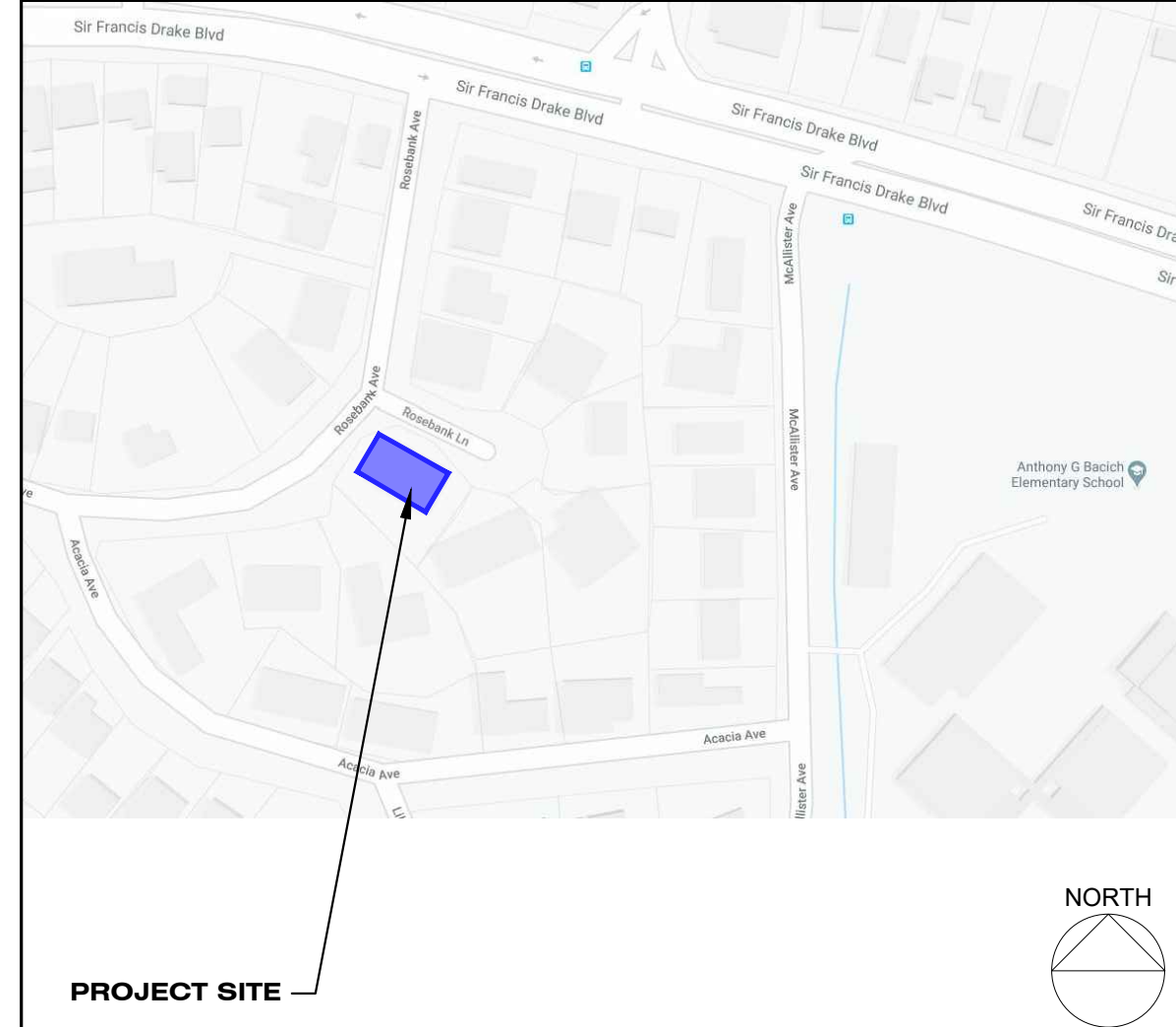


2 Rosebank Lane Remodel

2 Rosebank Lane
Kentfield, CA 94904

PERMIT SET
May 21, 2020

VICINITY MAP



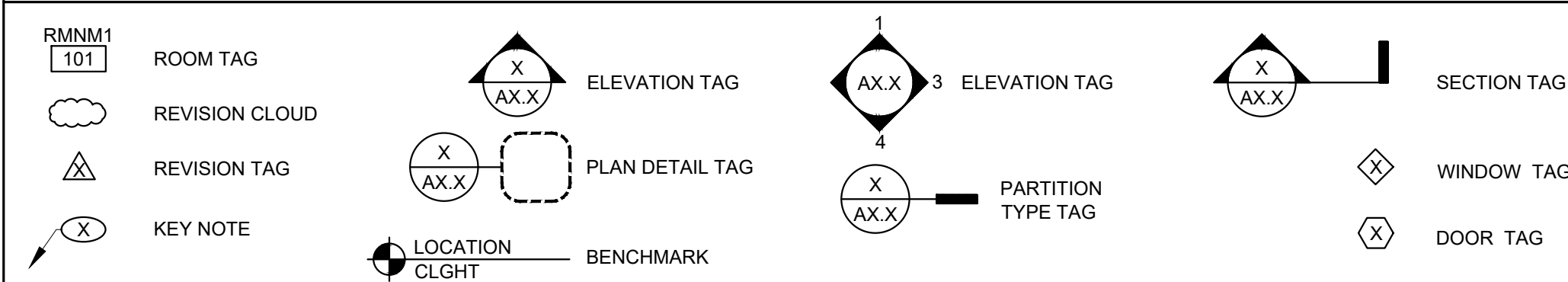
SHEET INDEX

(18 SHEETS TOTAL)

ARCHITECTURAL:

- A000 COVER SHEET
- A100 EXISTING SITE / EXITING PLAN
- A101 PROPOSED SITE / EXITING FIRST FLOOR PLAN
- A102 PROPOSED SITE / EXITING SECOND FLOOR PLAN
- A200 DEMOLITION & PROPOSED FLOOR PLANS - BEDROOM 2 & 3
- A201 DEMOLITION & PROPOSED FLOOR PLANS - MASTER BEDROOM
- A202 PROPOSED FIRST FLOOR PLAN
- A203 PROPOSED SECOND FLOOR PLAN
- A300 EXISTING & PROPOSED EXTERIOR ELEVATIONS
- A301 EXISTING ROOF PLAN - AREA OF WORK
- A302 PROPOSED ROOF PLAN - AREA OF WORK
- A350 EXISTING CROSS SECTIONS
- A351 PROPOSED CROSS SECTIONS
- A400 PROPOSED REFLECTED CEILING PLAN/ DATA & POWER PLAN
- A401 PROPOSED REFLECTED CEILING PLAN/ DATA & POWER PLAN
- A402 PROPOSED REFLECTED CEILING PLAN/ DATA & POWER PLAN
- A403 PROPOSED REFLECTED CEILING PLAN/ DATA & POWER PLAN
- A500 EXISTING & PROPOSED DOORS AND WINDOWS

LEGEND



APPLICABLE CODES

- 2019 CA MECHANICAL CODE
- 2019 CA PLUMBING CODE
- 2019 CA ELECTRICAL CODE
- 2019 CA ENERGY CODE
- 2019 CA FIRE CODE
- 2019 CA RESIDENTIAL CODE

PROJECT INFORMATION

APN: 074-051-21
 ZONING: SINGLE-RESID. -IMPROVED
 USE CODE: 11
 CONSTRUCTION YEAR: 1959
 LAND AREA SQ. FT.: 10,329 SQ. FT.

TOTAL CONDITIONED FLOOR AREA SQ. FT.: 2,622
 AREA SQ. FT. OF RENOVATION: 1,637.6
 SPRINKLED: NO
 LONGITUDE AND LATITUDE: 37°57'10.1"N 122°32'29.3"W
 WILDLAND URBAN INTERFACE: NO

EXISTING:
 BUILDING HEIGHT: 14'-10"
 OCCUPANCY: SINGLE FAMILY - RESIDENTIAL
 # OF FLOORS: 1
 # OF LIVING UNITS: 1
 # OF BEDROOMS: 3
 # OF BATHROOMS: 3
 FLOOR AREA: 2,995 SQ. FT.
 FLOOR AREA RATION: 28.9%

PROPOSED:
 BUILDING HEIGHT: 20'-0"
 OCCUPANCY: SINGLE FAMILY - RESIDENTIAL
 # OF FLOORS: 2
 # OF LIVING UNITS: 1
 # OF BEDROOMS: 5
 # OF BATHROOMS: 5
 FLOOR AREA: 3,295 SQ. FT.
 FLOOR AREA RATIO: 31.9%

MANDATORY CONSTRUCTION PROCEDURES

- 1. EXCLUSIONS:** CONTRACTORS SHALL MAKE KNOWN TO THE ARCHITECT ANY LIMITATIONS, EXCLUSIONS OR MODIFICATIONS TO THE PROJECT CLEARLY AND EXPLICITLY ON THE BID DOCUMENTS. UNLESS SPECIFICALLY EXCLUDED, THEY WILL BE PRESUMED TO BE INCLUDED IN ALL PRICING OF THE PROJECT.
- 2. HAZARDOUS MATERIALS:** THE CONTRACTOR SHALL NOT PROCEED WITH ANY CONSTRUCTION ACTIVITY PRIOR TO RECEIPT OF A LEAD/ASBESTOS REPORT. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ABATING ALL HAZARDOUS MATERIALS.
- 3. MISSING INFORMATION:** THE CONTRACTOR SHALL STUDY THE DRAWINGS, NOTES, SPECIFICATIONS AND OTHER INSTRUCTIONS, AND NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES OR MISSING INFORMATION REQUIRED FOR FABRICATION OR INSTALLATION OF THE WORK. THE CONTRACTOR SHALL REQUEST INSTRUCTIONS FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- 4. MEANS AND METHODS:** THE CONTRACTOR SHALL SUPERVISE THE WORK USING THE BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, AND SHALL HAVE CONTROL OVER, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
- 5. SCHEDULE:** SUBMIT A CONSTRUCTION SCHEDULE TO THE ARCHITECT PRIOR TO COMMENCING THE WORK. THE SCHEDULE SHALL INDICATE THE START DATE, FINISH DATE AND CHRONOLOGICAL PHASES OF THE CONTRACTOR'S WORK THROUGH THE COMPLETION OF THE PROJECT. THE SCHEDULE SHALL INDICATE ORDERING LEAD TIME, LENGTH OF TIME FOR EACH PHASE, AND START AND COMPLETION DATES FOR EACH TRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE APPROVED SCHEDULE.
- 6. APPROVED MATERIALS:** THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. REQUESTS FOR SUBSTITUTION OF SPECIFIED MATERIALS MUST BE SUBMITTED IN WRITING, WITH DOCUMENTATION OF PROPOSED SUBSTITUTION'S SUPERIORITY IN QUALITY OR COST. ARCHITECT SHALL HAVE 5 BUSINESS DAYS TO REVIEW. APPROVAL SHALL BE AT ARCHITECT AND OWNER'S SOLE DISCRETION.
- 7. LAYOUT OF WORK:** LAY OUT THE WORK FROM THE DIMENSIONS AND ALIGNMENTS SHOWN ON THE DRAWINGS AND BE RESPONSIBLE FOR ALL MEASUREMENTS IN CONNECTION THEREWITH. THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT. DO NOT SCALE DRAWINGS; NO EXTRA CHANGES WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWING. THE CONTRACTOR SHALL ASSUME FULL AND UNDIVIDED RESPONSIBILITY FOR THE ACCURACY, FIT AND STABILITY OF ALL PARTS OF THE WORK.
- 8. CHANGE ORDERS:** DO NOT PROCEED WITH ANY ADDITIONAL WORK OR CHANGES FOR WHICH ADDITIONAL COMPENSATION IS EXPECTED WITHOUT A WRITTEN AUTHORIZATION FROM THE OWNER AND THE ARCHITECT.
- 9. FINAL CLEANUP:** ALL SPACES MUST BE LEFT VACUUM-CLEAN AND ORDERLY, READY FOR OWNER OCCUPANCY. ALL SURFACES, INCLUDING COUNTERS, CABINET SHELVES AND TOPS, MOLDINGS, DOOR AND WINDOW HEADS, PLUMBING AND LIGHTING FIXTURES, APPLIANCES, HEATING AND AIR-CONDITIONING EQUIPMENT AND FLOORS SHALL BE THOROUGHLY DUSTED WITH A FREQUENTLY RINSED DAMP CLOTH. WINDOWS SHALL BE SCRAPED CLEAN WITH A RAZOR AND WASHED AND WIPED INSIDE AND OUT.
- 10. PUNCH LIST & COMPLETION:** THE PROJECT SHALL BE CONSIDERED COMPLETE WHEN THE ARCHITECT'S PUNCH LIST HAS BEEN COMPLETED TO THE SATISFACTION OF THE ARCHITECT.

ABBREVIATIONS

& and	EA each	LAV lavatory	S sink, switch
@ at	EIT expansion joint	LDG landing	SC solid core
AC air conditioning	EL elevation	LOC local (e) (ion)	SCHED schedule
AB anchor bolt	ELEC electric (al)	LT light	SEC section
∠ angle	ELEV elevator	LWT light weight	SH shelf, shelving
ADJ adjustable	EQ equal	LVR lowered	SHR shower
AL	EQUIP equipment		SHT sheet
ALUM aluminum	EXTR extruded	MAS masonry	SHTG sheathing
ALT alternate	E existing	MAX maximum	SIM similar
ANC anchor	EXP exposed	MECH mechanical	SNT sealant
AP access panel	EXT exterior	MET metal	SPEC specification
APPROX approximate		MTL metal	SQ square
ARCH architect(ural)		MFR manufacturer	STD standard
B brick	FB face brick	MH manhole	STFR stiffener
BD board	FD floor drain	MIN minimum	STL steel
BDG bridging	FDN foundation	MIR mirror	STR storage
BIT bituminous	FE fire extinguisher	MISC miscellaneous	STRUC structure, structural
BLDG building	FFE finish floor elevation	ML match line	STR structure, structural
BLKG blocking	FFL finish floor	MO masonry opening	SUSP suspend (ed) (sion)
BM beam	FIN finish (ed)	MUL mulion	SV sheet vinyl
bench mark	FIX fixture	MW microwave	SYS system
BOTT bottom	FL floor (ing)		
BRG bearing fire retardant	FLG flash (ing)	NIC not in contract	T tread, telephone
BUR built-up roofing frame (d) (ing)	FOC face of concrete	NO# number	T&G tongue and groove
	FOM face of masonry	NOM nominal	TEL telephone
C centerline	FOS face of stud	NS non-slip	TEMP temperature
CAB cabinet PLAM plastic laminated	FP fire proof	NTS not to scale	THK thick
CAV cavity	FR fire rated		THR threshold
CB catch basin	fire retardent	OC on center	TOB top of beam
centerline	frame (d) (ing)	OH overhead	TOBM top of beam
CFLG counterflashing grab bar	FTG footing	OPNG opening	TOM top of masonry
CHAM chamfer	FUR furr (ed) (ing)	OPP opposite	TOMAS top of masonry
CJ construction joint	FURN furnish (ed)		TS tube steel
CJT control joint		P plate	TSL top of slab
CLG ceiling	GA gauge	PBD particle board	TST top of steel
CLO closet	GALV galvanized	PL property line	TYP typical
CLR clear (ance)	GB grade beam	PLAM plastic laminate	
CMU concrete masonry unit	grab bar	PLAS plaster	UNO unless noted otherwise
COL column	GC general contractor	PNL panel	
CONC concrete	GL glass / glazing	PT	VAN vanity
CONST construction	GPBD gypsum board	PNT paint (ed)	VAR varies
CONT continuous	GYP gypsum	PSF pounds per square foot	VB vapor barrier
CONTR contractor	HC hollow core	PSI pounds per square inch	VCT vinyl composition tile
CPT carpet (ed)	HCPD handicapped	PTN partition	VENT ventilator (ing)
CT ceramic tile	HDR header	VERT vertical	VINT vertical
CTR center (ed)	HDW hardware	VIN vinyl	VIN B vinyl base
CW cold water	HM hollow metal	QT quarry tile	VNR veneer
	HORIZ horizontal	QTY quantity	VSE veneer shelf elevation
DEM demolish/demolition	HPWD hardwood plywood	R riser, receptacle	VT vinyl tile
DET detail	HR hour	RA return air	
DF drinking fountain	HT height	RAO radius	W steel wide plane
DIA, Ø diameter	HWD hardwood	RO roof / drain	W/ with
DIAG diagonal	INCL include (d) (ing)	RON radiation	W/O without
DIM dimension	INS insulate (d)	REF reference	WC water closet
DN down	insulation	REFR refrigerator	WO wood
DR door	INT interior	REINF reinforce (d) (ing)	WOW window
DS downspout		REO required	WP weatherproof
DT drain tile	J joist	RET retain (ing)	WWF welded wire fabric
DWG drawing	JT joint	REV revise (d) (able)	
DW dishwasher	KIT kitchen	RFG roofing	X by (dimensions)
DWR drawer	KO knockout	RM room	
LOC local (e) (ion)	L light	RMB remove (d) (able)	
	LAM laminate (d)	RO rough opening	
		RWL rain water leader	

PROJECT DESCRIPTION

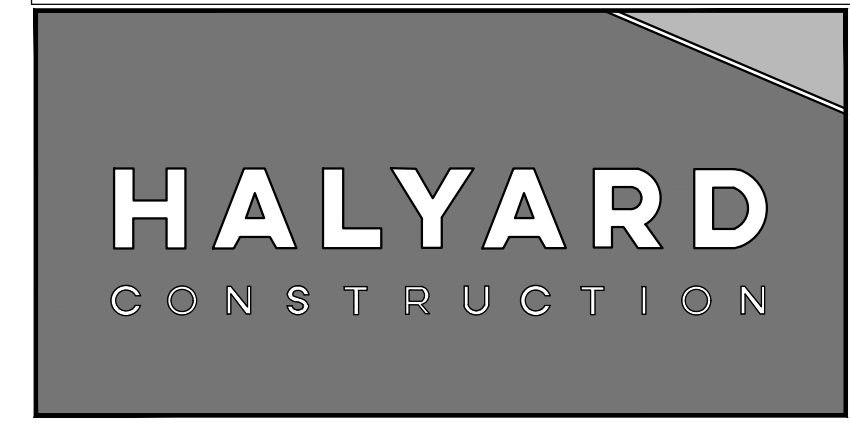
RENOVATION WITHIN EXISTING ENVELOPE: 1 NEW BEDROOM & 1 NEW BATHROOM. REMODEL EXISTING WET BAR. REPLACE EXISTING PLUMBING FIXTURES. NEW CABINERY. 2 NEW SKYLIGHTS AT KITCHEN. 2 NEW SLIDING GLASS WALLS OPENING TO REAR YARD. NEW STAIRCASE LEADING TO VERTICAL ADDITION. REMOVE 1 EXISTING SKYLIGHT AT HALLWAY.

VERTICAL ADDITION: 1 NEW BEDROOM WITH 1 BATHROOM AND DECK

PROJECT DIRECTORY

PROJECT ARCHITECT: JAKE HERCZEG
 49 POWELL ST
 FLOOR 5
 SAN FRANCISCO, CA 94102
 415 590 3230

ENDORSEMENTS



49 Powell St, 5t FL
 San Francisco, CA 94102
 415 590 3230

consultants project

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 file: 2 a000 cover.dwg
 drawn by: DA, AS
 checked by: MW

NTS

client code:
 2020-05-21

project code:
 PERMIT SET

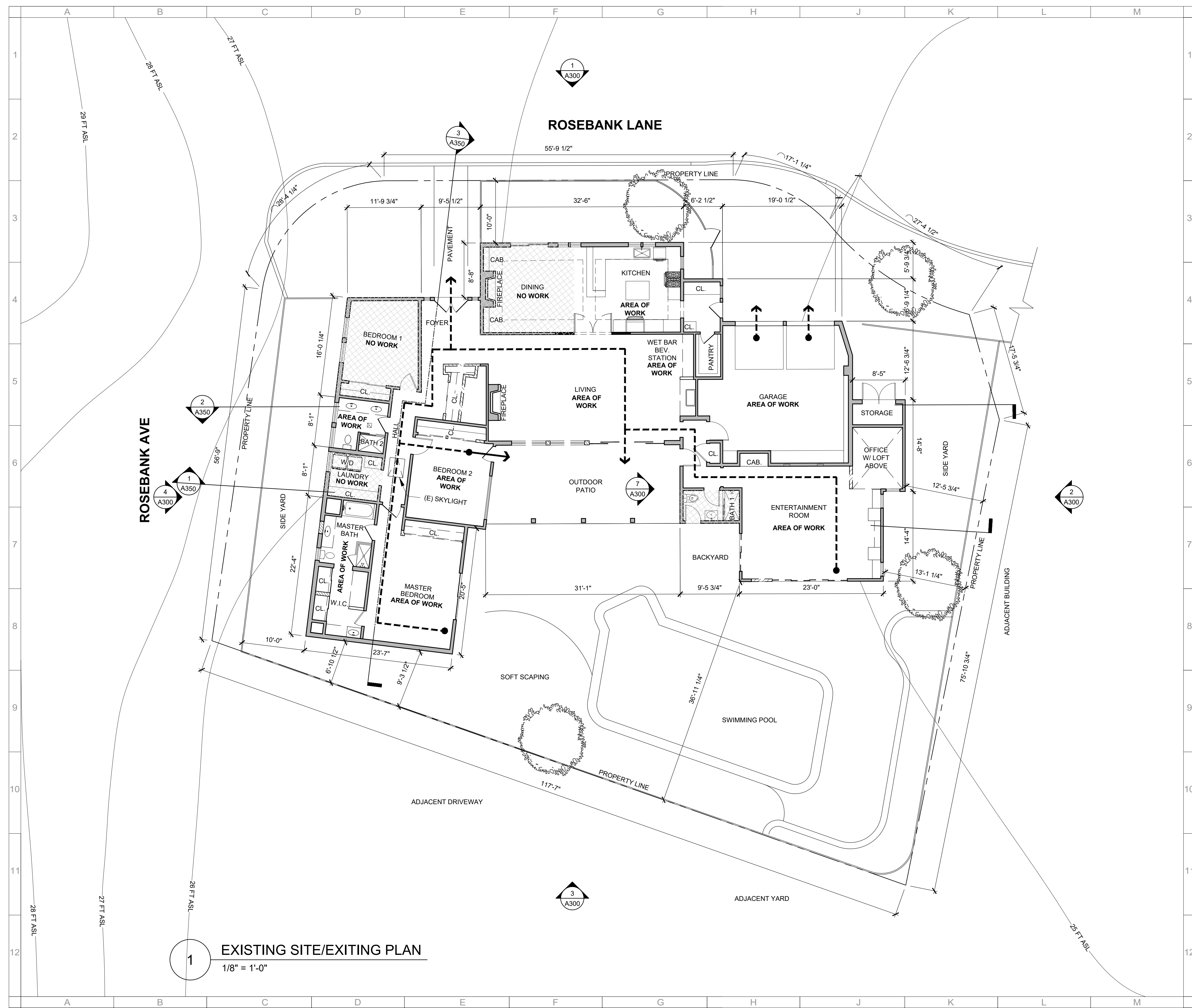
sheet title

Cover Sheet

scale

north: A000

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1
EXISTING SITE/EXISTING PLAN
1/8" = 1'-0"

legend:

- EXISTING TO REMAIN
- PARTITION TO BE DEMOLISHED
- NEW PARTITION
- UNITS NOT IN SCOPE
- PATH OF EGRESS
- EERO PATH

key notes:

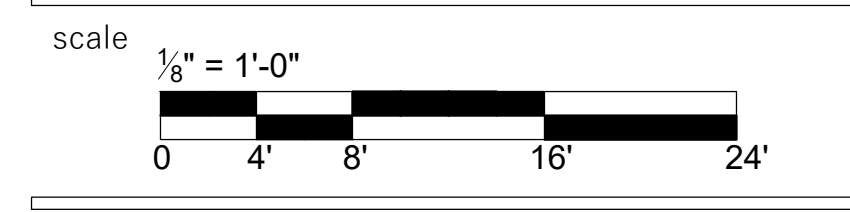
sheet notes:



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San Francisco, CA 94102
415 590 3230

consultants	project
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project code: PERMIT SET	

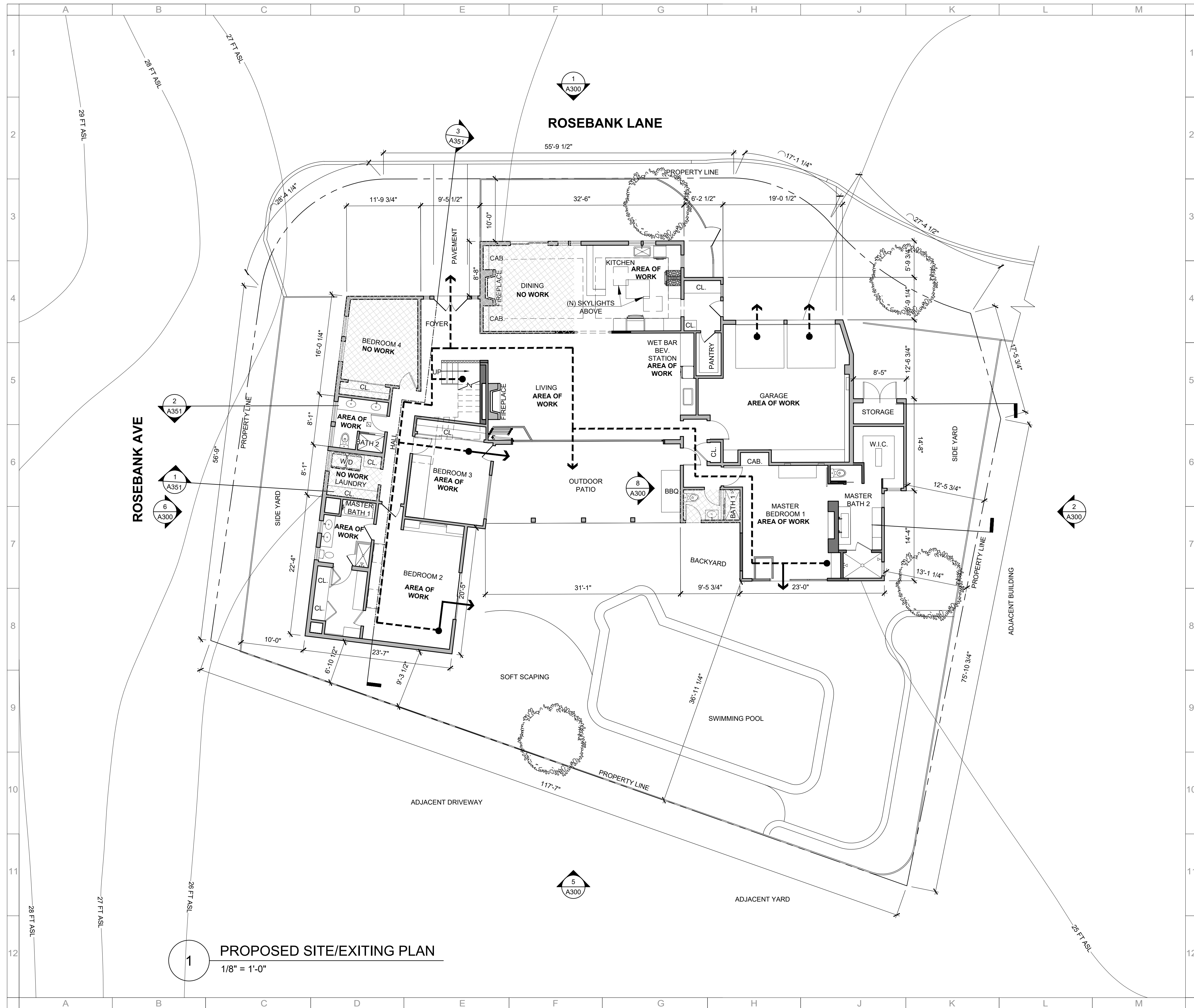
sheet title
Existing Site/Existing Plan



north: **A100**

2 Rosebank Lane
 Brewer Residence - Remodel
 APN: 074-051-21
 Kentfield, CA 94904

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1 PROPOSED SITE/EXITING PLAN
1/8" = 1'-0"

- legend:
- EXISTING TO REMAIN
 - PARTITION TO BE DEMOLISHED
 - NEW PARTITION
 - UNITS NOT IN SCOPE
 - PATH OF EGRESS
 - EERO PATH
- key notes:

sheet notes:



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415 590 3230

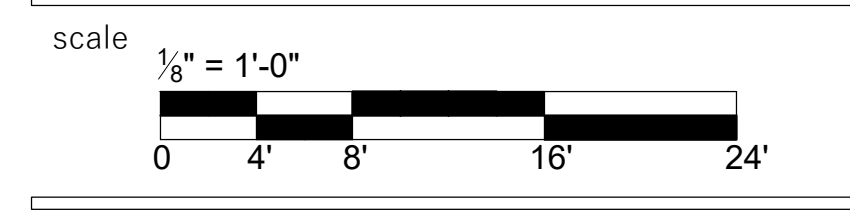
consultants project

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project code: PERMIT SET

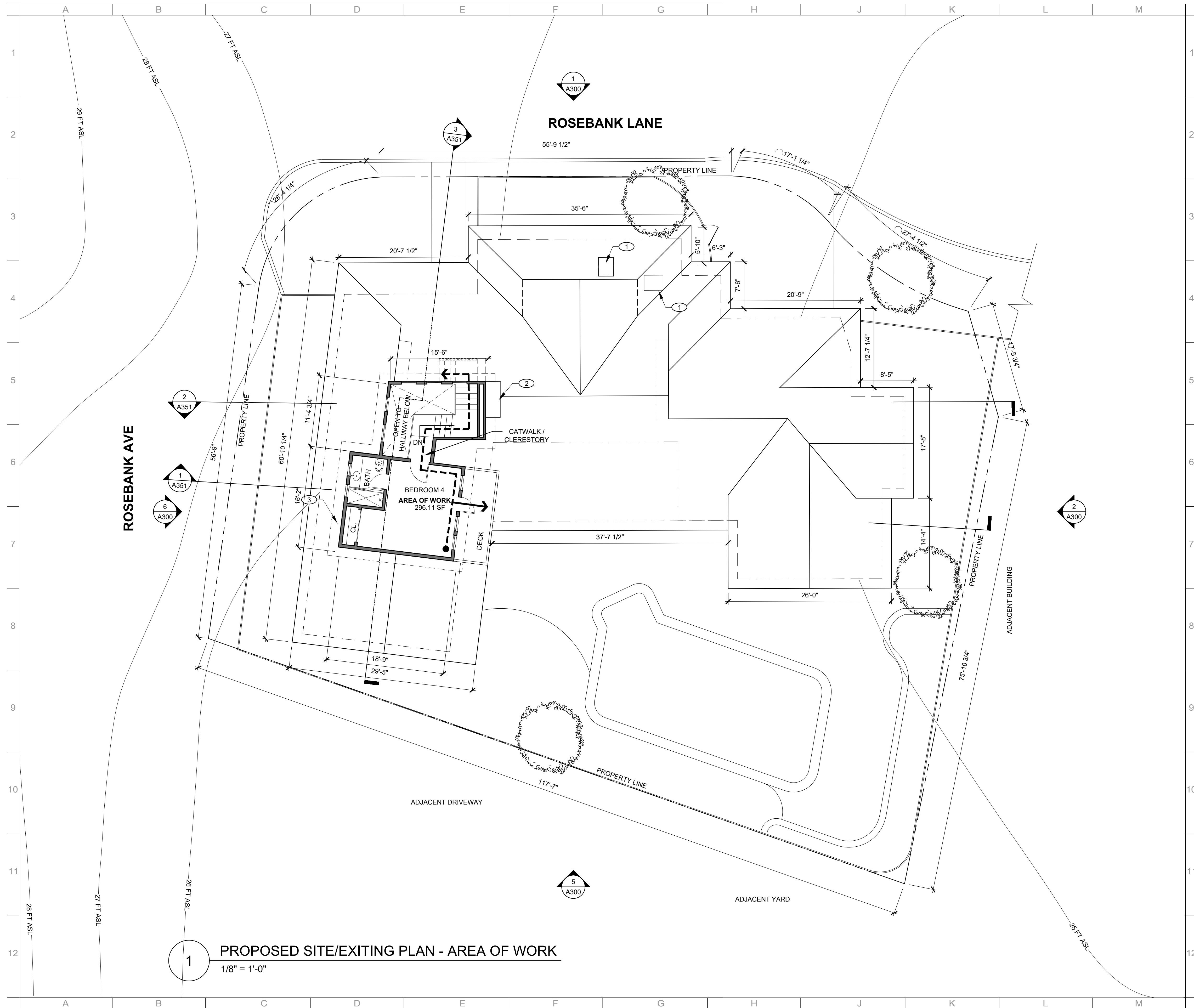
2 Rosebank Lane
Brewer Residence - Remodel
APN: 074-051-21
Kentfield, CA 94904

sheet title
Proposed Site/Exiting Plan



north: **A101**

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1 PROPOSED SITE/EXITING PLAN - AREA OF WORK
1/8" = 1'-0"

- legend:
- EXISTING TO REMAIN
 - PARTITION TO BE DEMOLISHED
 - NEW PARTITION
 - UNITS NOT IN SCOPE
 - PATH OF EGRESS
 - EERO PATH

- key notes:
1. (N) FIXED TEMPERED DOUBLE PANE SKYLIGHT. 22.5" X 48.6"
 2. (E) CHIMNEY TO BE EXTEND 3' ABOVE THE ROOF RIDGE
 3. (N) ROOF ABOVE

sheet notes:



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San Francisco, CA 94102
415 590 3230

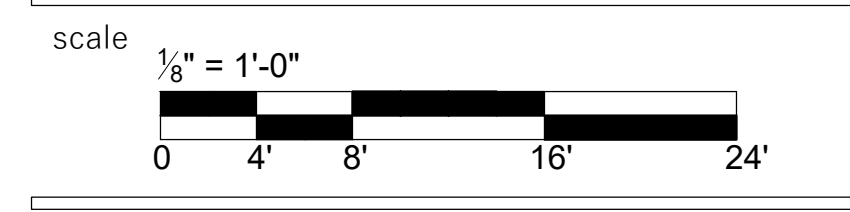
consultants project

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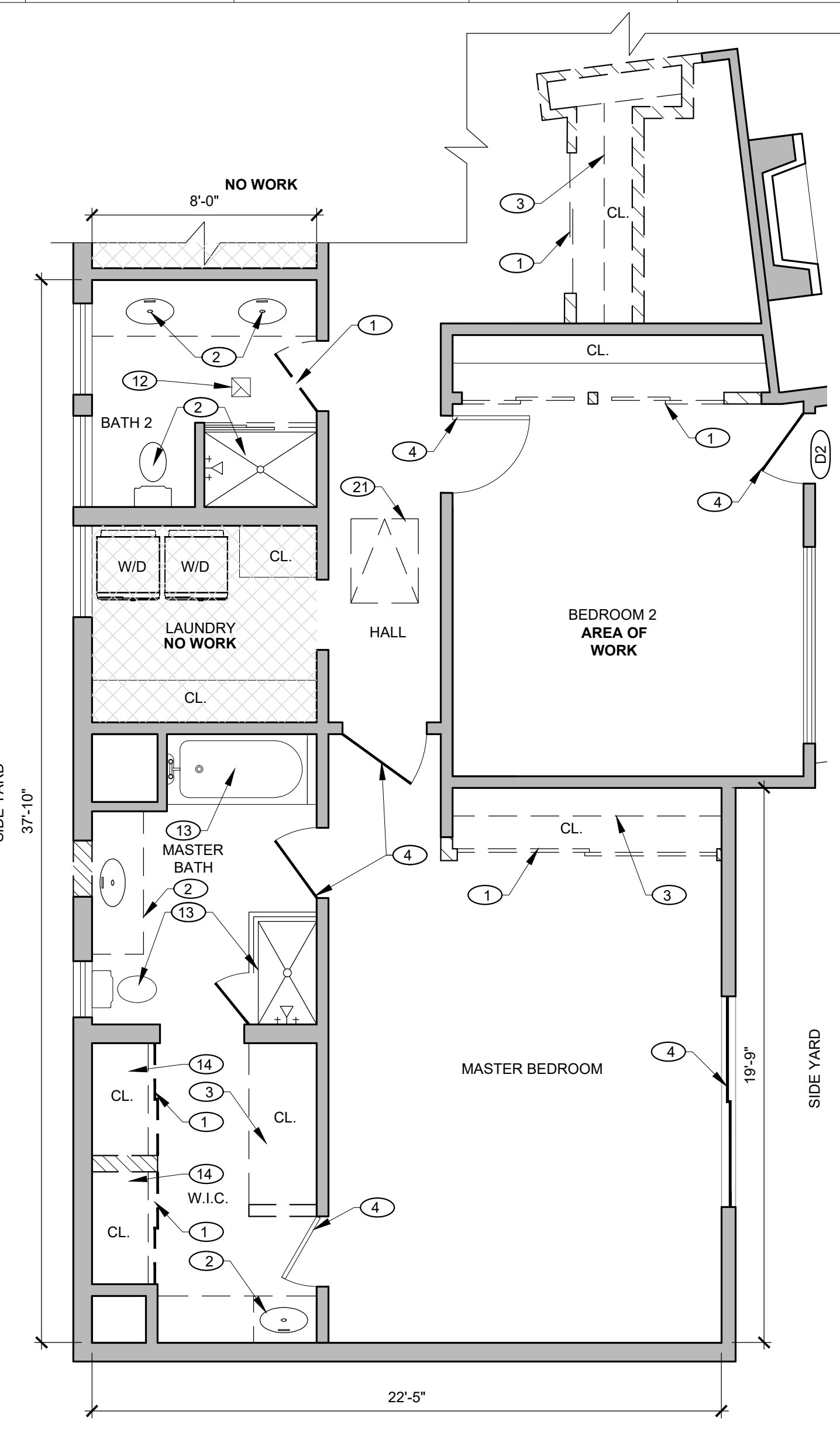
2 Rosebank Lane
Brewer Residence - Remodel
APN: 074-051-21
Kentfield, CA 94904

sheet title
Proposed Site / Exiting
Second Floor Plan

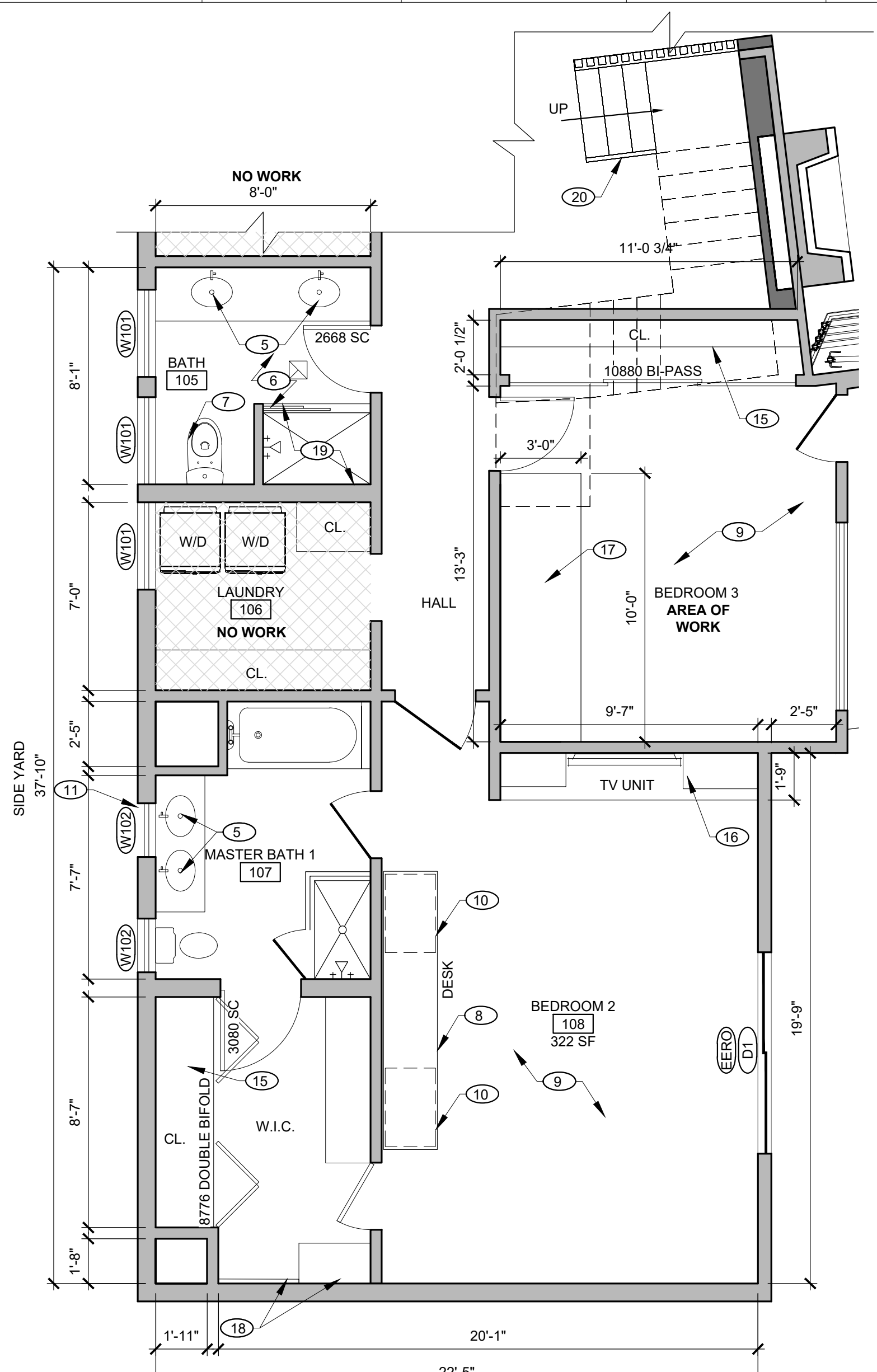


north: A102

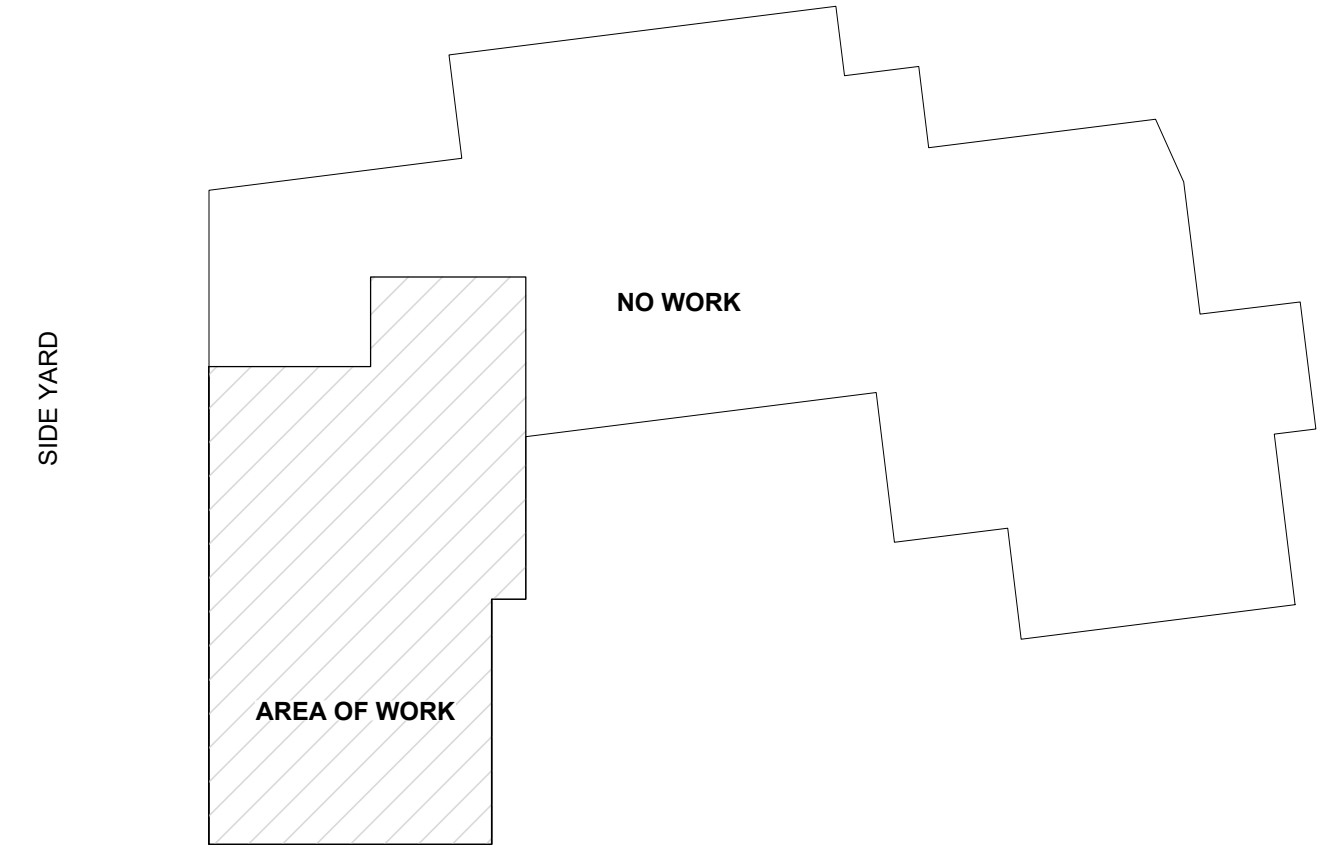
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1 DEMOLITION FLOOR PLAN
1/4" = 1'-0"



2 PROPOSED FLOOR PLAN
1/4" = 1'-0"



3 KEY PLAN
1/16" = 1'-0"

- legend:**
- EXISTING TO REMAIN
 - PARTITION TO BE DEMOLISHED
 - NEW PARTITION
 - AREA OF WORK

- key notes:**
1. DEMOLISH (E) DOOR
 2. DEMOLISH (E) BATHROOM VANITY, TILES AND FIXTURES
 3. DEMOLISH (E) CLOSET ROD AND SHELVING
 4. (E) DOOR TO REMAIN
 5. (N) MEDICINE CABINET, SCONCE AND DOUBLE VANITY
 6. (N) FLOOR TILE
 7. (N) TOILET
 8. (N) BUILT IN DESK WITH SHELVING ABOVE
 9. (N) FLOORING THROUGHOUT (SPEC. TBD)
 10. (N) UNDERNEATH CABINET
 11. (N) WINDOW WITH TEMPERED GLAZING
 12. (E) BATHROOM EXHAUST TO REMAIN
 13. (E) TOILET, TILES AND CABINET TO REMAIN
 14. DEMOLISH (E) BUILT-IN CLOSET
 15. (N) CLOSET ROD AND SHELVING WITH MIRRORRED PANEL SLIDING DOORS
 16. (N) ENTERTAINMENT BUILT-IN UNIT
 17. (N) BUILT-IN DESK, READING NOOK, AND STORAGE
 18. (N) FULL LENGTH MIRROR, BENCH AND NOOK AREA
 19. (N) WALL TILE AND SHOWER FIXTURES
 20. (N) STAIRS
 21. DEMOLISH (E) SKYLIGHT

- sheet notes:**
1. (N) PAINT AND CLEAN THROUGHOUT

LIGHT CALCULATIONS:

ROOM #	AREA (sq ft)	REQ'D (8%)	PROP.
MASTER BEDROOM 108	322	25.8	50

VENTILATION CALCULATIONS:

ROOM #	AREA (sq ft)	REQ'D (4%)	PROP.
MASTER BEDROOM 108	322	12.9	25

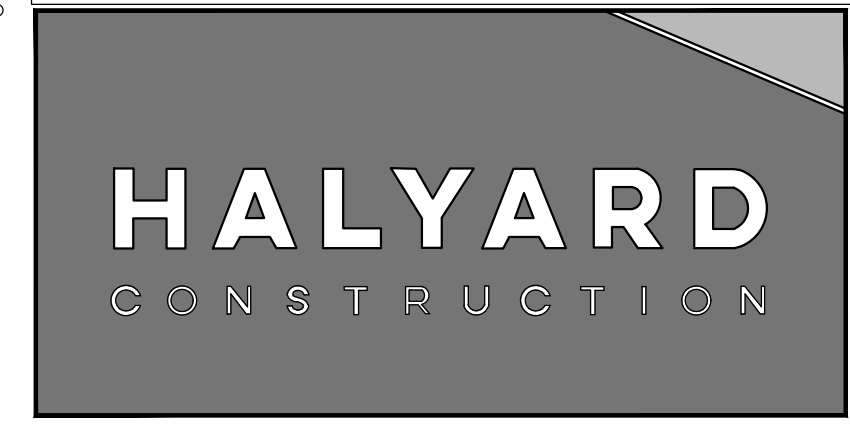
WINDOW SCHEDULE:

#:	HT (in.)	WD (in.)	AREA (sq ft)	SILL HT. (in.)	OPERATION:	EERO
W101	26"	39"	7	56"	CASEMENT	-
W102	26"	24"	4.3	56"	CASEMENT	-

EMERGENCY EGRESS RESCUE OPENING: D1
 OPERABLE WIDTH = 45"
 OPERABLE HEIGHT = 80"
 OPERABLE AREA = 80" (HT) X 45" (WD) = 3,600 SQ. IN.
 OPERABLE AREA = 3,600 SQ. IN. = **25 SQ. FT.**

EXISTING DOOR SCHEDULE:

DOOR #:	HT (in.)	WD (in.)	AREA (sq ft)	OPERATION:	MATERIAL
D1	80"	90"	50	SLIDING	WOOD & GLASS
D2	80"	30"	16.7	IN-SWING	WOOD



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 San Francisco, CA 94102
 415 590 3230

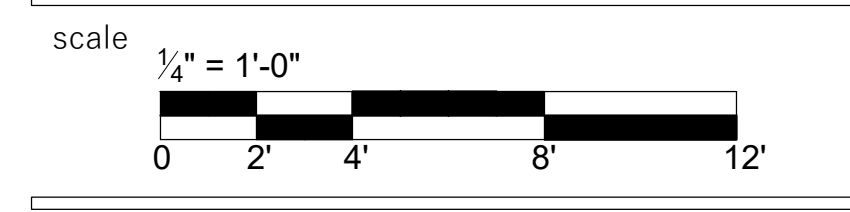
consultants project

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 checked by: MW

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 project code: PERMIT SET

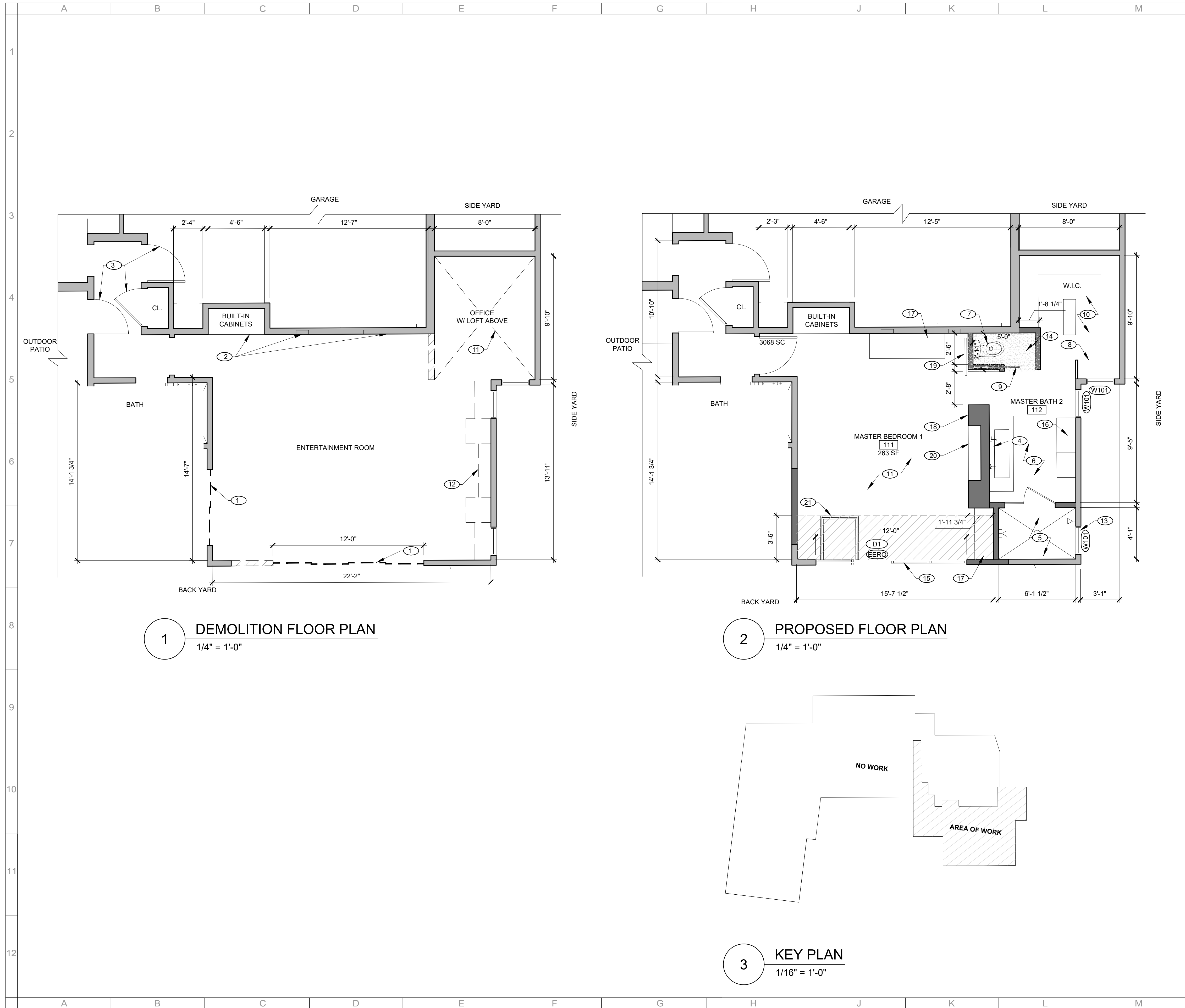
2 Rosebank Lane
 Brewer Residence - Remodel
 APN: 074-051-21
 Kentfield, CA 94904

sheet title
**Demolition and Proposed
 First Level Floor Plans-
 Bedroom 2 & 3**



north: **A200**

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- legend:**
- EXISTING TO REMAIN
 - PARTITION TO BE DEMOLISHED
 - NEW PARTITION
 - AREA OF WORK
 - NEW DROPPED CEILING, 8'0\"/>

- key notes:**
1. DEMOLISH (E) DOOR
 2. (E) BUILT-IN CABINETS AND SOUND SYSTEM TO REMAIN
 3. (E) DOOR TO REMAIN
 4. (N) MEDICAL CABINET, SCONCE AND VANITY
 5. (N) WALL TILE AND SHOWER FIXTURES
 6. (N) FLOOR TILE
 7. (N) TOILET
 8. (N) CLOSET ROD AND SHELVING
 9. (N) 32\"/>

- sheet notes:**
1. (N) PAINT AND CLEAN THROUGHOUT

LIGHT CALCULATIONS:

ROOM #	AREA (sq ft)	REQD (8%)	PROP.
MASTER BEDROOM 111	263	21.0	80

VENTILATION CALCULATIONS:

ROOM #	AREA (sq ft)	REQD (4%)	PROP.
MASTER BEDROOM 111	263	10.5	40

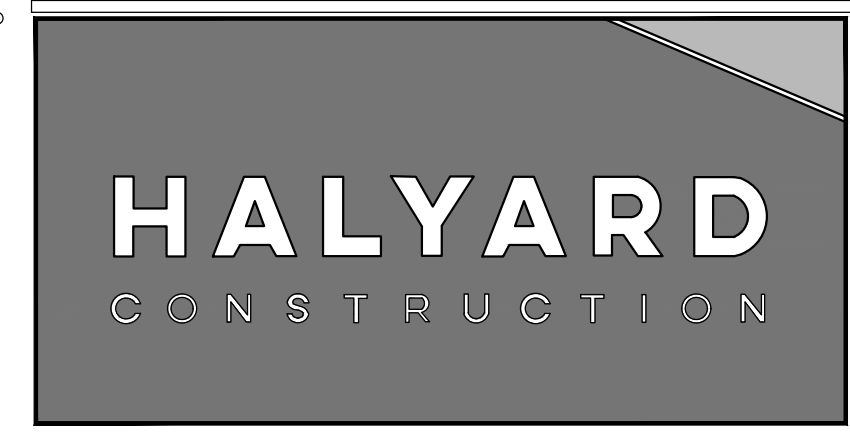
EXISTING WINDOW SCHEDULE:

#:	HT (in.)	WD (in.)	AREA (sq ft)	SILL HT. (in.)	OPERATION:	EERO
W101	26"	27"	4.9	56"	CASEMENT	-

EMERGENCY EGRESS RESCUE OPENING: D1
 OPERABLE WIDTH = 72"
 OPERABLE HEIGHT = 94"
 OPERABLE AREA = 94" (HT) X 72" (WD) = 6,768 SQ. IN.
 OPERABLE AREA = 6,768 SQ. IN. = **47 SQ. FT.**

NEW DOOR SCHEDULE:

DOOR #:	HT (in.)	WD (in.)	AREA (sq ft)	OPERATION:	MATERIAL
D1	94"	144"	110	GLASS NANA WALL	ALUMINIUM + GLASS



49 Powell St, 5t FL
 San Francisco, CA 94102
 415 590 3230

consultants _____
 project _____

scale @ 22"x34": 1/4" = 1'-0"
 file: 2 a201 demo_prop 2.dwg
 drawn by: DA, AS
 checked by: MW

client code: 2020-05-21
 project code: PERMIT SET

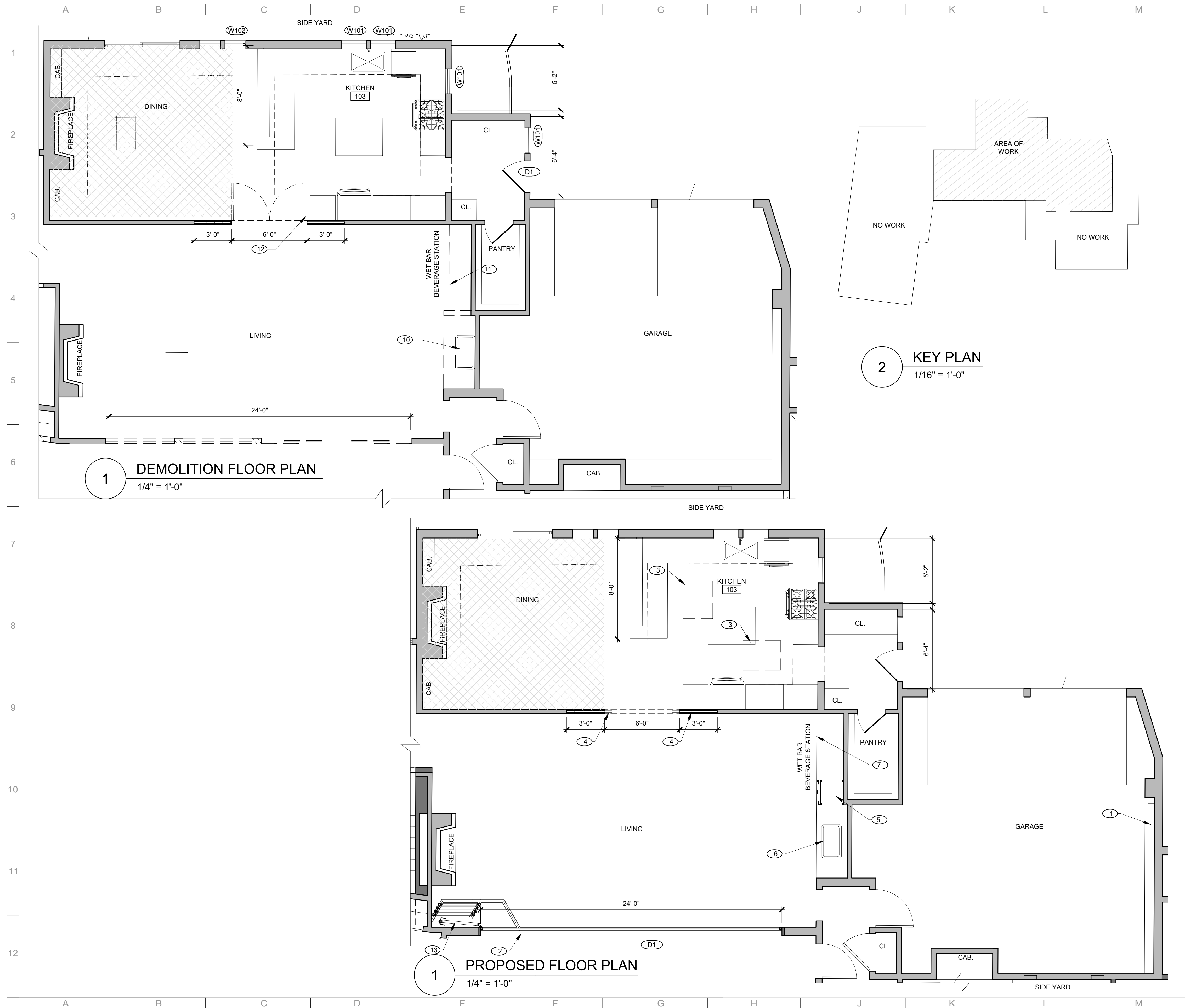
sheet title
 Demolition and Proposed
 First Level Floor Plans -
 Master Bedroom

scale 1/4" = 1'-0"

 north:
A201
22X34 v1.1 140805

2 Rosebank Lane
 Brewer Residence - Remodel
 APN: 074-051-21
 Kentfield, CA 94904

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- legend:**
- EXISTING TO REMAIN
 - PARTITION TO BE DEMOLISHED
 - NEW PARTITION
 - AREA OF WORK

- key notes:**
1. (N) 240 V, 60 AMP 240V, 60 AMP IN A SURFACE MOUNTED ELECTRICAL BOX IN THE GARAGE. 45" AFF. USE A MINIMUM 6 AWG, 90° C-RATED COPPER WIRE.
 2. (N) FLEETWOOD WITH 6X 4'-0" SLIDER PANELS.
 3. 2 X (N) TEMPERED GLASS, DOUBLE PANE SKYLIGHTS. 3' X 2.36'
 4. (N) POCKET DOOR
 5. (N) UNDER-COUNTER BEVERAGE REFRIGERATOR
 6. (N) 24" UNDERMOUNT SINK
 7. (N) QUARTZ COUNTERTOPS
 8. (E) CABINET, FIXTURES AND APPLIANCES TO REMAIN
 9. (E) DOOR TO REMAIN
 10. DEMOLISH (E) CABINET, FIXTURES AND APPLIANCES
 11. DEMOLISH (E) BUILT-IN CABINETS
 12. DEMOLISH (E) DOOR
 13. (N) FLEETWOOD PRODUCT - PLACE HOLDER

- sheet notes:**
1. (N) PAINT AND CLEAN THROUGHOUT

EXISTING WINDOW SCHEDULE:

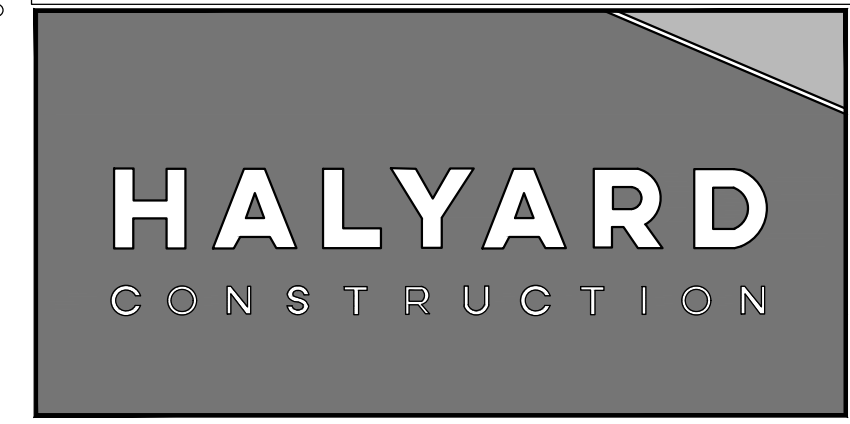
#:	HT (in.)	WD (in.)	AREA (sq ft)	SILL HT. (in.)	OPERATION:	EERO
W101	44"	24"	7.3	40"	CASEMENT	-
W102	50"	20"	6.9	32"	CASEMENT	-

EXISTING DOOR SCHEDULE:

DOOR #:	HT (in.)	WD (in.)	AREA (sq ft)	OPERATION:	MATERIAL
D1	82"	30"	17.1	IN-SWING	WOOD

PROPOSED DOOR SCHEDULE:

DOOR #:	HT (in.)	WD (in.)	AREA (sq ft)	OPERATION:	MATERIAL
D1	96"	288"	192	SLIDING	GLASS+ALUMINIUM



49 Powell St, 5t FL
San Francisco, CA 94102
415 590 3230

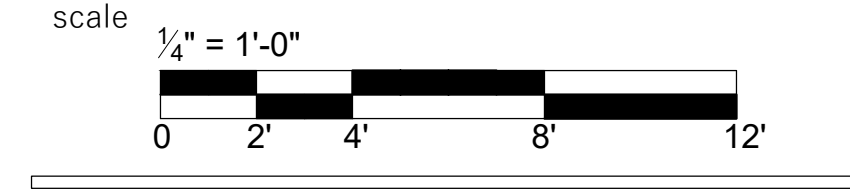
consultants
project

scale @ 22"x34": 1/4" = 1'-0"
file: 2 a202 demo_prop 3.dwg
drawn by: DA, AS
checked by: MW

client code: 2020-05-21
project code: PERMIT SET

2 Rosebank Lane
Brewer Residence - Remodel
APN: 074-051-21
Kentfield, CA 94904

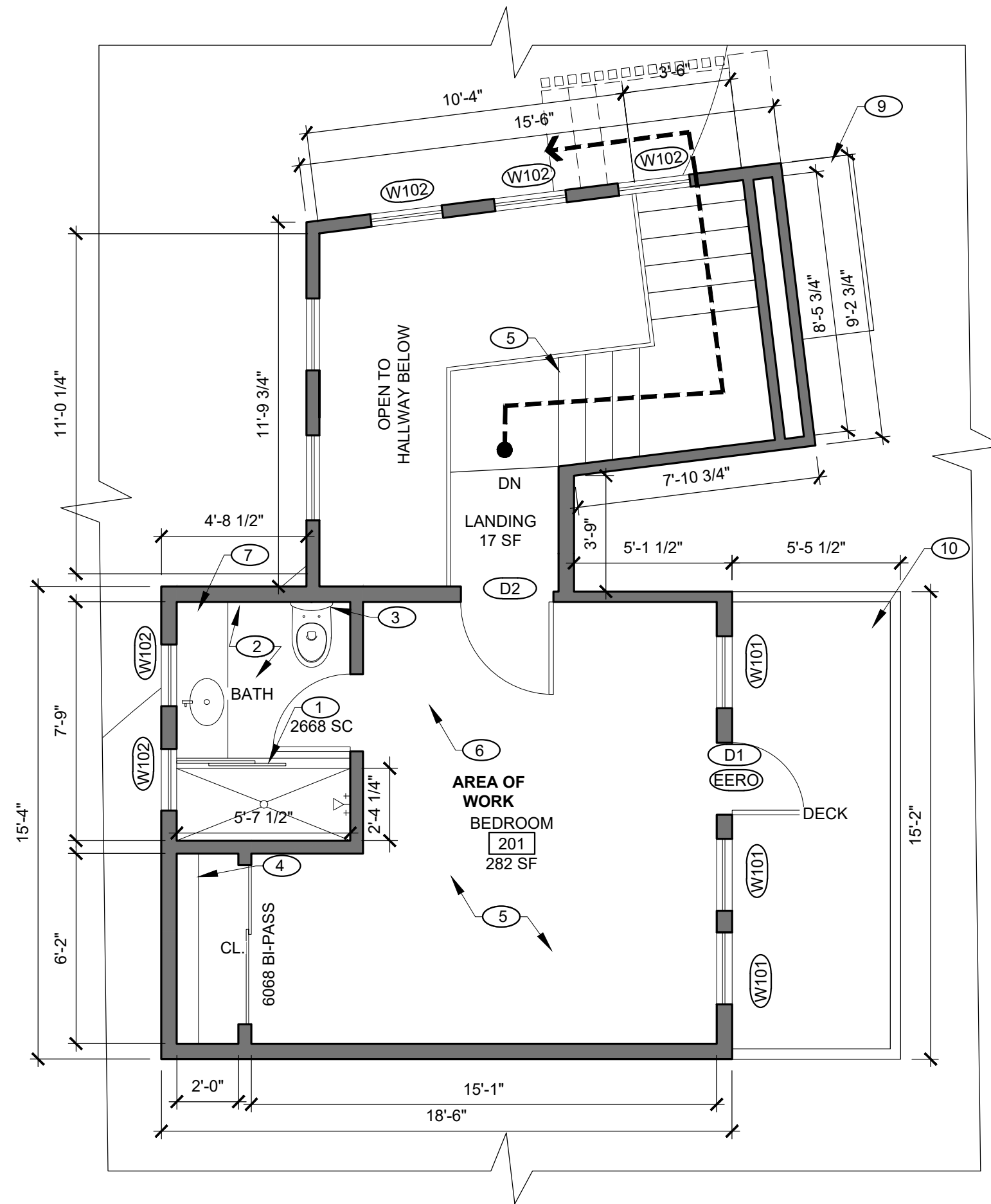
sheet title
Demolition & Proposed
First Level Floor Plan -
Garage, Kitchen & Wet bar,
Living, Dining



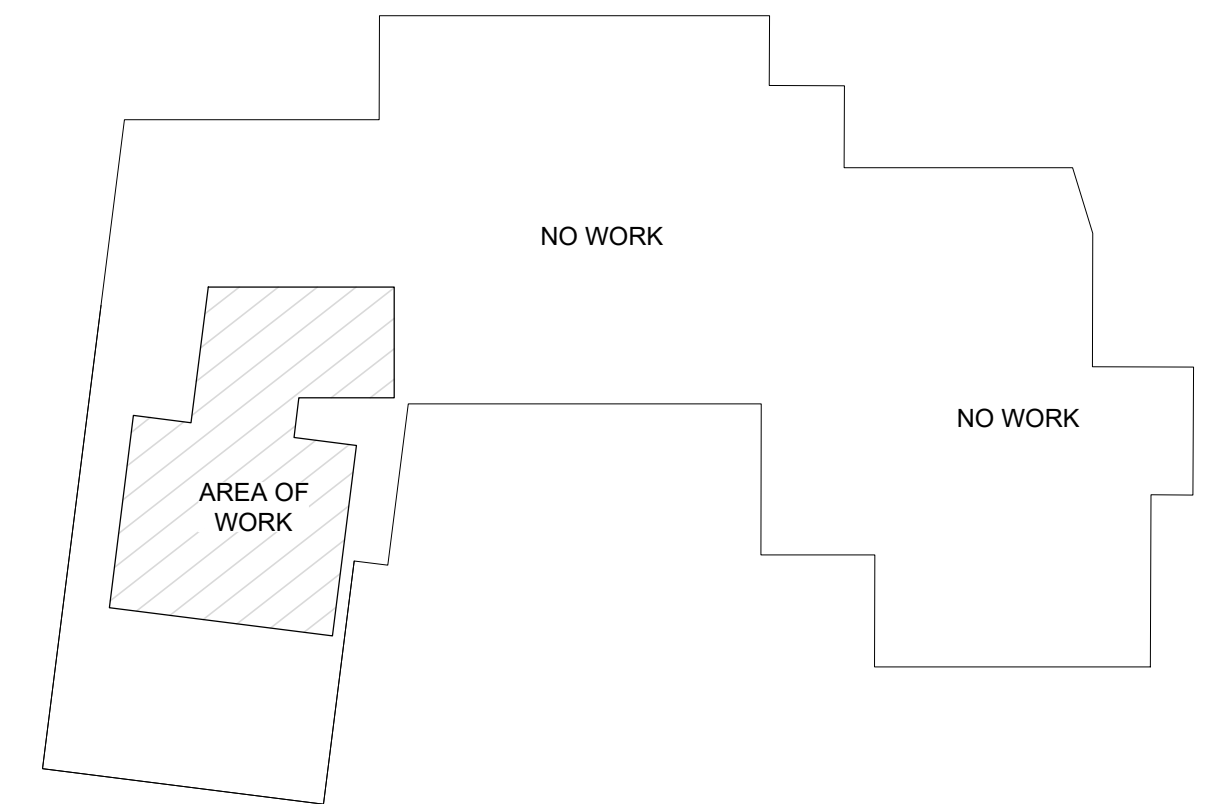
north:

A202

C:\Office\end\Drawn\2 Rosebank Lane\01_Working\PROJ_SHEETS\2 A203 DEMO_PROP 4.dwg - 22X34 - 5/21/2020 8:07 PM - 1/22/2014 5:22 PM AC



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



2 KEY PLAN
1/16" = 1'-0"

- legend:
- EXISTING TO REMAIN
 - PARTITION TO BE DEMOLISHED
 - NEW PARTITION
 - AREA OF WORK

- key notes:
1. (N) WALL TILE AND SHOWER FIXTURES
 2. (N) FLOOR TILE
 3. (N) TOILET
 4. (N) CLOSET ROD AND SHELVING
 5. (N) FLOORING THROUGHOUT (SPEC: TBD)
 6. (N) TEMPERED GLASS, DOUBLE PANE SKYLIGHT
 7. (N) MEDICAL CABINET, SCONCE AND VANITY
 8. (N) STAIRS
 9. (E) CHIMNEY TO BE EXTEND 3' ABOVE THE ROOF RIDGE
 10. (N) COMPOSITE DECKING

- sheet notes:
1. (N) PAINT AND CLEAN THROUGHOUT

LIGHT CALCULATIONS:

ROOM #	AREA (sq ft)	REQ'D (8%)	PROP.
BEDROOM 201	194	15.5	34.8

VENTILATION CALCULATIONS:

ROOM #	AREA (sq ft)	REQ'D (4%)	PROP.
BEDROOM 201	194	7.8	34.8

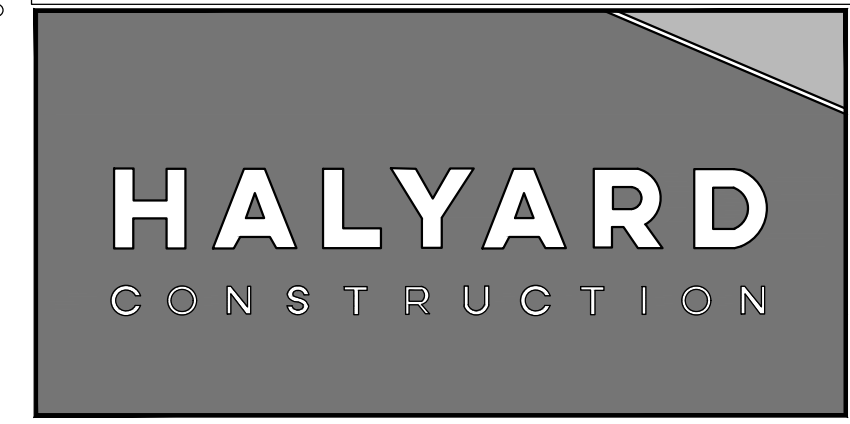
PROPOSED WINDOW SCHEDULE:

#	HT (in.)	WD (in.)	AREA (sq ft)	SILL HT. (in.)	OPERATION	EERO
W101	60"	28"	11.6	20"	CASEMENT	-
W102	12"	24"	2	68"	CASEMENT	-

EMERGENCY EGRESS RESCUE OPENING: D1
 OPERABLE WIDTH = 28"
 OPERABLE HEIGHT = 80"
 OPERABLE AREA = 80" (HT) X 28" (WD) = 2,240 SQ. IN.
 OPERABLE AREA = 2,240 SQ. IN. = **15.6 SQ. FT.**

PROPOSED DOOR SCHEDULE:

DOOR #	HT (in.)	WD (in.)	AREA (sq ft)	OPERATION	MATERIAL
D1	80"	28"	15.5	IN-SWING	WOOD
D2	80"	36"	20	IN-SWING	WOOD



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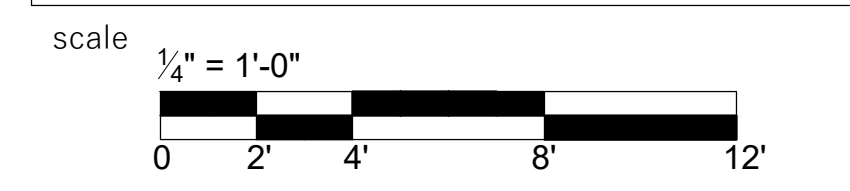
consultants project

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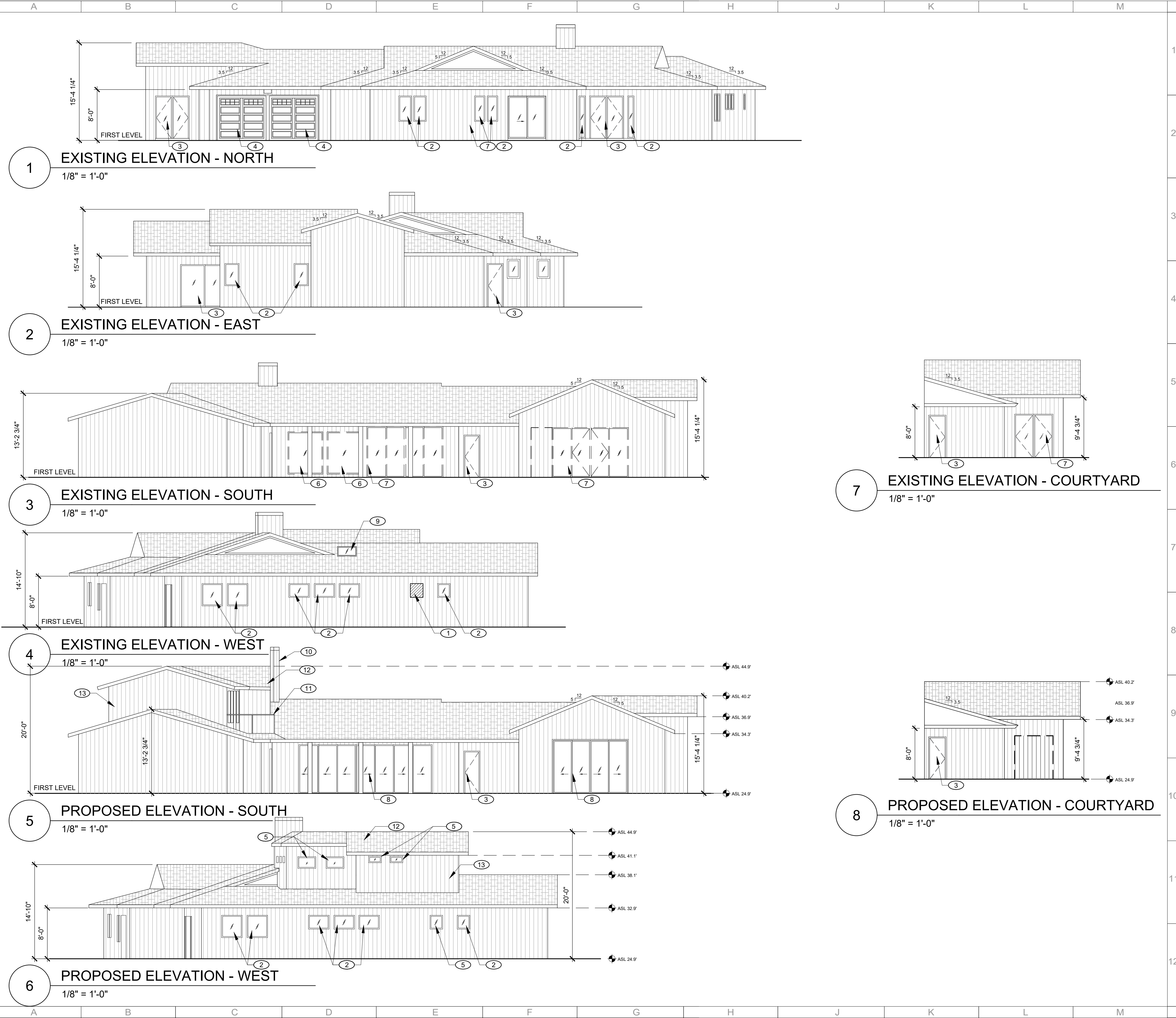
2 Rosebank Lane
 Brewer Residence - Remodel
 APN: 074-051-21
 Kentfield, CA 94904

sheet title
 Proposed Second Level
 Floor Plan - Bedroom, Bath
 & Staircase



north: **A203**

C:\Office\end\Drawn\2_Rosebank Lane\01_Working\PROJ_SHEETS\2_A300_ELEV E.dwg - 22X34 - 5/21/2020 8:08 PM - 1/22/2014 5:22 PM AC



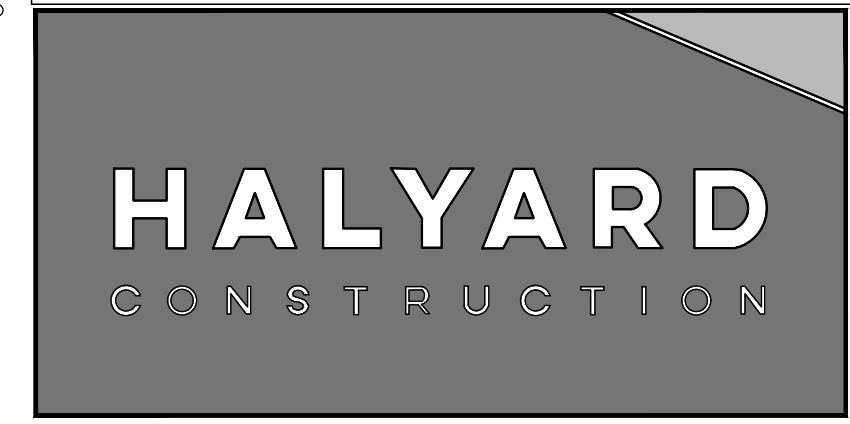
legend:

key notes:

1. DEMOLISH (E) WALL
2. (E) WINDOW TO REMAIN
3. (E) DOOR TO REMAIN
4. (E) GARAGE DOOR TO REMAIN
5. (N) VINYL WINDOWS, STYLE AND COLOR TO MATCH EXISTING.
6. DEMOLISH (E) WINDOW
7. DEMOLISH (E) DOOR
8. (N) SLIDING NANA WALL
9. (E) SKYLIGHT TO BE REMOVED
10. EXTEND (E) CHIMNEY TO 3FT ABOVE ROOF RIDGE. USE CEDAR, REDWOOD, OR MATCH EXISTING WOOD SPECIE. PAINT TO MATCH EXISTING.
11. COMPOSITE AND METAL RAILING. PAINTED WHITE WITH BLACK PICKETS
12. (N) ASPHALT SHINGLE ROOF TILES TO MATCH EXISTING MATERIAL
13. (N) VERTICAL SIDING ON EXTERIOR WALL. CEDAR, REDWOOD, OR MATCH EXISTING WOOD SPECIE. PAINT COLOR TO MATCH EXISTING SIDING.

sheet notes:

1. SEE A200 FOR WINDOW SCHEDULE



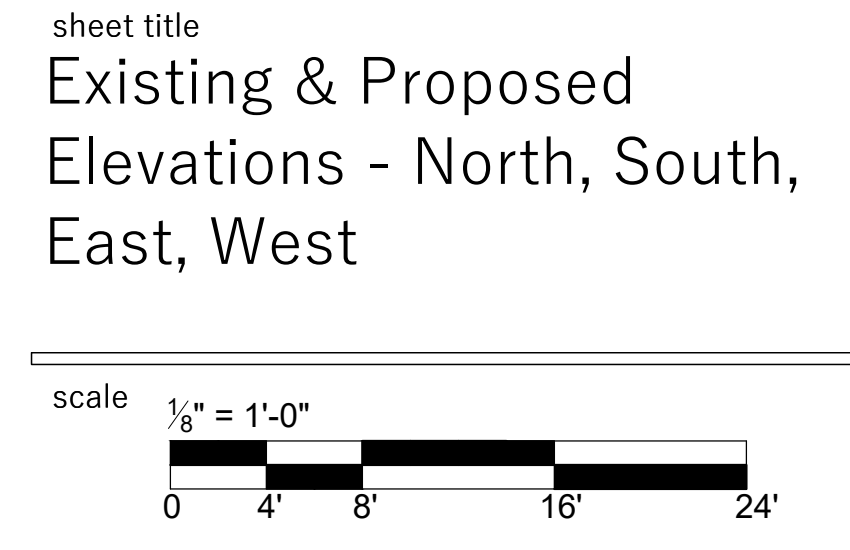
49 Powell St, 5t FL
 San Francisco, CA 94102
 415 590 3230

consultants project

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 drawn by: DA, AS
 checked by: MW

client code: 2020-05-21
 project code: PERMIT SET

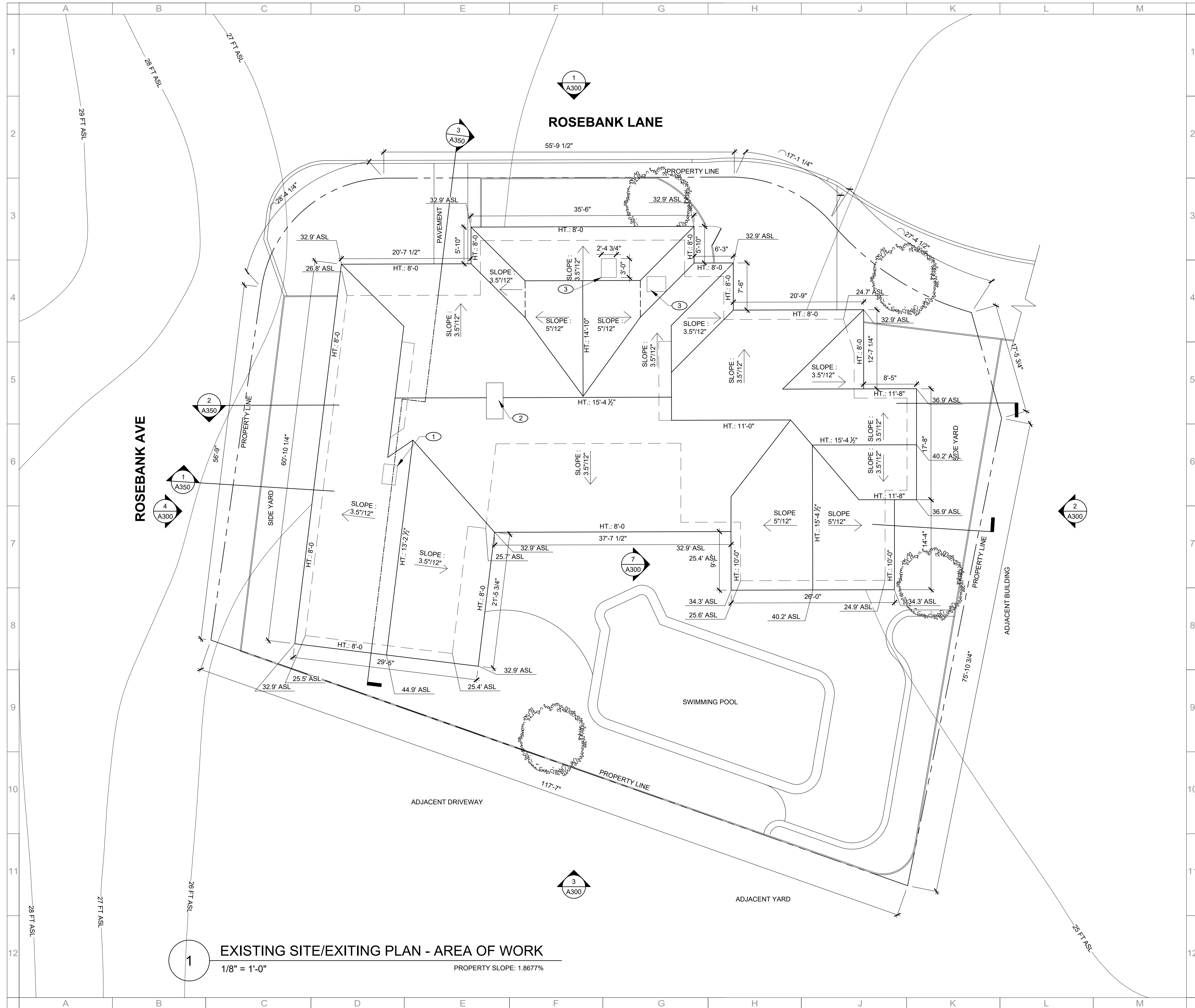
sheet title
 Existing & Proposed
 Elevations - North, South,
 East, West



2 Rosebank Lane
 Brewer Residence - Remodel
 APN: 074-051-21
 Kentfield, CA 94904

A300

C:\Office\end\Drawn\2 Rosebank Lane\01_Working\PROJ_SHEETS\2 A301_ROOF E.dwg - A100 - 5/21/2020 8:08 PM - 1/22/2014 5:22 PM AC

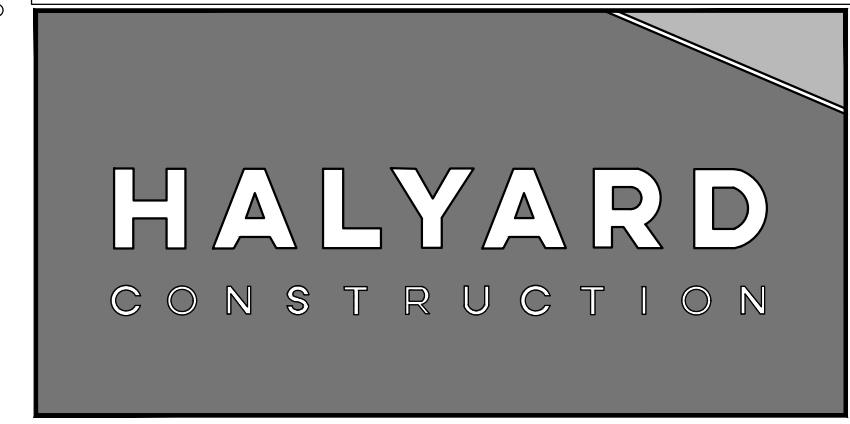


1 EXISTING SITE/EXITING PLAN - AREA OF WORK
 1/8" = 1'-0" PROPERTY SLOPE: 1.8677%

legend:
 — OUTLINE OF BLDG FOOTPRINT
 — OUTLINE OF ROOF

key notes:
 1. (E) SKYLIGHT TO REMAIN.
 2. (E) CHIMNEY TO REMAIN.
 3. DEMOLISH (E) ROOFING

sheet notes:



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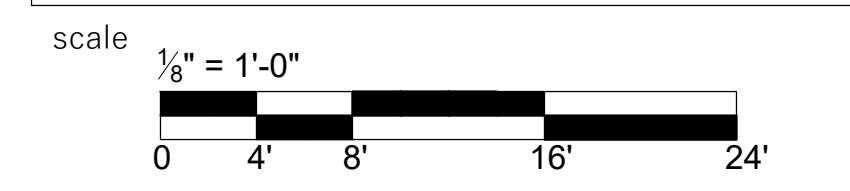
consultants project

scale @ 22"x34":
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 drawn by: DA, AS
 checked by: MW

client code:
 2020-05-21
 project code:
 PERMIT SET

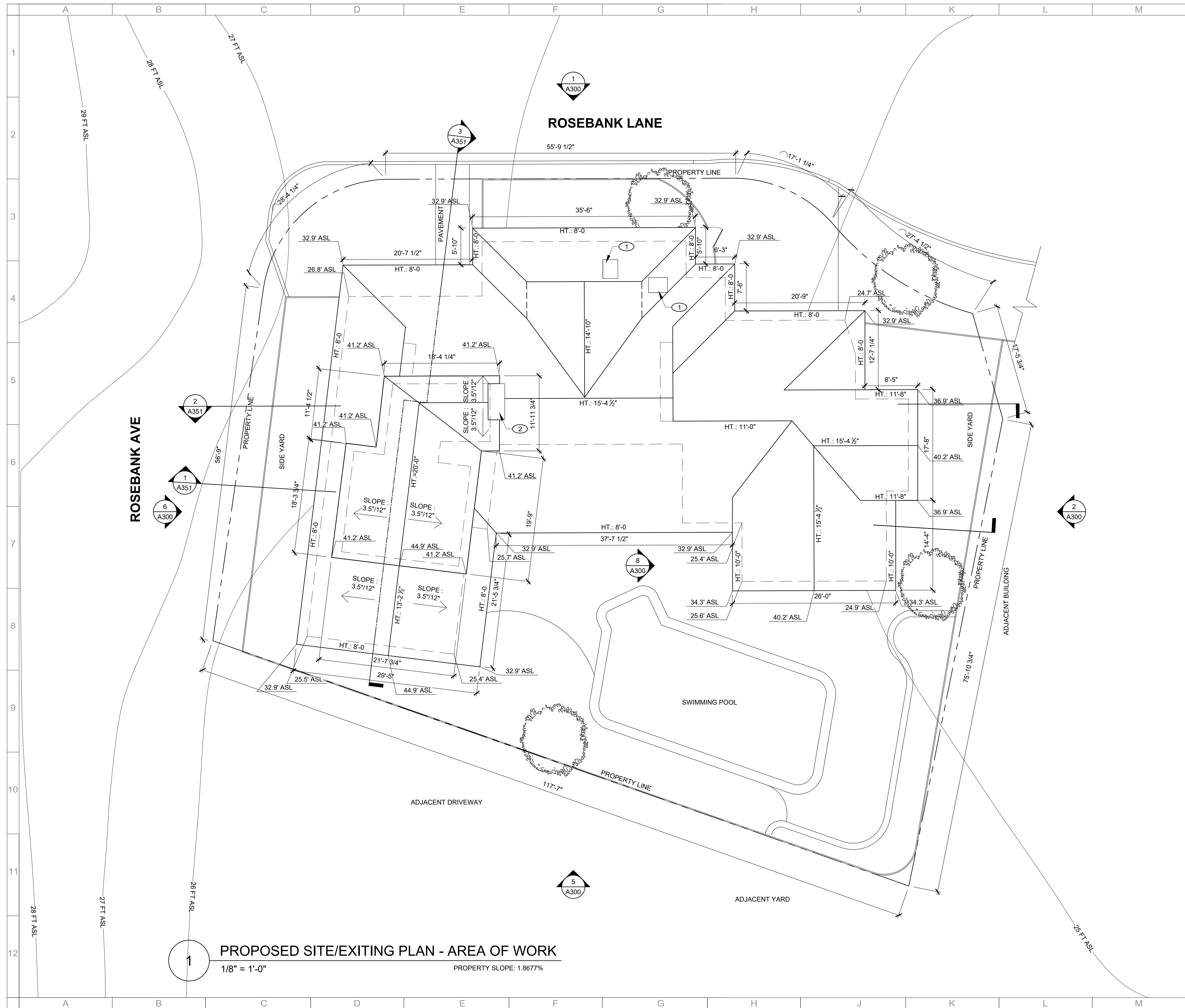
2 Rosebank Lane
 Brewer Residence - Remodel
 APN: 074-051-21
 Kentfield, CA 94904

sheet title
 Existing Roof Plan - Area
 Of Work



north: **A301**

C:\Office\end\Drawn\2 Rosebank Lane\01_Working\PROJ_SHEETS\2 A302 _ROOF P.dwg - A100 - 5/21/2020 8:08 PM - 1/22/2014 5:22 PM AC

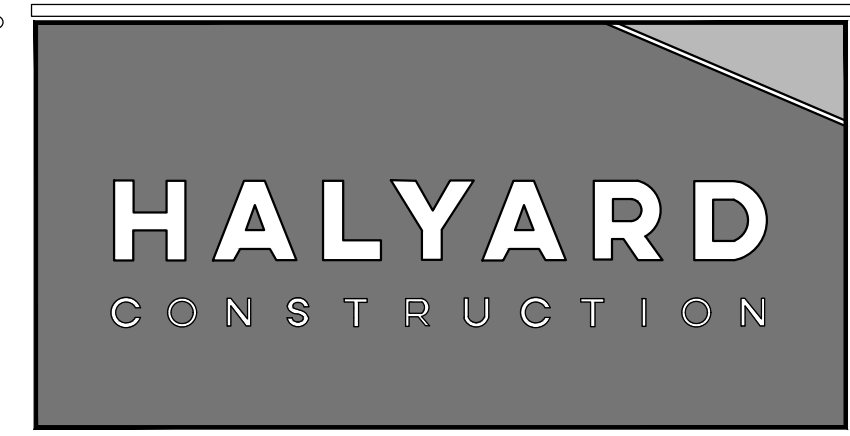


1 PROPOSED SITE/EXITING PLAN - AREA OF WORK
 1/8" = 1'-0"
 PROPERTY SLOPE: 1.8677%

legend:
 - - - - - OUTLINE OF BLDG FOOTPRINT
 _____ OUTLINE OF ROOF

key notes:
 1. (N) FIXED TEMPERED PANE SKYLIGHT. 22.5" X 46.8"
 2. (E) CHIMNEY

sheet notes:



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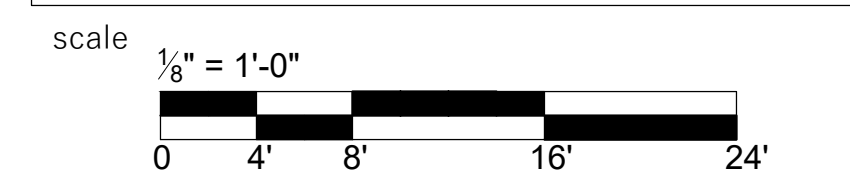
consultants project

scale @ 22"x34": 1/8" = 1'-0"
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client code: 2020-05-21
 project code: PERMIT SET

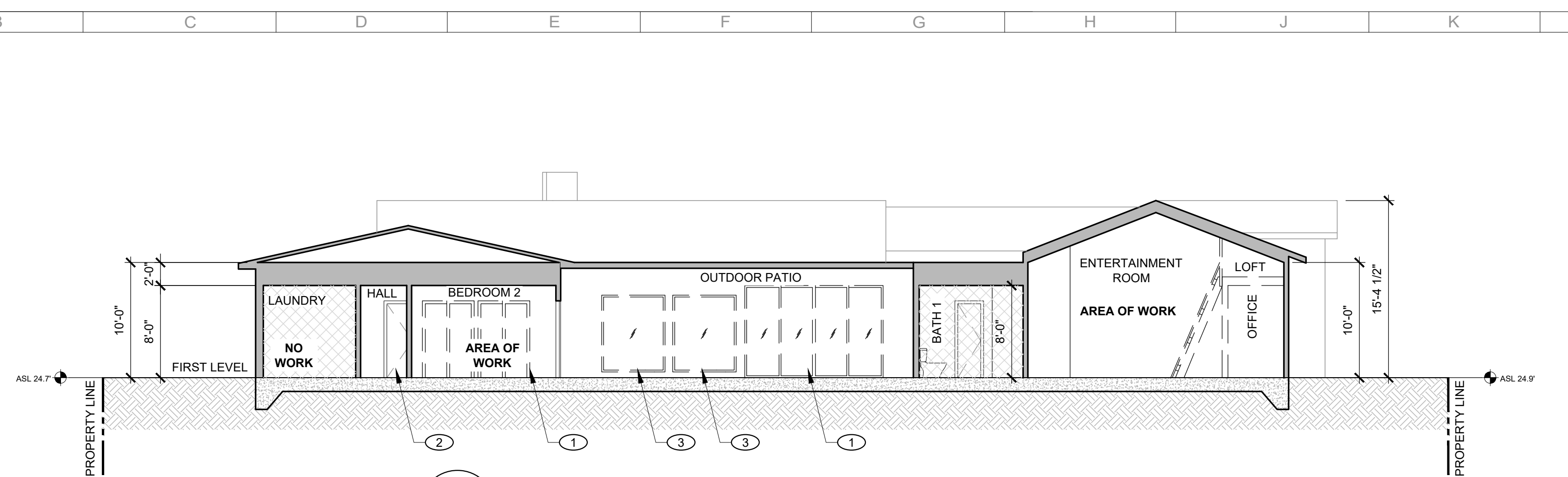
2 Rosebank Lane
 Brewer Residence - Remodel
 APN: 074-051-21
 Kentfield, CA 94904

sheet title
 Proposed Roof Plan - Area
 Of Work

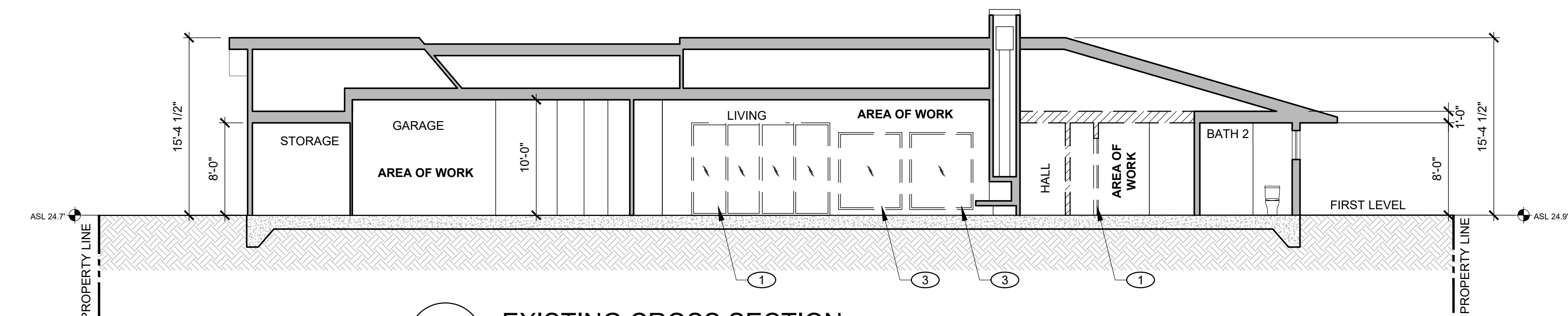


north: **A302**

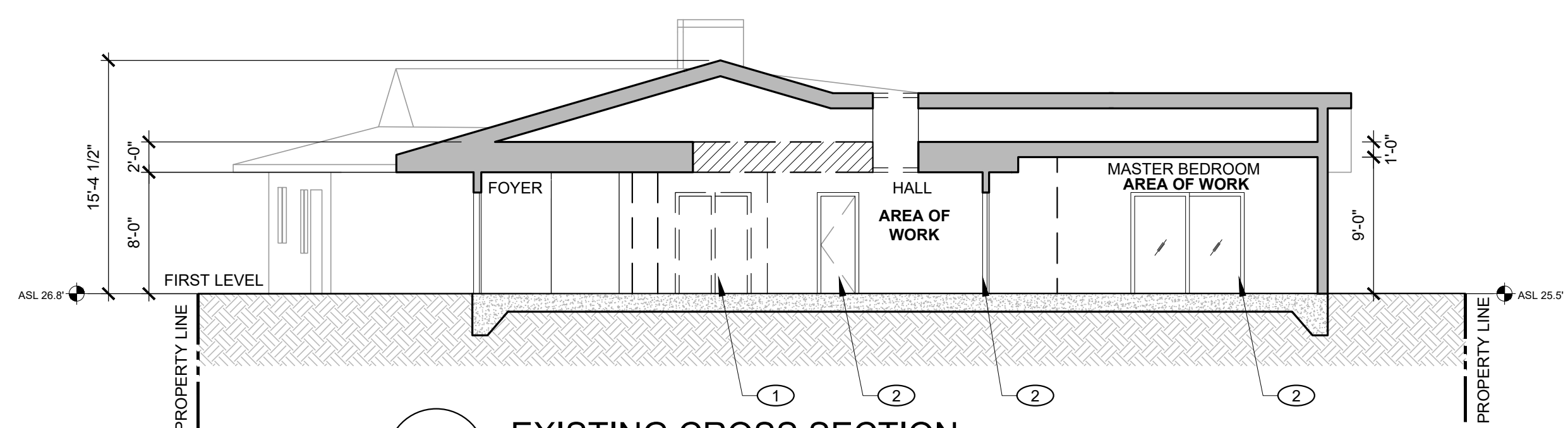
C:\Office\end\Drawn\2 Rosebank Lane\12 Working\PROJ_SHEETS\A350 SECTIONS E.dwg - 22X34 - 5/21/2020 8:08 PM - 1/22/2014 5:22 PM AC



1 EXISTING CROSS SECTION
1/8" = 1'-0"



2 EXISTING CROSS SECTION
1/8" = 1'-0"



3 EXISTING CROSS SECTION
1/8" = 1'-0"

- legend:
- EXISTING TO REMAIN
 - PARTITION TO BE DEMOLISHED
 - NEW PARTITION
 - UNITS NOT IN SCOPE

- key notes:
1. DEMOLISH (E) DOOR
 2. (E) DOOR TO REMAIN
 3. DEMOLISH (E) WINDOW

- sheet notes:
1. SEE A200 FOR WINDOW SCHEDULE



49 Powell St, 5t FL
San Francisco, CA 94102
415 590 3230

consultants project

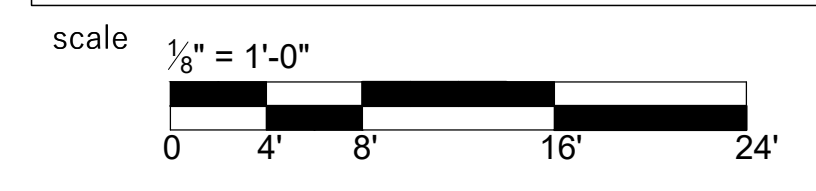
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file: 2 a350 sections e.dwg
drawn by: DA, AS
checked by: MW

client code:
2020-05-21

project code:
PERMIT SET

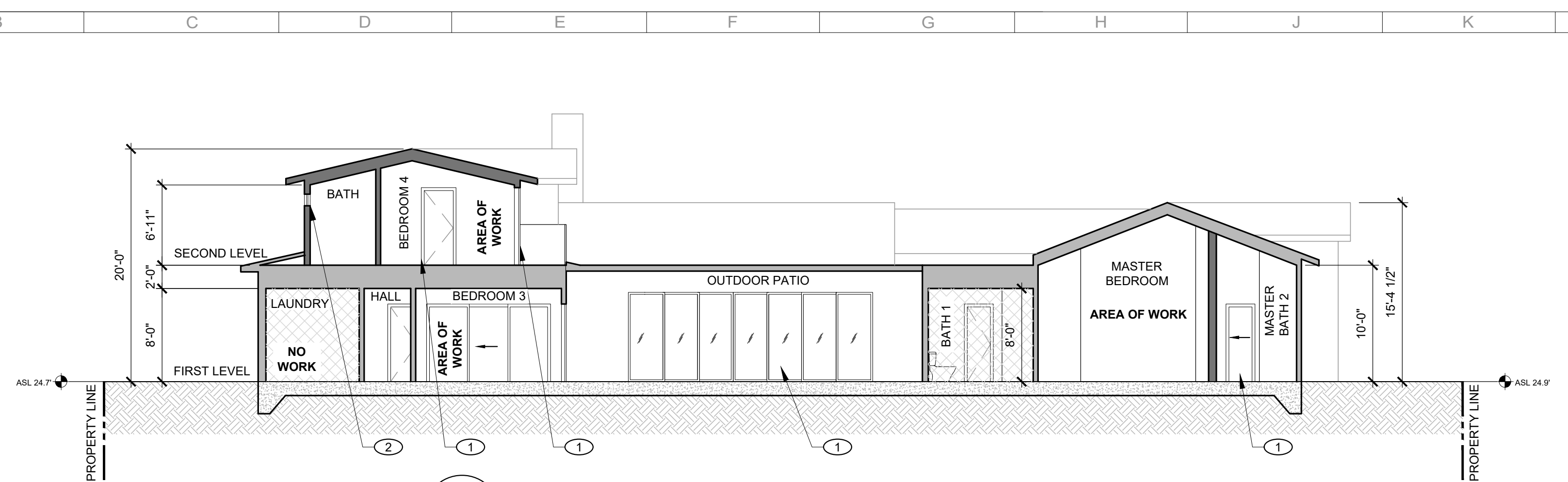
2 Rosebank Lane
Brewer Residence - Remodel
APN: 074-051-21
Kentfield, CA 94904

sheet title
Existing Cross Sections

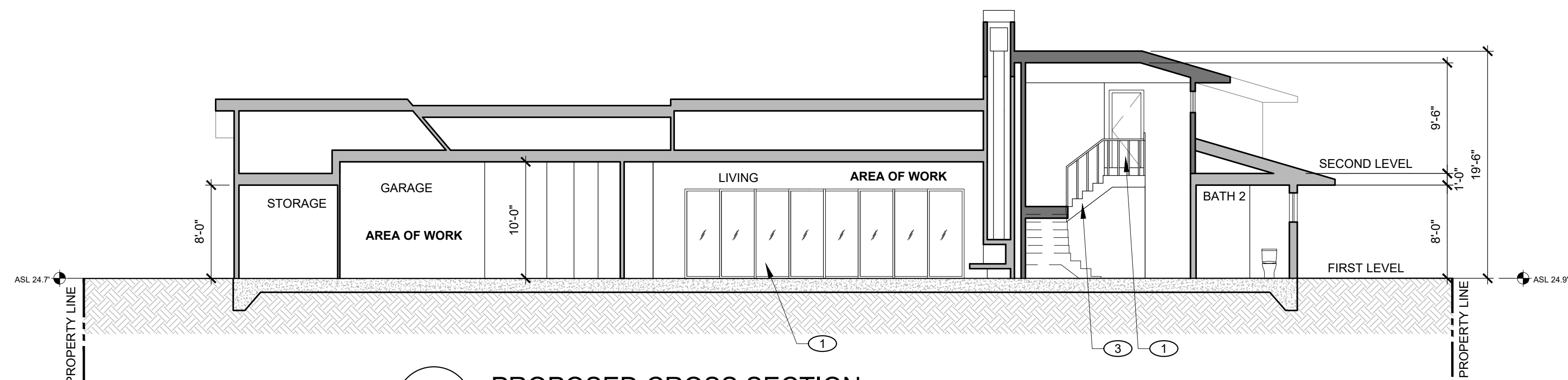


north:
A350

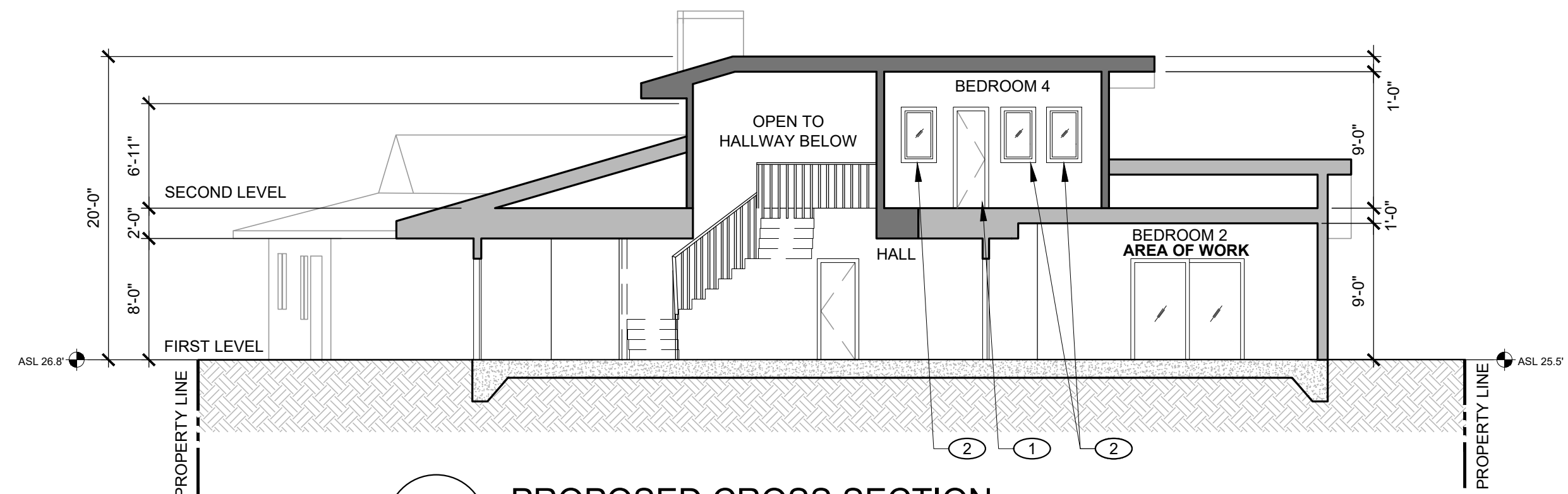
C:\Office\end\Drawn\2 Rosebank Lane\01_Working\PROJ_SHEETS\2 A351 SECTIONS P.dwg - 22X34 - 5/21/2020 8:08 PM - 1/22/2014 5:22 PM AC



1 PROPOSED CROSS SECTION
1/8" = 1'-0"



2 PROPOSED CROSS SECTION
1/8" = 1'-0"



3 PROPOSED CROSS SECTION
1/8" = 1'-0"

- legend:**
- EXISTING TO REMAIN
 - PARTITION TO BE DEMOLISHED
 - NEW PARTITION
 - UNITS NOT IN SCOPE

- key notes:**
1. (N) DOOR
 2. (N) WINDOW
 3. (N) STAIRCASE

- sheet notes:**
1. SEE A200 FOR WINDOW SCHEDULE



49 Powell St, 5t FL
San Francisco, CA 94102
415 590 3230

consultants project

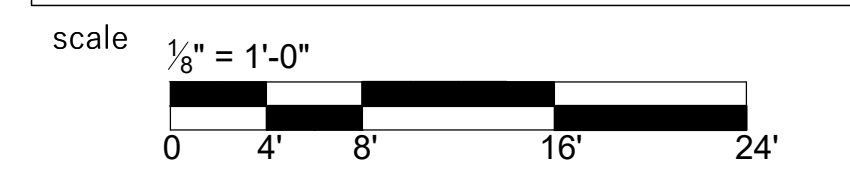
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file: 2 a351 sections p.dwg
drawn by: DA, AS
checked by: MW

client code:
2020-05-21

project code:
PERMIT SET

2 Rosebank Lane
Brewer Residence - Remodel
APN: 074-051-21
Kentfield, CA 94904

sheet title
Proposed Cross Sections



north:
A351

C:\Office\end\Bain2_Rosebank_Lane01_Working\PROJ_SHEETS\2_A400_RCP.dwg - 22X34 - 5/21/2020 8:08 PM - 1/22/2014 5:22 PM AC



EXHAUST VENTS: IN COMPLIANCE WITH ASHRAE 62.2, AND ENERGY COMPLIANCE MANUAL SECTION 4.6.5, 4.6.7, AND CALIFORNIA ENERGY CODE 150(C) EXISTING DUCTWORK & DUCT SIZE WILL ACCOMMODATE (N) EXHAUST FAN IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS PER CMC 303.1

BATHROOM: NEW BATHROOMS SHALL BE SUPPLIED WITH A DEMAND CONTROLLED EXHAUST FAN CONTROLLED BY A HUMIDISTAT WHICH SHALL NOT BE INSTALLED LESS THAN 3FT HORIZONTALLY FROM OPENING OF BATHROOM. MINIMUM VENTILATION RATE OF 50 CFM (ASHRAE 62.2 TABLE 5-1), HAVE A 4" DIAMETER RIGID/FLEXI DUCT (TABLE 5-3) AND MAX. OF 3 SONES (7.2). RATING MUST BE BASED ON A WATER COLUMN OF .25 OR GREATER. SEE FAN SPEC SHEET ON M001. TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

- legend:**
- EXISTING TO REMAIN
 - NEW PARTITION
 - SMOKE DETECTOR/ CARBON MONOXIDE DETECTOR - HARD WIRED WITH BATTERY BACK-UP
 - (N) HIGH EFFICACY CEILING MOUNTED LIGHT
 - (N) HIGH EFFICACY RECESSED CEILING LIGHT
 - (N) HIGH EFFICACY PENDANT LIGHT
 - (N) LED BACKLIT MIRROR
 - (N) UNDER CABINET LED TAPE LIGHT
 - (N) SENSOR ACTIVATED LED CLOSET LIGHT
 - (N) DUPLEX WALL OUTLET (TAMPER-RESISTANT)
 - (N) DOUBLE DUPLEX OUTLET (TAMPER-RESISTANT)
 - (N) DEDICATED DUPLEX WALL OUTLET 20 AMP BRANCH CIRCUIT (TAMPER-RESISTANT)
 - DATA PORT
 - SWITCH
 - DIMMER SWITCH, CONNECTING WITH OCCUPANCY SENSOR ON THE CEILING
 - MANUAL-ON, OCCUPANCY SENSOR SWITCH
 - DIMMER SWITCH W/ MANUAL-ON OCCUPANCY SENSOR
 - DOORBELL
 - (N) CEILING MOUNTED OCCUPANCY SENSOR.

key notes: #

1. KEEP EXISTING BATHROOM VENT

- sheet notes:**
- A. IN BATHROOMS:**
- ONLY INSTALL GFCI (GROUND FAULT CURRENT INTERRUPTER) TAMPER-RESISTANT RECEPTACLES.
 - THERE MUST BE A RECEPTACLE WITHIN 3 FEET OF THE OUTSIDE EDGE OF SINK BASIN.
 - RECEPTACLES MUST BE ON AT LEAST ONE SEPARATE 20 AMP. BRANCH CIRCUIT.
 - WATER CLOSET'S MAXIMUM FLOW RATE IS 1.28 GALLONS PER FLUSH. SHOWERHEAD'S MAX FLOW RATE IS 1.8 GALLONS PER MINUTE. LAVATORY FAUCET'S MAX FLOW RATE IS 1.2 GALLONS PER MINUTE.
 - TOILET ROOMS, WHICH ARE NOT EQUIPPED WITH A WINDOW THAT PROVIDES A VENTILATION OPENING OF AT LEAST 1.5 SQUARE FEET, SHALL BE PROVIDED WITH MECHANICAL VENTILATION WITH AN EXHAUST CAPACITY OF AT LEAST 50 CUBIC FEET PER MINUTE. [CRC §303.3]
 - BATHROOM EXHAUST FAN WILL BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
 - BATH FAN: MIN 1 CFM PER 1 SF (SPEC'D 110 CFM)
- B. IN ALL ROOMS**
- WALL RECEPTACLES EVERY 12 FEET.
 - RECEPTACLES ON ANY WALL SPACE MORE THAN 24 INCH WIDE. HALLWAYS MORE THAN 10 FEET MUST HAVE AT LEAST ONE RECEPTACLE.
 - 15 AMP CIRCUITS FOR GENERAL ROOMS.
 - ALL NEW OR EXPOSED HOT WATER SUPPLY PIPING 3/4" AND GREATER SHALL BE INSULATED (CEC 150.0)
 - IN UNITS WHERE MORE THAN ONE ALARM IS REQUIRED, ALL ALARMS WITHIN UNIT SHALL BE INTERCONNECTED.
 - ALL 125-VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED WITHIN THE LAUNDRY AREA AND 6' OF KITCHEN SINK TO BE GFCI PROTECTED.
 - ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH CBEES 150.0(K)TABLE 150.0-A.
 - ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX J.A8, EXCEPT HALLWAYS AND CLOSETS OVER 70 SF, SHALL BE CONTROLLED BY DIMMERS OR VACANCY SENSORS. (THIS APPLIES TO ALL GU-24 LEDS AND RECESSED LUMINAIRES.) CBEES 150.0(K)2K
 - IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
- C. DECK/OUTDOOR :**
- OUTDOOR LIGHTING: ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.
 - ALL RECEPTACLES MUST BE GFCI & WEATHERPROOF PER CEC 406.9(A), CEC210.8
- MECHANICAL:**
- GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC 802.6, THROUGH WALL VENT TERMINATION.
 - COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7
 - ENVIRONMENTAL AIR DUCTS SHALL TERMINATE 3 FEET FROM THE PROPERTY LINE AND 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC 502.2 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1. EXHAUST SHALL NOT DISCHARGE ONTO PUBLIC WALKWAY
 - DOMESTIC RANGE HOOD VENTS SHALL MEET REQUIREMENTS OF CMC 504.3 & COMPLY WITH CMC TABLE 403.7
 - ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1
 - CLOTHES DRYER EXHAUST SHALL BE A MINIMUM 4 INCHES, TERMINATE TO OUTSIDE OF THE BUILDING, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER, AND MEET THE REQUIREMENTS OF CMC 504.4.2.1 & 504.1.1. PROVIDE 100 SQ INCH MINIMUM MAKE-UP AIR OPENING FOR DOMESTIC DRYERS.
 - DIRECT APPLIANCES PER CMC 802.2.4 (PER MANUFACTURER'S INSTALLATION INSTRUCTIONS) AND SFMC 802.2.4
 - STEEL DUCTS NOT LESS THAN 0.019 INCHES IN THICKNESS AND NO OPENINGS IN GARAGE PER CBC 406.3.4.3
 - 26 GAUGE DUCT IN GARAGE
 - LIGHTING PER CEC 150.0(K), CEC TABLE 150.0-A & CEC 410.10 (D)
 - MAINTAIN RATED SEPARATION BETWEEN DWELLING UNITS PER CBC 420.3 (HORIZONTAL) AND CBC 420.2 (SEPARATION WALLS). PENETRATIONS THROUGH HORIZONTAL ASSEMBLIES SHALL COMPLY WITH CBC 717.6
 - PROVIDE A MINIMUM 200 SQ INCH VENTILATION OUTLET IN THE GARAGE WALLS OR EXTERIOR DOORS PER SFBC 406.3.7.
 - BATHROOM VENT PER CMC 402.5.
 - COMBINATION SMOKE & CARBON MONOXIDE ALARM IN EACH ROOM HARDWIRED WITH BATTERY BACKUP.

HALYARD CONSTRUCTION

49 Powell St, 5t FL
San Francisco, CA 94102
415 590 3230

consultants project

scale @ 22"x34": 1/4" = 1'-0"
file: 2 a400 rcp.dwg checked by: MW
drawn by: DA, AS

client code: 2020-05-21
project code: PERMIT SET

sheet title
Proposed Reflected Ceiling Plan and Power and Data Plan

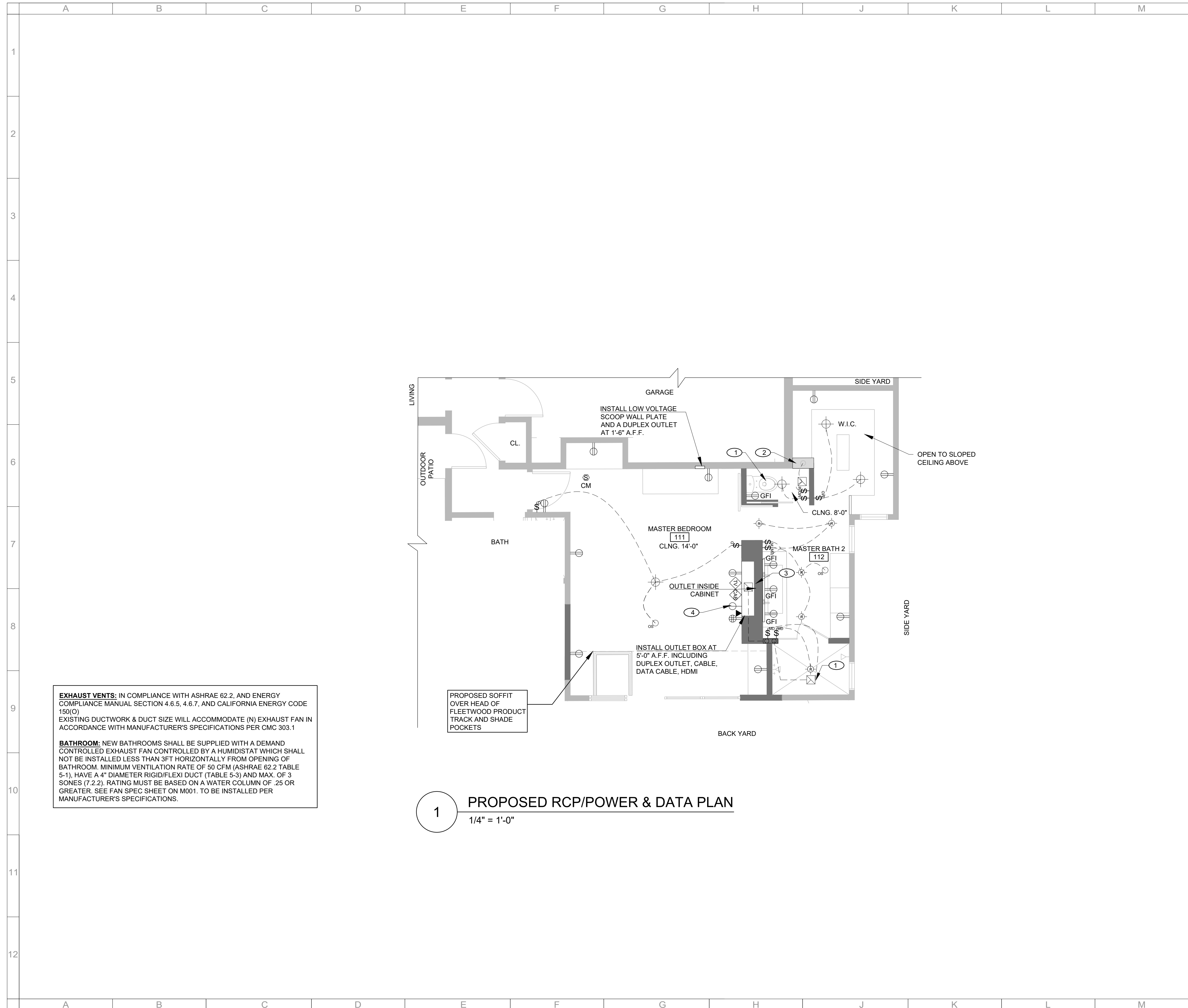
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north:

A400

22X34: v1.1 140805

2 Rosebank Lane
Brewer Residence - Remodel
APN: 074-051-21
Kentfield, CA 94904



EXHAUST VENTS: IN COMPLIANCE WITH ASHRAE 62.2, AND ENERGY COMPLIANCE MANUAL SECTION 4.6.5, 4.6.7, AND CALIFORNIA ENERGY CODE 150.0) EXISTING DUCTWORK & DUCT SIZE WILL ACCOMMODATE (N) EXHAUST FAN IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS PER CMC 303.1

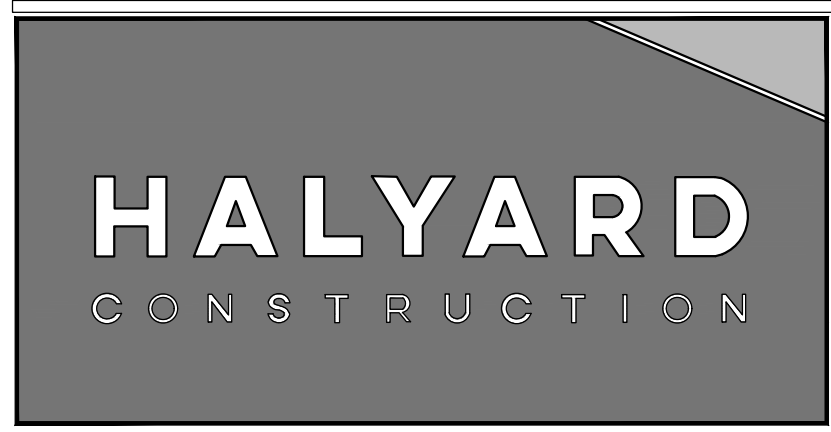
BATHROOM: NEW BATHROOMS SHALL BE SUPPLIED WITH A DEMAND CONTROLLED EXHAUST FAN CONTROLLED BY A HUMIDISTAT WHICH SHALL NOT BE INSTALLED LESS THAN 3FT HORIZONTALLY FROM OPENING OF BATHROOM. MINIMUM VENTILATION RATE OF 50 CFM (ASHRAE 62.2 TABLE 5-1), HAVE A 4" DIAMETER RIGID/FLEXI DUCT (TABLE 5-3) AND MAX. OF 3 SONES (7.2.2). RATING MUST BE BASED ON A WATER COLUMN OF .25 OR GREATER. SEE FAN SPEC SHEET ON M001. TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

1 PROPOSED RCP/POWER & DATA PLAN
1/4" = 1'-0"

- legend:**
- EXISTING TO REMAIN
 - NEW PARTITION
 - SMOKE DETECTOR/ CARBON MONOXIDE DETECTOR - HARD WIRED WITH BATTERY BACK-UP
 - (N) HIGH EFFICACY CEILING MOUNTED LIGHT
 - (N) HIGH EFFICACY RECESSED CEILING LIGHT
 - (N) HIGH EFFICACY PENDANT LIGHT
 - (N) LED BACKLIT MIRROR
 - (N) UNDER CABINET LED TAPE LIGHT
 - (N) SENSOR ACTIVATED LED CLOSET LIGHT
 - (N) DUPLEX WALL OUTLET (TAMPER-RESISTANT)
 - (N) DOUBLE DUPLEX OUTLET (TAMPER-RESISTANT)
 - (N) DEDICATED DUPLEX WALL OUTLET 20 AMP BRANCH CIRCUIT (TAMPER-RESISTANT)
 - DATA PORT
 - SWITCH
 - DIMMER SWITCH, CONNECTING WITH OCCUPANCY SENSOR ON THE CEILING
 - MANUAL-ON, OCCUPANCY SENSOR SWITCH
 - DIMMER SWITCH W/ MANUAL-ON OCCUPANCY SENSOR
 - DOORBELL
 - (N) CEILING MOUNTED OCCUPANCY SENSOR.

- key notes:** (#)
1. PROVIDE NEW EXHAUST REGISTER TO COMPLY WITH ASHRAE 62.2, SEE A504 FOR SPECIFICATIONS. (N) VENT, MIN 3'-0" CLEAR OF OPERABLE WINDOWS AND PROPERTY LINE. VENT TO ROOF. VIA (N) CHASE. SEE DETAIL 3/A502
 2. (N) CHASE FOR TOILET VENT
 3. (N) BACKLIT MIRROR
 4. (N) DEDICATED LINE FOR (N) VENTLESS GAS FIREPLACE

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 6. BATHROOM EXHAUST FAN WILL BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
 7. BATH FAN: MIN 1 CFM PER 1 SF (SPEC'D 110 CFM)
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 3. 15 AMP CIRCUITS FOR GENERAL ROOMS.
 4. ALL NEW OR EXPOSED HOT WATER SUPPLY PIPING 3/4" AND GREATER SHALL BE INSULATED [CEC 150.0]
 5. IN UNITS WHERE MORE THAN ONE ALARM IS REQUIRED, ALL ALARMS WITHIN UNIT SHALL BE INTERCONNECTED.
 6. ALL 125-VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED WITHIN THE LAUNDRY AREA AND 6' OF KITCHEN SINK TO BE GFCI PROTECTED.
 7. ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH CBEES 150.0(K)TABLE 150.0-A
 8. ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8, EXCEPT HALLWAYS AND CLOSETS OVER 70 SF, SHALL BE CONTROLLED BY DIMMERS OR VACANCY SENSORS. (THIS APPLIES TO ALL GU-24 LEDS AND RECESSED LUMINAIRES.) CBEES 150.0(K)2K
 9. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
- C. DECK/OUTDOOR:**
1. OUTDOOR LIGHTING: ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.
 2. ALL RECEPTACLES MUST BE GFCI & WEATHERPROOF PER CEC 406.9(A), CEC210.8
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 5. ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE HEATING PER CBC 1204.1
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 9. 26 GAUGE DUCT IN GARAGE
 10. LIGHTING PER CEC 150.0(K),CEC TABLE 150.0-A & CEC 410.10 (D).
 11. MAINTAIN RATED SEPARATION BETWEEN DWELLING UNITS PER CBC 420.3 (HORIZONTAL) AND CBC 420.2 (SEPARATION WALLS). PENETRATIONS THROUGH HORIZONTAL ASSEMBLIES SHALL COMPLY WITH CBC 417.6
 12. PROVIDE A MINIMUM 200 SQ INCH VENTILATION OUTLET IN THE GARAGE WALLS OR EXTERIOR DOORS PER SFBC 406.3.7.
 13. BATHROOM VENT PER CMC 402.5
 14. COMBINATION SMOKE & CARBON MONOXIDE ALARM IN EACH ROOM HARDWIRED WITH BATTERY BACKUP.



49 Powell St, 5t FL
San Francisco, CA 94102
415 590 3230

consultants
project

scale @ 22"x34": 1/4" = 1'-0"
file: 2 a401 rcp.dwg
drawn by: DA, AS
checked by: MW

client code: 2020-05-21
project code: PERMIT SET

sheet title
Proposed Reflected Ceiling Plan and Power and Data Plan

scale 1/4" = 1'-0"
0 2' 4' 8' 12'

north:

A401

22X34: v1.1 140805

2 Rosebank Lane
Brewer Residence - Remodel
APN: 074-051-21
Kentfield, CA 94904

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1 PROPOSED RCP/POWER & DATA PLAN
1/4" = 1'-0"

- legend:**
- EXISTING TO REMAIN
 - NEW PARTITION
 - SMOKE DETECTOR/ CARBON MONOXIDE DETECTOR - HARD WIRED WITH BATTERY BACK-UP
 - (N) HIGH EFFICACY CEILING MOUNTED LIGHT
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- key notes:**
- (N) SKYLIGHT W/ 7 SQ. FT. OF TEMPERED, DOUBLE PANE GLAZING. PROVIDE ONE (1) 36" X 28 3/4" FIXED
 - (N) WALL CHARGER AND DEDICATED LINE

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49 Powell St, 5t FL
San Francisco, CA 94102
415 590 3230

consultants	project
scale @ 22"x34": 1/4" = 1'-0"	checked by: MW
file: 2 a402 rcp.dwg	drawn by: DA, AS
client code: 2020-05-21	
project code: PERMIT SET	

2 Rosebank Lane
Brewer Residence - Remodel
APN: 074-051-21
Kentfield, CA 94904

sheet title

Proposed Reflected Ceiling
Plan and Power and Data
Plan

scale 1/4" = 1'-0"

north:

A402

22X34: v1.1 140805

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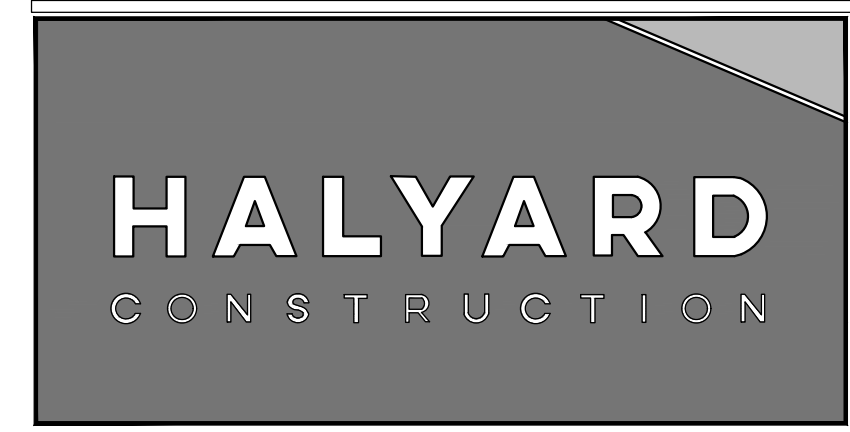


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1/4" = 1'-0"

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49 Powell St, 5t FL
San Francisco, CA 94102
415 590 3230

consultants project

scale @ 22"x34": 1/4" = 1'-0"
file: 2 a403 rcp.dwg
drawn by: DA, AS
checked by: MW

client code: 2020-05-21
project code: PERMIT SET

sheet title
Proposed Reflected Ceiling
Plan and Power and Data
Plan - Second Floor

scale 1/4" = 1'-0"

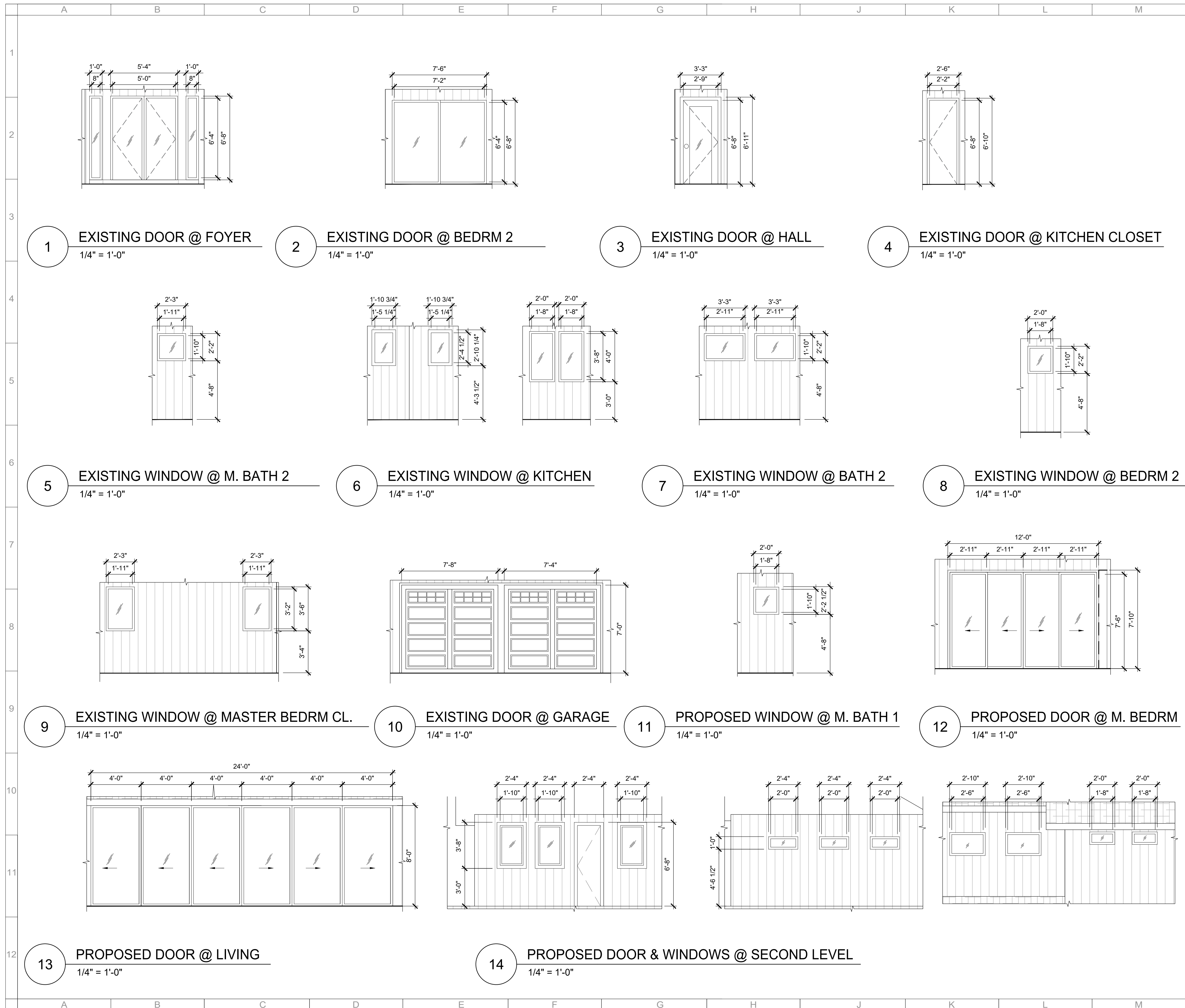
north:

A403

22X34 v1.1 140805

2 Rosebank Lane
Brewer Residence - Remodel
APN: 074-051-21
Kentfield, CA 94904

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legend:

key notes:

sheet notes:

scale @ 22"x34": 1/4" = 1'-0"

file: checked by: MW

drawn by: DA, AS

client code: 2020-05-21

project code: PERMIT SET

sheet title: Existing & Proposed Doors & Windows (At Exterior Only)

scale: 1/4" = 1'-0"

north:

22X34: v1.1 140805

HALYARD
CONSTRUCTION

49 Powell St, 5t FL
San Francisco, CA 94102
415 590 3230

consultants

project

2 Rosebank Lane
Brewer Residence - Remodel
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A500