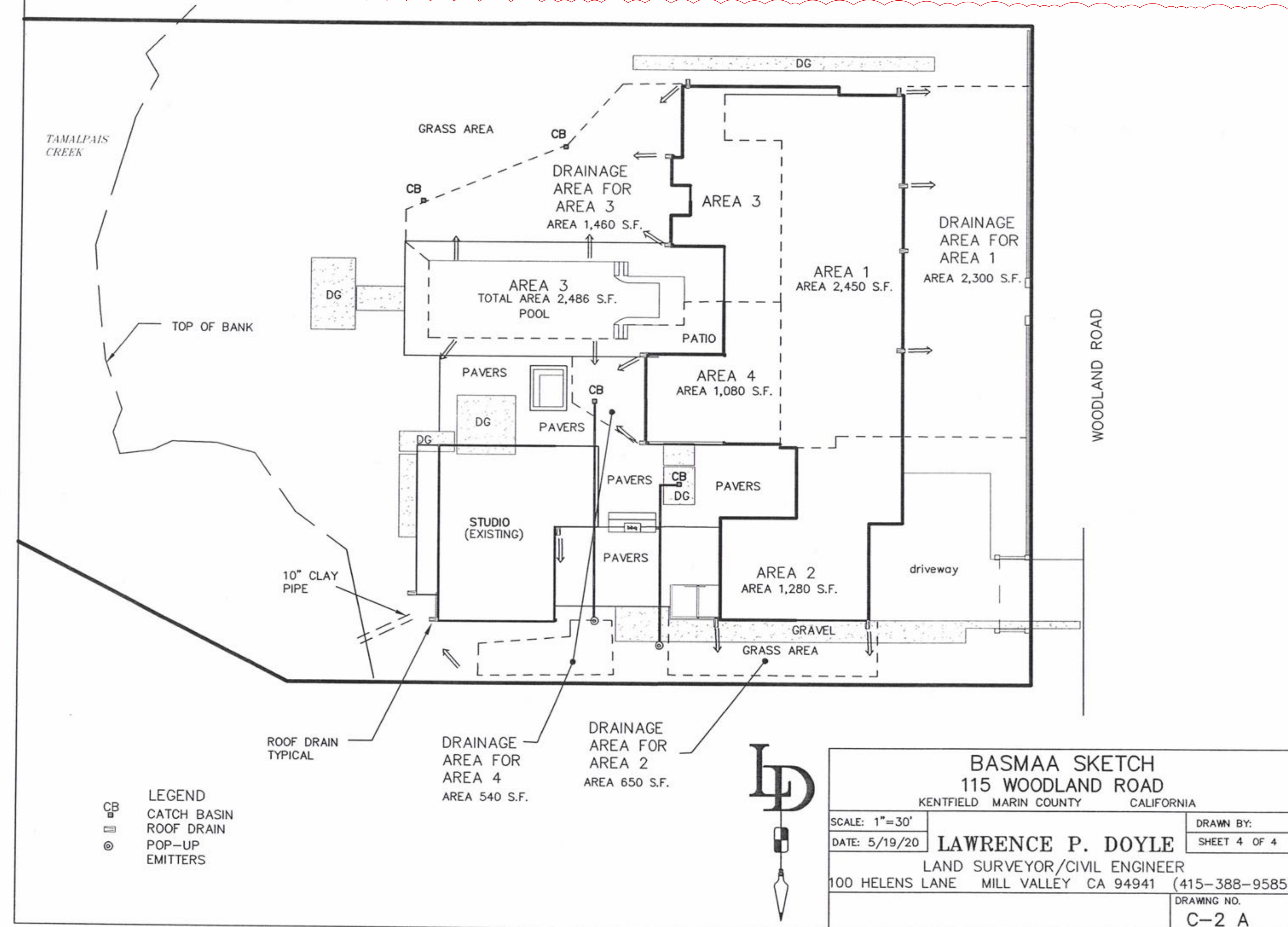
Brownridge Residence, 115 Woodland Road, Kentfield, CA

Page 2 of 4

- Subgrade compaction is minimal.
- Reservoir base course is of open-graded crushed stone. Base depth is adequate to retain rainfall (3 inches is adequate) and support design loads (more depth may be required).
- No subdrain is included or, if a subdrain is included, outlet elevation is a minimum of 3 inches above bottom of base course.
- Subgrade is uniform and slopes are not so steep that subgrade is prone to erosion.
- Rigid edge is provided to retain granular pavements and unit pavers.
- Solid unit pavers, if used, are set in sand or gravel with minimum 3/8 inch gaps between the pavers. Joints are filled with an open-graded aggregate free of fines.
- Permeable concrete or porous asphalt, if used, are installed by industry-certified professionals according to the vendor's recommendations.
- Selection and location of pavements incorporates Americans with Disabilities Act requirements (if applicable), site aesthetics, and uses.

Brownridge Residence, 115 Woodland Road, Kentfield, CA

Page 3 of 4



SITE KEY

- LINE OF PREVIOUS HOUSE
- SUBMISSION OUTLINE
- PROPERTY LINE
- LINE OF ZONING SETBACK
- LINE OF PROPOSED HOME
- LINE OF CREEK SETBACK
- LINE OF HOME TO BE DEMOLISHED
- LINE OF (E) DEER FENCE



holder parlette
holderparlette.com
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Kentfield, CA 94904 415.269.5236

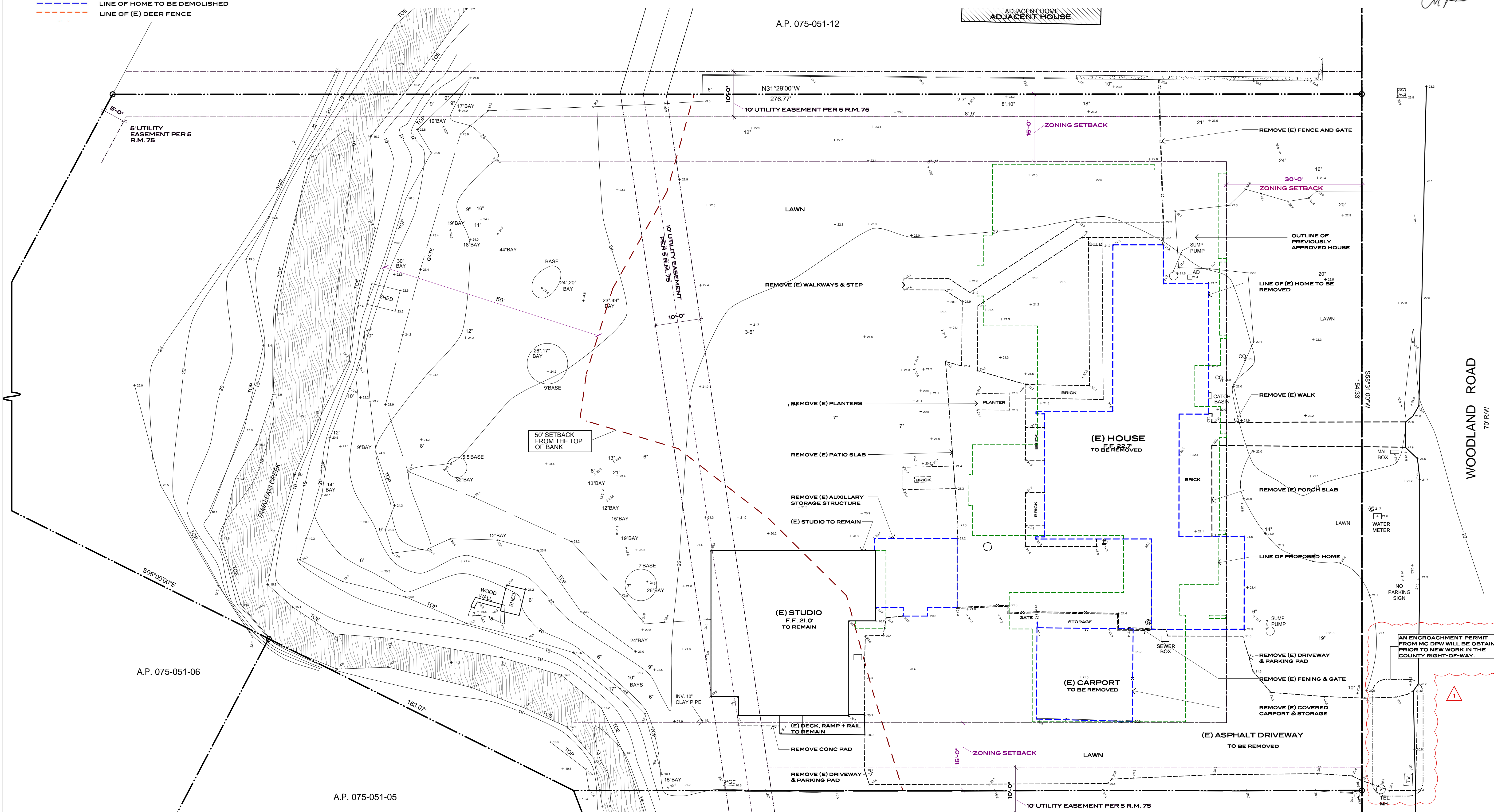
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APN# 075-051-02

BROWNRIDGE RESIDENCE - 115 WOODLAND RD. KENTFIELD CA
DEMOLITION PLAN

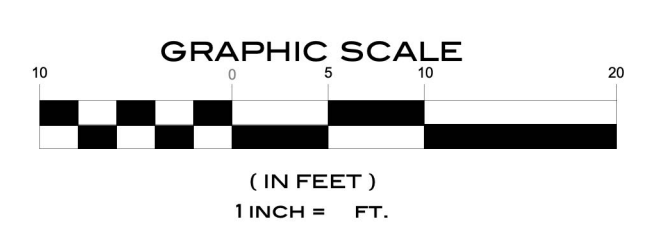
DATE: 12.10.19 ISSUE:
APPROVAL: 03.13.20
PLANNING AMENDMENT
05.27.20 RESUBMIT

A02

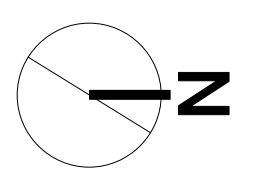


PLAN NOTES

1. ONLY SIGNIFICANT TREES SHOWN
2. LOT MAY BE SUBJECT TO EASEMENTS NOT SHOWN
3. DATUM IS PER MARINMAP GIS
4. BASIS OF BEARING IS PER S.R.M. 75 AND S.R.M. 74
5. A RECORD OF SURVEY HAS BEEN FILED WITH THE COUNTY OF MARIN



SCALE: 1/10" = 1'-0"



SITE KEY

- - - LINE OF PREVIOUS HOUSE SUBMISSION OUTLINE
- - - PROPERTY LINE
- - - LINE OF ZONING SETBACK
- - - LINE OF PROPOSED HOME
- - - LINE OF CREEK SETBACK
- - - LINE OF HOME TO BE DEMOLISHED
- - - LINE OF (E) DEER FENCE



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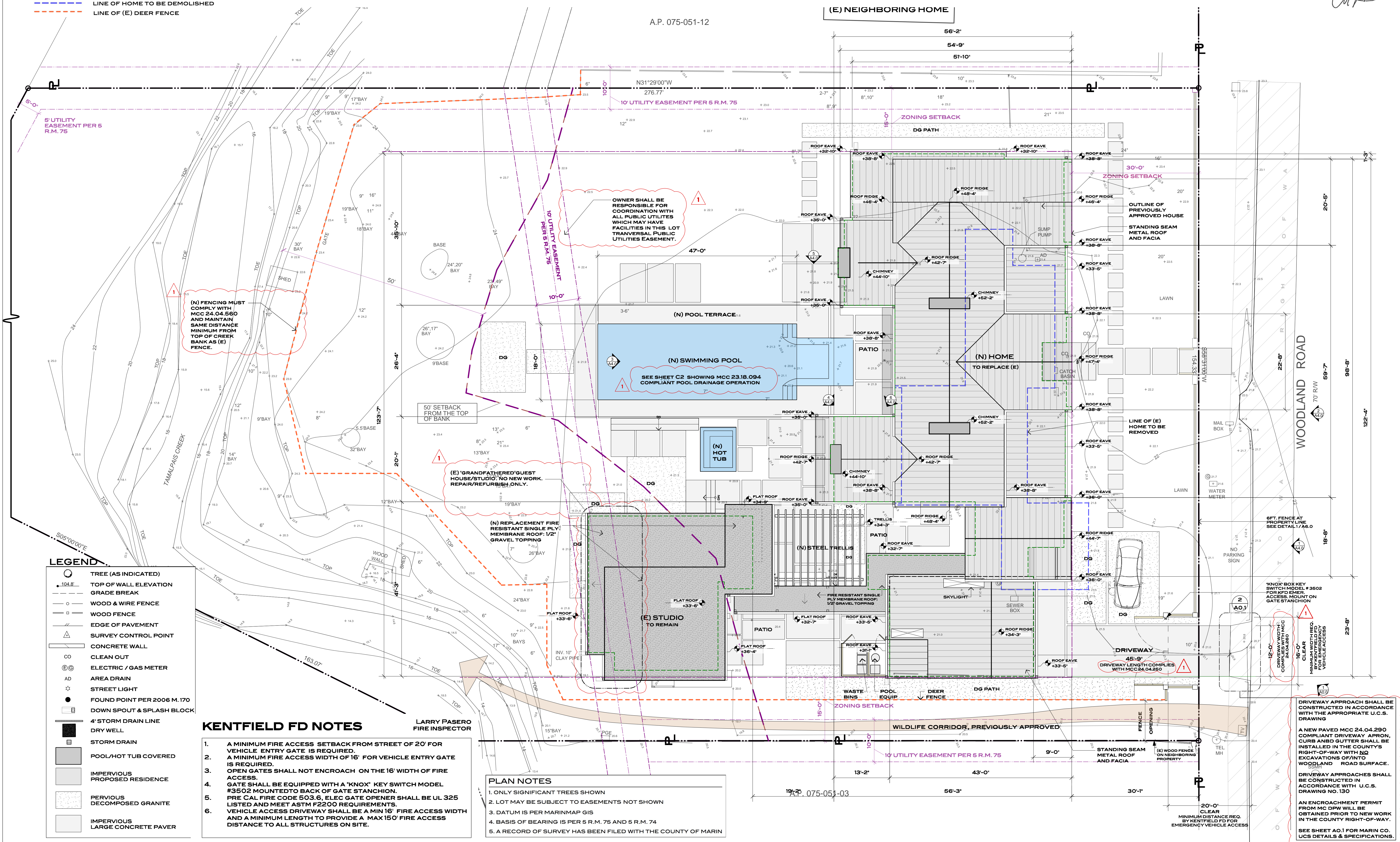
BROWNRIDGE RESIDENCE - 115 WOODLAND RD. KENTFIELD CA

PROPOSED SITE & ROOF PLAN

DATE: 03.10.19
APPROVAL: 03.10.19
PLANNING: 05.27.20
REVISION: 1

ISSUE: 05.27.20
HWP/A: APPROVAL
AMENDMENT: PLANNING
REVISION: 1

A0.3



(N) FENCING MUST COMPLY WITH MCC 24.04.560 AND MAINTAIN SAME DISTANCE MINIMUM FROM TOP OF CREEK BANK AS (E) FENCE.

OWNER SHALL BE RESPONSIBLE FOR COORDINATION WITH ALL PUBLIC UTILITIES WHICH MAY HAVE FACILITIES IN THIS LOT TRANSVERSAL PUBLIC UTILITIES EASEMENT.

(N) SWIMMING POOL
SEE SHEET C2 SHOWING MCC 23.18.094 COMPLIANT POOL DRAINAGE OPERATION

(E) GRANDFATHERED GUEST HOUSE/STUDIO. NO NEW WORK. REPAIR/REFURBISH ONLY.

(N) REPLACEMENT FIRE RESISTANT SINGLE PLY MEMBRANE ROOF: 1/2" GRAVEL TOPPING

(E) STUDIO TO REMAIN

*KNOX BOX KEY SWITCH MODEL #3502 FOR KFD EMER. ACCESS MOUNT ON GATE STANCHION

DRIVEWAY WIDTH COMPLIES WITH MCC 24.04.250
MINIMUM WIDTH REQ. FOR EMERGENCY VEHICLE ACCESS

DRIVEWAY APPROACH SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROPRIATE U.C.S. DRAWING

A NEW PAVED MCC 24.04.290 COMPLIANT DRIVEWAY APRON, CURB AND NO GUTTER SHALL BE INSTALLED IN THE COUNTY'S RIGHT-OF-WAY WITH NO EXCAVATIONS OF INTO WOODLAND ROAD SURFACE.

DRIVEWAY APPROACHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH U.C.S. DRAWING NO. 130
AN ENCROACHMENT PERMIT FROM MC DPW WILL BE OBTAINED PRIOR TO NEW WORK IN THE COUNTY RIGHT-OF-WAY.
SEE SHEET A0.1 FOR MARIN CO. UCS DETAILS & SPECIFICATIONS.

KENTFIELD FD NOTES

1. A MINIMUM FIRE ACCESS SETBACK FROM STREET OF 20' FOR VEHICLE ENTRY GATE IS REQUIRED.
2. A MINIMUM FIRE ACCESS WIDTH OF 16' FOR VEHICLE ENTRY GATE IS REQUIRED.
3. OPEN GATES SHALL NOT ENCRUCH ON THE 16' WIDTH OF FIRE ACCESS.
4. GATE SHALL BE EQUIPPED WITH A "KNOX" KEY SWITCH MODEL #3502 MOUNTED TO BACK OF GATE STANCHION. PRE CAL FIRE CODE 503.6, ELEC GATE OPENER SHALL BE UL 325 LISTED AND MEET ASTM F2200 REQUIREMENTS.
5. VEHICLE ACCESS DRIVEWAY SHALL BE A MIN 16' FIRE ACCESS WIDTH AND A MINIMUM LENGTH TO PROVIDE A MAX 150' FIRE ACCESS DISTANCE TO ALL STRUCTURES ON SITE.

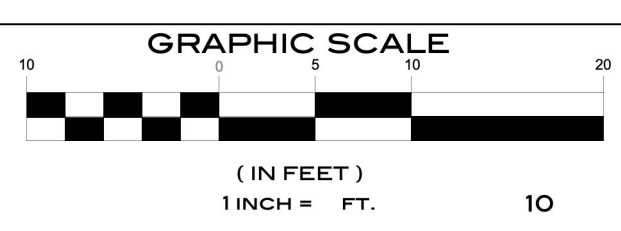
PLAN NOTES

1. ONLY SIGNIFICANT TREES SHOWN
2. LOT MAY BE SUBJECT TO EASEMENTS NOT SHOWN
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4. BASIS OF BEARING IS PER S R.M. 75 AND 5 R.M. 74
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LEGEND

- TREE (AS INDICATED)
- TOP OF WALL ELEVATION
- - - GRADE BREAK
- WOOD & WIRE FENCE
- WOOD FENCE
- EDGE OF PAVEMENT
- △ SURVEY CONTROL POINT
- CONCRETE WALL
- CLEAN OUT
- ⊙ ELECTRIC / GAS METER
- AD AREA DRAIN
- ☆ STREET LIGHT
- FOUND POINT PER 2006 M.170
- DOWN SPOUT & SPLASH BLOCK
- 4" STORM DRAIN LINE
- DRY WELL
- STORM DRAIN
- POOL/HOT TUB COVERED
- IMPERVIOUS PROPOSED RESIDENCE
- PERVIOUS DECOMPOSED GRANITE
- IMPERVIOUS LARGE CONCRETE PAVER

LARRY PASERO
FIRE INSPECTOR



SCALE: 1/10" = 1'-0"

1
A0.3
PROPOSED SITE & ROOF PLAN

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TREE REMOVAL NOTES

1. SEE SHEET L1.1 FOR TREE CONDITION & TREE DISPOSITION TABLES WHICH REFER TO CONDITIONS FOR TREE REMOVAL.
2. REFER TO SUBMITTED OCTOBER 2019 ARBORIST'S REPORT FOR TREE SPECIES / CONDITION LIST FOR SAME INFORMATION.
3. PLEASE SEE 1/L1 FOR TREE REMOVAL PLAN.
4. PLEASE SEE SHEET L2 A SMALLER SCALE TREE REMOVAL PLAN & THE CORRESPONDING ARBORIST'S TREE TABLES FOR REMOVAL AND PRESERVATION.

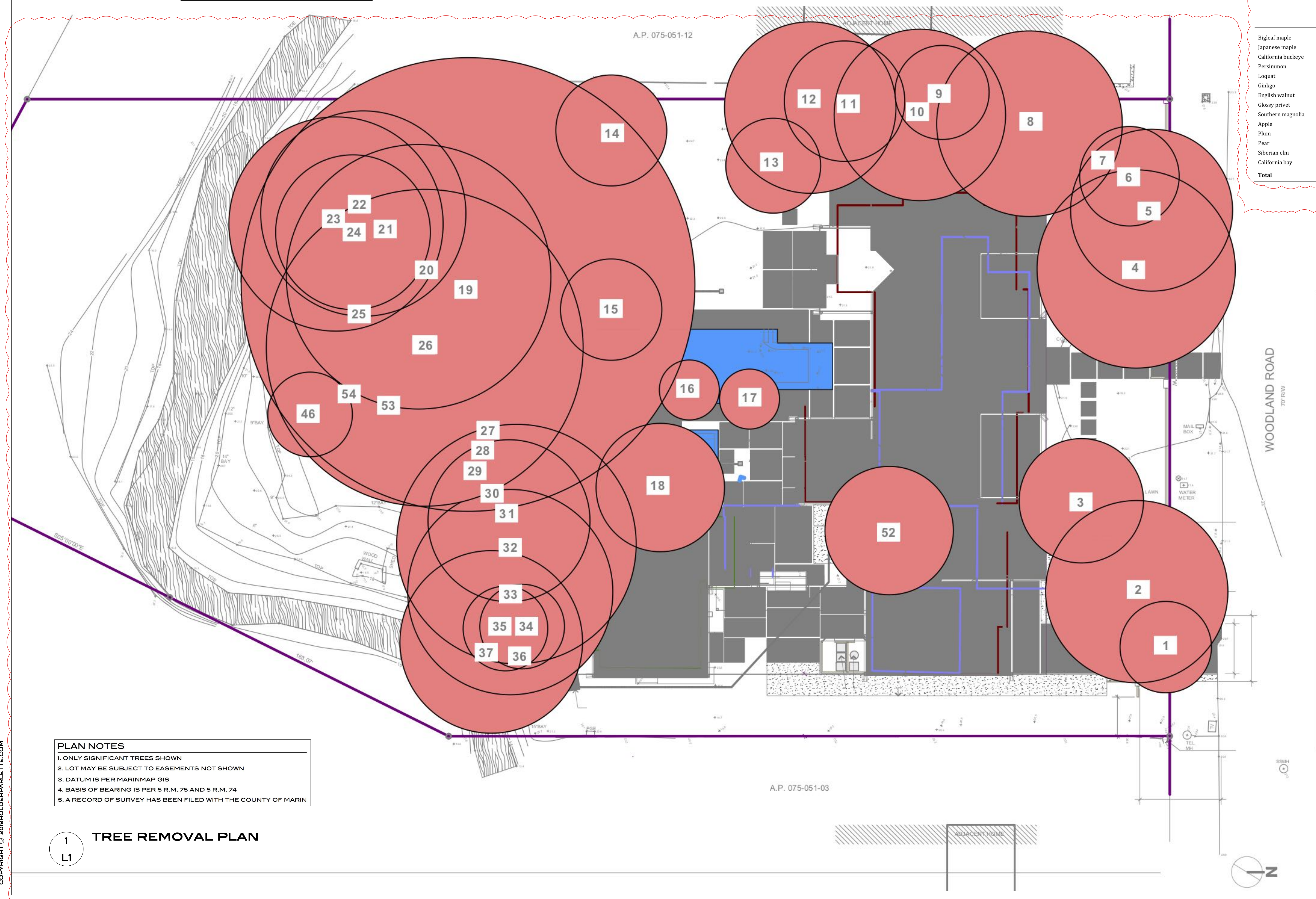
PLEASE SEE COMPLETE ARBORIST'S REPORT DATED APRIL 2020 SUBMITTED TO MCPD PREPARED BY LEE NACHTREIB & ADAM CLARK, CERTIFIED ARBORISTS FOR BARTLETT TREE EXPERTS.

ARBORIST EVALUATION NOTES:

Description of Trees
54 trees representing 14 species were evaluated (Table 1). For all species combined, trees were most found to be in fair to poor condition, with some exceptions. Descriptions of each tree are found in the Tree Assessment, and approximate locations are plotted on the Tree Assessment Plan (see Exhibits).

Table 1. Condition ratings and frequency of occurrence of trees
115 Woodland Drive, Kentfield, CA

Common Name	Scientific Name	Condition			Total
		Poor	Fair	Good	
Bigleaf maple	<i>Acer macrophyllum</i>	1	6	1	8
Japanese maple	<i>Acer palmatum</i>	-	1	-	1
California buckeye	<i>Aesculus californica</i>	1	3	-	4
Persimmon	<i>Diospyros kaki</i>	-	1	-	1
Loquat	<i>Eriobotrya japonica</i>	-	1	-	1
Ginkgo	<i>Ginkgo biloba</i>	-	1	-	1
English walnut	<i>Juglans regia</i>	-	-	1	3
Glossy privet	<i>Ligustrum lucidum</i>	1	2	-	2
Southern magnolia	<i>Magnolia grandiflora</i>	-	1	-	1
Apple	<i>Malus domestica</i>	-	1	-	1
Plum	<i>Prunus domestica</i>	2	-	-	2
Pear	<i>Pyrus communis</i>	1	-	-	1
Siberian elm	<i>Ulmus pumila</i>	6	-	-	6
California bay	<i>Umbellularia californica</i>	10	11	2	23
Total		21	29	4	54



- PLAN NOTES**
1. ONLY SIGNIFICANT TREES SHOWN
 2. LOT MAY BE SUBJECT TO EASEMENTS NOT SHOWN
 3. DATUM IS PER MARINMAP GIS
 4. BASIS OF BEARING IS PER 5 R.M. 75 AND 5 R.M. 74
 5. A RECORD OF SURVEY HAS BEEN FILED WITH THE COUNTY OF MARIN

1
L1
TREE REMOVAL PLAN

BROWNRISE RESIDENCE - 115 WOODLAND RD. KENTFIELD CA
TREE REMOVAL PLAN
APN# 075-051-02

DATE: 08.27.20
ISSUE: PLANNING AMENDMENT RESUBMIT

PLEASE SEE COMPLETE REVISED ARBORIST'S REPORT DATED APRIL 2020 SUBMITTED TO MCPD PREPARED BY LEE NACHTREIB & ADAM CLARK, CERTIFIED ARBORISTS FOR BARTLETT TREE EXPERTS.

Tree Assessment Maps

Trees to be Preserved
Trees to be Removed
Tree Protection Zone



115 Woodland Road | Arborist Report | April, 2020 | Page 10
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Description of Trees
54 trees representing 14 species were evaluated (Table 1). For all species combined, trees were most found to be in fair to poor condition, with some exceptions. Descriptions of each tree are found in the **Tree Assessment**, and approximate locations are plotted on the **Tree Assessment Plan** (see Exhibits).

CONDITIONS & FREQUENCY TABLE

Table 1. Condition ratings and frequency of occurrence of trees
115 Woodland Drive, Kentfield, CA

Common Name	Scientific Name	Condition			Total
		Poor	Fair	Good	
Bigleaf maple	<i>Acer macrophyllum</i>	1	6	1	8
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California buckeye	<i>Aesculus californica</i>	1	3	-	4
Persimmon	<i>Diospyros kaki</i>	-	1	-	1
Loquat	<i>Eriobotrya japonica</i>	-	1	-	1
Ginkgo	<i>Ginkgo biloba</i>	-	1	-	1
English walnut	<i>Juglans regia</i>	-	-	1	3
Glossy privet	<i>Ligustrum lucidum</i>	1	2	-	2
Southern magnolia	<i>Magnolia grandiflora</i>	-	1	-	1
Apple	<i>Malus domestica</i>	-	1	-	1
Plum	<i>Prunus domestica</i>	2	-	-	2
Pear	<i>Pyrus communis</i>	1	-	-	1
Siberian elm	<i>Ulmus pumila</i>	6	-	-	6
California bay	<i>Umbellularia californica</i>	10	11	2	23
Total		21	29	4	54

TABLES & MAPS NOTES:

1. PLEASE SEE COMPLETE REVISED ARBORIST'S REPORT DATED APRIL 2020 PREPARED BY LEE NACHTREIB & ADAM CLARK ISA CERTIFIED ARBORISTS FOR BARTLETT TREE EXPERTS

2. PLEASE SEE 1/ L1 FOR TREE REMOVAL PLAN

3. PLEASE SEE 1/ L2 FOR TREE PRESERVATION PLAN.

Tree Condition

115 Woodland Road, Kentfield, CA October 2019						
Tree #	Species	Trunk Diameter (in.)	Protected Tree?	Condition	Suitability for Preservation	Comments
1	Ginkgo	11	No	Fair	Moderate	Moderate dieback; fair structure and form.
2	Southern magnolia	21	No	Fair	Moderate	Fair structure and form; numerous surface roots.
3	Bigleaf maple	14	No	Poor	Low	Root collar and stem wounds; unbalanced crown.
4	Siberian elm	24	No	Poor	Low	Root collar and stem wounds; slime flux.
5	Siberian elm	21	No	Poor	Low	Significant dieback; unbalanced crown.
6	Siberian elm	17	No	Poor	Low	Significant dieback; suppressed; unbalanced crown.
7	Siberian elm	26	No	Poor	Low	Stem and limb wounds; compromised stability.
8	Siberian elm	22	No	Poor	Low	Significant dieback; fair structure and form.
9	Glossy privet	11	No	Poor	Low	Infringing on structure (wall); moderate die back.
10	Siberian elm	20	No	Poor	Low	Large broken limbs; decay throughout canopy.
11	Plum	11,8 (14)	No	Poor	Low	Significant dieback; poor structure and form.
12	Glossy privet	10,10,8,8,6,5,4 (20)	No	Fair	Low	Dense canopy; poor structure; wood rat nest.
13	Loquat	9, 7, (11)	No	Fair	Moderate	Moderate dieback; dense canopy.
14	Plum	13	No	Poor	Low	Significant dieback; poor structure; stem decay.
15	Apple	7,7,6 (12)	No	Fair	Moderate	Dense canopy; fair structure and form.
16	Pear	7	No	Poor	Low	Stem and limb wounds; poor form and balance.
17	Persimmon	7	No	Fair	Moderate	Stem wound; fair structure and form.
18	English walnut	10,8,8 (15)	No	Good	High	Good structure and form; average density.
19	California bay	48,23 (53)	No	Poor	Low	Significant decay of root collar and stem.
20	California bay	24,20 (31)	No	Poor	Low	Significant decay of root collar; suppressed.
21	California bay	48	No	Poor	Low	Significant stem decay; may be unstable; fungal conks.
22	California buckeye	18,13,8 (24)	No	Poor	Moderate	Suppressed; unbalanced crown.
23	California bay	25	No	Poor	Low	Cavity at root collar; no significant target.
24	California bay	18	No	Poor	Low	Decay at root collar; unbalanced crown.
25	Bigleaf maple	12	Yes	Fair	Moderate	Deadwood over 2"; suppressed; fair structure.
26	California bay	32,18 (37)	No	Poor	Low	Significant decay with cavity at root collar.
27	California buckeye	20,13,9 (25)	Yes	Fair	Moderate	Basal wound; unbalanced crown; stable with pruning.
28	California bay	14	Yes	Fair	Moderate	Low live crown ratio; root collar re-occupied with #27.
29	California bay	13	Yes	Fair	Moderate	Dense canopy; low live crown ratio; good root collar.
30	California bay	14	Yes	Fair	Moderate	Dense canopy; suppressed; stable with pruning.
31	California bay	19	Yes	Fair	Moderate	Moderate dieback; low live crown ratio.
32	California bay	27,8 (28)	No	Poor	Low	Large stem cavity; unbalanced crown.
33	California bay	24	Yes	Fair	High	Sound stem and root collar; good structure and form.
34	California bay	10	No	Poor	Low	Unbalanced canopy; leaning over building.
35	California bay	10	No	Poor	Low	Unbalanced canopy; leaning over building.
36	California bay	9	No	Good	High	Dense canopy; good young tree.
37	California bay	21	Yes	Fair	Moderate	Malformed root collar; leaning over neighbor's backyard.
38	California bay	7	No	Good	High	Good young tree.
39	California bay	18	Yes	Fair	Moderate	Moderate dieback; ivy; sound stem and root collar.
40	California buckeye	7	No	Fair	Moderate	Suppressed; fair structure and form.
41	Bigleaf maple	17	Yes	Good	Moderate	Good structure and form.
42	Glossy privet	11	No	Fair	High	Branch tear-out wound; fair structure and form.
43	California buckeye	7	No	Fair	High	Suppressed; root collar wound.
44	Bigleaf maple	14	Yes	Fair	High	Moderately suppressed; leaning; no significant target.
45	Bigleaf maple	13	Yes	Fair	High	Fair structure and form; suppressed.
46	California bay	10	No	Poor	Low	Significant root collar decay with cavity.
47	Bigleaf maple	8	No	Fair	High	Low live crown ratio; average density.
48	Bigleaf maple	11	Yes	Fair	High	Suppressed; low live crown ratio.
49	California bay	31	Yes	Fair	High	Stem decay with cavity; dense canopy; no significant target.
50	California bay	21	Yes	Fair	High	Moderate dieback; fair structure and form.
51	California bay	17,10,10,9 (24)	Yes	Fair	High	Unbalanced canopy; decay at base of stems over creek.
52	Japanese maple	12,10 (16)	No	Fair	Low	Moderate dieback; included bark.
53	California bay	33	Yes	Fair	High	Fair structure and form; sound stem and root collar.
54	Bigleaf maple	9	No	Fair	High	Fair structure and form; sound stem and root collar.

Tree Disposition

115 Woodland Road, Kentfield, CA October 2019					
Tree #	Species	Trunk Diameter(s)	Protected Tree?	Disposition	Comments
1	Ginkgo	11	No	Remove	Within grading
2	Southern magnolia	21	No	Remove	Within grading
3	Bigleaf maple	14	No	Remove	Within grading; poor condition
4	Siberian elm	24	No	Remove	Poor condition
5	Siberian elm	21	No	Remove	Poor condition
6	Siberian elm	17	No	Remove	Within grading; poor condition
7	Siberian elm	26	No	Remove	Within grading; poor condition
8	Siberian elm	22	No	Remove	Within grading; poor condition
9	Glossy privet	11	No	Remove	Within grading; poor condition
10	Siberian elm	20	No	Remove	Within grading; poor condition
11	Plum	11,8 (14)	No	Remove	Within grading; poor condition
12	Glossy privet	10,10,8,8,6,5,4 (20)	No	Remove	Within grading
13	Loquat	9, 7, (11)	No	Remove	Within grading
14	Plum	13	No	Remove	Poor condition
15	Apple	7,7,6 (12)	No	Remove	Within grading
16	Pear	7	No	Remove	Within grading
17	Persimmon	7	No	Remove	Within grading
18	English walnut	10,8,8 (15)	No	Remove	Within grading
19	California bay	48,23 (53)	No	Remove	Within grading; poor condition
20	California bay	24,20 (31)	No	Remove	Poor condition
21	California bay	48	No	Remove	Poor condition
22	California buckeye	18,13,8 (24)	No	Remove	Poor condition
23	California bay	25	No	Remove	Poor condition
24	California bay	18	No	Remove	Poor condition
25	Bigleaf maple	12	Yes	Remove	At owners request
26	California bay	32,18 (37)	No	Remove	Poor condition
27	California buckeye	20,13,9 (25)	Yes	Remove	At owners request
28	California bay	14	Yes	Remove	At owners request
29	California bay	13	Yes	Remove	At owners request
30	California bay	14	Yes	Remove	At owners request
31	California bay	19	Yes	Remove	Within grading
32	California bay	27,8 (28)	No	Remove	Within grading; poor condition
33	California bay	24	Yes	Remove	Within grading
34	California bay	10	No	Remove	Within grading; poor condition
35	California bay	10	No	Remove	Within grading; poor condition
36	California bay	9	No	Remove	Within grading; poor condition
37	California bay	21	Yes	Remove	Within grading
38	California bay	7	No	Preserve	Riparian significance
39	California bay	18	Yes	Preserve	Riparian significance
40	California buckeye	7	No	Preserve	Component of stand
41	Bigleaf maple	17	Yes	Preserve	Component of stand
42	Glossy privet	11	No	Preserve	Component of stand
43	California buckeye	7	No	Preserve	Component of stand
44	Bigleaf maple	14	Yes	Preserve	Riparian significance
45	Bigleaf maple	13	Yes	Preserve	Riparian significance
46	California bay	10	No	Remove	Poor condition
47	Bigleaf maple	8	No	Preserve	Riparian significance
48	Bigleaf maple	11	Yes	Preserve	Riparian significance
49	California bay	31	Yes	Preserve	Riparian significance
50	California bay	21	Yes	Preserve	Riparian significance
51	California bay	17,10,10,9 (24)	Yes	Preserve	Riparian significance
52	Japanese maple	12,10 (16)	No	Remove	Within grading
53	California bay	33	Yes	Remove	At owners request
54	Bigleaf maple	9	No	Remove	At owners request

TREE PRESERVATION & PREPARATION NOTES

- Tree Protection Zone**
- A TREE PROTECTION ZONE shall be identified for trees to be preserved. The TREE PROTECTION ZONE shall be a circle around the tree with a radius of 10 feet.
 - Fence all trees to be retained to completely enclose the TREE PROTECTION ZONE prior to demolition, grubbing or grading. Fences shall be 6 ft. chain link with posts sunk into the ground or equivalent as approved by the City.
 - Fences must be installed prior to beginning demolition and must remain until construction is complete.
 - No grading, excavation, construction or storage or dumping of materials shall occur within the TREE PROTECTION ZONE.
 - No underground services including utilities, sub-drains, water or sewer shall be placed in the TREE PROTECTION ZONE.
- Design recommendations**
- Any changes to the plans affecting the trees should be reviewed by the Consulting Arborist with regard to tree impacts. These include, but are not limited to, site plans, improvement plans, utility and drainage plans, grading plans, landscape and irrigation plans, and demolition plans.
 - Plan for tree preservation by designing adequate space around trees to be preserved. This is the TREE PROTECTION ZONE. No grading, excavation, construction or storage of materials should occur within that zone. Route underground services including utilities, sub-drains, water or sewer around the TREE PROTECTION ZONE.
 - Tree Preservation Guidelines prepared by the Consulting Arborist, which include specifications for tree protection during demolition and construction, should be included on all plans.
 - Any herbicides placed under paving materials must be safe for use around trees and labeled for that use.
 - As trees withdraw water from the soil, expansive soils may shrink within the root area. Therefore, foundations, footings and pavements on expansive soils near trees should be designed to withstand differential displacement.

- Pre-demolition and pre-construction treatments and recommendations**
- The demolition and construction superintendents shall meet with the Consulting Arborist before beginning work to review all work procedures, access routes, storage areas, and tree protection measures.
 - Fence all trees to be retained to completely enclose the Tree Protection Zone prior to demolition, grubbing or grading. Fences shall be 6 ft. chain link. Fences are to remain until all grading and construction is completed.
 - Fences are to remain until all grading and construction is completed. Where demolition must occur close to trees, such as removing curb and pavement, install trunk protection devices such as winding silt sock wattling around trunks or stacking hay bales around tree trunks.
 - Structures and underground features to be removed within the TREE PROTECTION ZONE shall use equipment that will minimize damage to trees above and below ground, and operate from outside the TREE PROTECTION ZONE. Tie back branches and wrap trunks with protective materials to protect from injury as directed by the Project arborist. The Project arborist shall be on-site during all operations within the TREE PROTECTION ZONE to monitor demolition activity.
 - All tree work shall comply with the Migratory Bird Treaty Act as well as California Fish and Wildlife code 3503-3513 to not disturb nesting birds. To the extent feasible tree pruning and removal should be scheduled outside of the breeding season. Breeding bird surveys should be conducted prior to tree work. Qualified biologists should be involved in establishing work buffers for active nests.

TREE PROTECTION & MAINTENANCE NOTES

- Recommendations for tree protection during construction**
- Any approved grading, construction, demolition or other work within the TREE PROTECTION ZONE shall be monitored by the Consulting Arborist.
 - All contractors shall conduct operations in a manner that will prevent damage to protected trees.
 - Tree protection devices are to remain until all site work has been completed within the work area. Fences or other protection devices may not be relocated or removed without permission of the Consulting Arborist.
 - Construction trailers, traffic and storage areas must remain outside TREE PROTECTION ZONE at all times.
 - Any root pruning required for construction purposes shall receive the prior approval of and be supervised by the Project Arborist. Roots should be cut with a saw to provide a flat and smooth cut. Removal of roots larger than 2" in diameter should be avoided.
 - If roots 2" and greater in diameter are encountered during site work and must be cut to complete the construction, the Project Arborist must be consulted to evaluate effects on the health and stability of the tree and recommend treatment.
 - Prior to grading or trenching, trees may require root pruning outside the TREE PROTECTION ZONE. Any root pruning required for construction purposes shall receive the prior approval of, and be supervised by, the Project Arborist.
 - Spill from trench, footing, utility or other excavation shall not be placed within the TREE PROTECTION ZONE, neither temporarily nor permanently.
 - All grading within the dripline of trees shall be done using the smallest equipment possible. The equipment shall operate perpendicular to the tree and operate from outside the TREE PROTECTION ZONE. Any modifications must be approved and monitored by the Consulting Arborist.
 - If injury should occur to any tree during construction, it should be evaluated as soon as possible by the Consulting Arborist so that appropriate treatments can be applied.
 - No excess soil, chemicals, debris, equipment or other materials shall be dumped or stored within the TREE PROTECTION ZONE.
- Maintenance of impacted trees**
- Our procedures included assessing trees for observable defects in structure. This is not to say that trees without significant defects will not fail. Failure of apparently defect-free trees does occur, especially during storm events. Wind forces, for example, can exceed the strength of defect-free wood causing branches and trunks to break. Wind forces coupled with rain can saturate soils, reducing their ability to hold roots, and blow over defect-free trees. Although we cannot predict all failures, identifying those trees with observable defects is a critical component of enhancing public safety.
- Furthermore, trees change over time. Our inspections represent the condition of the tree at the time of inspection. As trees age, the likelihood of failure of branches or entire trees increases. Annual tree inspections are recommended to identify changes to tree health and structure. In addition, trees should be inspected after storms of unusual severity to evaluate damage and structural changes. Initiating these inspections is the responsibility of the client and/or tree owner.
- Preserved trees will experience a physical environment different from that pre-development. As a result, tree health and structural stability should be monitored. Occasional pruning, fertilization, mulch, pest management, replanting and irrigation may be required. In addition, provisions for monitoring both tree health and structural stability following construction must be made a priority.

BROWNBRIDGE RESIDENCE - 115 WOODLAND RD., KENTFIELD CA
ARBORIST TABLES & TREE PRESERVATION PLAN
APN# 075-051-02

DATE: 12.10.19
ISSUE: APPROVAL
03.13.20 AMENDMENT
06.27.20 PLANNING PERMITS

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TREE PRESERVATION NOTES

1. SEE SHEET L1.1 FOR TREE CONDITION & TREE DISPOSITION TABLES WHICH REFER TO CONDITIONS FOR TREE REMOVAL.
2. REFER TO SUBMITTED OCTOBER 2019 ARBORIST'S REPORT FOR TREE SPECIES / CONDITION LIST FOR SAME INFORMATION.
3. PLEASE SEE 1/L1 FOR TREE REMOVAL PLAN.
4. PLEASE SEE SHEET L1.1 FOR ARBORIST'S TREE DISPOSITION & CONDITION TABLES.

PLEASE SEE COMPLETE ARBORIST'S REPORT DATED APRIL 2020 SUBMITTED TO MCPD PREPARED BY LEE NACHTREIB & ADAM CLARK, CERTIFIED ARBORISTS FOR BARTLETT TREE EXPERTS.

"THE ARBORIST REPORT INDICATED THAT THERE WERE A FEW TREES APPROPRIATE FOR PRESERVATION, WHICH WE WOULD LIKE TO REMOVE (25, 53, 54, 27, 28, 29 AND 30). WE FEEL THAT THESE TREES, IF LEFT STANDING, WILL INTERFERE WITH THE GRADING OF THE PROPERTY, ONCE THE TREES THAT ARE IN POOR CONDITION ARE REMOVED. THEY ARE ALSO PRIMARILY OVER GROWN AND POORLY SHAPED AND MISMANAGED BAY TREES (28, 29, 30 AND 53) WHICH ARE A FIRE HAZARD, WEED-LIKE AND NOT THE TREES WE WOULD LIKE TO PRESERVE IN OUR BACKYARD, DUE TO THESE QUALITIES. WE PLAN TO REPLACE THEM IN BETTER LOCATIONS WITH A DIFFERENT SPECIES, SUCH AS OAK OR REDWOOD. WE WOULD LIKE TO REMOVE THE BUCKEYE (27) INTERTWINED WITH THE STAND OF BAYS (28, 29, 30) AND THE TWO MAPLES (25 & 54), ONE OF WHICH IS NOT PROTECTED (54), AS THEY ARE ALSO VERY MISSHAPEN, KNOBBY AND SPINDLY. PLEASE CONSIDER OUR APPLICATION TO REMOVE THESE TREES AS PART OF OUR PROJECT."

ARBORIST EVALUATION NOTES

Description of Trees
54 trees representing 14 species were evaluated (Table 1). For all species combined, trees were most found to be in fair to poor condition, with some exceptions. Descriptions of each tree are found in the Tree Assessment, and approximate locations are plotted on the Tree Assessment Plan (see Exhibits).

Table 1. Condition ratings and frequency of occurrence of trees
115 Woodland Drive, Kentfield, CA

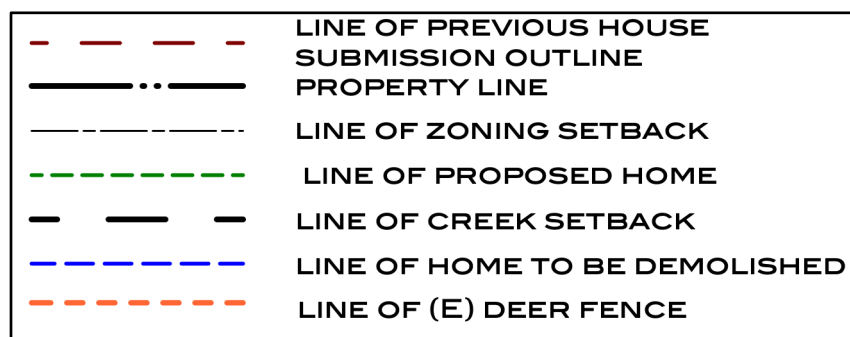
Common Name	Scientific Name	Condition			Total
		Poor	Fair	Good	
Bigleaf maple	<i>Acer macrophyllum</i>	1	6	1	8
Japanese maple	<i>Acer palmatum</i>	-	1	-	1
California buckeye	<i>Aesculus californica</i>	1	3	-	4
Persimmon	<i>Diospyros kaki</i>	-	1	-	1
Loquat	<i>Eriobotrya japonica</i>	-	1	-	1
Ginkgo	<i>Ginkgo biloba</i>	-	1	-	1
English walnut	<i>Juglans regia</i>	-	-	1	3
Glossy privet	<i>Ligustrum lucidum</i>	1	2	-	2
Southern magnolia	<i>Magnolia grandiflora</i>	-	1	-	1
Apple	<i>Malus domestica</i>	-	1	-	1
Plum	<i>Prunus domestica</i>	2	-	-	2
Pear	<i>Pyrus communis</i>	1	-	-	1
Siberian elm	<i>Ulmus pumila</i>	6	-	-	6
California bay	<i>Umbellularia californica</i>	10	11	2	23
Total		21	29	4	54



- PLAN NOTES**
1. ONLY SIGNIFICANT TREES SHOWN
 2. LOT MAY BE SUBJECT TO EASEMENTS NOT SHOWN
 3. DATUM IS PER MARINMAP GIS
 4. BASIS OF BEARING IS PER 5 R.M. 75 AND 5 R.M. 74
 5. A RECORD OF SURVEY HAS BEEN FILED WITH THE COUNTY OF MARIN

DATE:	ISSUE:
02.10.19	HYPOC APPROVAL
03.13.20	PLANNING AMENDMENT
05.27.20	PLANNING RESUBMIT

SITE KEY



TREE REMOVAL NOTES

- SEE SHEET L1.1 FOR TREE CONDITION & TREE DISPOSITION TABLES WHICH REFER TO CONDITIONS FOR TREE REMOVAL.
- REFER TO SUBMITTED APRIL 2020 ARBORIST'S REPORT FOR TREE SPECIES / CONDITION LIST FOR SAME INFORMATION.

PLANTING LEGEND

SYMBOL	LATIN NAME	COMMON NAME	INSTALL HT	MATURE HT	REMARKS	WATER USAGE
A	OLEA EUROPAEA	COMMON OLIVE	10 FT	20 FT	24 GAL BOX / LOW WATER USE, ON DRIP IRRIGATION	MEDIUM
B	QUERCUS CHRYSOLEPIS	LIVE OAK	8 FT	40 FT	24 GAL BOX	LOW
C	LAGERSTROEMIAHYBRIDS	'NATCHEZ' CRAPE MYRTLE	9' FT	20 FT	15 GAL	LOW
D	ARBUTUS TREE	STRAWBERRY TREE	6 FT	20 FT	15 GAL	MEDIUM
V	SEQUOIA SEMPERVIRENS	REDWOOD	8 FT	60 FT	24 GAL BOX	MEDIUM
U	MAGNOLIA VIRGINIANA	MAGNOLIA	8 FT	30 FT	24 GAL BOX / LOW WATER USE, ON DRIP IRRIGATION	MEDIUM
E	PITIOSPORUM TENUIFOLIUM ABUTILON HYBRID	ABUTILON WHITE	1 FT	2.5 FT	15 GAL / LOW WATER USE, ON DRIP IRRIGATION	MEDIUM
F	LAVANDULA X INTERMEDIA	PROVENCE LAVANDER	1 FT	2 FT	5 GAL	LOW
G	SALVIA LEUCANTHA	MEXICAN SAGE	2 FT	8 FT	5 GAL	LOW
H	PRUNUS CAROLINIANA	CAROLINA CHERRY	2 FT	8 FT	5 GAL	LOW
I	SARCOCOCCA RUSIFOLIA	SWEET SARCOCOCCA	1 FT	2 FT	5 GAL	LOW
J	PHORMIUM	TOM THUMB FLAX	1 FT	2.5 FT	5 GAL	LOW
K	ARTEMESIA	POWIS CASTLE ARTEMESIA	1 FT	2.5 FT	5 GAL	LOW
L	PODOCARPUS MACROPHYLLOUS 'MAKI'	SHRUBBY YELLOW PINE	3 FT	8 FT	5 GAL	MEDIUM

PLANTING LEGEND

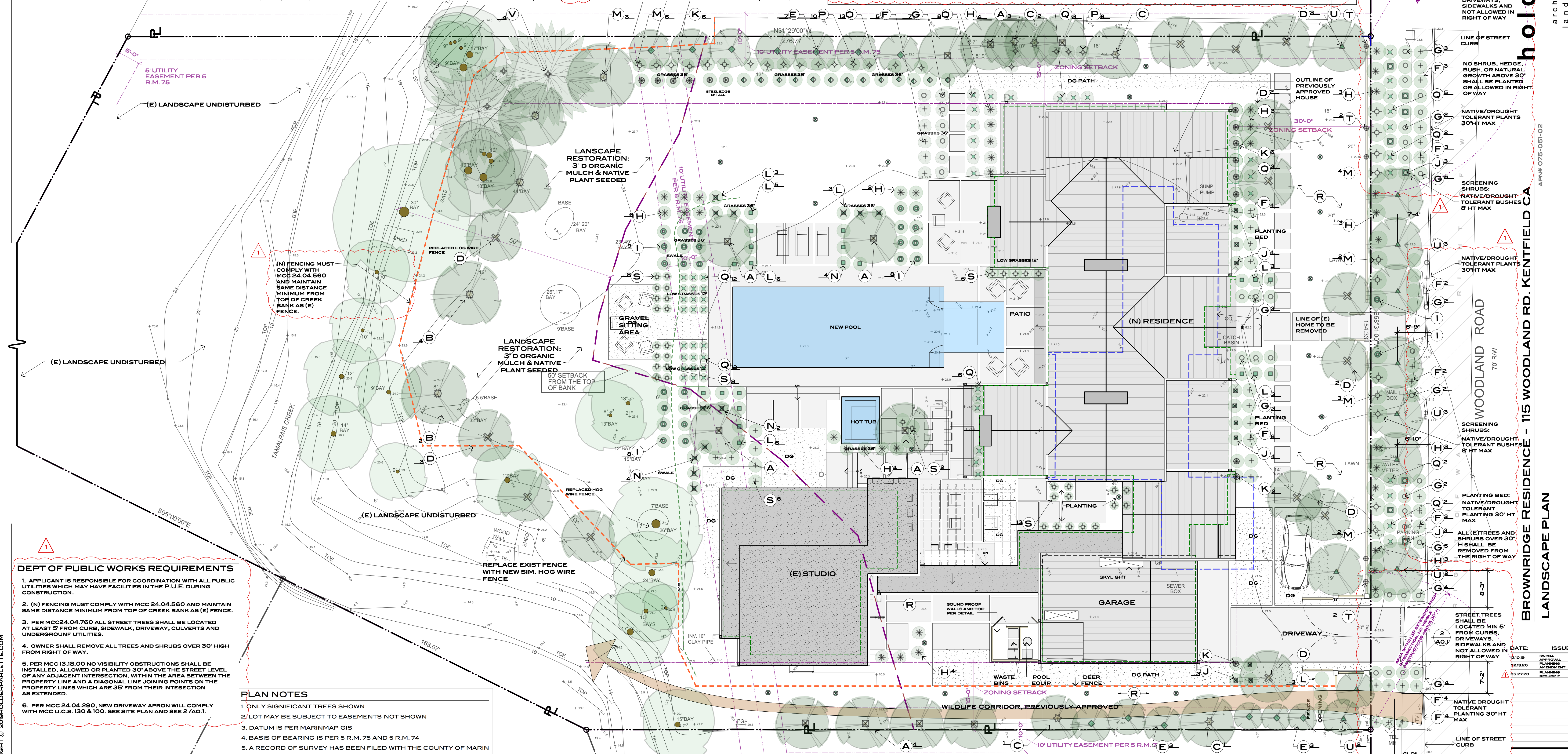
SYMBOL	LATIN NAME	COMMON NAME	INSTALL HT	MATURE HT	REMARKS	WATER USAGE
M	PRUNUS ILICIFOLIA	HOLLYLEAF CHERRY	1 FT	2.5 FT	5 GAL	LOW
N	ACHILLEA TOMENTOSA	WOOLY YARROW	-	-	2 GAL / LOW WATER USE, ON DRIP IRRIGATION	LOW
O	ARCTOSTAPHYLOS UVA-URSI 'POINT REYES'	EMERALD C. MANZANITA	-	-	5 GAL	LOW
P	FICUS PUMILA	CREEPING FIG	-	-	5 GAL	MEDIUM
Q	FETUSCA GLAUCA 'BISKIYOU'	BLUE FESCUE	-	-	1 GAL	LOW
R	CORREA. PULCHELLUM	CARMINE BELLS FUSCIA	-	-	5 GAL	LOW
S	TECOMA CAPENSIS	CAPE HONEYSUCKLE	-	-	5 GAL / LOW WATER USE, ON DRIP IRRIGATION	LOW
T	WISTERIA SINESIS	CHINESE WISTERIA	-	-	5 GAL	MEDIUM

LANDSCAPE NOTES

- PLEASE SEE COMPLETE ARBORIST'S REPORT DATED OCTOBER 18, 2019 SUBMITTED TO MCPD PREPARED BY LEE NACHTREIB & ADAM CLARK ISA CERTIFIED ARBORISTS FOR BARTLETT TREE EXPERTS.
- PLEASE SEE SHEET L1 UPDATED FOR TREE REMOVAL PLAN. PLEASE SEE SHEET L2 FOR UPDATED TREE PRESERVATION PLAN
- PLEASE SEE SHEET L1.1 FOR THE CORRESPONDING ARBORIST'S TREE TABLES FOR REMOVAL AND PRESERVATION.
- STREET TREES SHALL BE LOCATED AT LEAST 5' FROM CURBS, DRIVEWAYS, SIDEWALKS AND NOT ALLOWED IN RIGHT OF WAY.
- NO SHRUB, HEDGE, BUSH OR NATURAL GROWTH ABOVE 30' MAX HT SHALL BE PLANTED OR ALLOWED IN RIGHT OF WAY.



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 APN# 075-051-02
BROWNIDGE RESIDENCE - 115 WOODLAND RD. KENTFIELD CA
LANDSCAPE PLAN
 DATE: 03/13/20
 APPROVAL: 03/13/20
 AMENDMENT: 05/27/20
 ISSUE: 05/27/20









DEPT OF PUBLIC WORKS REQUIREMENTS

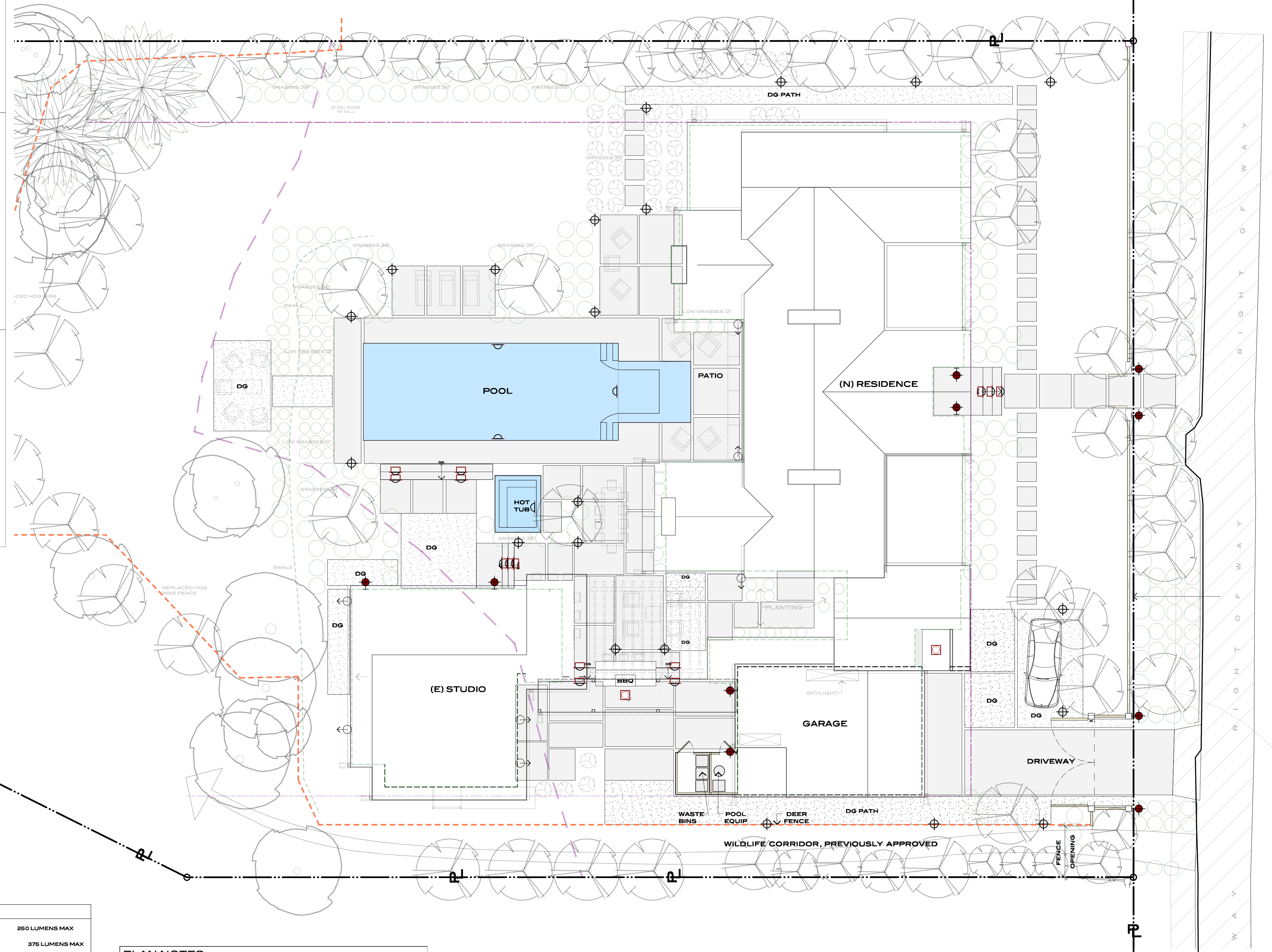
- APPLICANT IS RESPONSIBLE FOR COORDINATION WITH ALL PUBLIC UTILITIES WHICH MAY HAVE FACILITIES IN THE P.U.E. DURING CONSTRUCTION.
- (N) FENCING MUST COMPLY WITH MCC 24.04.560 AND MAINTAIN SAME DISTANCE MINIMUM FROM TOP OF CREEK BANK AS (E) FENCE.
- PER MCC 24.04.760 ALL STREET TREES SHALL BE LOCATED AT LEAST 5' FROM CURBS, SIDEWALK, DRIVEWAY, CULVERTS AND UNDERGROUND UTILITIES.
- OWNER SHALL REMOVE ALL TREES AND SHRUBS OVER 30' HIGH FROM RIGHT OF WAY.
- PER MCC 13.18.00 NO VISIBILITY OBSTRUCTIONS SHALL BE INSTALLED, ALLOWED OR PLANTED 30' ABOVE THE STREET LEVEL OF ANY ADJACENT INTERSECTION, WITHIN THE AREA BETWEEN THE PROPERTY LINE AND A DIAGONAL LINE JOINING POINTS ON THE PROPERTY LINES WHICH ARE 35' FROM THEIR INTERSECTION AS EXTENDED.
- PER MCC 24.04.290, NEW DRIVEWAY APRON WILL COMPLY WITH MCC U.C.S. 130 & 100. SEE SITE PLAN AND SEE 2/AO.1.

PLAN NOTES

- ONLY SIGNIFICANT TREES SHOWN
- LOT MAY BE SUBJECT TO EASEMENTS NOT SHOWN
- DATUM IS PER MARINMAP GIS
- BASIS OF BEARING IS PER 5 R.M. 75 AND 5 R.M. 74
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LIGHTING FIXTURE LEGEND

<p>HINKLEY & R. MODEL 58SD8BZ-LED W 4.5' H 3'</p>  <p>STEP LIGHT</p> <p>375 LUMENS MAX</p> <p><small>AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MAKE ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT.</small></p>	<p>REVISED FIXTURE</p> <p>Atlantis 5.25" Dark Sky Exterior Light Scoo 1646SK Item# HN-1646SK</p>  <ul style="list-style-type: none"> Width: 5" Height: 5.25" Extension: 4" Bulb: Dark Sky 75W Medium Base - LED, C0L-35, Lumens: 320, Watts Consumed: 4.9W, Lifespan: 60,000 Hours, GU24, Accepts fluorescent bulbs (not included) Finish: Satin Black Glass: Etched Glass Lenses casts light down <p>WALL MOUNTED LIGHT</p>
<p>HINKLEY & R. MODEL 15014SK - LED W 6.5' H 15'</p>  <p>PATH LIGHT</p> <p>375 LUMENS MAX</p>	<p>B-K LIGHTING DENALI SERIES MODEL BKSSL - LED MONOPOINT DOWNLIGHT ANODIZED BRONZE FINISH 3" DIA 7" L</p>  <p>OUTDOOR SPOT MONOPOINT FIXTURE</p> <p>375 LUMENS MAX</p>
<p>LUMENS LIGHT AND LIVING CONCERTO 3 1/2 - LED W 4.5' L 4.5'</p>  <p>RECESSED DOWN LIGHT</p> <p>375 LUMENS MAX</p>	<p>HAYWARD ASTROLITE - LED SPO805 8" DIA</p>  <p>POOL LIGHT</p> <p>375 LUMENS MAX</p>

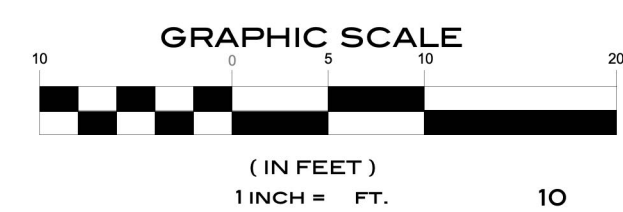


SYMBOLS KEY

	WALL MOUNTED LIGHT	250 LUMENS MAX
	STEP LIGHT	375 LUMENS MAX
	PATH LIGHT	375 LUMENS MAX
	OUTDOOR SPOT MONOPOINT	375 LUMENS MAX
	RECESSED LIGHT	375 LUMENS MAX
	POOL LIGHT	375 LUMENS MAX

PLAN NOTES

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SCALE: 1/10" = 1'-0"

DATE:	ISSUE:
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05.27.20	PLANNING RESUBMIT



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BROWNRIDGE RESIDENCE - 115 WOODLAND RD. KENTFIELD CA
EXTERIOR LIGHTING PLAN

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SITE KEY

- LINE OF PREVIOUS HOUSE SUBMISSION OUTLINE
- PROPERTY LINE
- LINE OF ZONING SETBACK
- LINE OF PROPOSED HOME
- LINE OF CREEK SETBACK
- LINE OF HOME TO BE DEMOLISHED
- LINE OF (E) DEER FENCE



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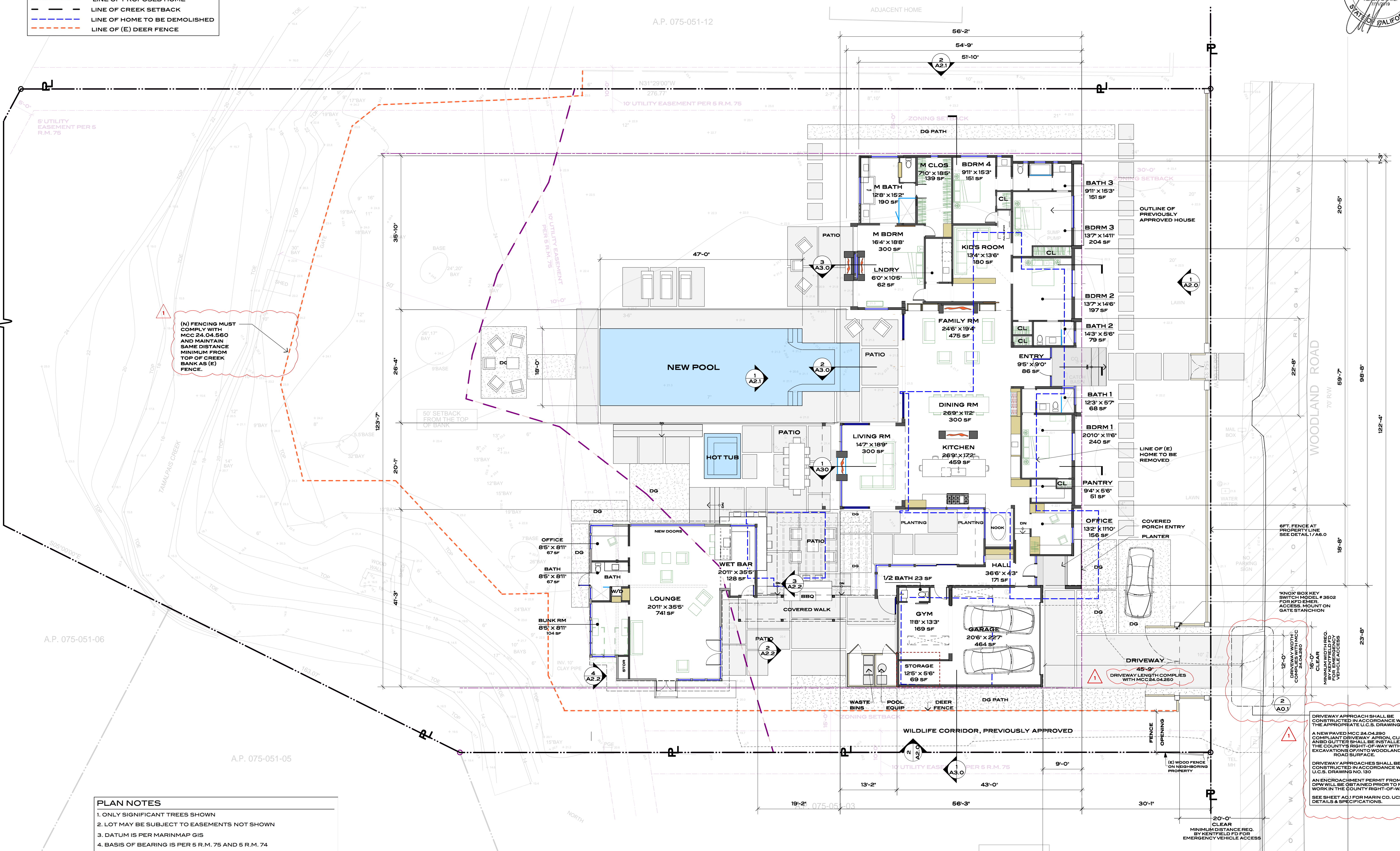
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APN# 075-051-02

BROWNRIDGE RESIDENCE - 115 WOODLAND RD. KENTFIELD CA
PROPOSED FLOOR PLAN

DATE: 12.13.18
ISSUE: 03.13.20
APPROVAL: PLANNING AMENDMENT
05.27.20
SUBMIT

A1.0



(N) FENCING MUST COMPLY WITH MCC 24.04.560 AND MAINTAIN SAME DISTANCE MINIMUM FROM TOP OF CREEK BANKS (E) FENCE.

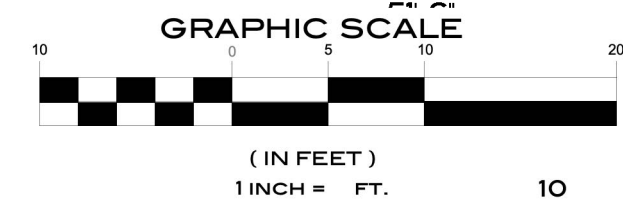
- PLAN NOTES**
1. ONLY SIGNIFICANT TREES SHOWN
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DRIVEWAY APPROACH SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROPRIATE U.C.S. DRAWING

A NEW PAVED MCC 24.04.280 COMPLIANT DRIVEWAY APPROX. CURB AND GUTTER SHALL BE INSTALLED IN THE COUNTY'S RIGHT-OF-WAY WITH NO EXCAVATIONS OFF INTO WOODLAND ROAD SURFACE.

DRIVEWAY APPROACHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH U.C.S. DRAWING NO. 130

AN ENCROACHMENT PERMIT FROM MC DPW WILL BE OBTAINED PRIOR TO NEW WORK IN THE COUNTY RIGHT-OF-WAY. SEE SHEET A0.1 FOR MARIN CO. UCS DETAILS & SPECIFICATIONS.



SCALE: 1/10" = 1'-0"

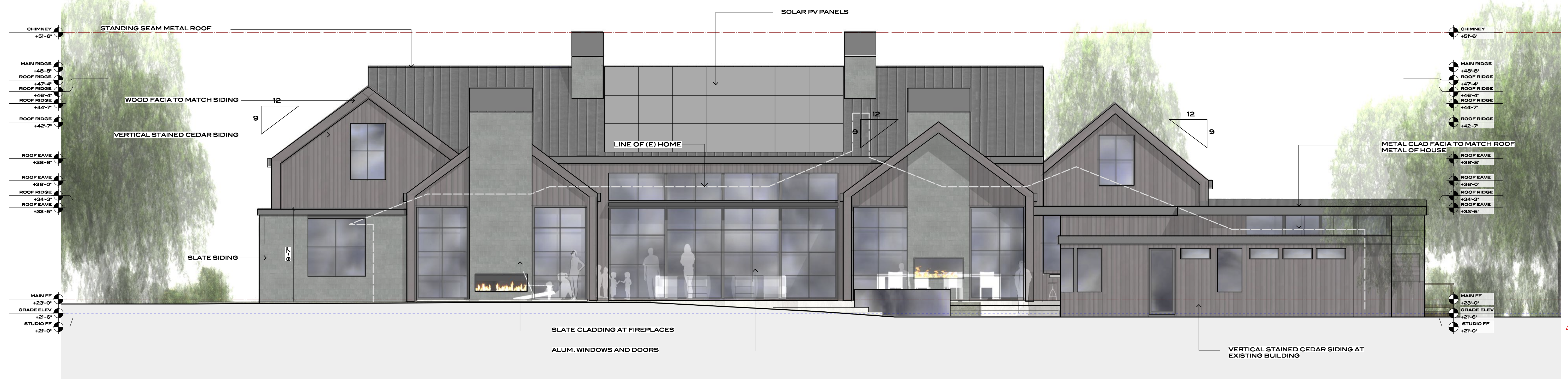
1 PROPOSED FLOOR PLAN
A1.0

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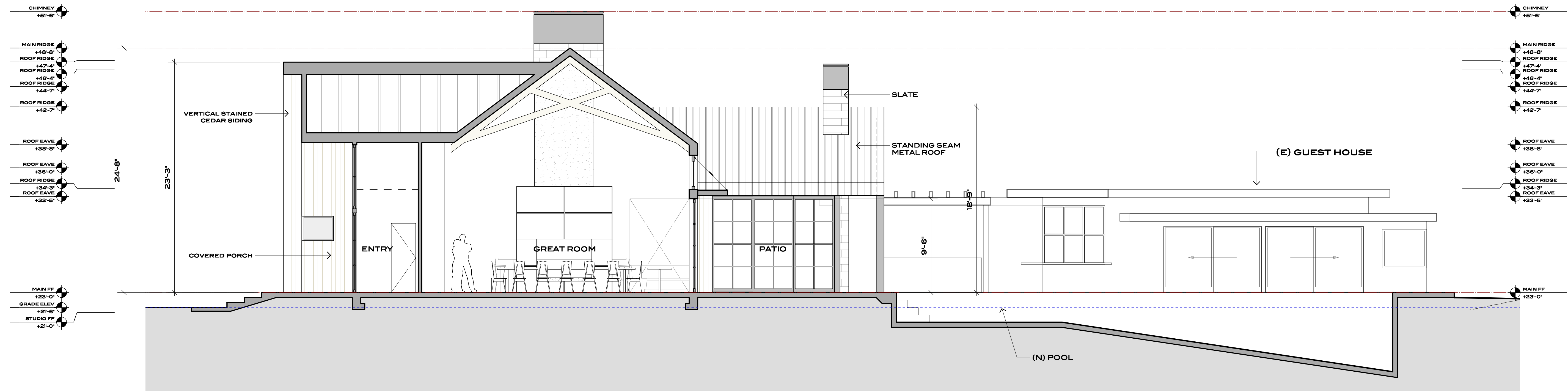
2 EAST ELEVATION
A2.1

SCALE: 3/16" = 1'-0"



1 SOUTH ELEVATION
A2.1

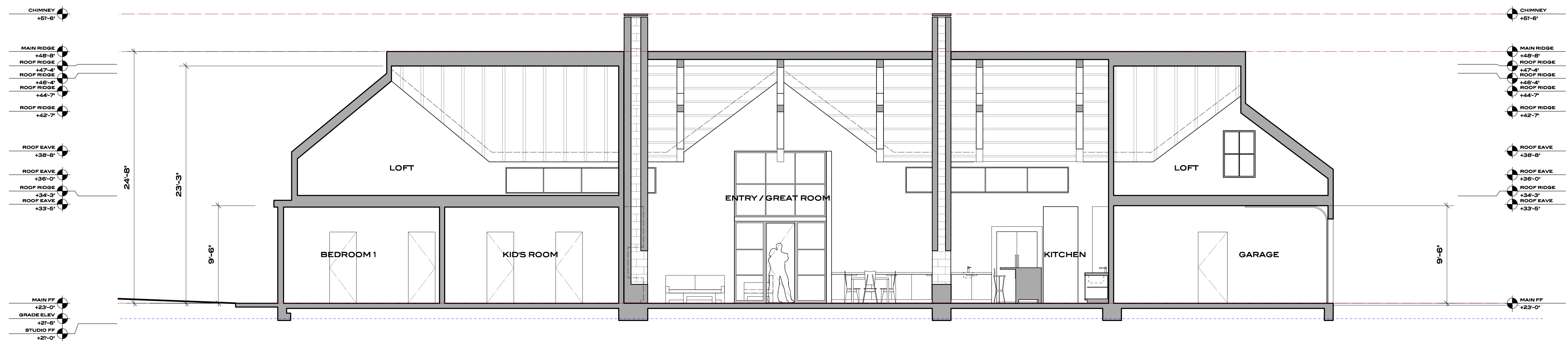
SCALE: 3/16" = 1'-0"



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2 SECTION THRU ENTRY AND GREAT ROOM
 A3.0

SCALE: 3/16" = 1'-0"



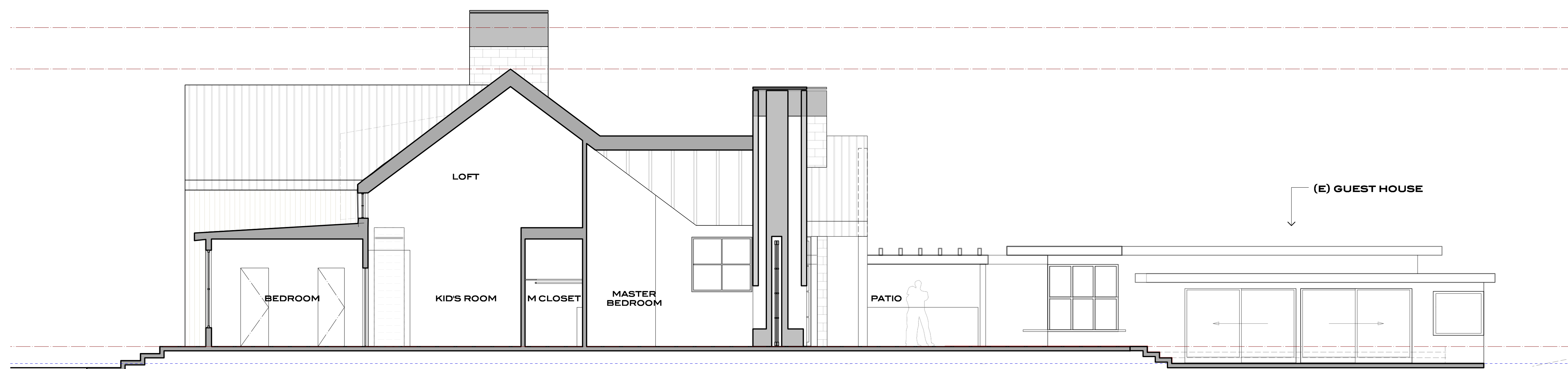
1 SECTION @ MAIN ROOF RIDGE
 A3.0

SCALE: 3/16" = 1'-0"

BROWN RIDGE RESIDENCE - 115 WOODLAND RD. KENTFIELD CA
 PROPOSED BUILDING SECTIONS
 APN# 075-051-02

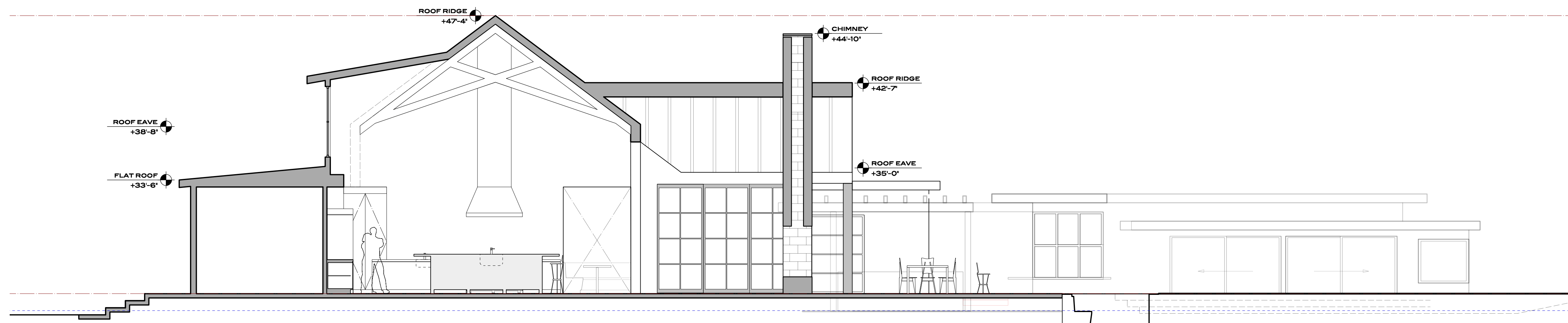
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03.13.20	PLANNING AMENDMENT
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A3.0



2 SECTION THRU MASTER BEDROOM
A3.0

SCALE: 3/16" = 1'-0"

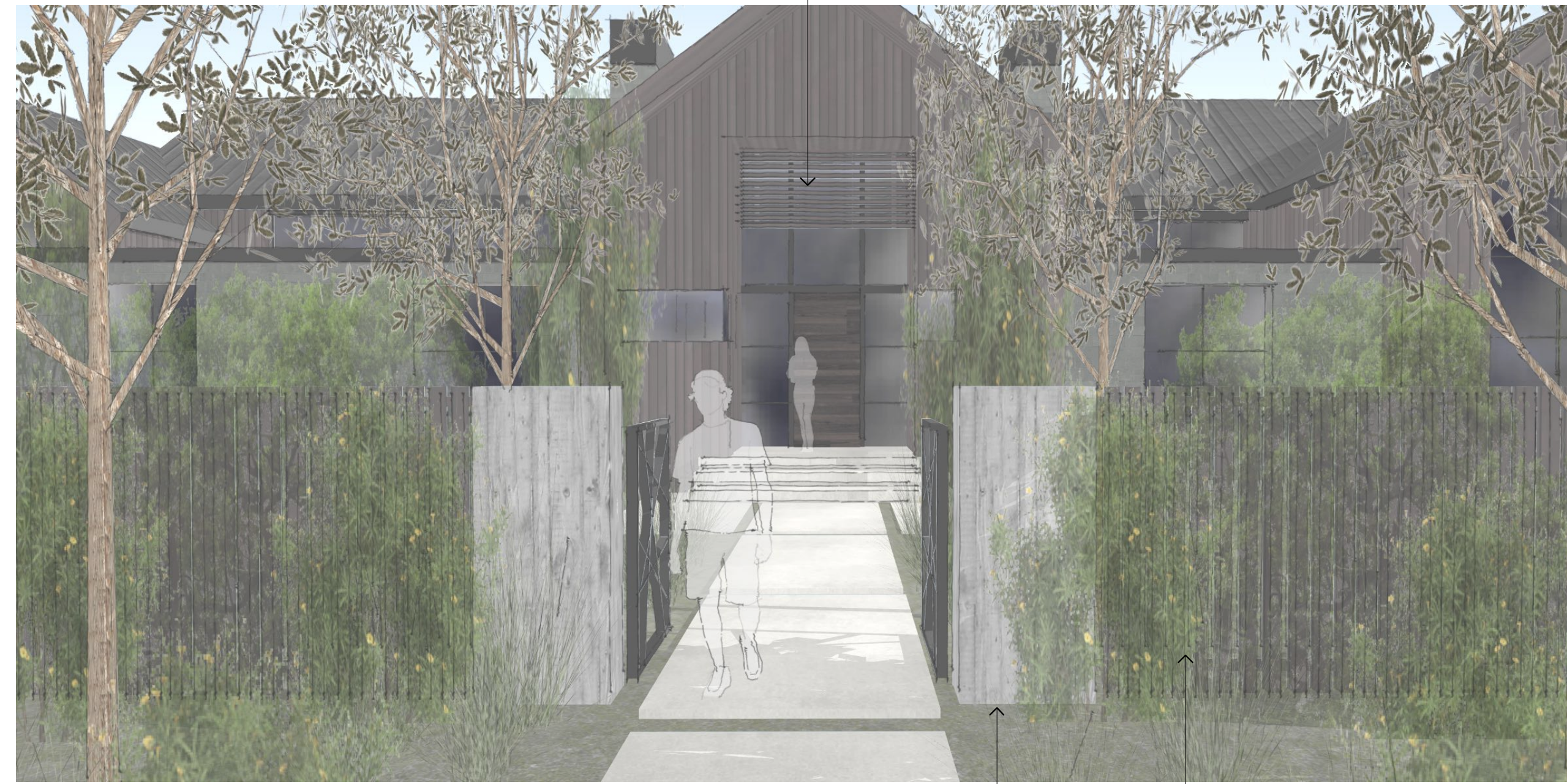


1 SECTION THRU KITCHEN
A3.0

SCALE: 3/16" = 1'-0"

DATE:	ISSUE:
12.10.18	HWPPA APPROVAL
03.13.20	PLANNING AMENDMENT
06.27.20	PLANNING RESUBMIT

EXTERIOR VIEWS

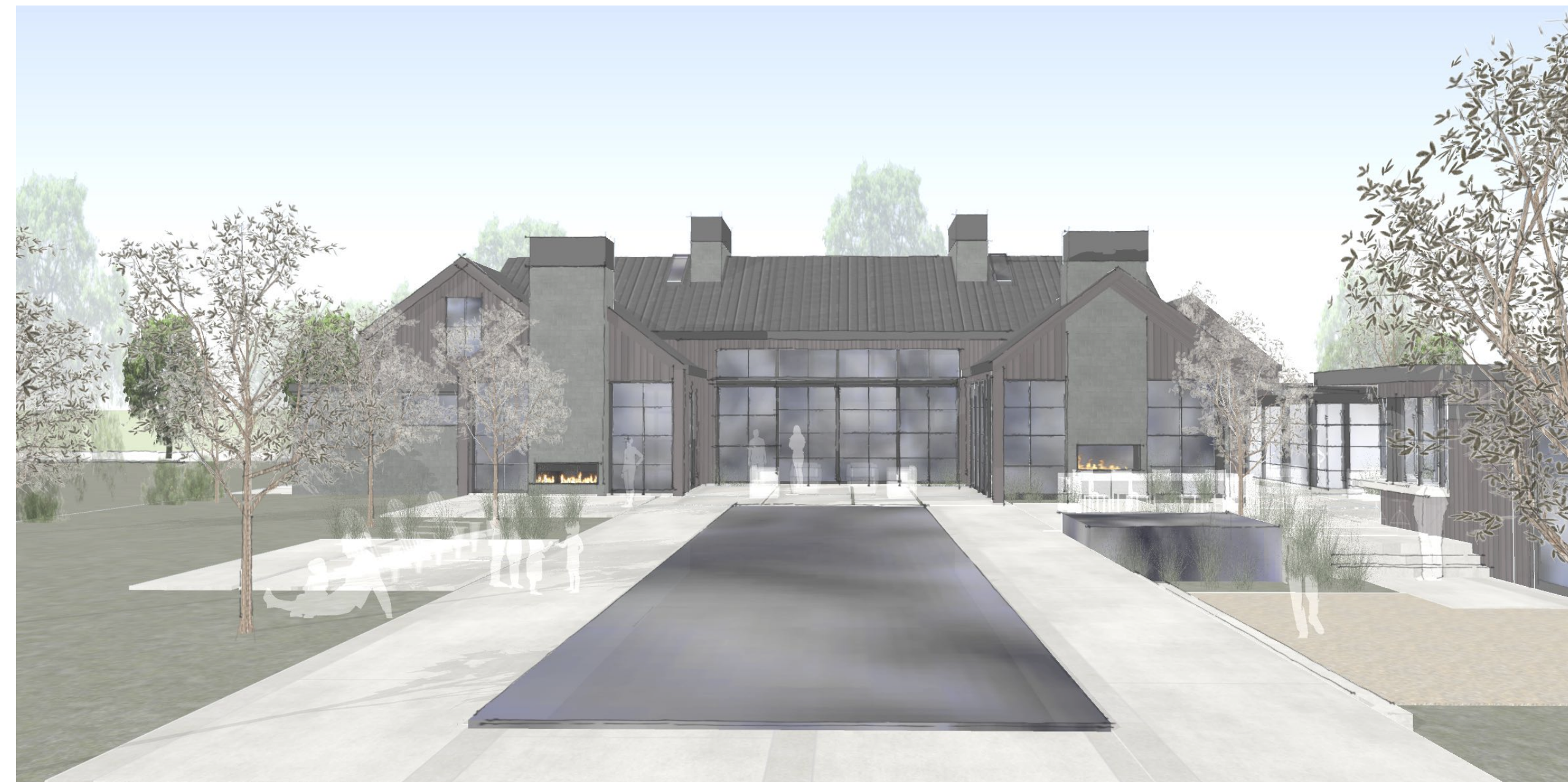


1 VIEW OF PROPOSED STREET ENTRANCE

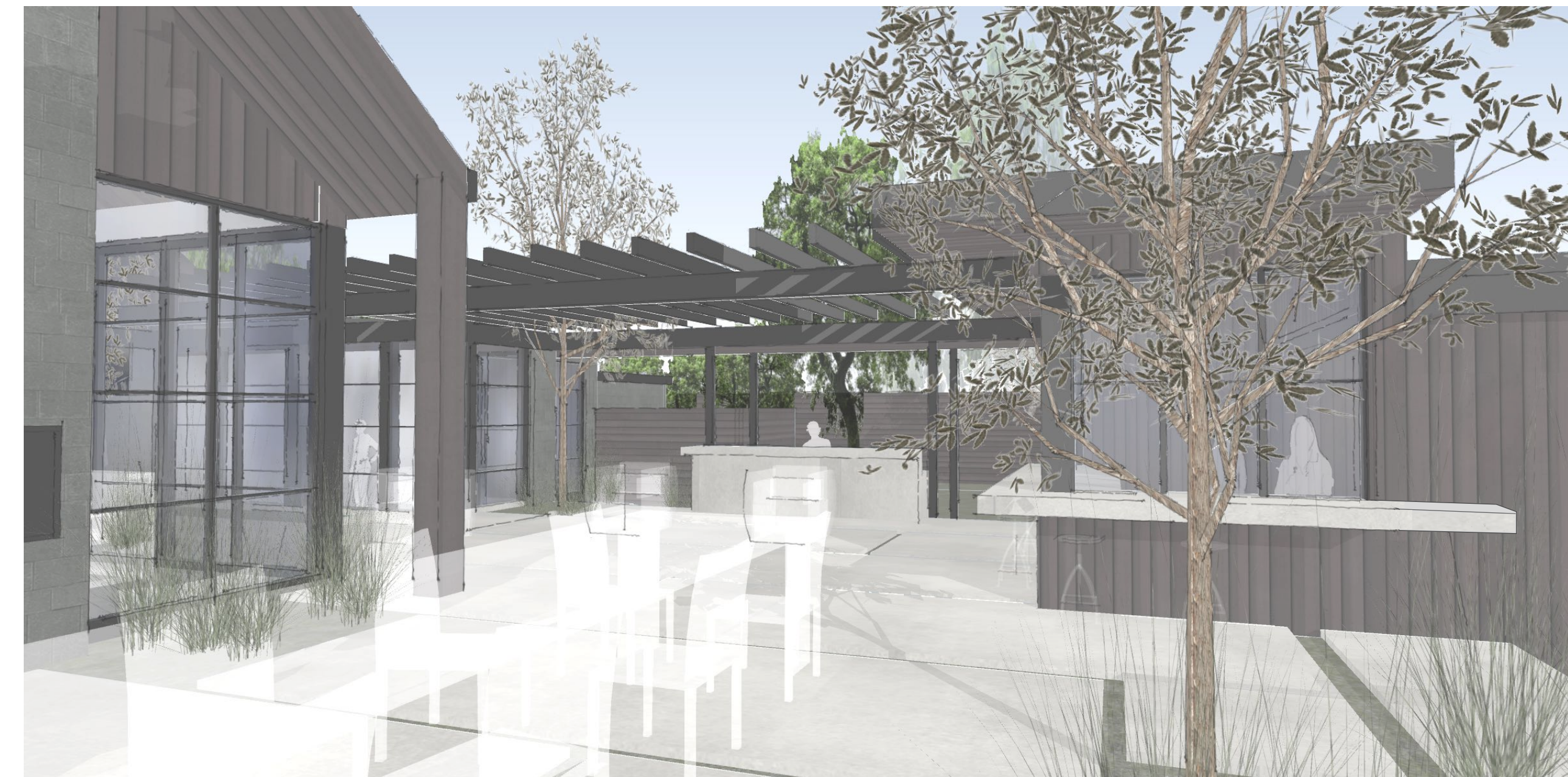
NOTE THIS FENCE IS ON NEIGHBOR PROPERTY



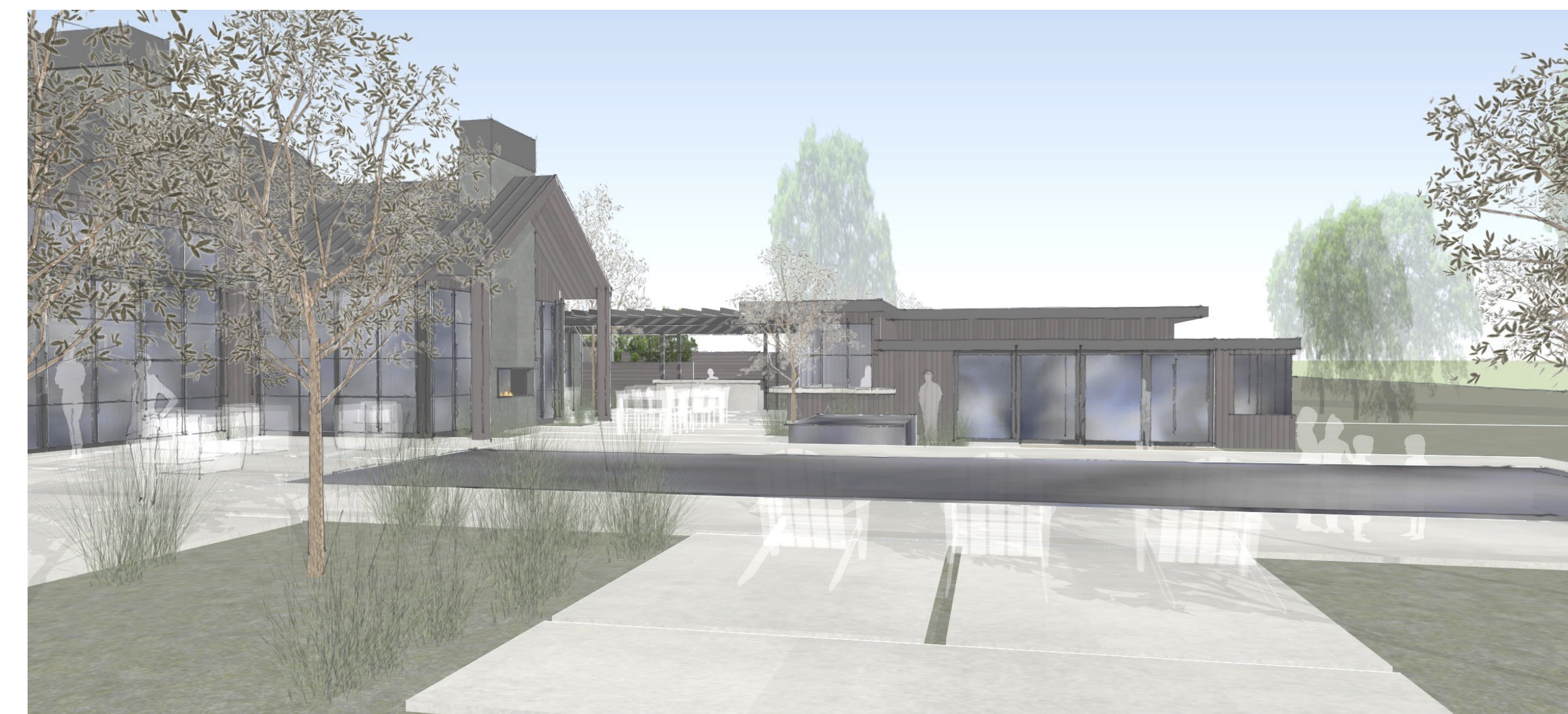
2 PROPOSED STREET VIEW FROM NORTH



3 VIEW FROM THE SOUTH AT PROPOSED POOL TERRACE & HOME



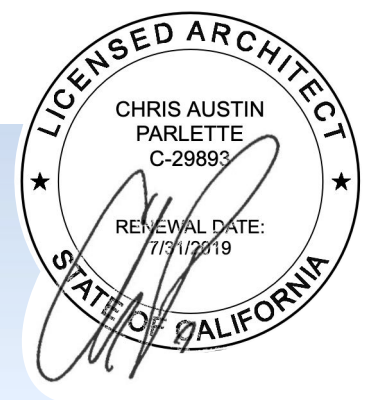
4 VIEW OF PROPOSED TRELLIS & BREEZEWAY & BBQ



5 VIEW FROM THE WEST OF STUDIO & PROPOSED POOL & HOT TUB



6 VIEW OF PROPOSED BAR AND OUTDOOR DINING

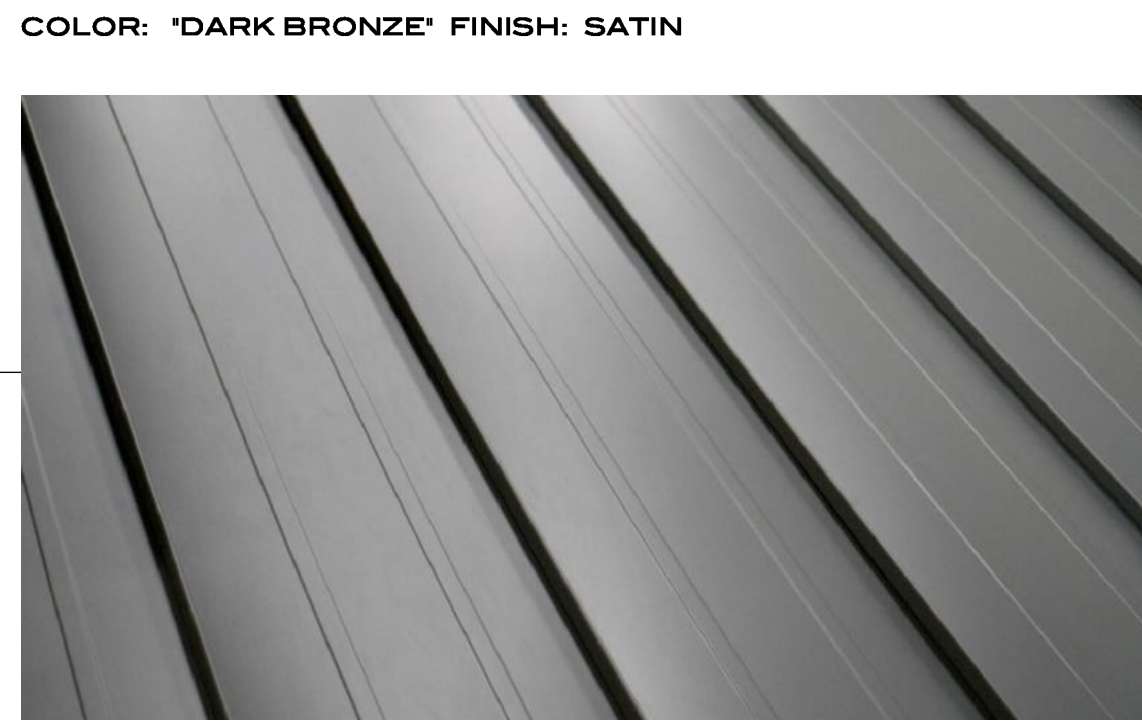
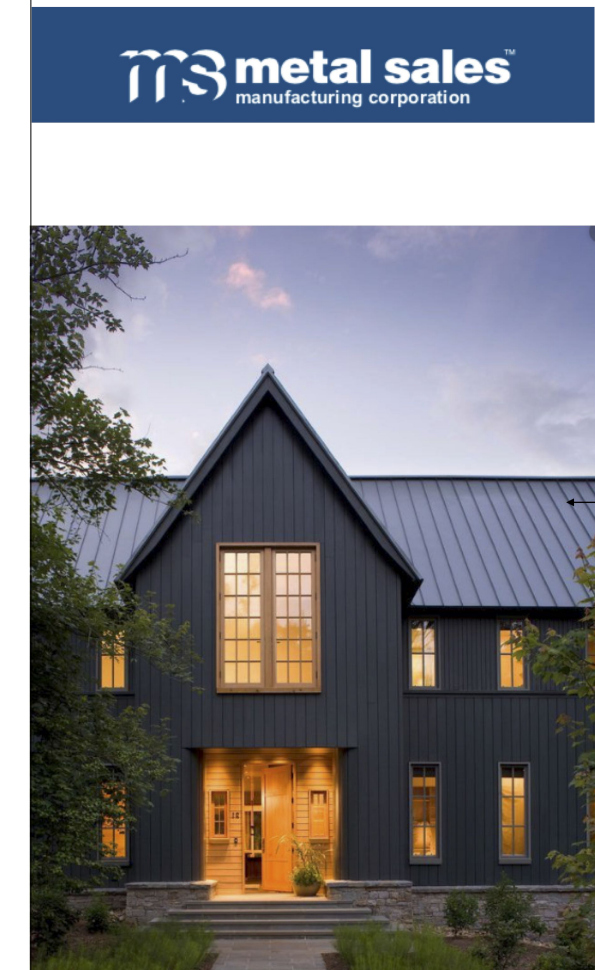


DATE:	ISSUE:
12.10.18	WVPA APPROVAL
03.13.20	PLANNING AMENDMENT
06.27.20	PLANNING RESUBMIT

MATERIALS AND COLORS



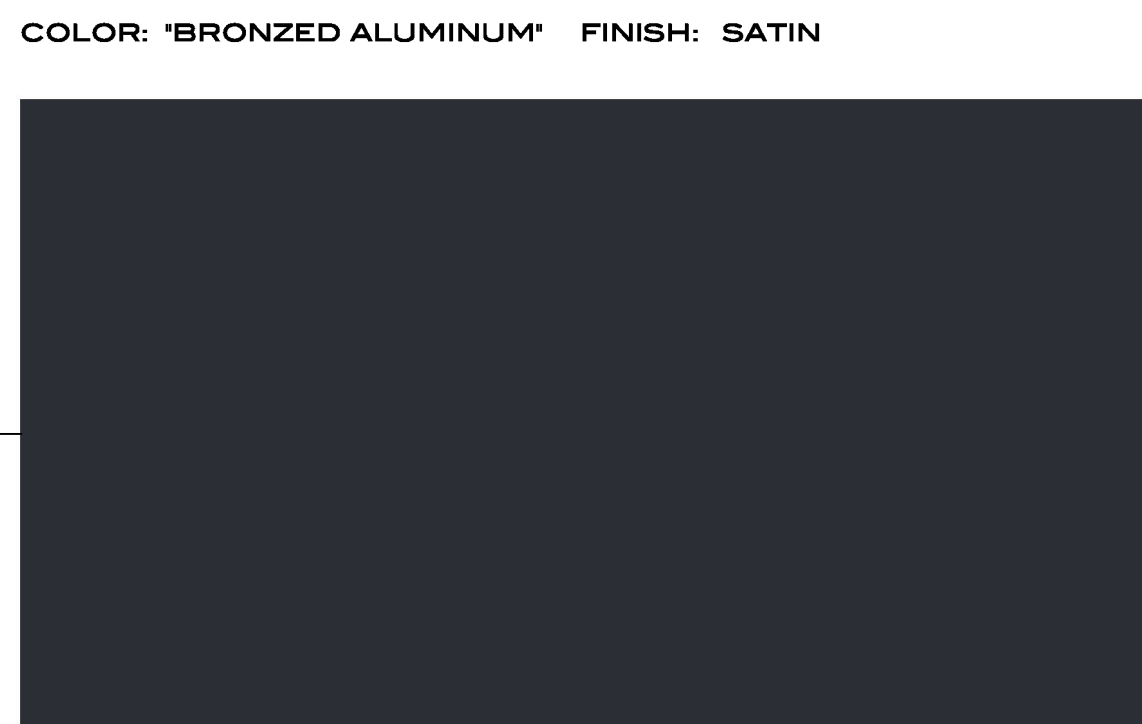
WOOD SIDING



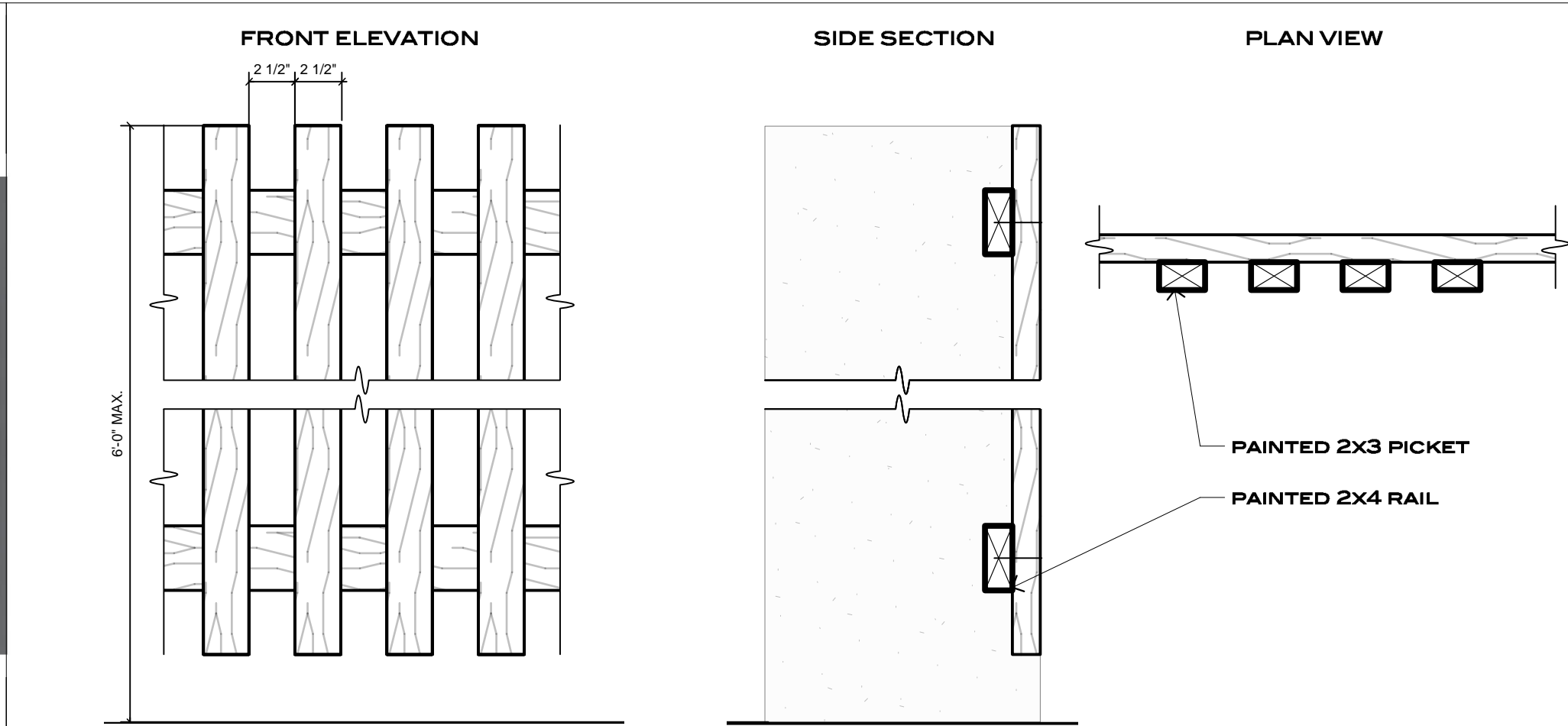
METAL ROOF / FASCIA TRIM



SLATE SIDING



WINDOWS AND DOORS



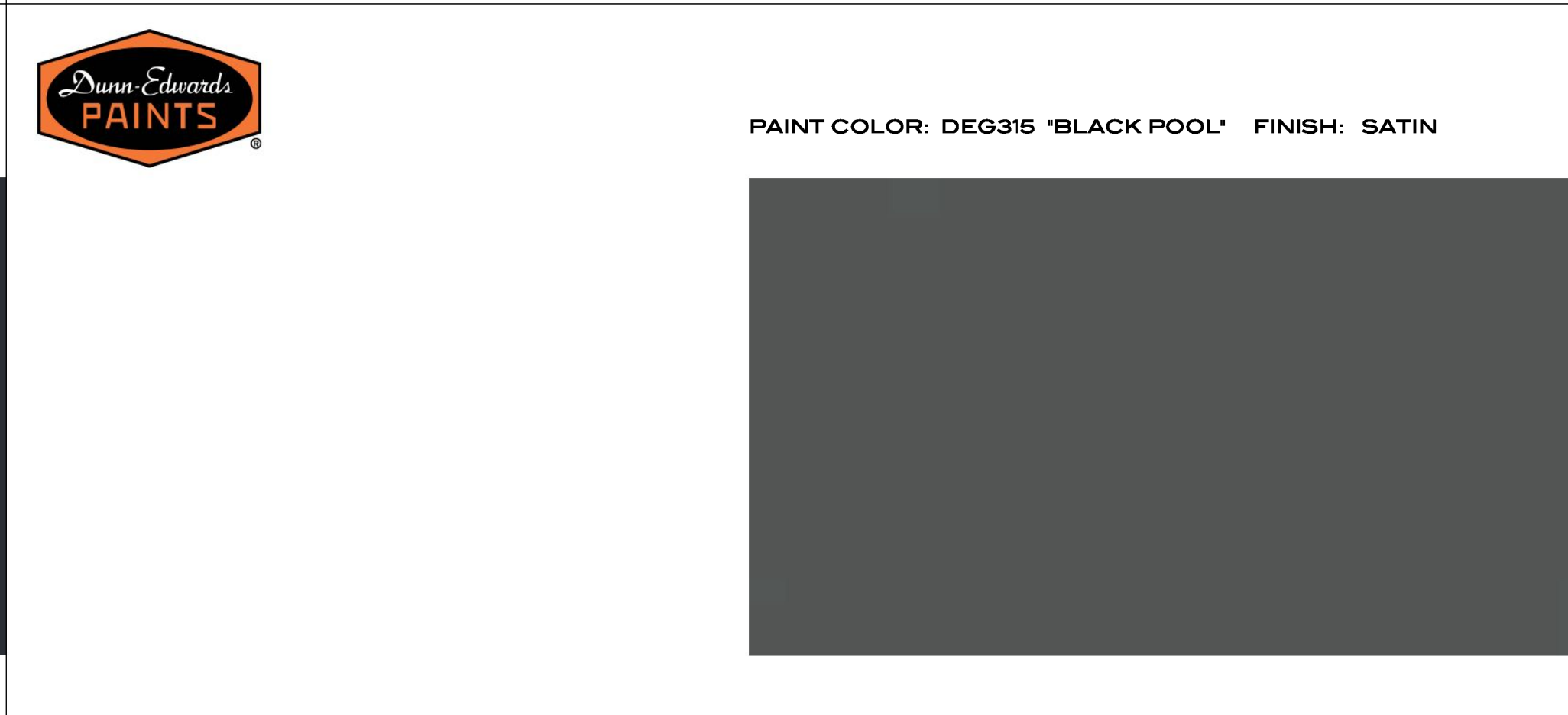
FRONT YARD FENCE



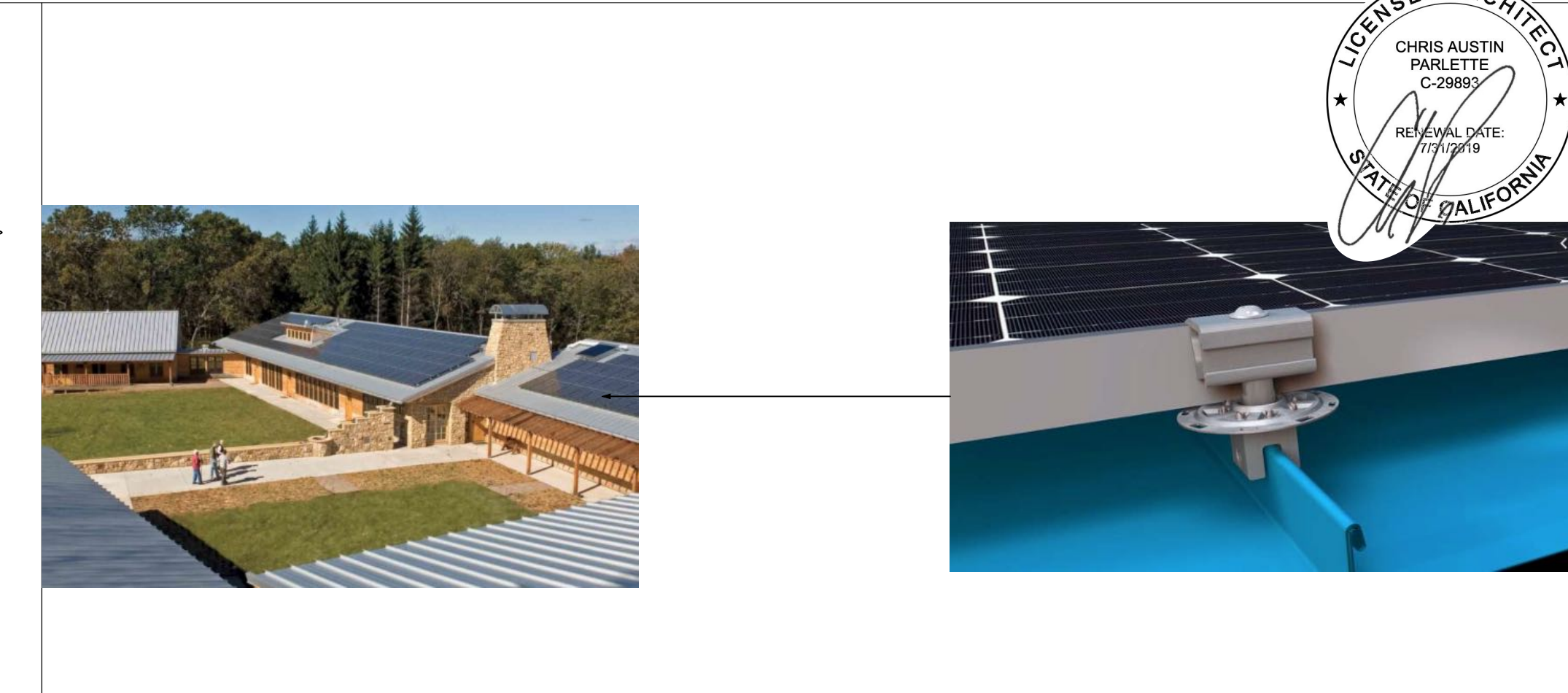
POOL FINISH



REAR YARD FENCE



GUEST HOUSE FACIA & TRIM



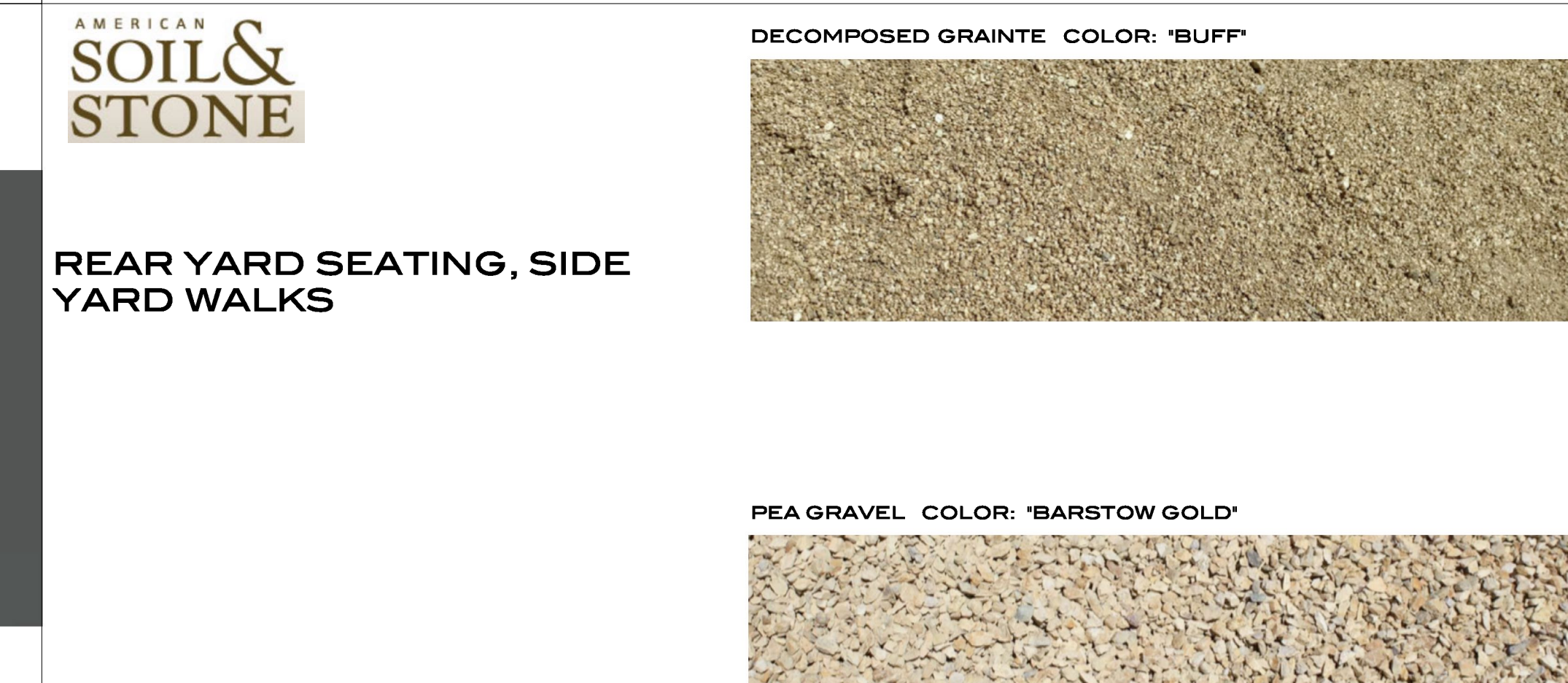
SOLAR PANELS



WALKWAYS AND PATIOS

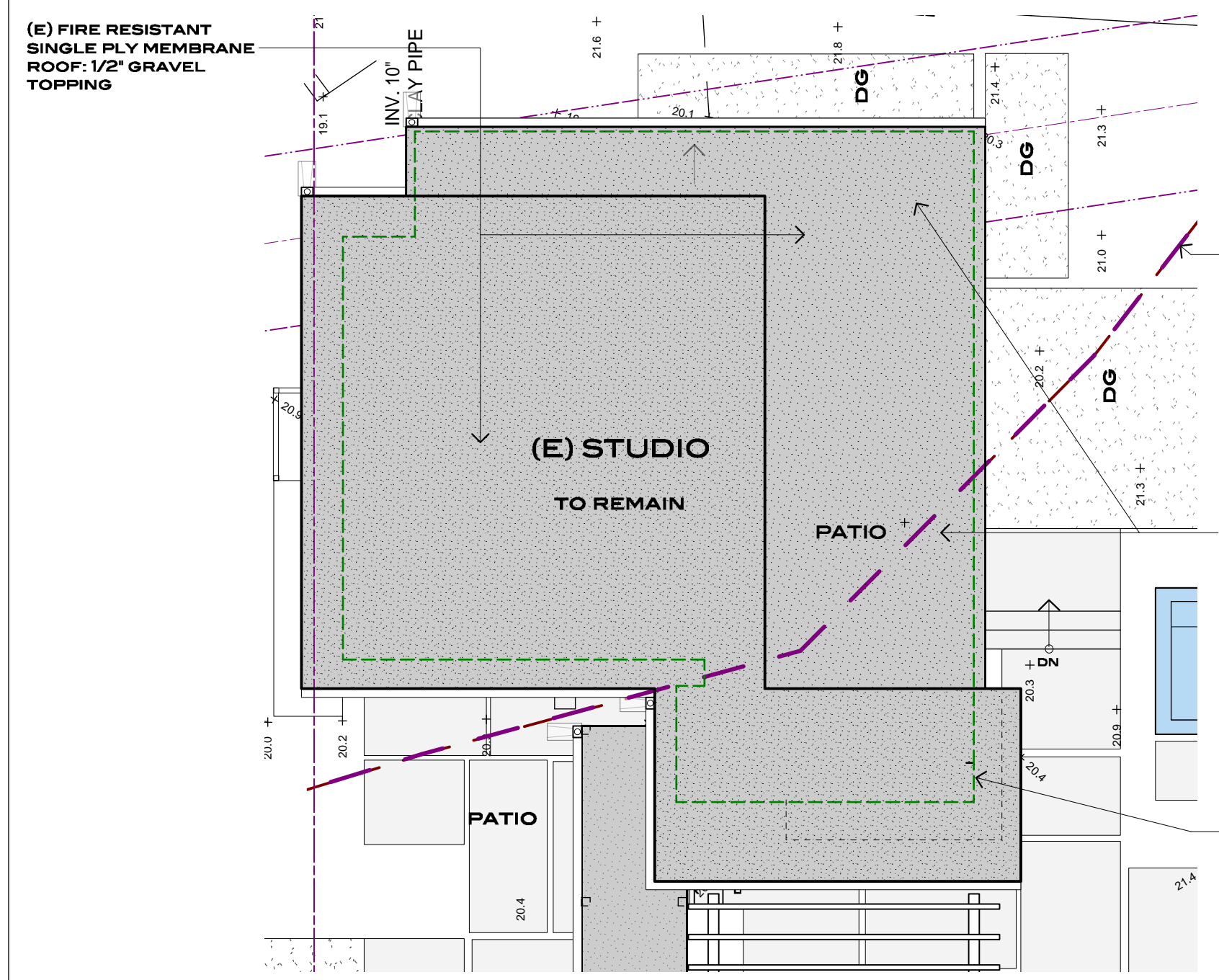


DRIVEWAY GATE

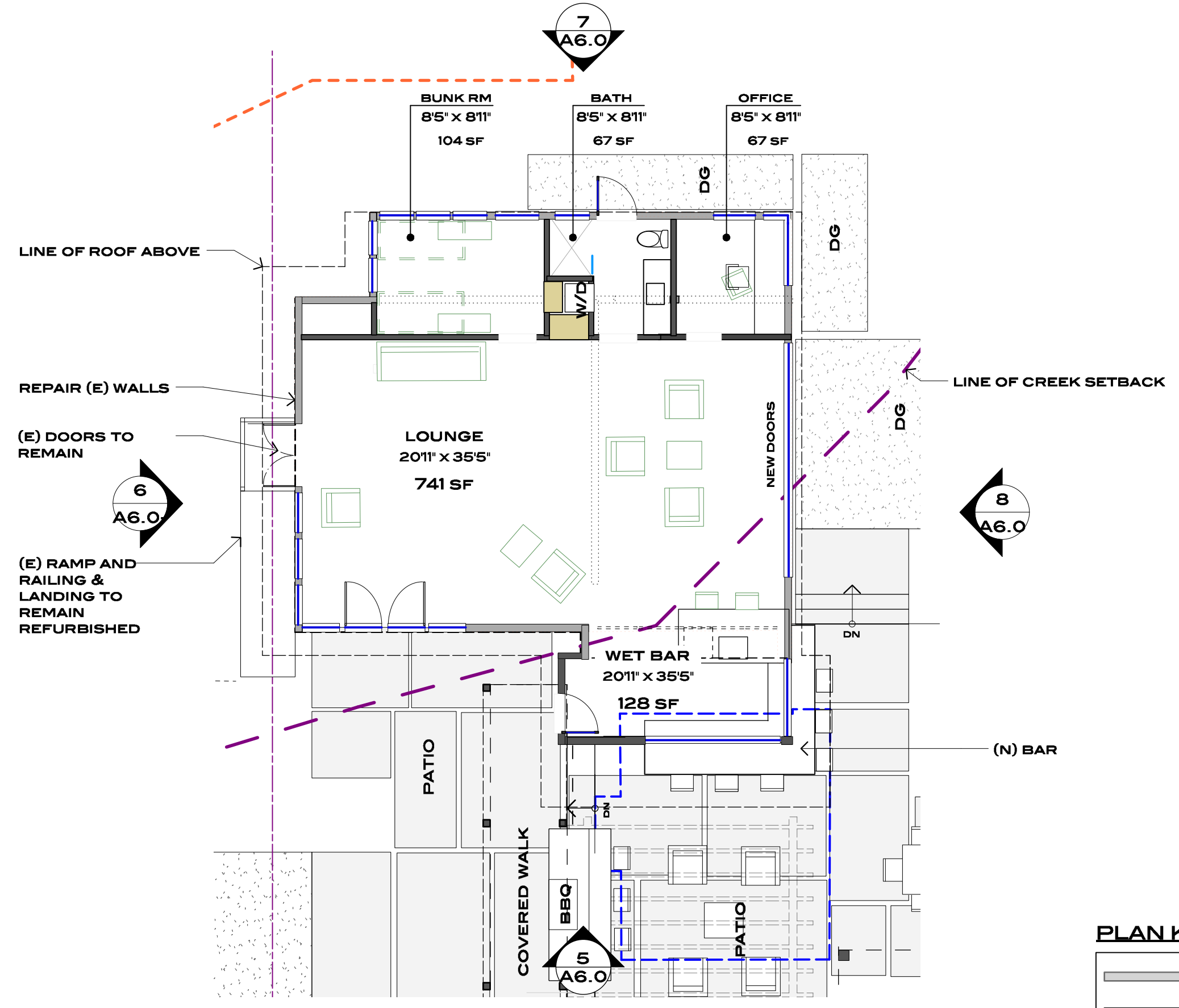
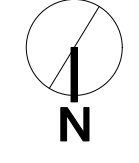


BORDERS & BETWEEN PAVERS

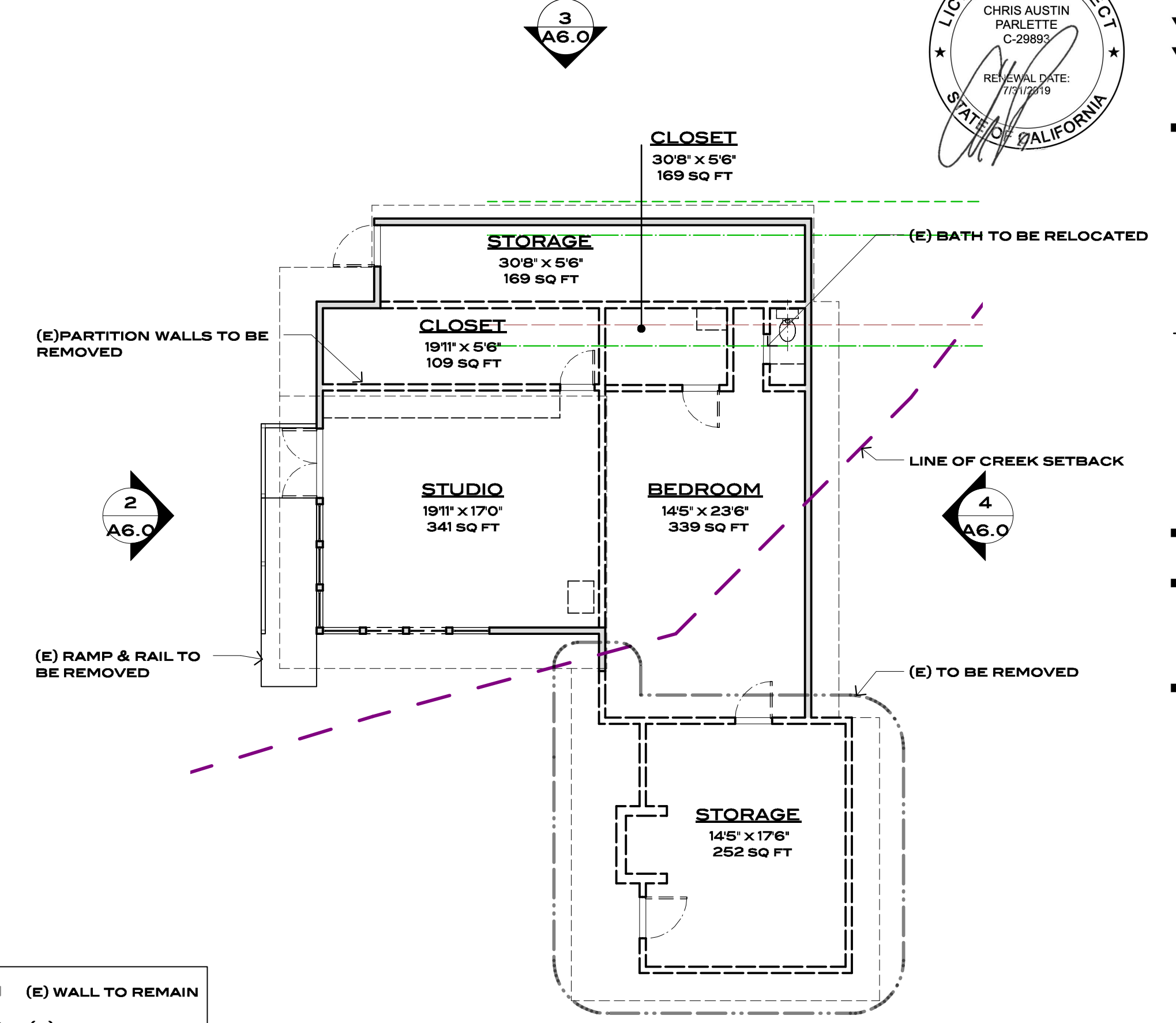
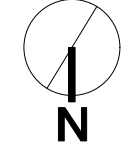




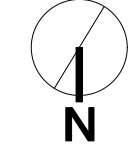
8 (N) ROOF PLAN
A6.0 1/8" = 1'-0"



7 (N) FLOOR PLAN
A6.0 1/8" = 1'-0"

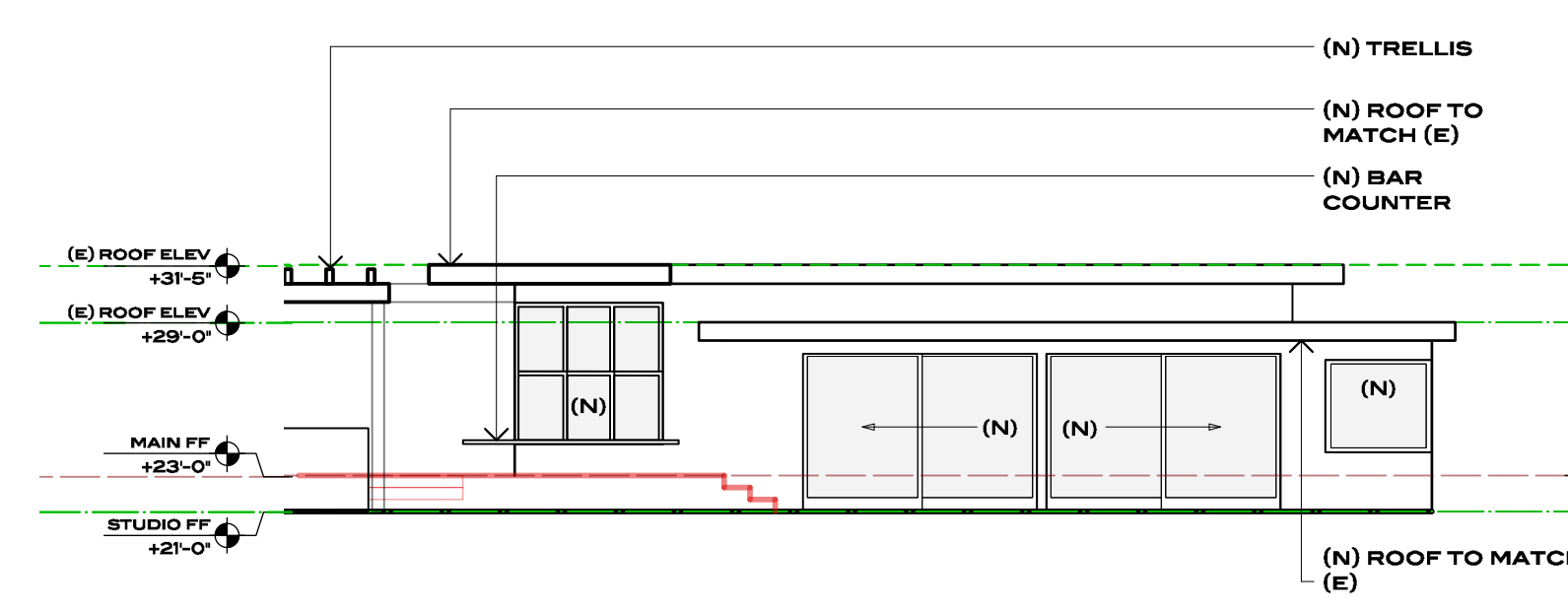


5 (E) FLOOR PLAN
A6.0 1/8" = 1'-0"

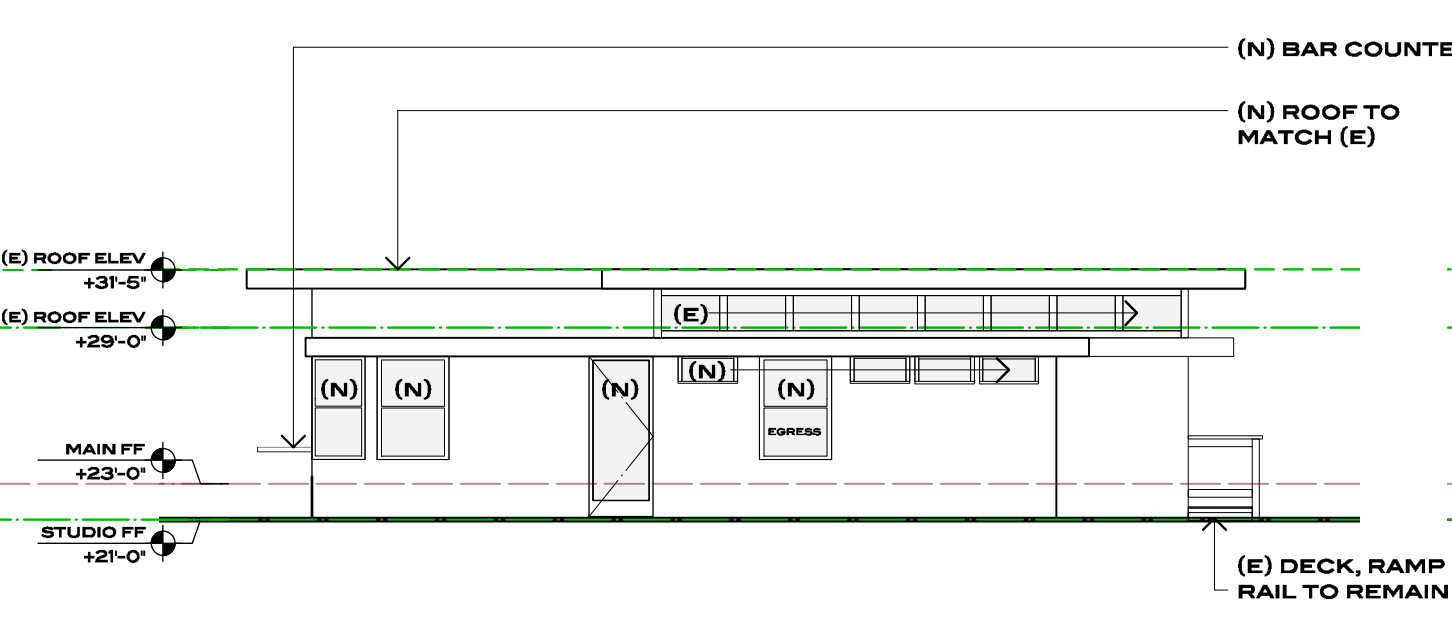


PLAN KEY

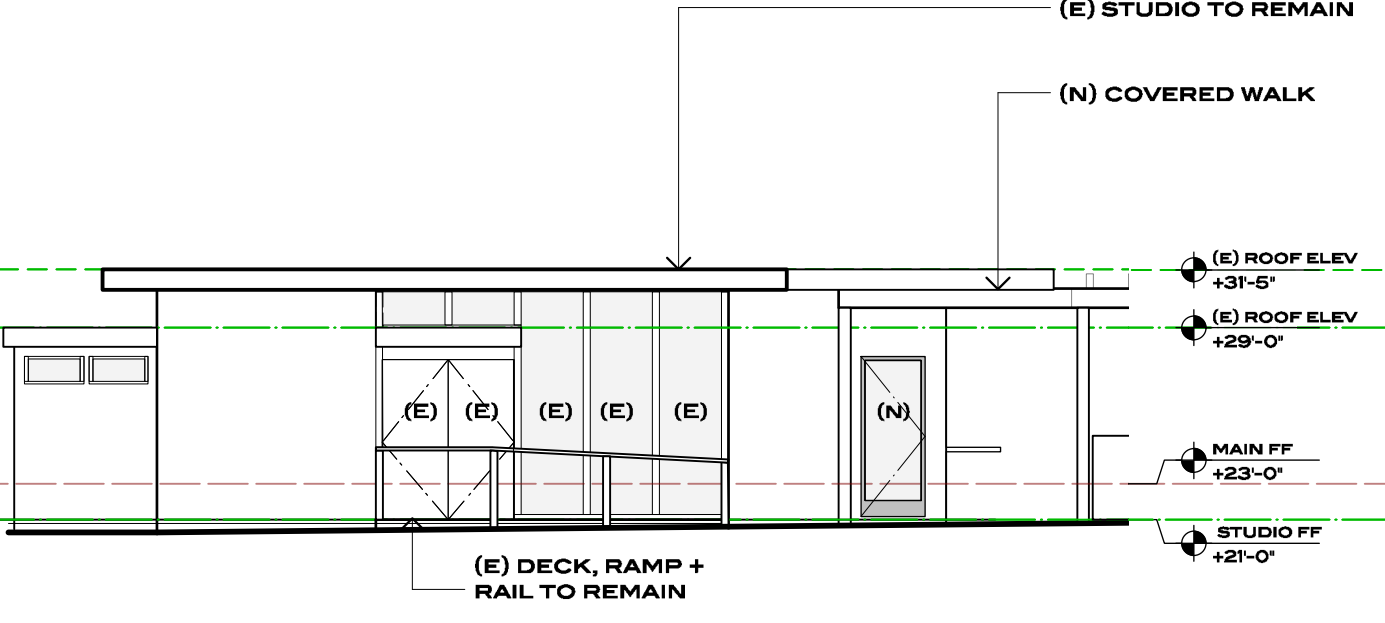
	(E) WALL TO REMAIN
	(N) WALL
	(E) TO BE REMOVED



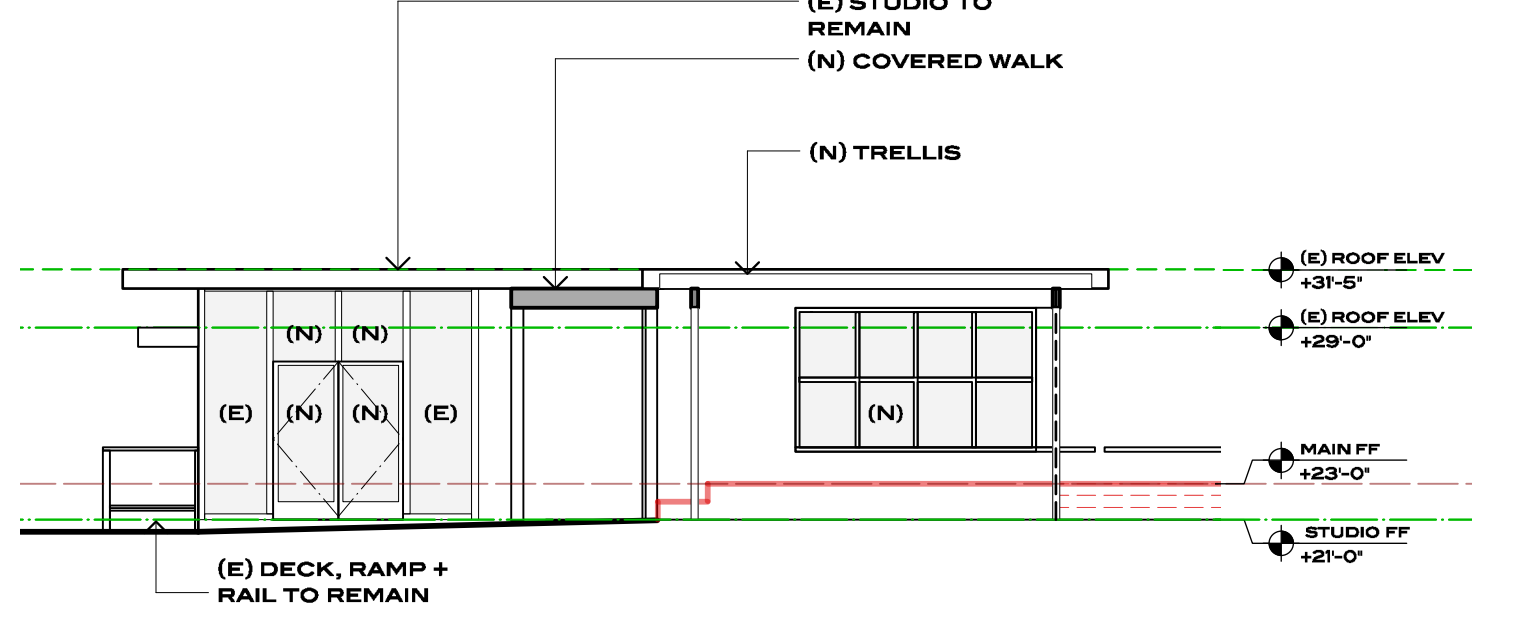
8 (N) WEST ELEVATION
A6.0 1/8" = 1'-0"



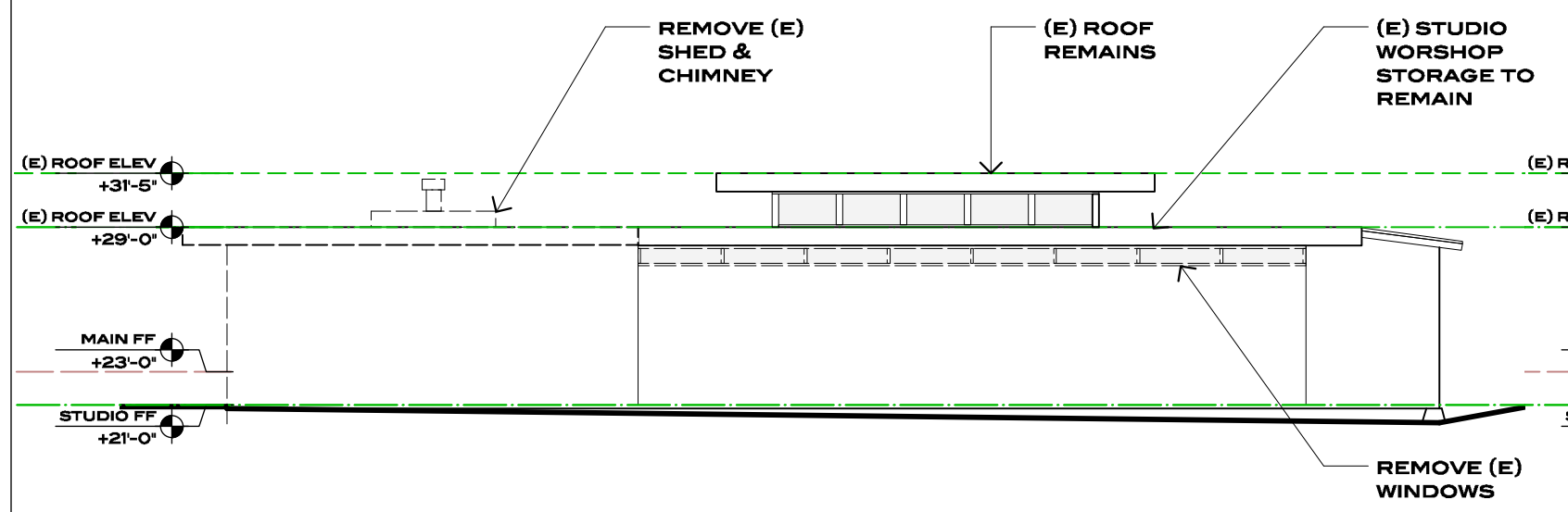
7 (N) SOUTH ELEVATION
A6.0 1/8" = 1'-0"



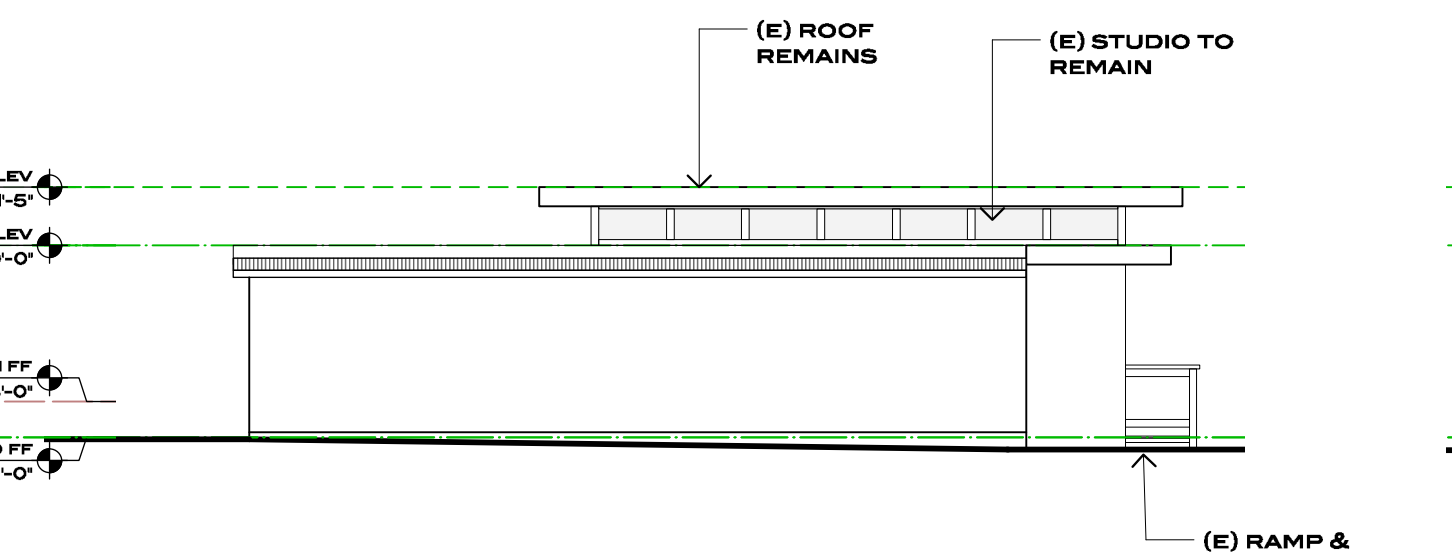
6 (N) EAST ELEVATION
A6.0 1/8" = 1'-0"



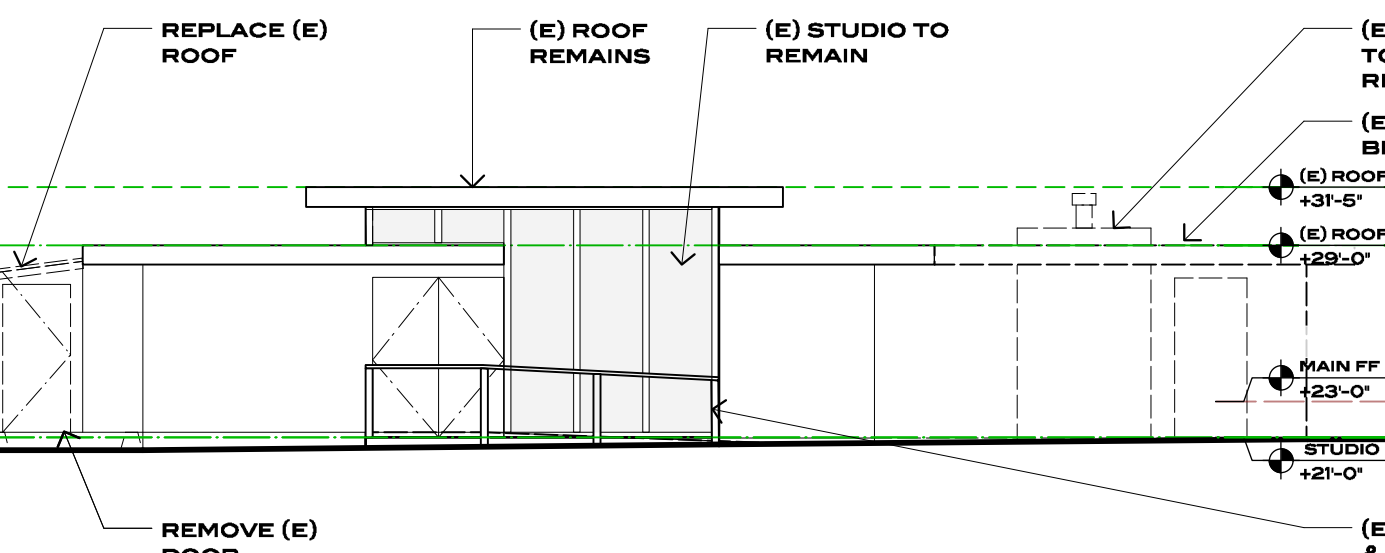
5 (N) NORTH ELEVATION
A6.0 1/8" = 1'-0"



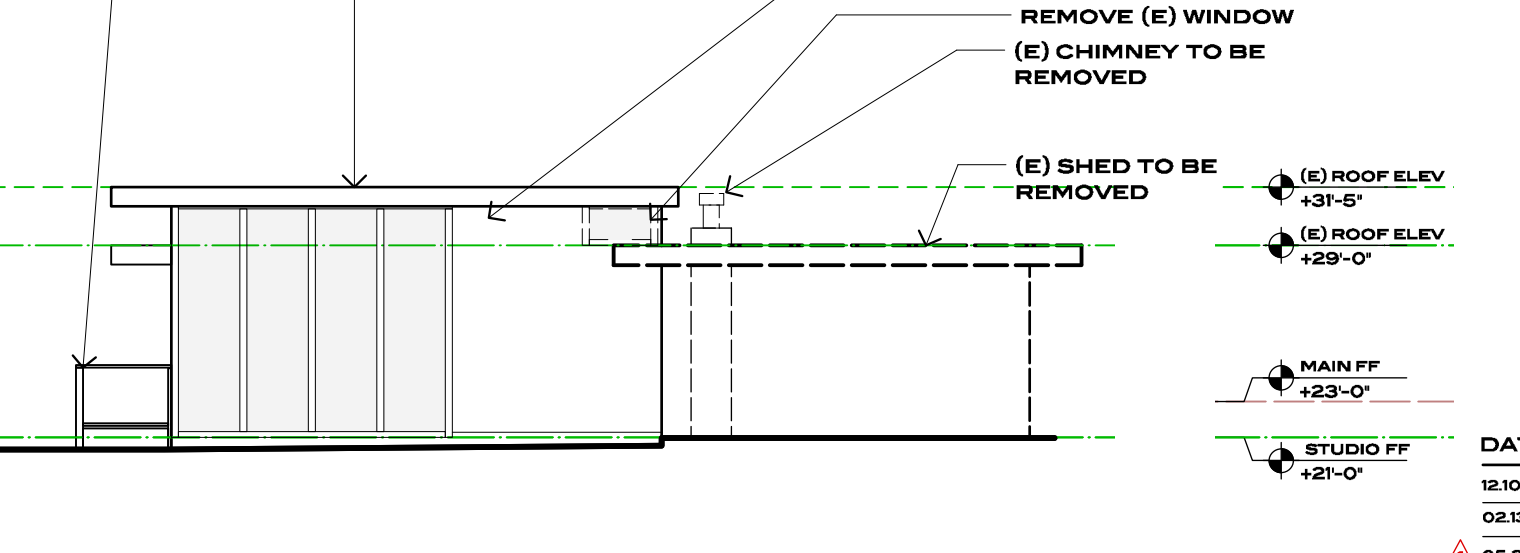
4 (E) WEST ELEVATION
A6.0 1/8" = 1'-0"



3 (E) SOUTH ELEVATION
A6.0 1/8" = 1'-0"



2 (E) EAST ELEVATION
A6.0 1/8" = 1'-0"



5 (E) NORTH ELEVATION
A6.0 1/8" = 1'-0"

DATE: 03.10.19
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