

AMG & ASSOCIATES

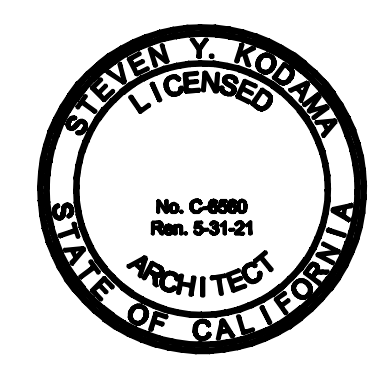
825 DRAKE AVENUE (MULTI FAMILY HOUSING)

825 DRAKE AVENUE, MARIN CITY, CA 94965



ARCHITECTS

KODAMA DISEÑO
Architects & Planners
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**825 DRAKE AVENUE
MULTI FAMILY HOUSING**
825 DRAKE AVENUE
MARIN CITY, CA 94965

PROGRESS SET

COVER SHEET

No.	DATE	DESCRIPTION	BY	CHK
4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

SCALE: N.T.S. SHEET: **G1**
KD PROJ. NO. ###



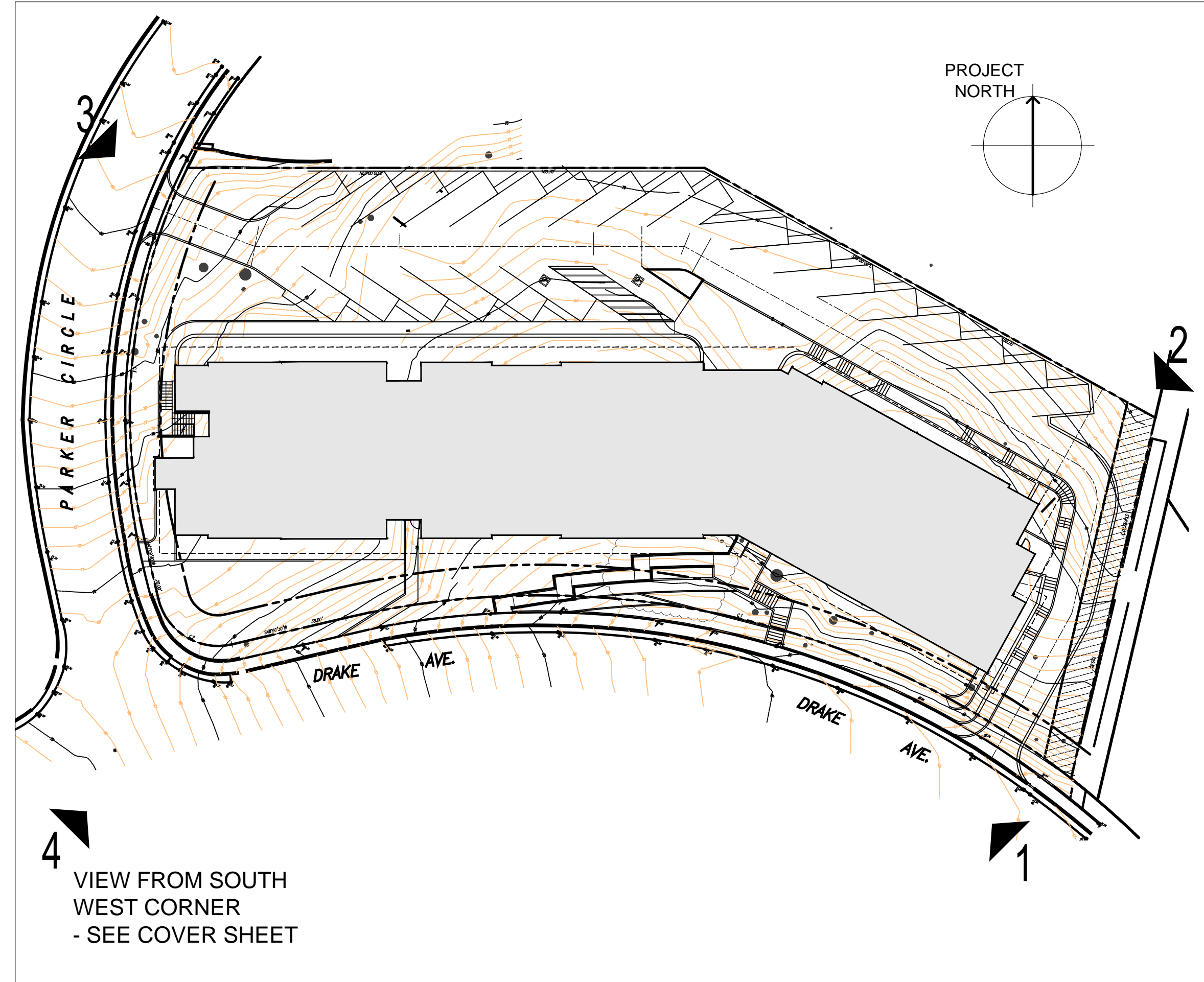
1
VIEW FROM
SOUTH EAST
CORNER
- DRAKE AVE.



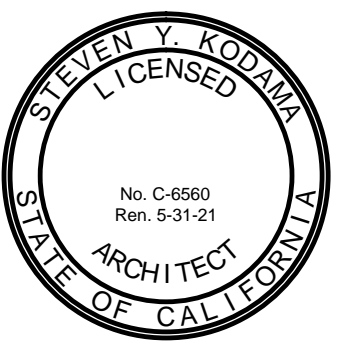
2
VIEW FROM
NORTH EAST
CORNER
- ADJACENT
PROPERTY



3
VIEW FROM
NORTH WEST
CORNER
- PARKER CIR.



4
VIEW FROM SOUTH
WEST CORNER
- SEE COVER SHEET



**825 DRAKE AVENUE
MULTI FAMILY HOUSING**
825 DRAKE AVENUE
MARIN CITY, CA 94965

PROGRESS
SET

PROPOSED
PROJECT
RENDERING

No.	DATE	DESCRIPTION	BY	CHKD
4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

ABBREVIATIONS

&	And	GA.	Gauge	T.	Tread
@	At	GALV.	Galvanized	TKBD.	Tack Board
ø	Diameter	G.I.	Galvanized Iron	T.B.	Towel Bar
#	Pound or Number	G.B.	Grab Bar	T.C.	Top of Curb
(E)	Existing	G.D.	Garbage Disposer	TEL.	Telephone
(L)	Leave	G.F.C.I.	Ground Fault Circuit Interrupter	TEMP.	Tempered
(N)	New	CL.	Glass	TER.	Terrazzo
(PBO)	Provided by Owner	GR.	Grade	T.& G.	Tongue & Groove
(R)	Remove	G.S.M.	Galv. Sheet Metal	THK.	Thick
(R/S)	Remove & Save	GYP.	Gypsum	T.P.	Top of Pavement
A.C.	Asphaltic Concrete	H.B.	Hose Bibb	T.P.D.	Toilet Paper Dispenser
ACOUS.	Acoustical	H.C.	Hollow Core	TRK.	Track
A.D.	Alzheimer's/Dementia	HDWE.	Hardware	TV.	Television
A/D	Adjustable	H.WD.	Hardwood	T.W.	Top of Wall
ADGR.	Aggregate	H.M.	Hollow Metal	TYP.	Typical
ALU	Assisted Living Unit	HR.	Hour	UNF.	Unfinished
ALUM.	Aluminum	HGT.	Height	UNIV.	University
APPROX.	Approximate	HORIZ.	Horizontal	U.O.N.	Unless Otherwise Noted
ARCH.	Architectural	ID.	Inside Diameter (Dim)	UR.	Urinal
ASB.	Asbestos	I. F.	Inside Face	VERT.	Vertical
ASSY.	Assembly	INSUL.	Insulation	VEST.	Vestibule
BD.	Board	INT.	Interior	V.G.	Vertical Grain
BITUM.	Bituminous	JAN.	Janitor	W.	West
BLDG.	Building	JST.	Joist	W/	With
BLK.	Block	JT.	Joint	W.C.	Water Closet
BLKG.	Blocking	LAM.	Laminate	W.	Wood
BM.	Beam	LAV.	Lavatory	W.H.	Waterheater
BOT.	Bottom	LKR.	Locker	W.O.	Where Occurs
B.U.	Built Up	LT.	Light	W/O	Without
CAB.	Cabinet	LB.	Pound	WP.	Waterproof, Weatherproof
C.B.	Catch Basin	MALL.	Malleable	WR.	Water Resistant
CELL.	Cellular	MAX.	Maximum	W.SCT.	Wainscot
CEM.	Cement	MB.	Machine Bolt	WT.	Weight
CER.	Ceramic	M.C.	Medicine Cabinet		
C.I.	Cast Iron	MECH.	Mechanical		
C.I.P.	Cast in Place	MEMB.	Membrane		
C.J.	Construction Joint or Control Joint	MET.	Metal		
CKBD.	Chalkboard	MFR.	Manufacturer		
CLG.	Ceiling	MH.	Manhole		
CLK.	Clock	MIN.	Minimum		
CLKO.	Cloaking	MIR.	Mirror		
CLO.	Closet	MISC.	Miscellaneous		
CLR.	Clear	M.O.	Masonry Opening		
COL.	Column	MTD.	Mounted		
CONC.	Concrete	MUL.	Mullion		
CONF.	Conference, Configurative	N.	North		
CONN.	Connection	N.I.C.	Not In Contract		
CORR.	Corridor	N.I.H.C.	Not In HUD Contract		
CONT.	Continuous	NO. or #	Number		
CNTR.	Counter	NOM.	Nominal		
C.T.	Ceramic Tile	N.T.S.	Not To Scale		
CTR.	Center	O.A.	Overall		
CTSK.	Countersunk	OBS.	Obscure		
D.A.	Disabled Accessible	O.C.	On Center		
DBL.	Double	O.D.	Outside Diameter (Dim)		
DEPT.	Department	O.F.	Outside Face		
D.F.	Drinking Fountain	OFF.	Office		
DET.	Detail	O.H.	Opposite Hand		
DIFF.	Diffuser	OPNG.	Opening		
DIM.	Dimension	OPP.	Opposite		
DIA.	Diameter	P.D.	Powder Driven		
DISP.	Dispenser	PERF.	Perforated		
DN.	Down	PL.	Plate		
DR.	Door	P.LAM.	Plastic Laminated		
D.O.	Door Opening	PLAS.	Plaster		
D.W.	Dishwasher	PLYWD.	Plywood		
DWR.	Drawer	PR.	Pair		
DWG.	Drawing	PT.	Point		
DS.	Downspout	P.T.	Post-tensioned		
E.	East	P.T.D.	Paper Towel Dispenser		
EA.	Each	PTN.	Partition		
E.J.	Expansion Joint	P.T.R.	Paper Towel Receptacle		
EL.	Elevation	R.D.	Roof Drain		
ELEC.	Electrical	RAD.	Radius		
ELEV.	Elevator	R.A.G.	Return Air Grille		
EMER.	Emergency	REF.	Reference		
ENCL.	Enclosure	REFR.	Refrigerator		
E.P.	Electrical Panel	RGR.	Register		
EQ.	Equal	REINF.	Reinforced		
EQPT.	Equipment	REP.	Representative		
E.W.C.	Electric Water Cooler	REQ.	Required		
EXIST.	Existing	RESIL.	Resilient		
EXP.	Exposed or Expansion	R.J.	Roof Joist		
EXT.	Exterior	RM.	Room		
F.A.	Fire Alarm	R.O.	Rough Opening		
F.A.U.	Forced Air Unit	R.R.	Roof Rafter		
F.D.	Floor Drain	RWD.	Redwood		
FDN.	Foundation	R.W.L.	Rain Water Leader		
F.E.	Fire Extinguisher	S.C.	Solid Core		
F.E.C.	Fire Extinguisher Cabinet	S.C.D.	Seat Cover Dispenser		
F.H.C.	Fire Hose Cabinet	SCD	See Civil Documents		
F.H.W.S.	Flat Head Wood Screw	SCHED.	Schedule		
FIN.	Finish	S.D.	Soap Dispenser		
F.J.	Floor Joist	SECT.	Section		
FL.	Floor	SED.	See Electrical Documents		
FLASH.	Flashing	SH.	Shelf		
FLUOR.	Fluorescent	SHR.	Shower		
F.O.	Face of	SHT.	Sheet		
F.O.C.	Face of Concrete	SHTG.	Sheathing		
F.O.F.	Face of Finish	SIM.	Similar		
F.O.S.	Face of Stud	SLD	See Landscape Drawings		
FPRF.	Fireproof	S.M.	Sheet Metal		
FT.	Foot or feet	SMD	See Mechanical Drawings		
FTG.	Footing	S.N.D.	Sanitary Napkin Dispenser		
FURR.	Furring	S.N.R.	Sanitary Napkin Receptacle		
		SPD	See Plumbing Drawings		
		SSD	See Structural Drawings		
		SPEC.	Specification		
		SQ.	Square		
		S.S.T.	Stainless Steel		
		S.SK.	Service Sink		
		STA.	Station		
		STL.	Steel		
		STOR.	Storage		
		STRL.	Structural		
		SUSP.	Suspended		
		SYM.	Symmetrical		

SHEET INDEX

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LEGEND

	KEY NOTE		ROOM NAME/NUMBER
	GRID LINE		DETAIL REFERENCE
	DOOR NUMBER		SECTION REFERENCE
	WINDOW TYPE		FINISHES REFERENCE
	REVISION NUMBER		
	REFERENCE TARGET		
	WALL TYPE		
	EXTERIOR ELEVATION		
	AREA NOT ON ACCESSIBLE PATH OF TRAVEL (SEE SITE PLAN NOTE 3, SHT. A1.01)		

GENERAL NOTES

THIS IS A CONCEPTUAL HOUSING STUDY AND HAS BEEN DEVELOPED TO ILLUSTRATE POSSIBLE SITE CONFIGURATIONS FOR HOUSING WITH LIMITED SITE INFORMATION AND IS NOT TO BE CONSTRUED AS A COMPLETE SOLUTION.

THE STUDY HAS BEEN DEVELOPED ON THE ASSUMPTION THAT THIS WILL BE AN AFFORDABLE DEVELOPMENT. REQUIREMENTS FOR DENSITY, HEIGHT, SETBACKS AND PARKING HAVE BEEN ADJUSTED WITH CONSIDERATION TO THE AFFORDABLE HOUSING INCENTIVES AND CONCESSIONS.

825 DRAKE AVENUE

825 DRAKE AVENUE, MARIN CITY, CA 94965

ASSESSOR'S PARCEL NUMBER: 052-112-03

PROJECT PRINCIPALS

OWNER	CIVIL ENGINEER
AMG AND ASSOCIATES, LLC. 26535 SUMMIT CIRCLE SANTA CLARITA, CA 91350 gbroussard@amgland.com ATTN: GENE BROUSSARD PHONE: (818) 697-4919	KISTER SAVIO & REI 825 SAN PABLO AVE. PINOLE, CA 94564 matt@ksrinc.net PHONE: (510) 222-4020
ARCHITECT	LANDSCAPE ARCHITECT
KODAMA DISENO ARCHITECTS 570 10TH STREET, SUITE 2 OAKLAND, CA 94607 skodama@kodamadiseno.com ATTN: STEVEN KODAMA PHONE: (510) 986-0694	KODAMA DISENO ARCHITECTS

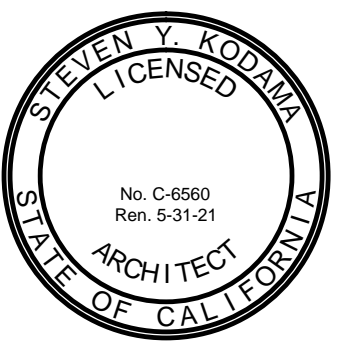
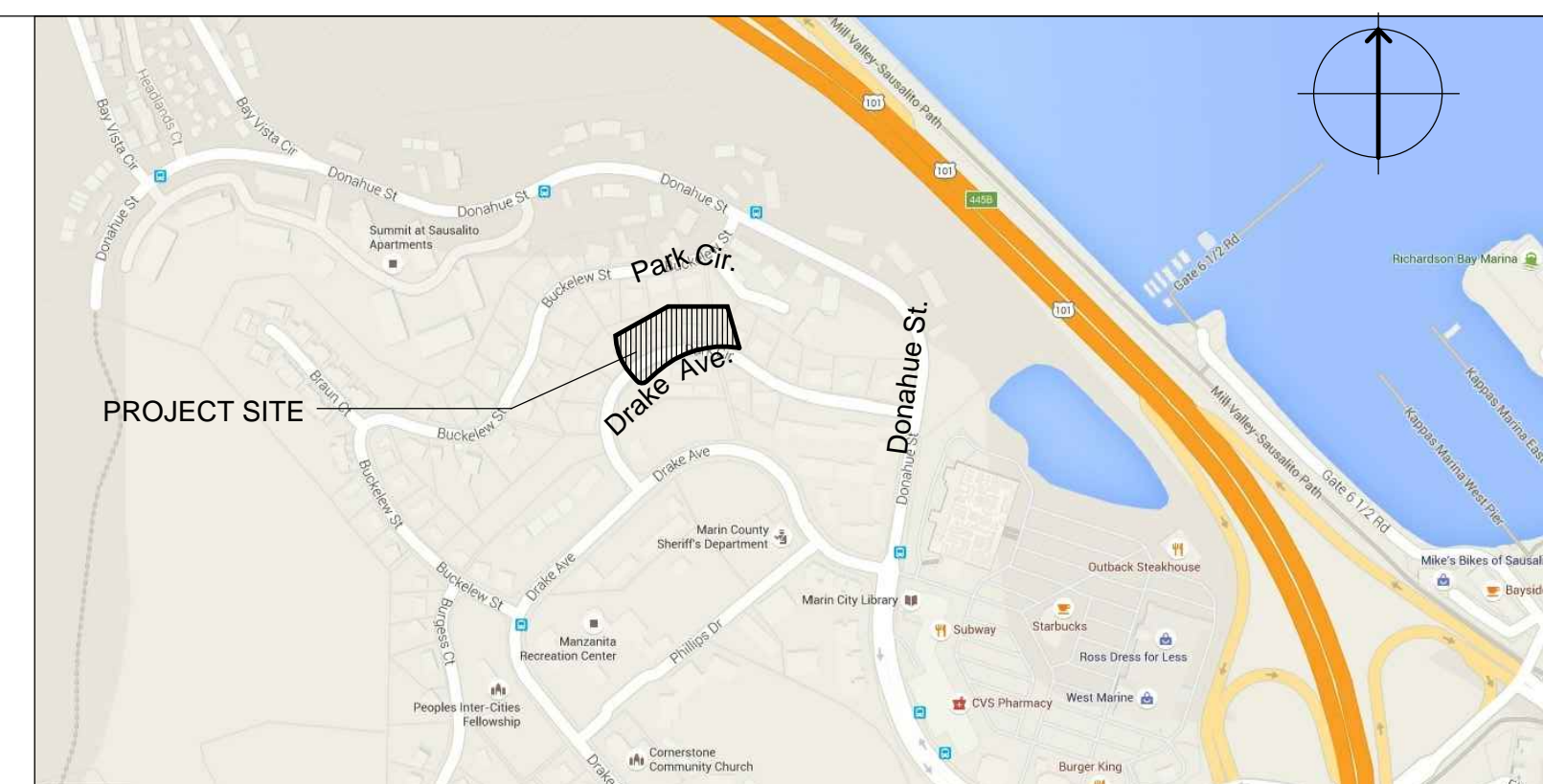
PROJECT DESCRIPTION

PROJECT DESCRIPTION:
PROPOSED AFFORDABLE 74 UNITS OF MULTI FAMILY HOUSING WITH 24 PARKING SPACES ON A HILLSIDE PROPERTY.

ZONING SUMMARY

PROPERTY ADDRESS:	825 DRAKE AVE., MARIN CITY, CA 94965
ASSESSOR'S PARCEL NUMBER:	052-112-03
ZONING:	RMP-34 RESIDENTIAL MULTIPLE PLANNED OCCUPANCY
DESCRIPTION OF USE	MULTI FAMILY RESIDENTIAL
STORIES	4-5 STORIES
SPRINKLERS	YES, NFPA-13
LOT AREA	44,156 SQ. FT. (1.01 ACRES)
MINIMUM LOT SIZE (SQ. FT.)	1,281
COMMUNITY PLAN	MARIN CITY
COUNTYWIDE PLAN DESIGNATION:	MF4.5 MEDIUM TO HIGH DENSITY RESIDENTIAL
DENSITY RANGE	BASE: 45, PROPOSED: 74
PROPOSED FLOOR AREA	
1ST FLOOR	9,273 SQ. FT.
2ND FLOOR	16,190 SQ. FT.
3RD FLOOR	15,864 SQ. FT.
4TH FLOOR	16,233 SQ. FT.
5TH FLOOR	16,233 SQ. FT.
TOTAL PROPOSED FLOOR AREA	73,793 SQ.FT.
PROPOSED FLOOR AREA RATIO	1.67
OPEN SPACE REQUIRED	7,400 SQ. FT.
OPEN SPACE PROVIDED	1,665 SQ. FT.
AREA OF ADDITIONAL DISTURBANCE	SEE CIVIL
PROPOSED LOT COVERAGE	
IMPERVIOUS:	15,249 SQ. FT.
PERVIOUS:	12,977 SQ. FT.
GRADING CALCULATIONS: SEE CIVIL DRAWINGS	
CUT	SEE CIVIL DRAWINGS
FILL	SEE CIVIL DRAWINGS
ON-SITE PARKING	24 SPACES

VICINITY MAP



825 DRAKE AVENUE

MULTI FAMILY HOUSING

825 DRAKE AVENUE

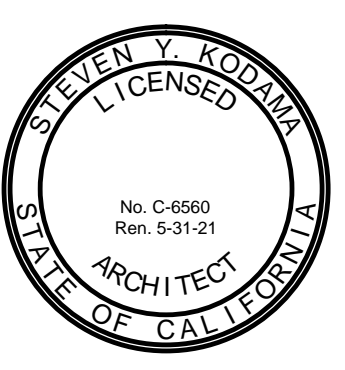
MARIN CITY, CA 94965

PROGRESS SET

PROJECT INFORMATION

4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

No.	DATE	DESCRIPTION	BY	CKD
SCALE	N.T.S.	SHEET		
KD PROJ. NO.	###			G3

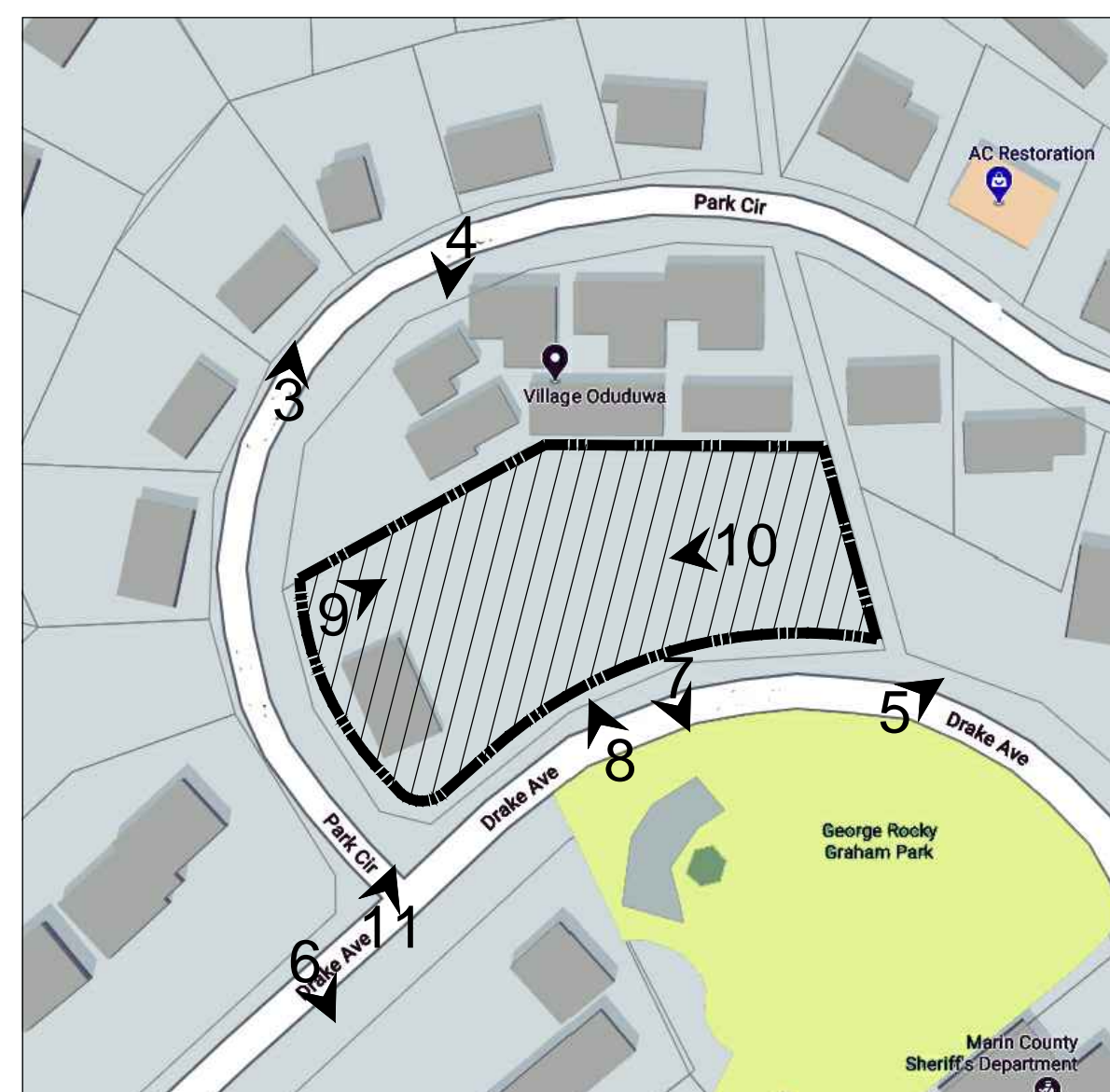


**825 DRAKE AVENUE
MULTI FAMILY HOUSING**
825 DRAKE AVENUE
MARIN CITY, CA 94965

PROGRESS
SET

EXISTING
SITE
PHOTOS

No.	DATE	DESCRIPTION	BY	CKD
4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK



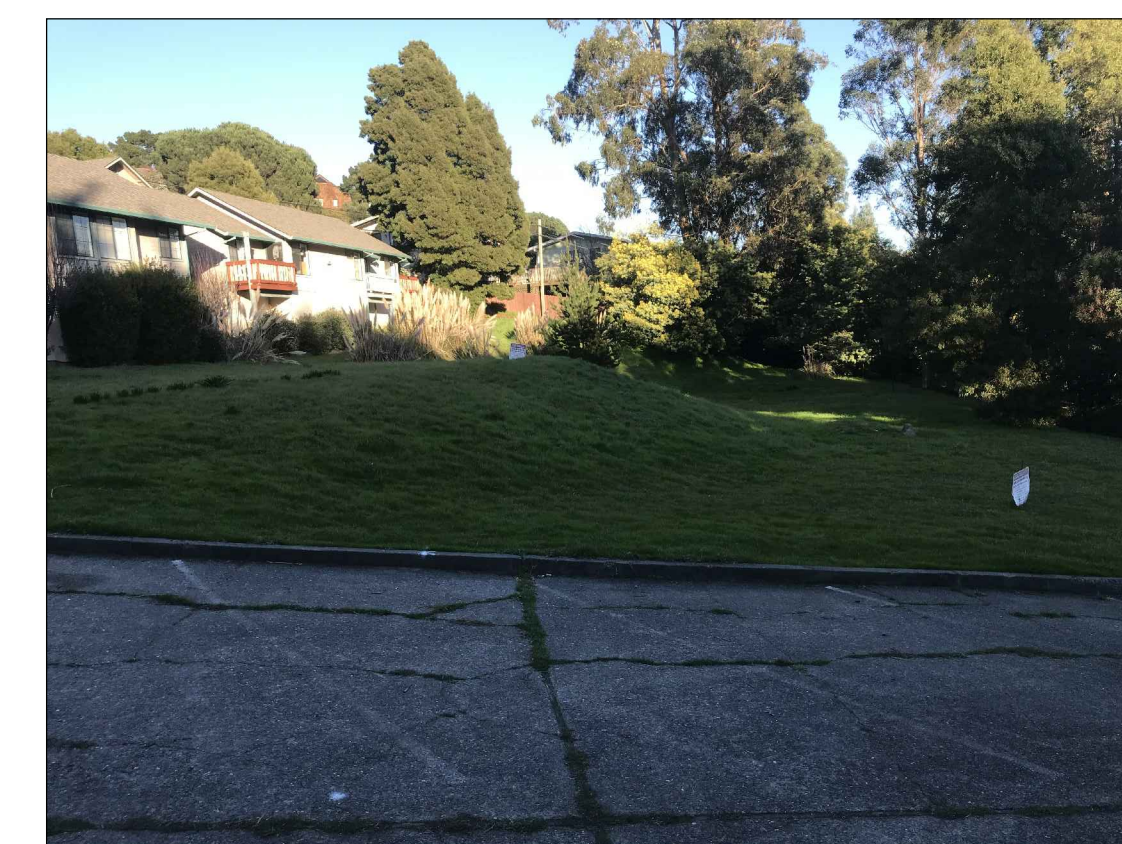
**SITE
DIAGRAM**



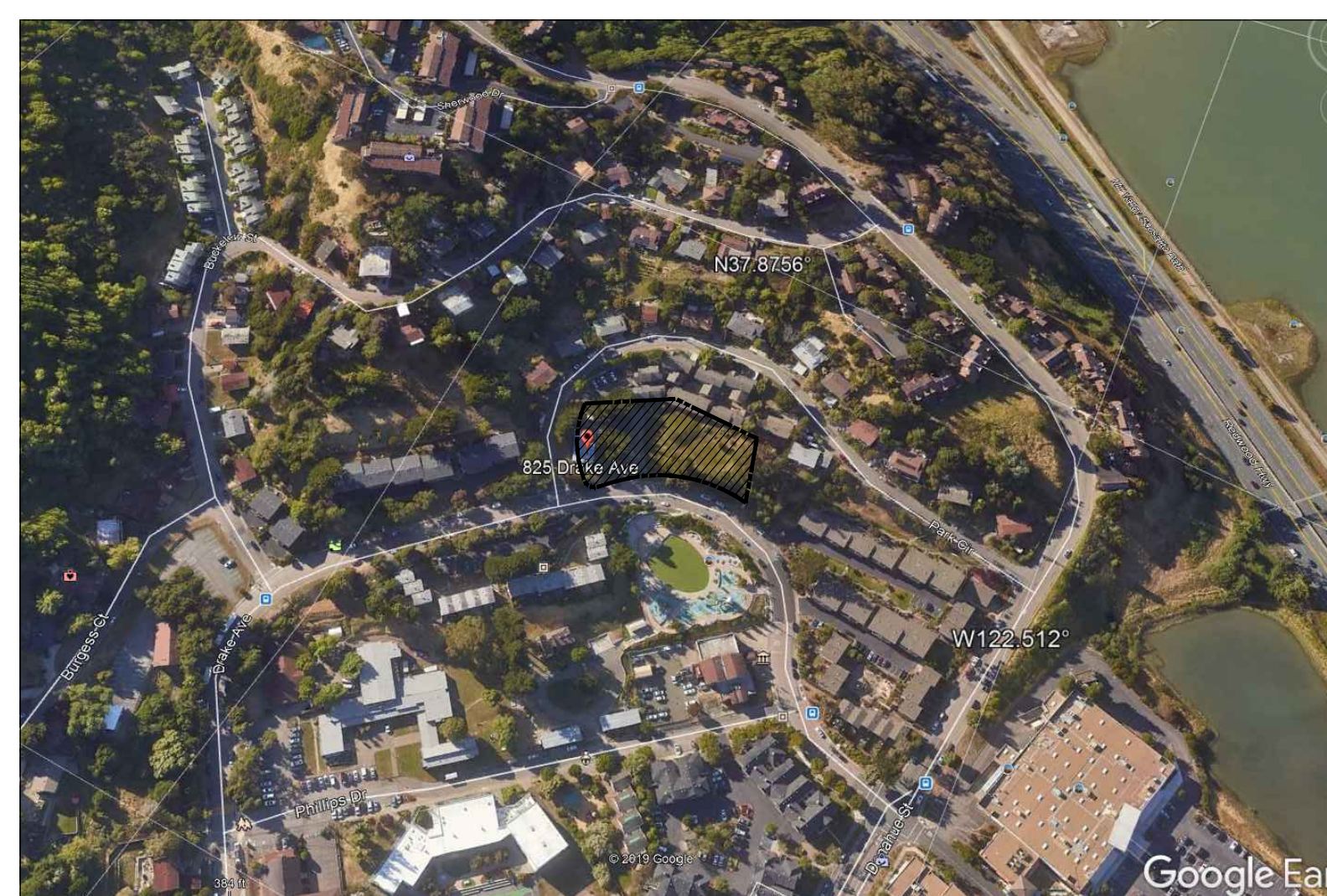
3. HOUSES ON NORTH SIDE OF PARK AVENUE.



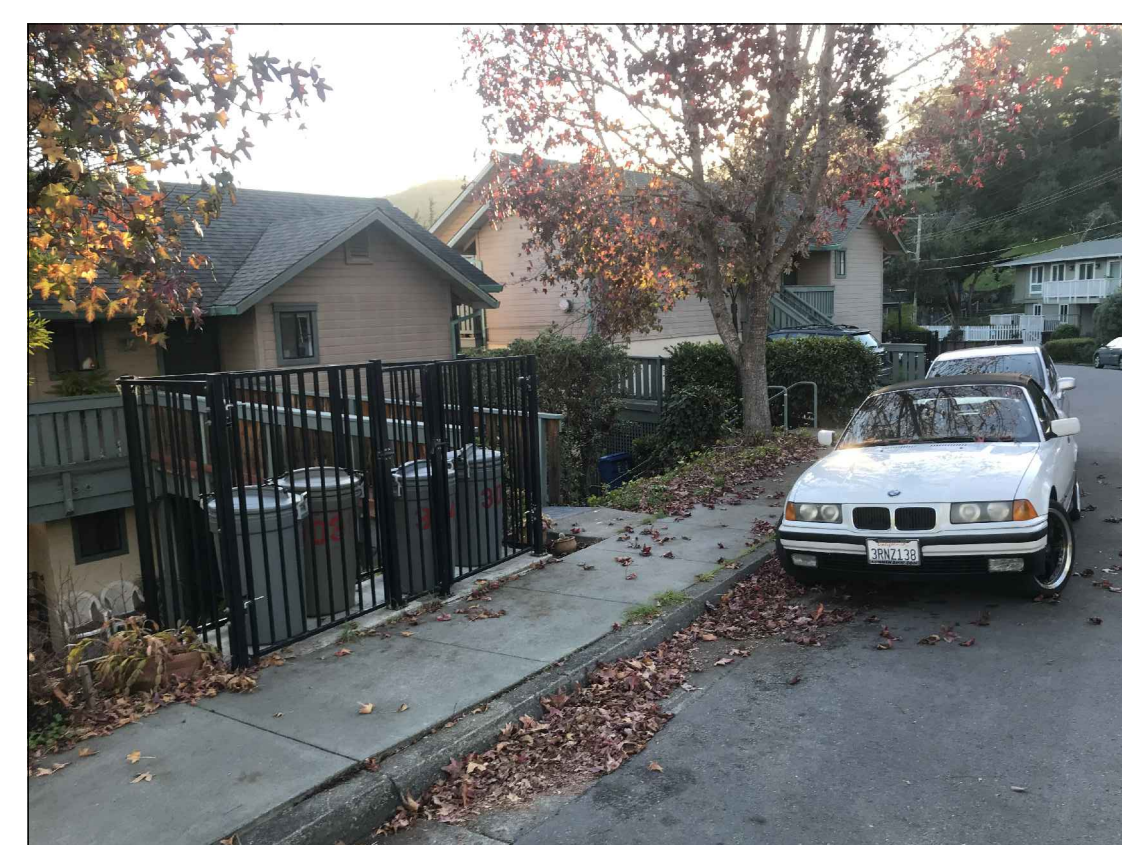
6. HOUSING SOUTHWEST OF PROJECT SITE ON DRAKE AVENUE.



9. PROJECT SITE LOOKING EAST. HOUSES ON LEFT SIDE OF THE PHOTO ARE ADJACENT TO THE SITE.



1. AERIAL VIEW OF NEIGHBORHOOD.



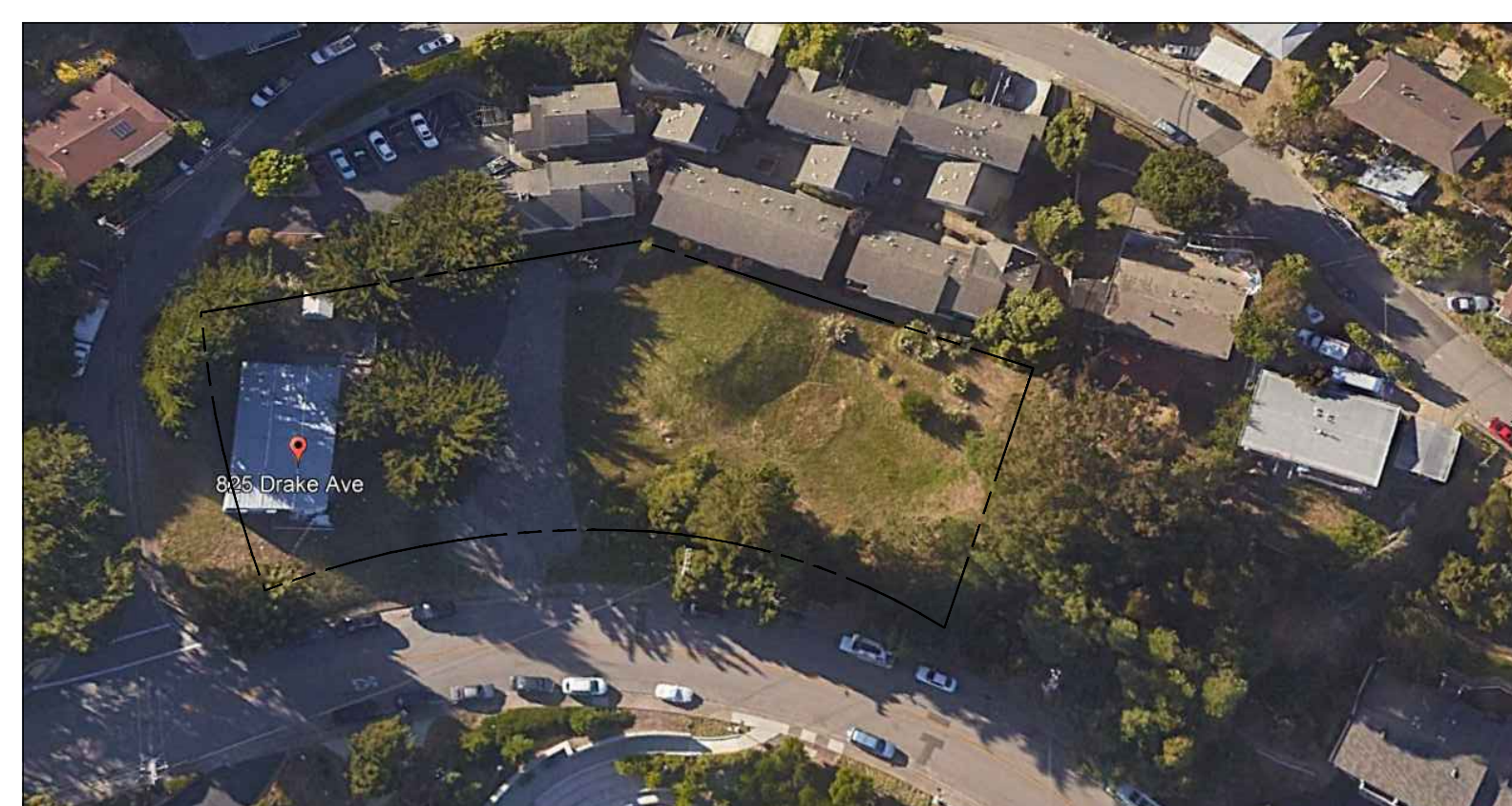
4. HOUSES ON SOUTH SIDE OF PARK AVENUE.



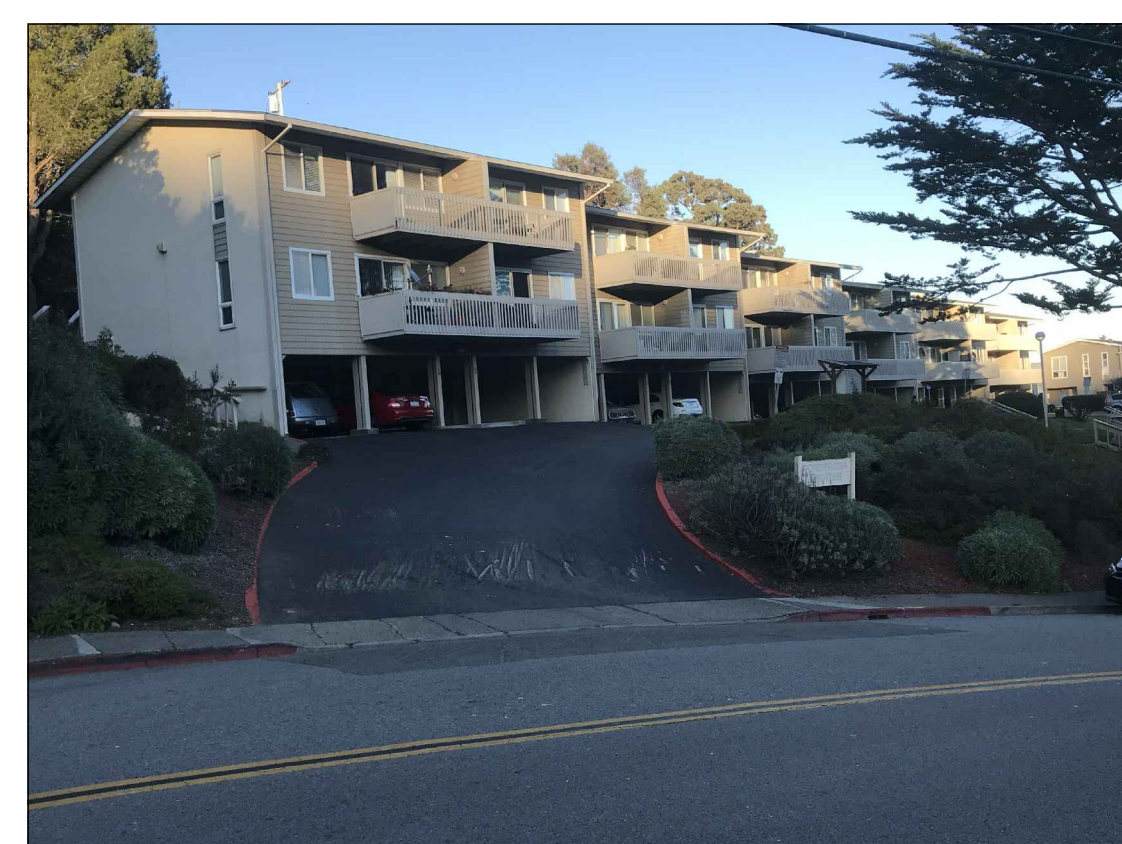
7. PARK FACILITY ACROSS DRAKE AVENUE, SOUTH OF PROJECT SITE.



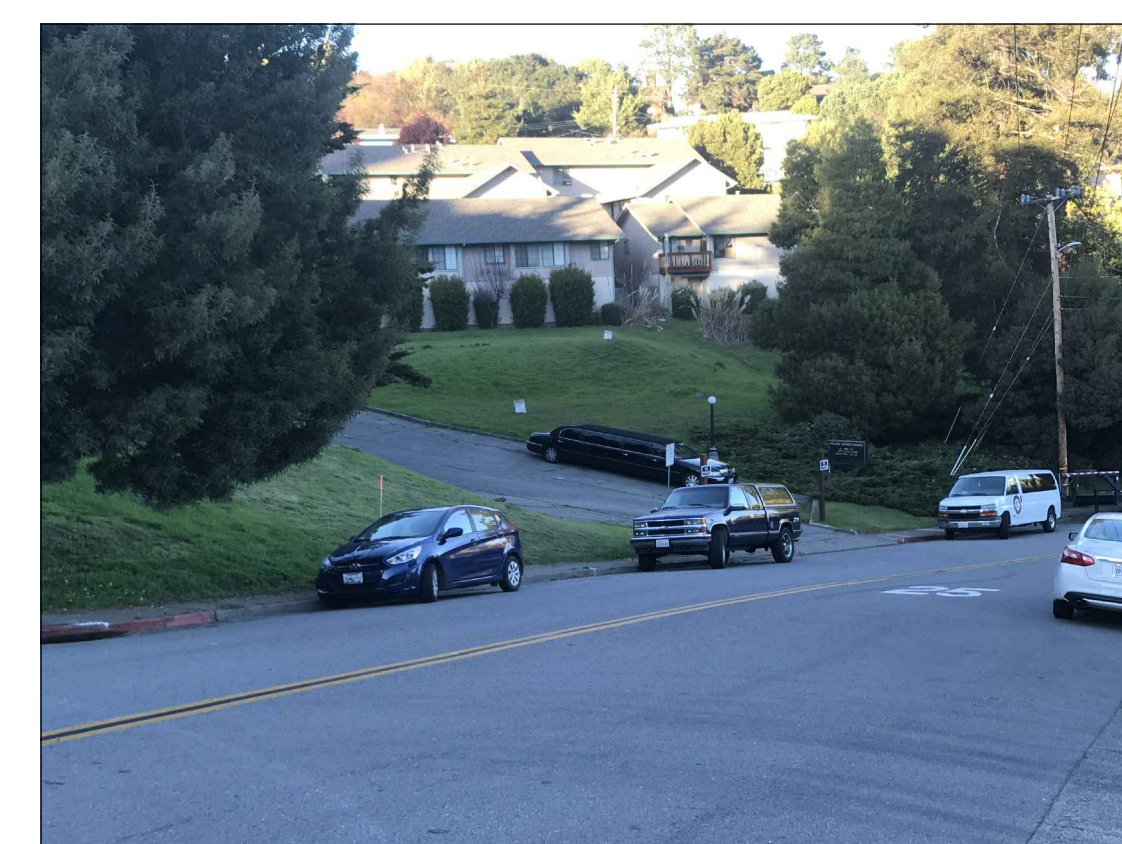
10. PROJECT SITE LOOKING WEST. HOUSES ON THE RIGHT SIDE OF THE PHOTO ARE ADJACENT TO THE SITE.



2. AERIAL VIEW OF PROPERTY SITE.



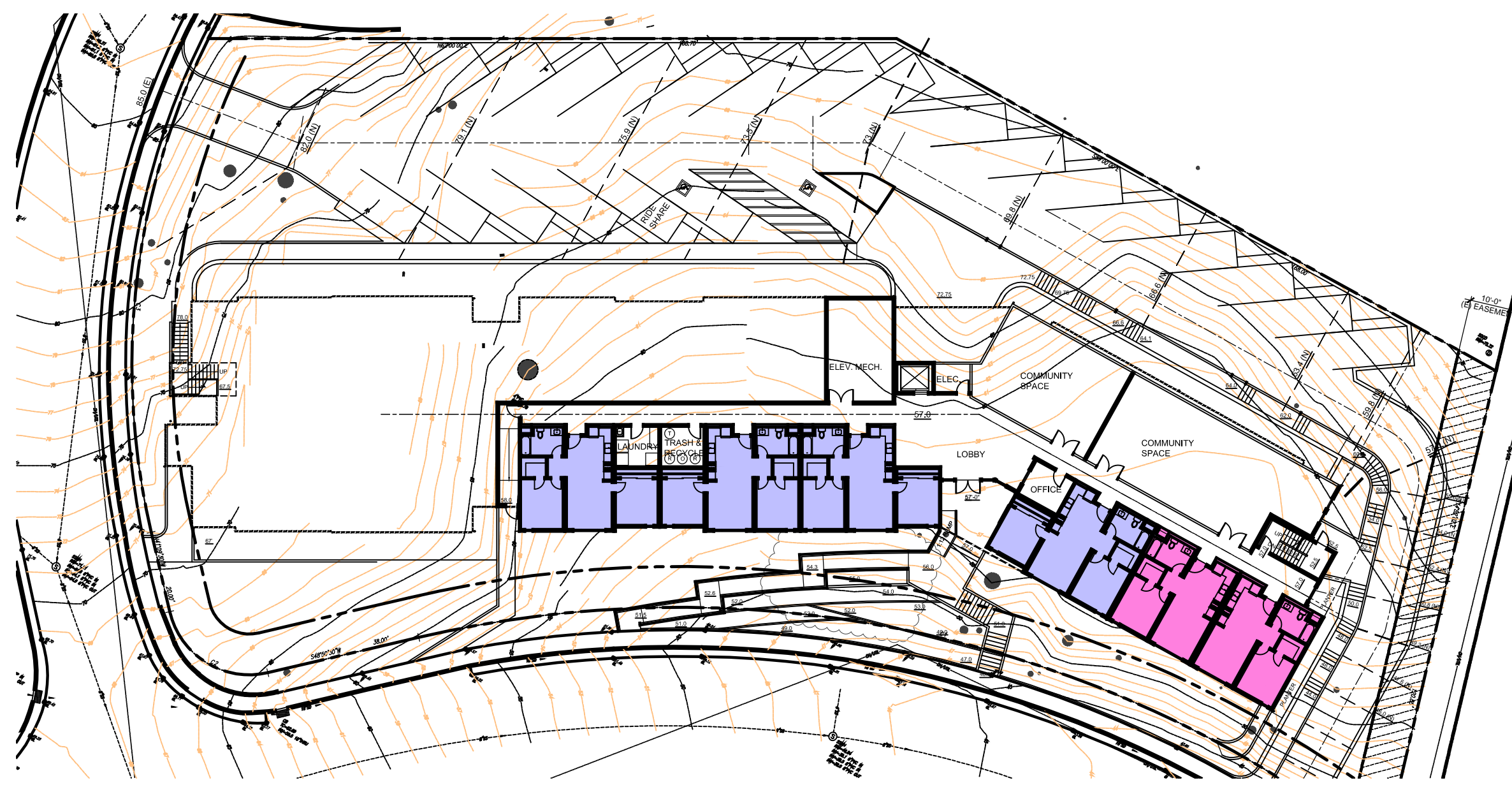
5. PONDEROSA ESTATES: HOUSING EAST OF PROJECT SITE ON DRAKE AVE.



8. PROJECT SITE LOOKING NORTHEAST ALONG DRAKE AVE.



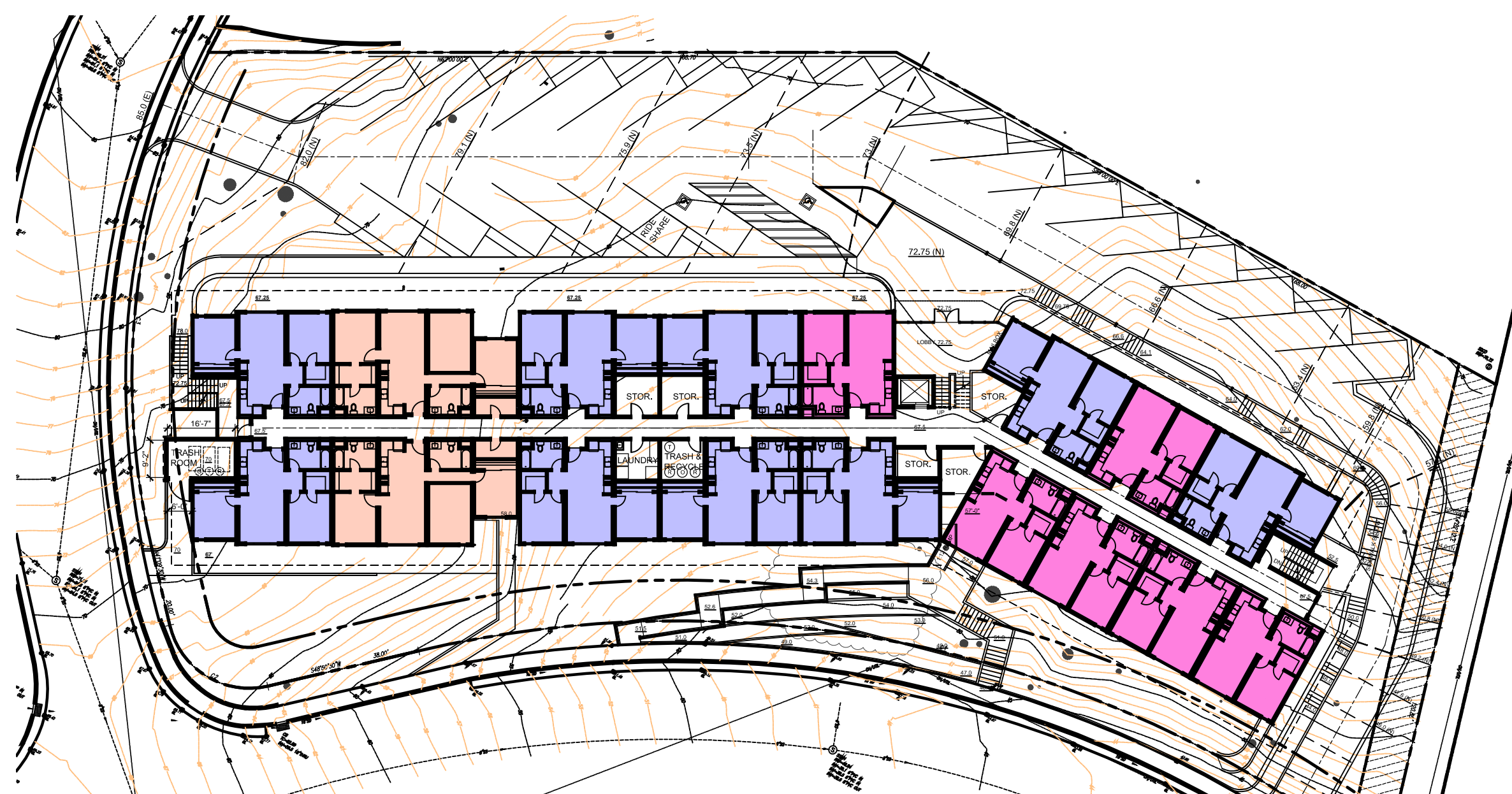
11. BUILDING LOCATED AT THE SOUTHWEST CORNER OF THE SITE WILL BE DEMOLISHED.



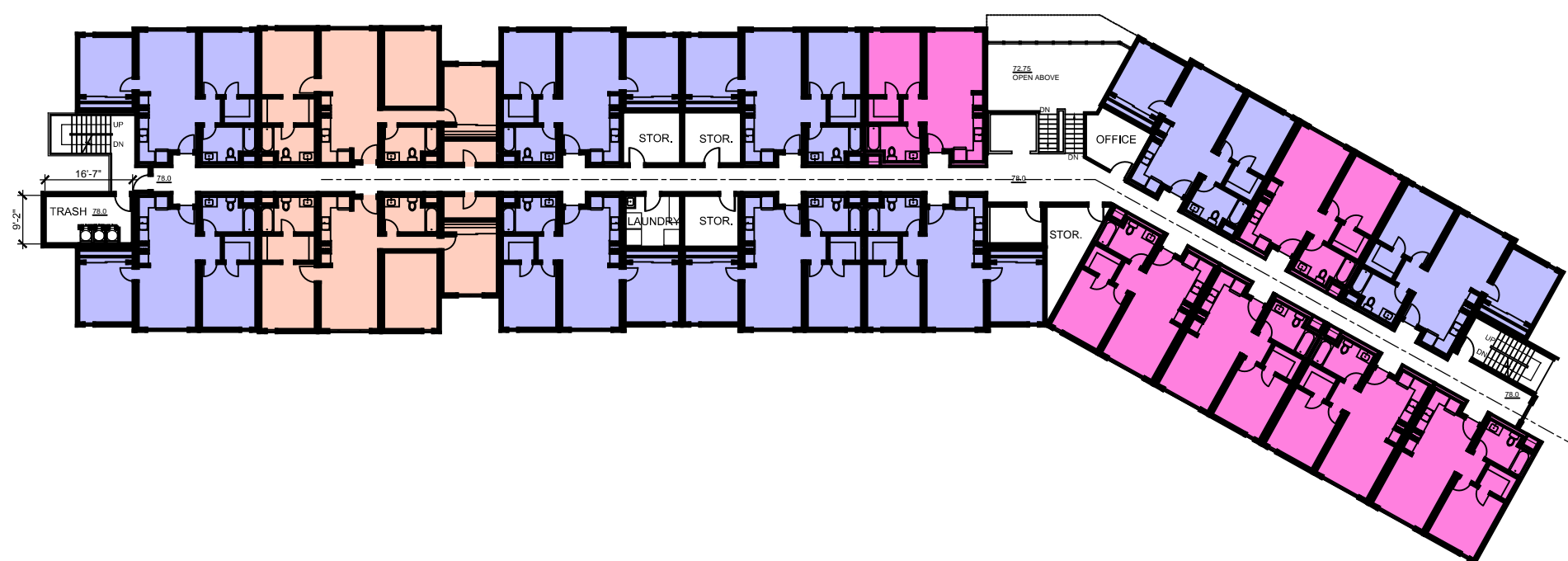
1ST FLOOR PLAN
@ ELEV. 57.0 (ENTRY FROM DRAKE AVE.)

UNIT TYPE	UNITS PER FLOOR					TOTAL
	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	
	EL. 57.0	EL. 67.5	EL. 78.0	EL. 88.5	EL. 99.0	
1 BEDROOM	2	6	6	5	5	24
2 BEDROOM	4	9	9	10	10	42
3 BEDROOM	0	2	2	2	2	8
TOTAL	6	17	17	17	17	74

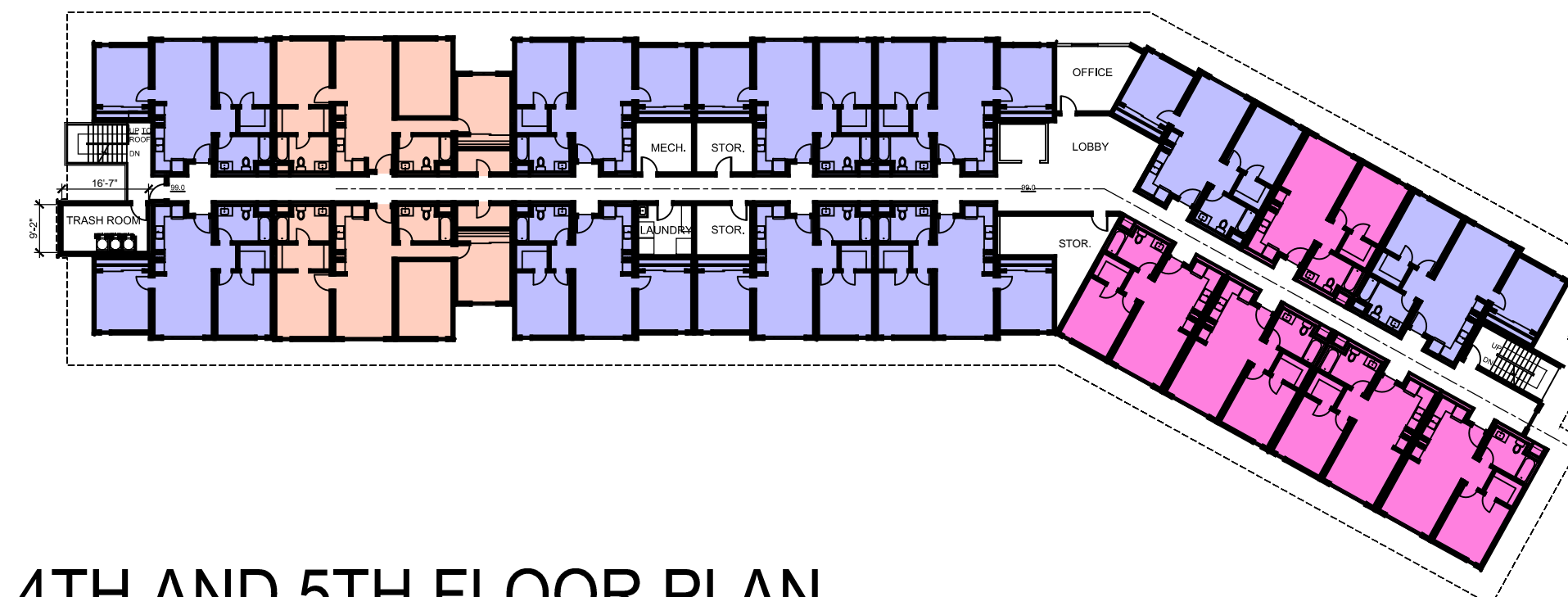
	GROSS FLOOR AREA (SQ. FT.)					TOTAL
	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	
	EL. 57.0	EL. 67.5	EL. 78.0	EL. 88.5	EL. 99.0	
AREA TOTAL	9,273	16,190	15,864	16,233	16,233	73,793
COMM. AREA	2,200	COMMUNITY ROOM IS INCLUDED IN 1ST FLOOR AREA				



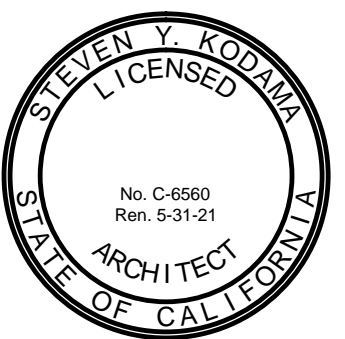
2ND FLOOR PLAN
@ ELEV. 67.5 AND ELEV. 72.75 (ENTRY FROM PARKING LOT)



3RD FLOOR PLAN
@ ELEV. 78.0 AND ELEV. 72.75 (ENTRY FROM PARKING LOT)



4TH AND 5TH FLOOR PLAN
@ ELEV. 88.5 AND ELEV. 99.0






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MULTI FAMILY HOUSING
825 DRAKE AVENUE
MARIN CITY, CA 94965

PROGRESS
SET

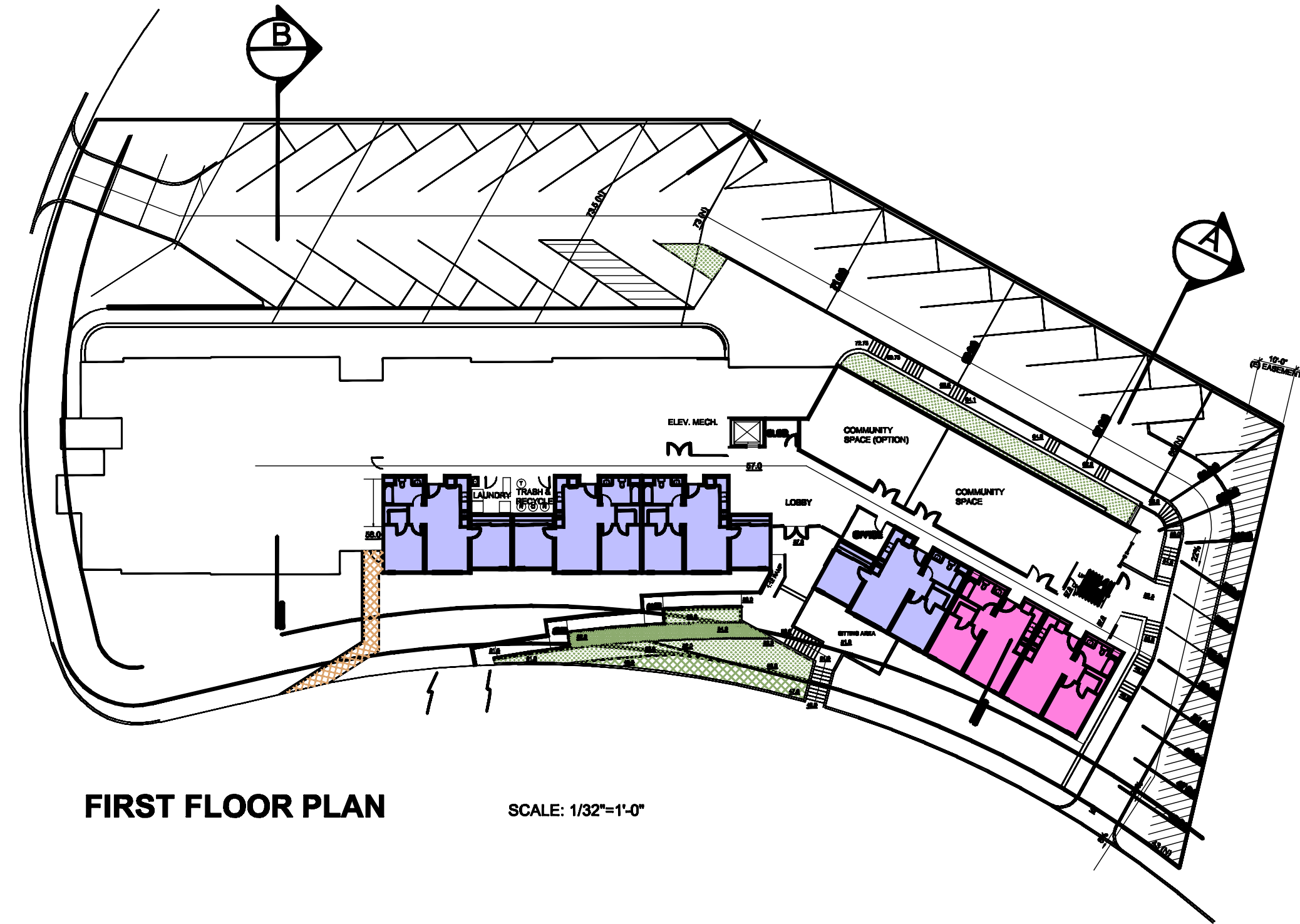
FLOOR AREA
DATA

No.	DATE	DESCRIPTION	BY	CKD
4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

SCALE 1" = 30'-0" SHEET # G5
KD PROJ. NO. ###

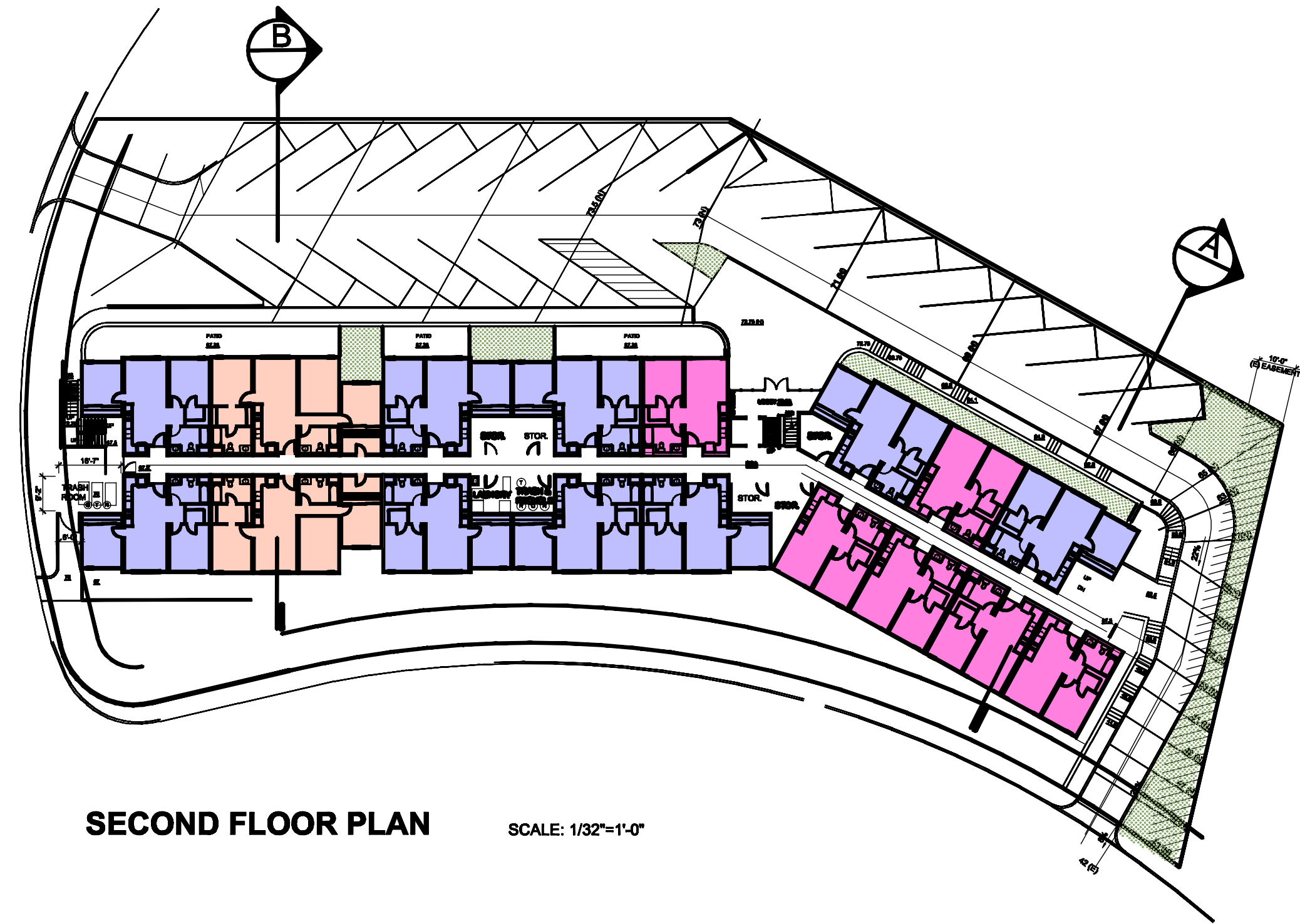
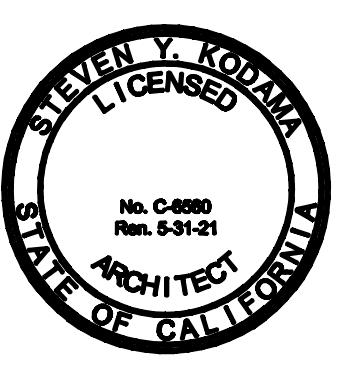
UNIT TYPE				
		FIRST FLOOR	SECOND FLOOR	TOTAL
	ONE BEDROOM	2	6	8
	TWO BEDROOM	4	9	13
	THREE BEDROOM	0	2	2
	TOTAL	6	17	23

FLOOR AREA (SQ. FT.)			
	FIRST FLOOR	SECOND FLOOR	TOTAL
	9,273	16,190	25,463

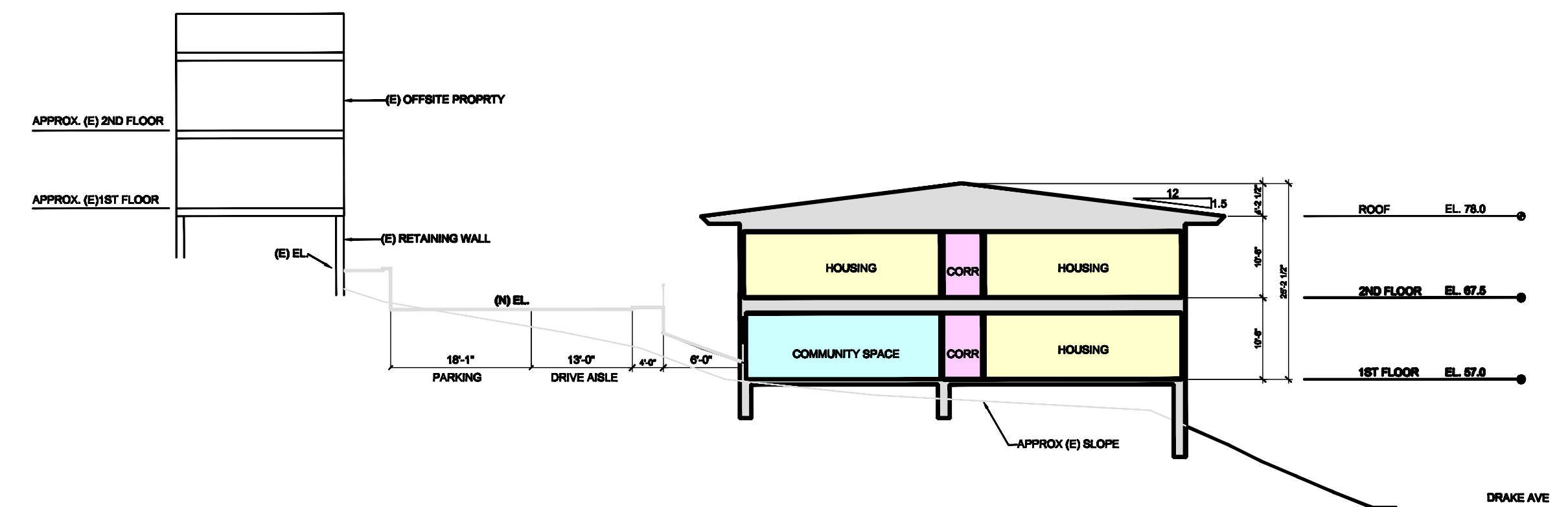


FIRST FLOOR PLAN SCALE: 1/32"=1'-0"

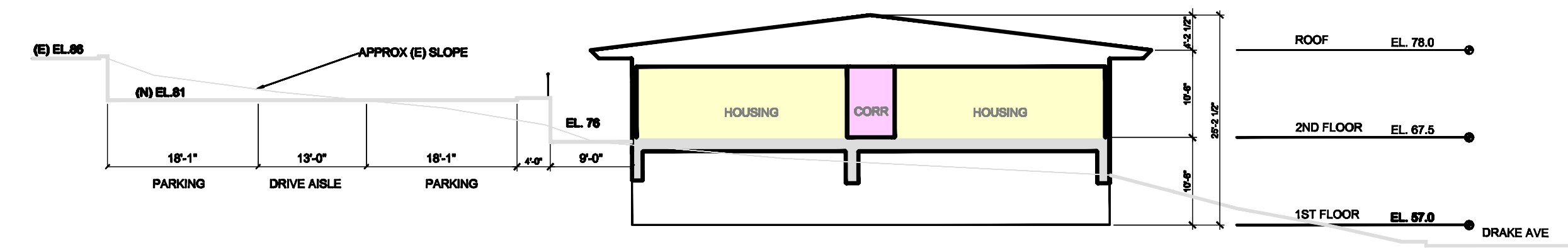
825 DRAKE AVENUE BASELINE ZONING SUMMARY	
PROJECT ADDRESS	825 DRAKE AVENUE, MARIN CITY, CA 94965
PARCEL NUMBER	082-112-03
ZONING DESIGNATION	RMP-34 MULTIPLE PLANNED OCCUPANCY
DESCRIPTION OF USE	MULTI-FAMILY RESIDENTIAL
SETBACKS	NOT APPLICABLE
HEIGHT LIMIT REQUIRED	30'-0"
HEIGHT LIMIT PROVIDED	25'-2 1/2"
LOT AREA	44,156 SQ. FT. (1.01 ACRES)
BUILDING SQUARE FOOTAGE	
1ST FLOOR	9,273 SQ. FT.
2ND FLOOR	16,190 SQ. FT.
TOTAL SQUARE FOOTAGE	25,463 SQ. FT.
BUILDING FOOTPRINT	18,233 SQ. FT.
LOT COVERAGE PERCENTAGE	37
FAR ALLOWABLE	0.6 TO 0.9
FAR PROVIDED (BASE)	0.58
OPEN SPACE REQUIRED	2,300 SQ. FT.
OPEN SPACE PROVIDED	2,316 SQ. FT.
TOTAL NUMBER OF UNITS	23 UNITS
PARKING PROVIDED	24 SPACES



SECOND FLOOR PLAN SCALE: 1/32"=1'-0"



SECTION A-A SCALE: 1/16"=1'-0"



SECTION B-B SCALE: 1/16"=1'-0"

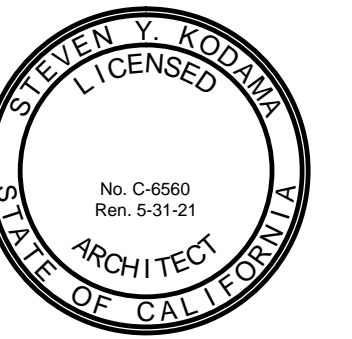
**825 DRAKE AVENUE
MULTI FAMILY HOUSING**
825 DRAKE AVENUE
MARIN CITY, CA 94965

PROGRESS SET

BASE PROJECT SUMMARY

No.	DATE	DESCRIPTION	BY	CKD
4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

SCALE	AS SHOWN	SHEET	G6
KD PROJ. NO.	###		



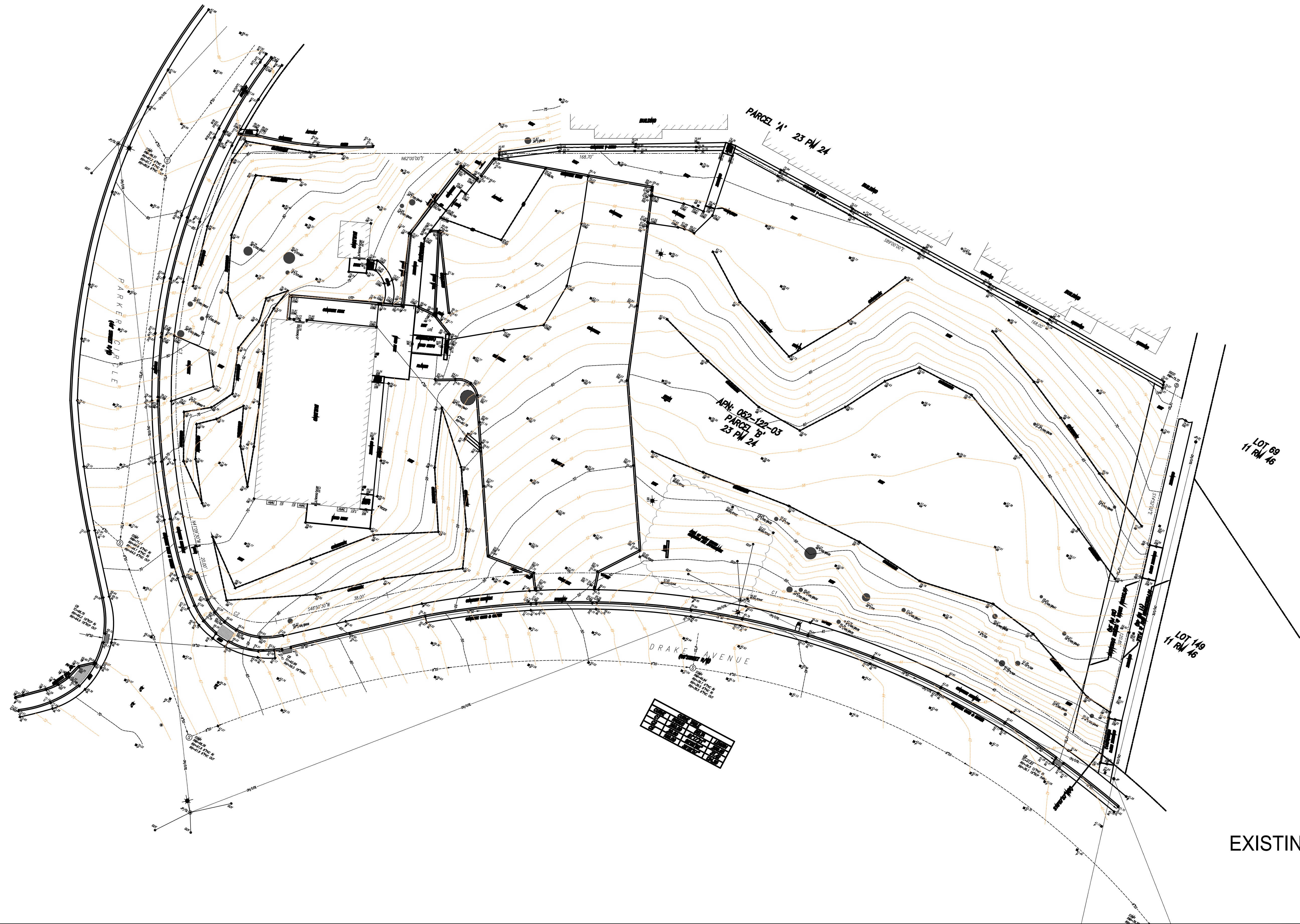
**825 DRAKE AVENUE
MULTI FAMILY HOUSING**
825 DRAKE AVENUE
MARIN CITY, CA 94965

PROGRESS
SET

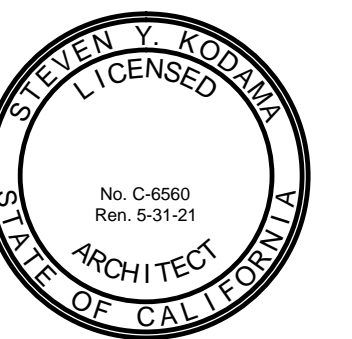
EXISTING
SITE PLAN

No.	DATE	DESCRIPTION	BY	CHKD
4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

SCALE: 1/16" = 1'-0"
KD PROJ. NO. ###
SHEET: **A1.1**



EXISTING SITE PLAN



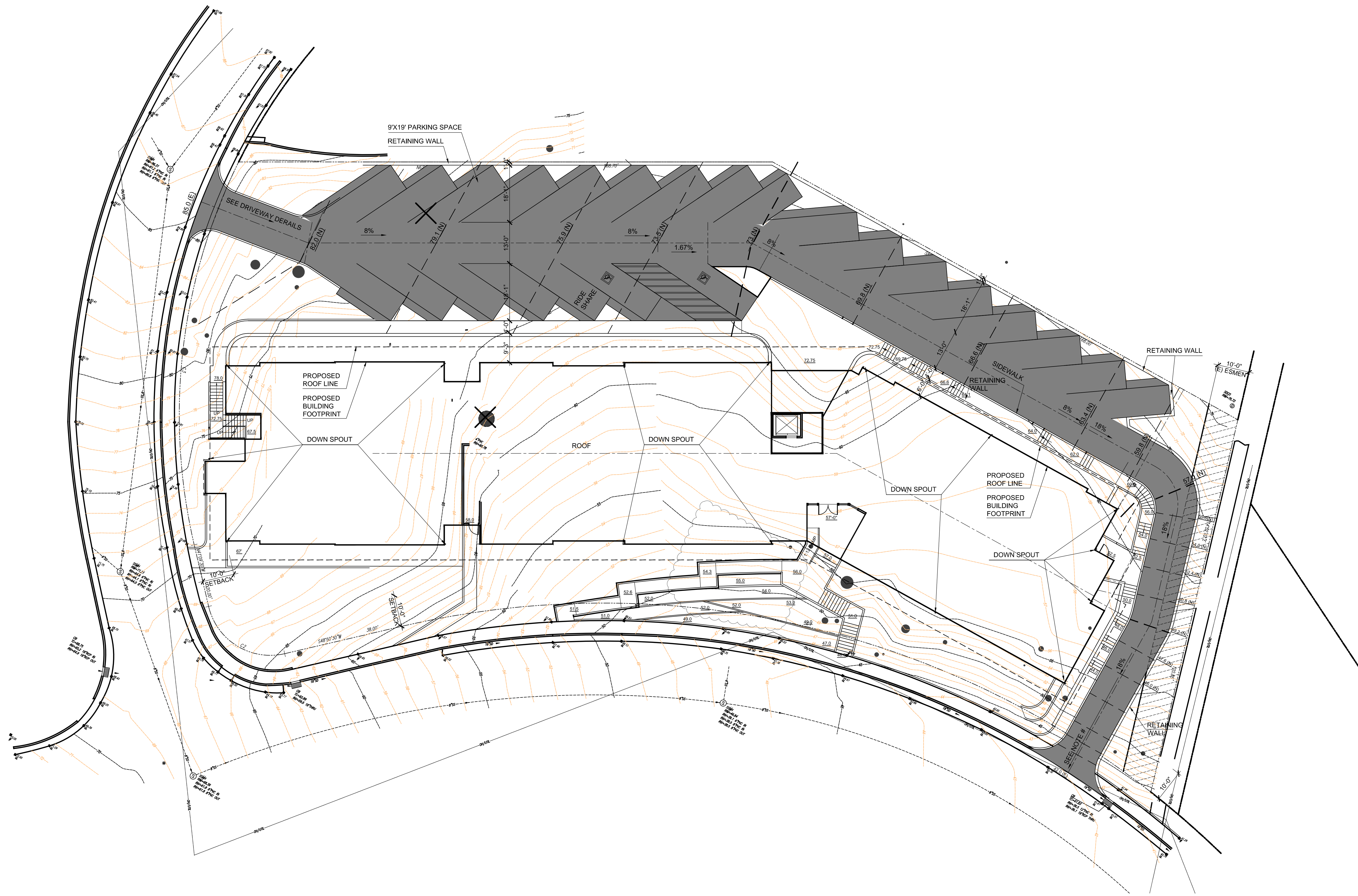
**825 DRAKE AVENUE
MULTI FAMILY HOUSING**
825 DRAKE AVENUE
MARIN CITY, CA 94965

PROGRESS
SET

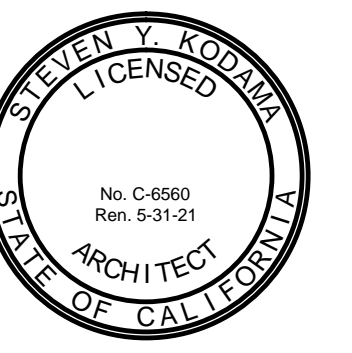
PROPOSED
SITE PLAN

No.	DATE	DESCRIPTION	BY	CKD
4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

SCALE: 1/8"=1'-0"
SHEET: A1.2
KD PROJ. NO. ###



PROPOSED SITE PLAN

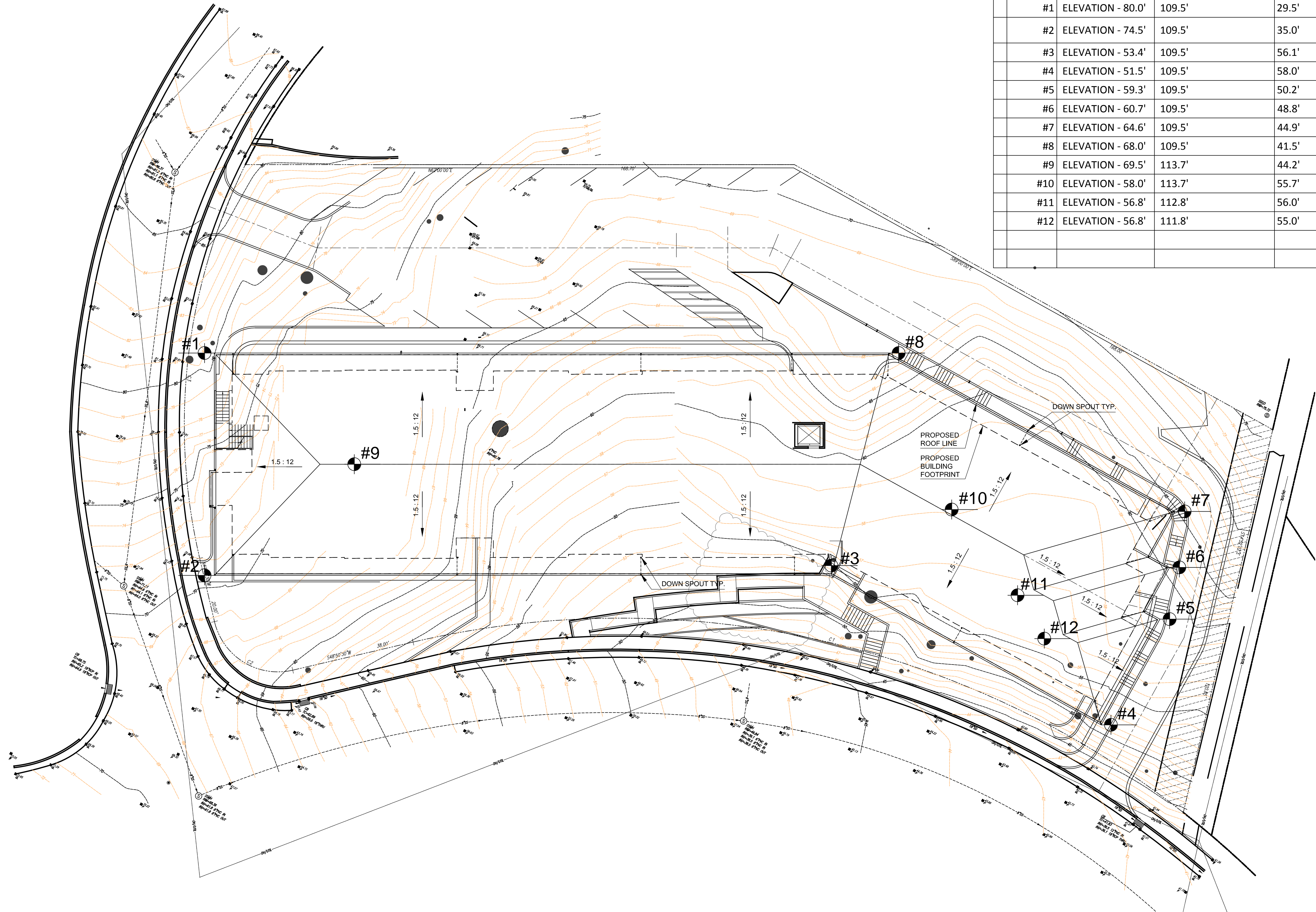


**825 DRAKE AVENUE
MULTI FAMILY HOUSING**
825 DRAKE AVENUE
MARIN CITY, CA 94965

PROGRESS
SET

PROPOSED
BUILDING
HEIGHT

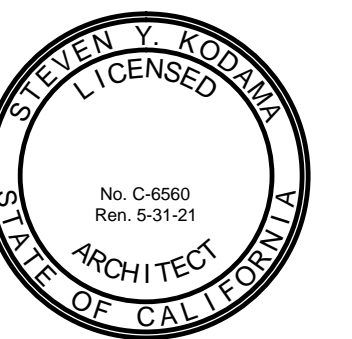
BLDG. CORNER & RIDGE HEIGHTS	ELEVATION MARKET		
MARK #	BASE ELEVATION AT EXSTING GRADE	TOP OF BUILDING CORNER OR RIDGE	HEIGHT ABOVE REFERENCE BASE ELEV.
#1	ELEVATION - 80.0'	109.5'	29.5'
#2	ELEVATION - 74.5'	109.5'	35.0'
#3	ELEVATION - 53.4'	109.5'	56.1'
#4	ELEVATION - 51.5'	109.5'	58.0'
#5	ELEVATION - 59.3'	109.5'	50.2'
#6	ELEVATION - 60.7'	109.5'	48.8'
#7	ELEVATION - 64.6'	109.5'	44.9'
#8	ELEVATION - 68.0'	109.5'	41.5'
#9	ELEVATION - 69.5'	113.7'	44.2'
#10	ELEVATION - 58.0'	113.7'	55.7'
#11	ELEVATION - 56.8'	112.8'	56.0'
#12	ELEVATION - 56.8'	111.8'	55.0'



PROPOSED BUILDING HEIGHT

No.	DATE	DESCRIPTION	BY	CHKD
4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

SCALE: 1/16"=1'-0"
SHEET: A1.3
KD PROJ. NO. ###



**825 DRAKE AVENUE
MULTI FAMILY HOUSING**
825 DRAKE AVENUE
MARIN CITY, CA 94965

PROGRESS
SET

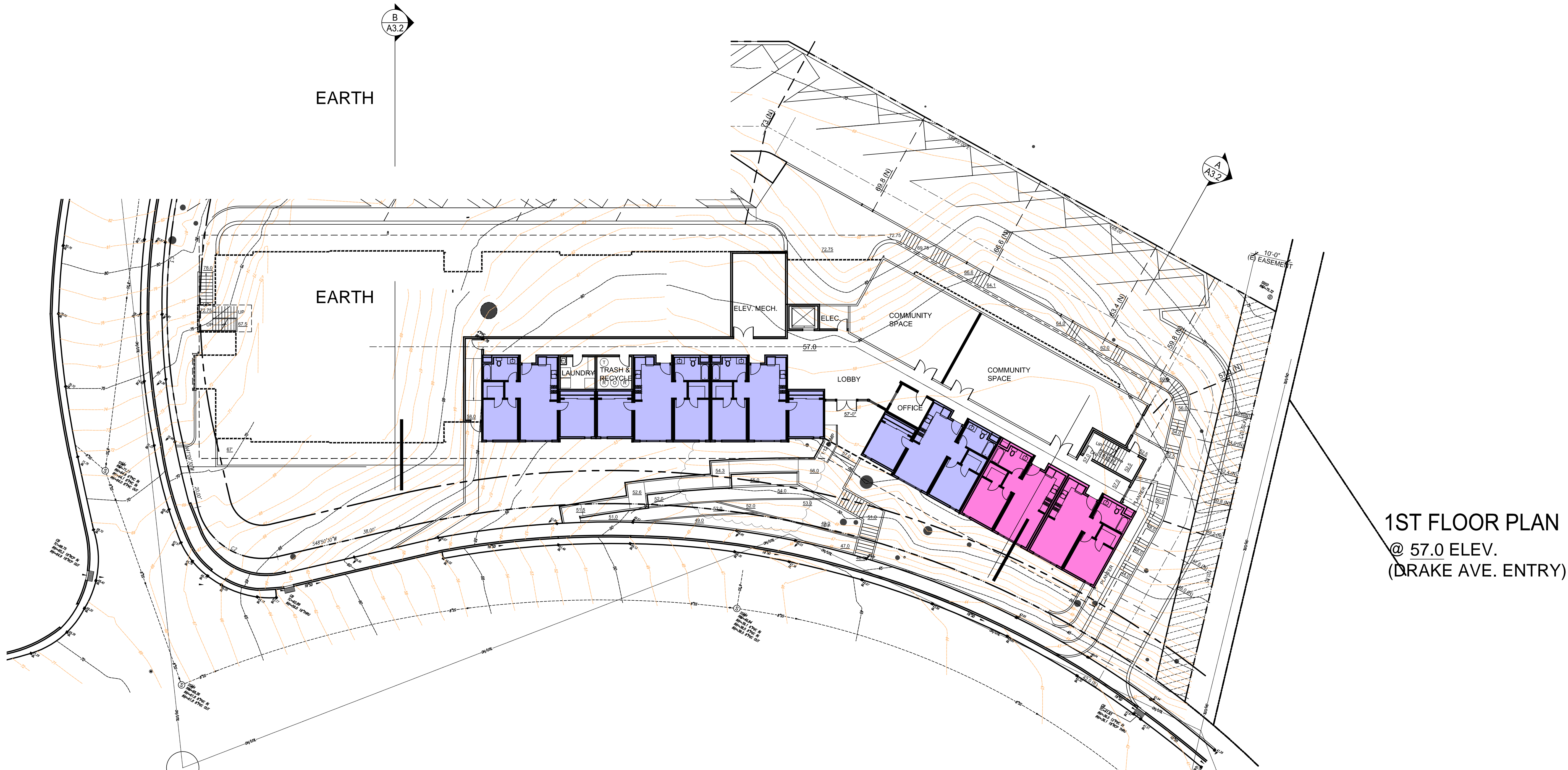
PROPOSED
FLOOR PLANS

1ST FLOOR

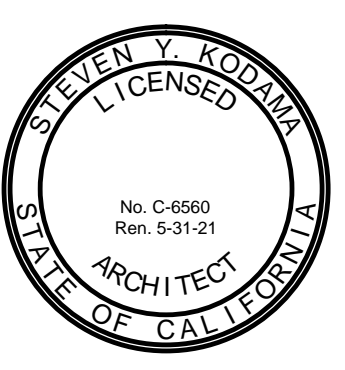
4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

SCALE	1/16"=1'-0"	SHEET	A2.1
KD PROJ. NO.	###		

UNIT TYPE	UNITS PER FLOOR					TOTAL
	1ST FLOOR EL. 57	2ND FLOOR EL. 67.5	3RD FLOOR EL. 78	4TH FLOOR EL. 88.5	5TH FLOOR EL. 99	
1 BEDROOM	2	6	6	5	5	24
2 BEDROOM	4	9	9	10	10	42
3 BEDROOM	0	2	2	2	2	8
TOTAL	6	17	17	17	17	74



1ST FLOOR PLAN
@ 57.0 ELEV.
(DRAKE AVE. ENTRY)



**825 DRAKE AVENUE
MULTI FAMILY HOUSING**
825 DRAKE AVENUE
MARIN CITY, CA 94965

2ND FLOOR PLAN
@ 67.5 ELEV. & 72.75
ELEV. (ENTRY FROM
PARKING LOT)

PROGRESS
SET

PROPOSED
FLOOR PLANS

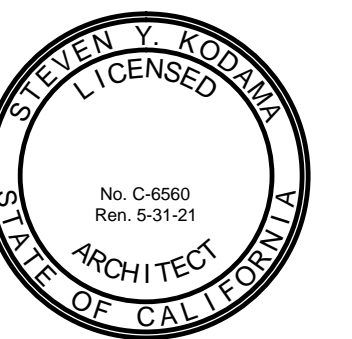
2ND FLOOR

4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

No.	DATE	DESCRIPTION	BY	CKD
SCALE	1/16"=1'-0"			
KD PROJ. NO.	###			
SHEET	A2.2			

UNIT TYPE	UNITS PER FLOOR					TOTAL
	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	
	EL. 57	EL. 67.5	EL. 78	EL. 88.5	EL. 99	
1 BEDROOM	2	6	6	5	5	24
2 BEDROOM	4	9	9	10	10	42
3 BEDROOM	0	2	2	2	2	8
TOTAL	6	17	17	17	17	74





**825 DRAKE AVENUE
MULTI FAMILY HOUSING**
825 DRAKE AVENUE
MARIN CITY, CA 94965

PROGRESS
SET

PROPOSED
FLOOR PLANS
3RD, 4TH & 5TH
FLOORS

No.	DATE	DESCRIPTION	BY	CHKD
4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

SCALE	1/16"=1'-0"	SHEET	A2.3
KD PROJ. NO.	###		

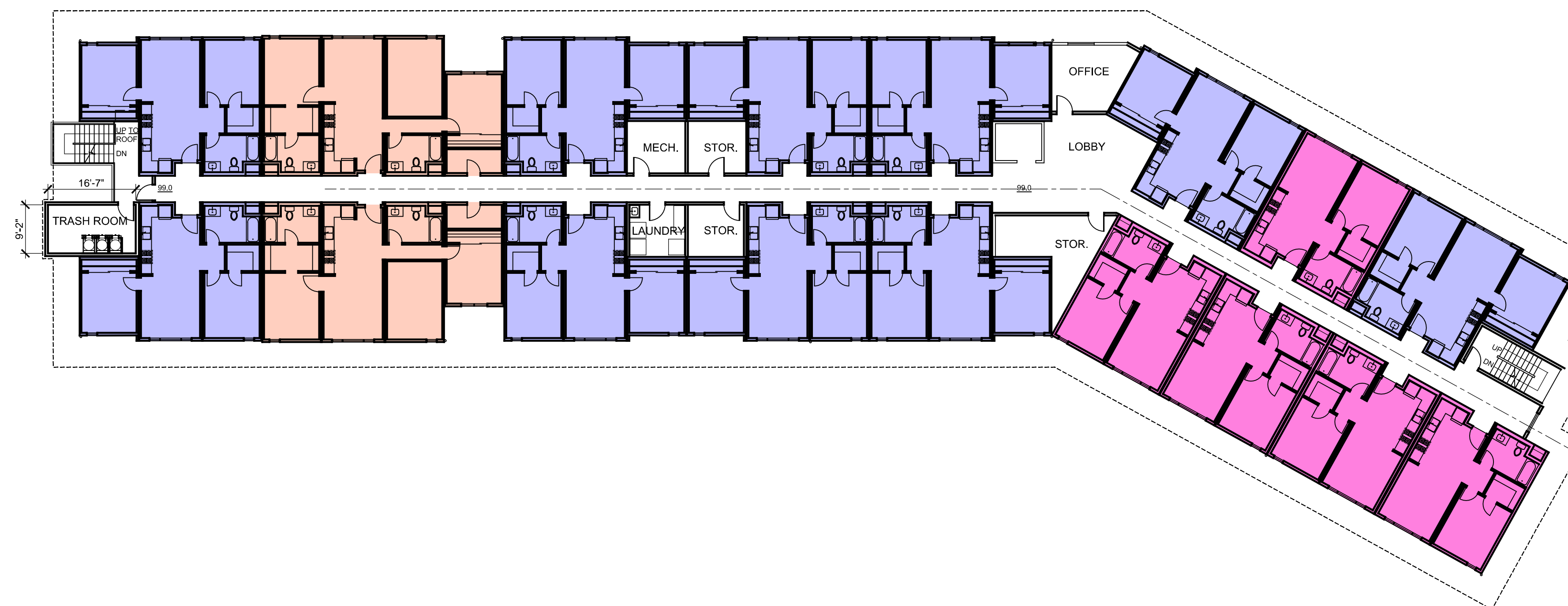
UNIT TYPE	UNITS PER FLOOR					TOTAL
	1ST FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	5TH FLOOR	
	EL. 57	EL. 67.5	EL. 78	EL. 88.5	EL. 99	
1 BEDROOM	2	6	6	5	5	24
2 BEDROOM	4	9	9	10	10	42
3 BEDROOM	0	2	2	2	2	8
TOTAL	6	17	17	17	17	74



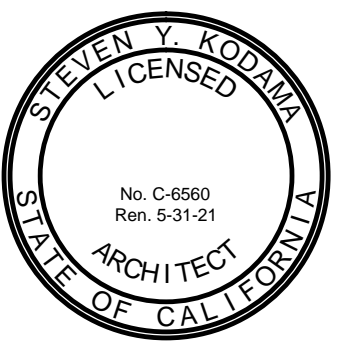
3RD FLOOR PLAN
@ 78.0 ELEV. & 72.75
ELEV. (ENTRY FROM
PARKING LOT)



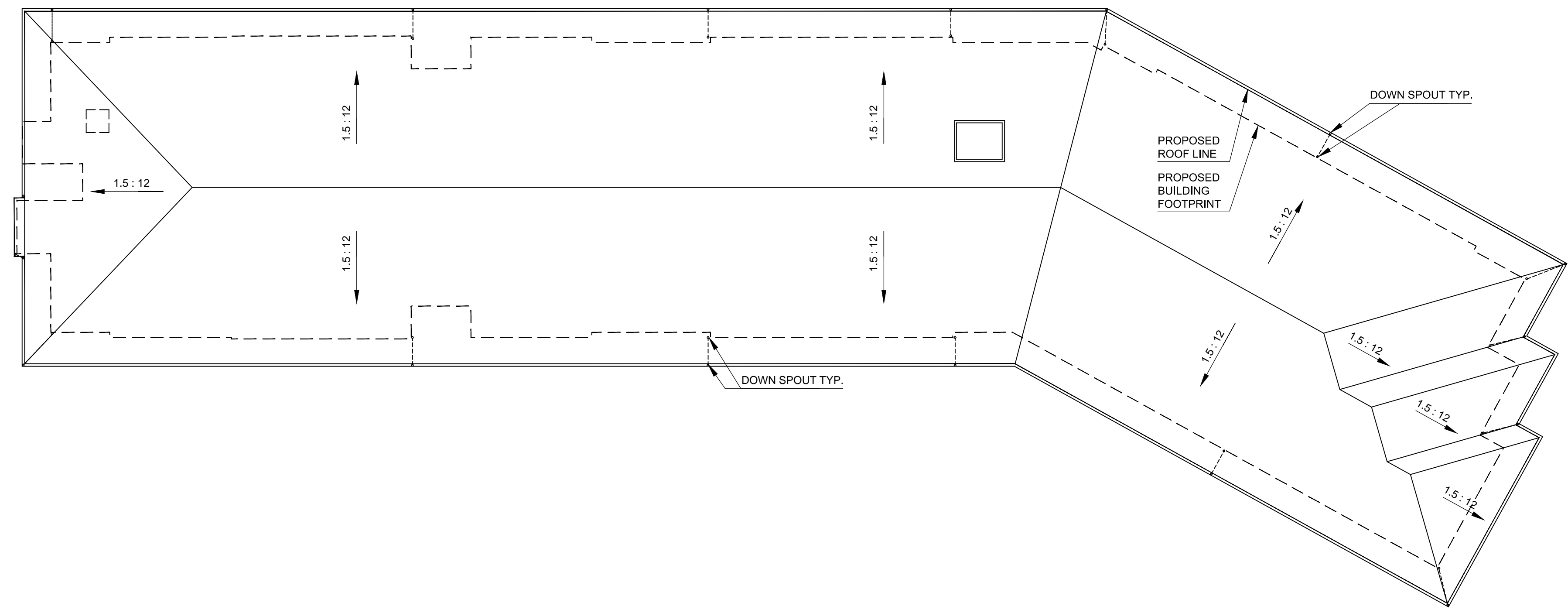
4TH FLOOR PLAN
@ 88.5 ELEV.



5TH FLOOR PLAN
@ 99.0 ELEV.



825 DRAKE AVENUE
MULTI FAMILY HOUSING
 825 DRAKE AVENUE
 MARIN CITY, CA 94965



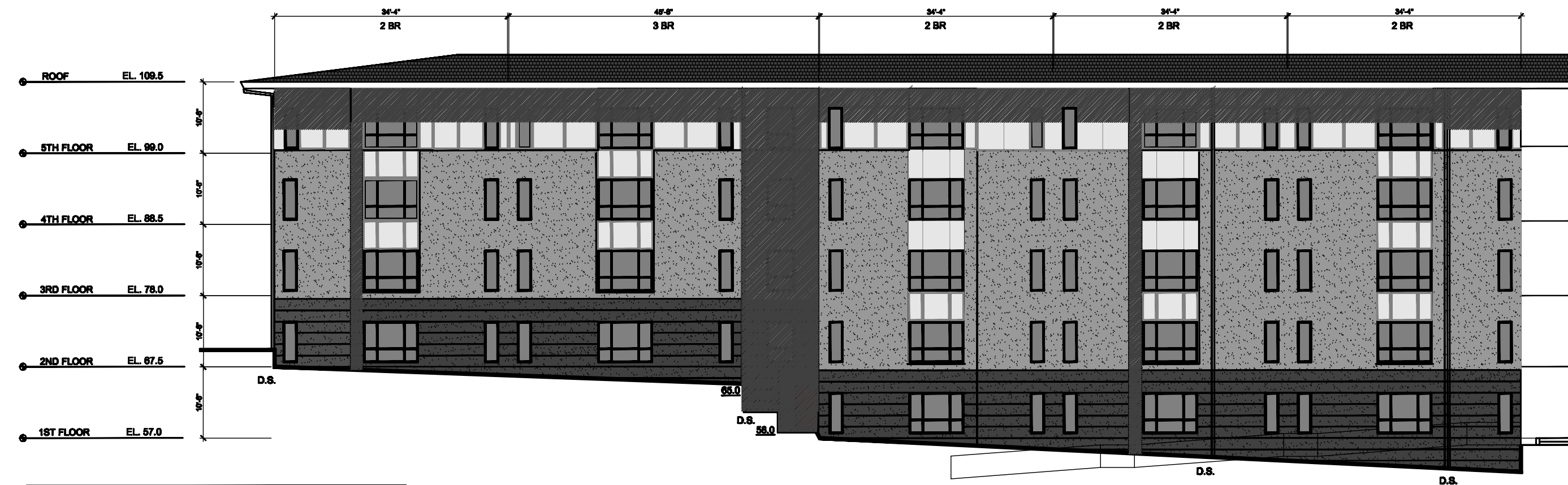
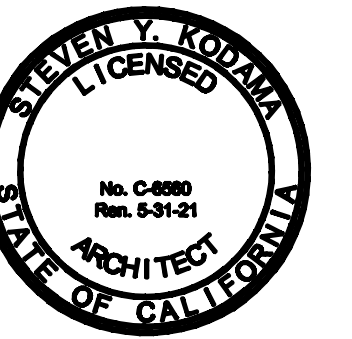
ROOF PLAN

PROGRESS SET

PROPOSED ROOF PLAN

No.	DATE	DESCRIPTION	BY	CHKD
4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

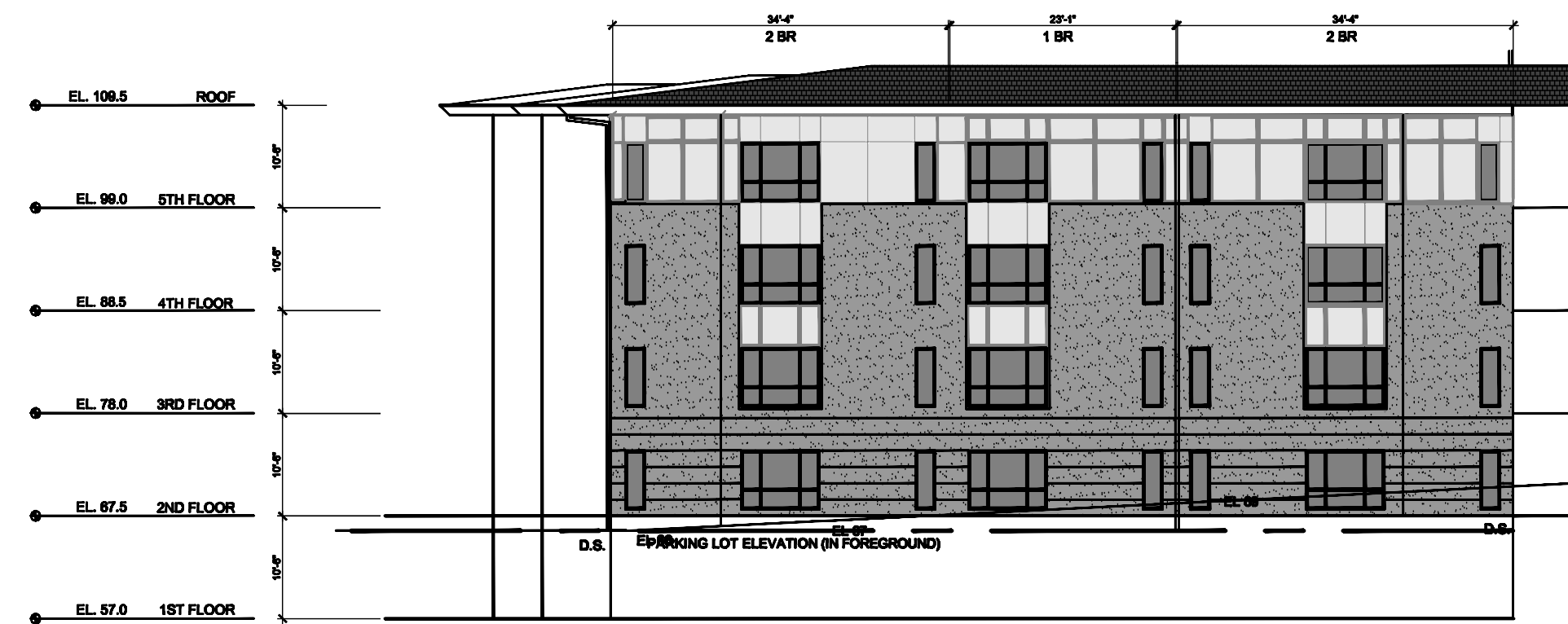
SCALE 1/16"=1'-0"
 KD PROJ. NO. ###
 SHEET **A2.4**



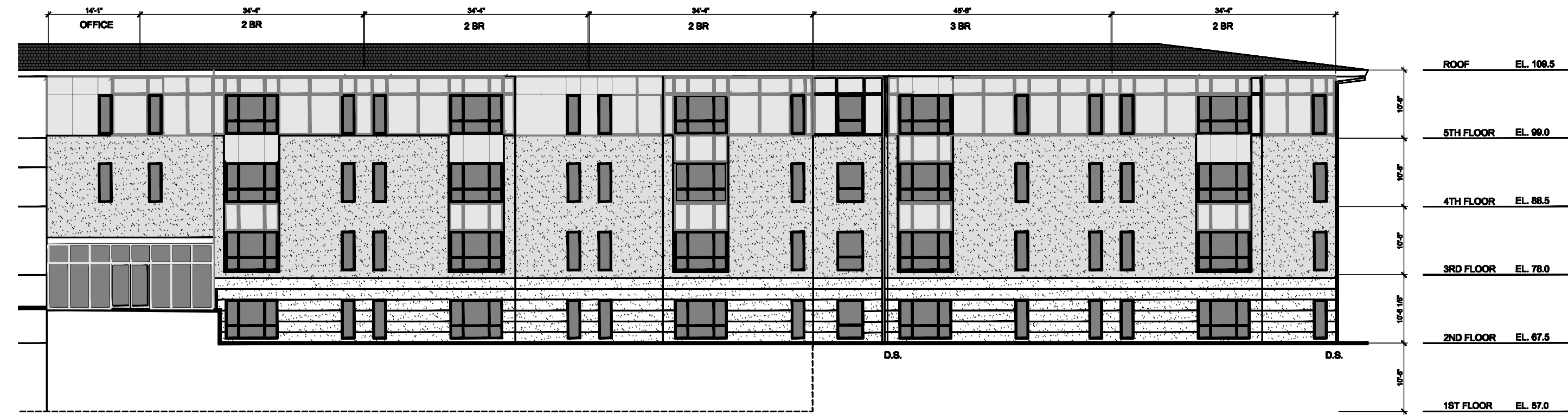
1 SOUTH ELEVATION



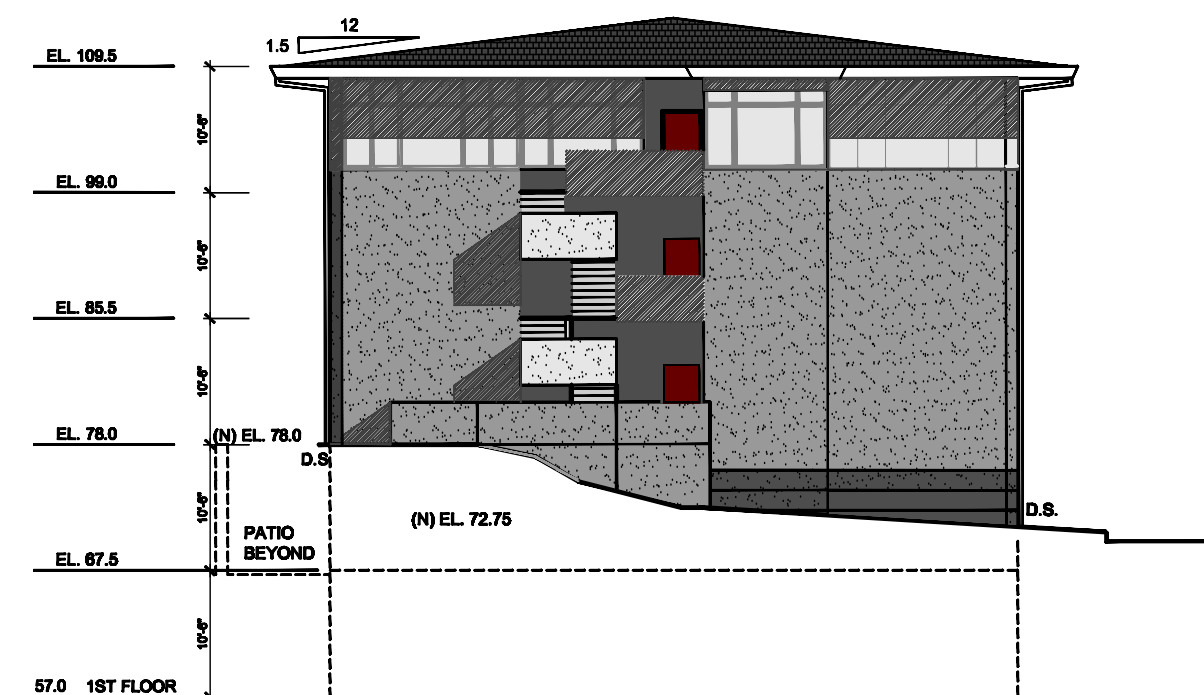
2 SOUTH ELEVATION



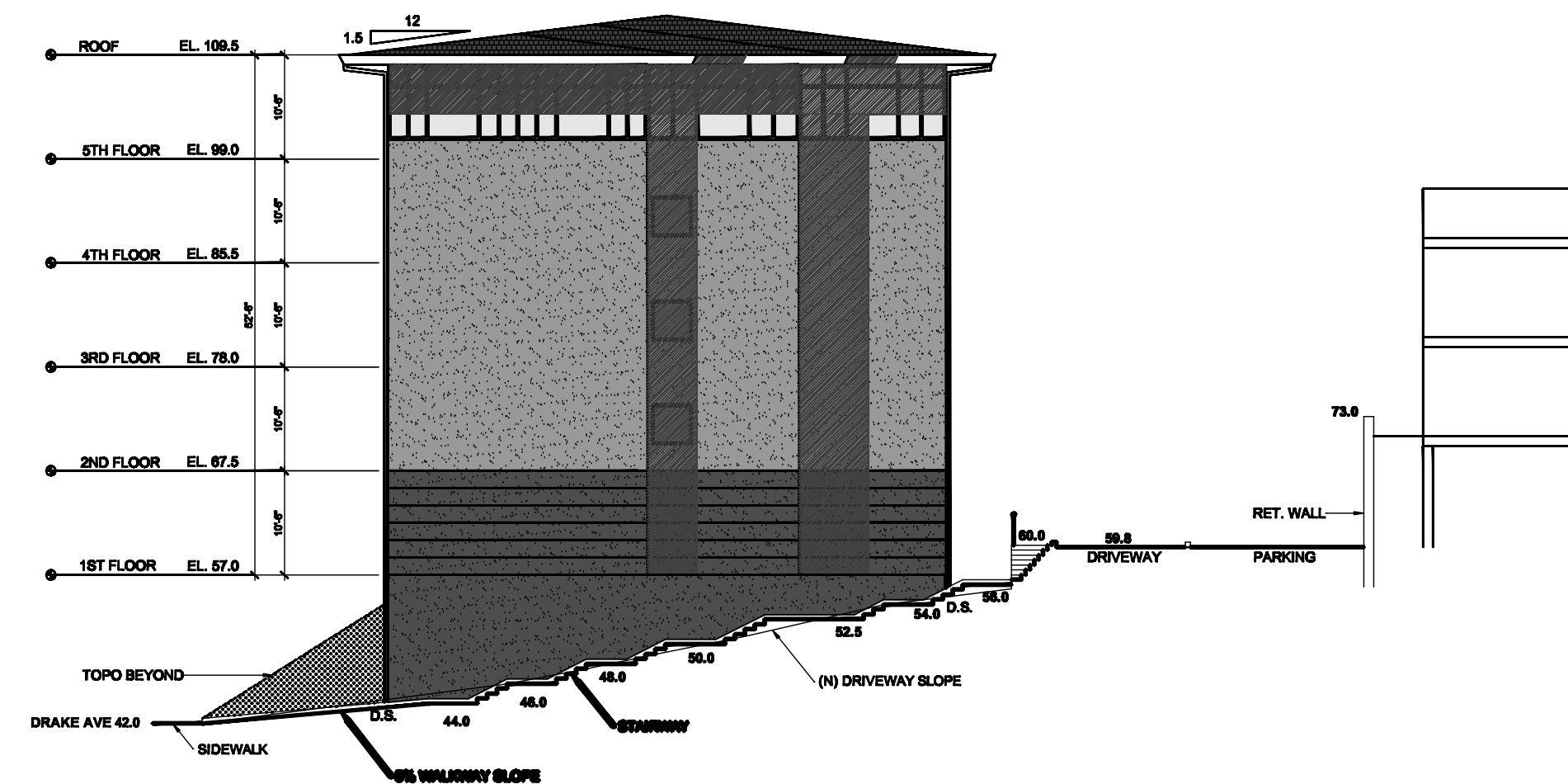
3 NORTH ELEVATION



4 NORTH ELEVATION



5 WEST ELEVATION



6 EAST ELEVATION

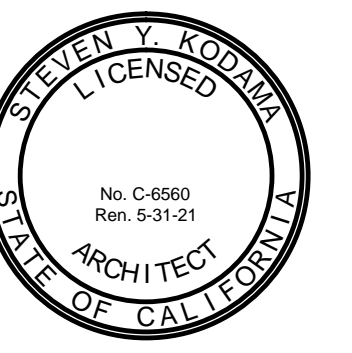
825 DRAKE AVENUE
MULTI FAMILY HOUSING
825 DRAKE AVENUE
MARIN CITY, CA 94965

PROGRESS SET

PROPOSED ELEVATIONS

No.	DATE	DESCRIPTION	BY	CKD
4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

SCALE: 1/16" = 1'-0"
KD PROJ. NO. ###
SHEET: A3.1



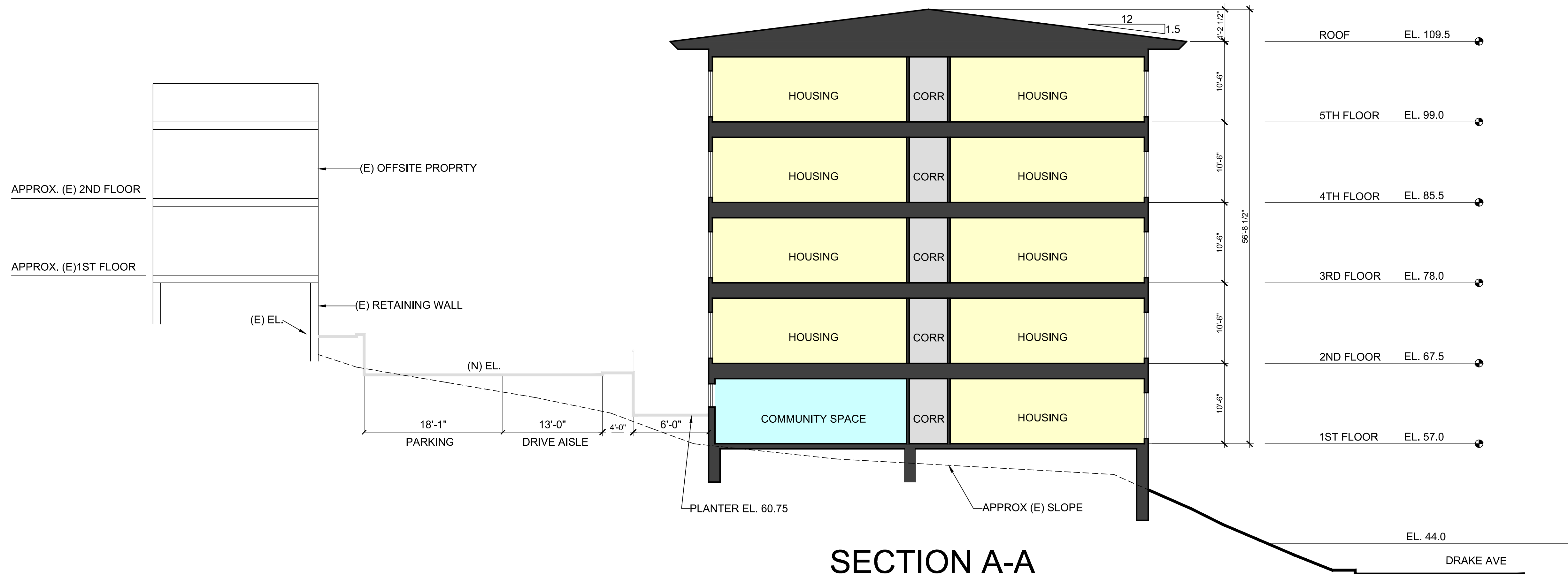
**825 DRAKE AVENUE
MULTI FAMILY HOUSING**
825 DRAKE AVENUE
MARIN CITY, CA 94965

PROGRESS
SET

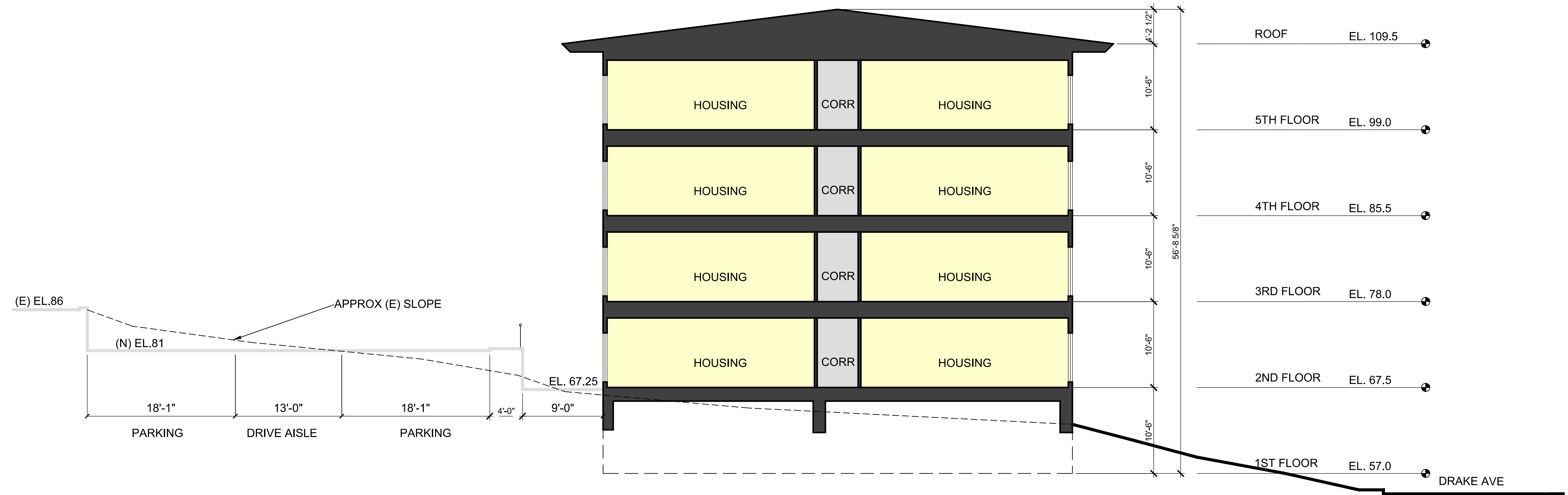
PROPOSED
SECTIONS

No.	DATE	DESCRIPTION	BY	CKD
4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

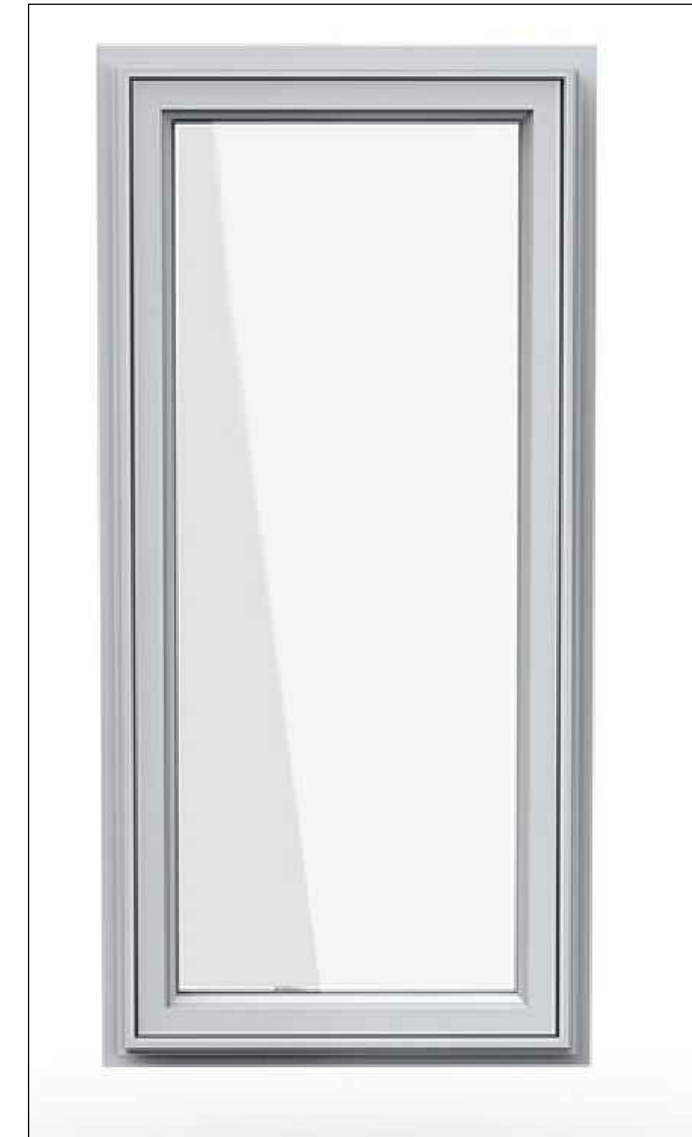
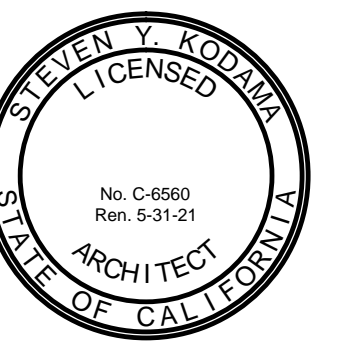
SCALE	1/8" = 1'-0"	SHEET	A3.2
KD PROJ. NO.	###		



SECTION A-A



SECTION B-B



WINDOW -
VINYL FRAME

ROOF -
ASPHALT SHINGLES

WALL -
HARDIE-BOARD

WALL -
CEMENT PLASTER

WALL BASE -
CEMENT PLASTER



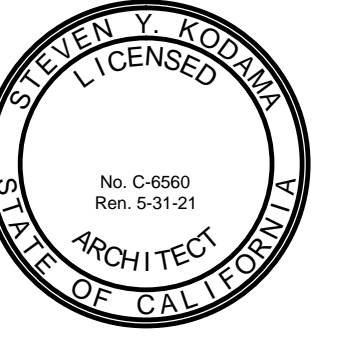
**825 DRAKE AVENUE
MULTI FAMILY HOUSING**
825 DRAKE AVENUE
MARIN CITY, CA 94965

PROGRESS
SET

PROPOSED
BUILDING
MATERIALS

No.	DATE	DESCRIPTION	BY	CHKD
4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

SCALE: N.T.S. SHEET: **A3.3**
KD PROJ. NO. ###



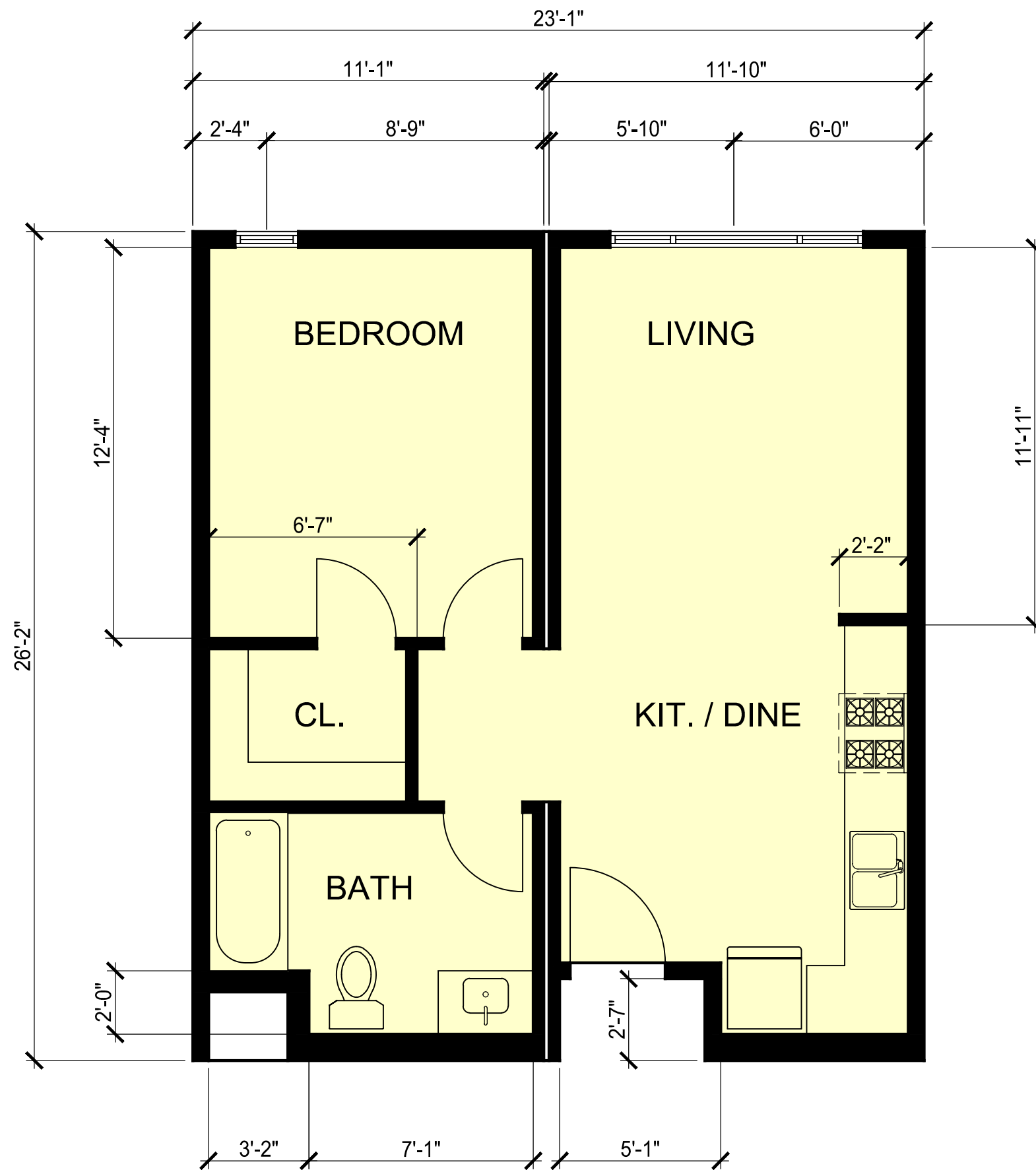
**825 DRAKE AVENUE
MULTI FAMILY HOUSING**
825 DRAKE AVENUE
MARIN CITY, CA 94965

PROGRESS
SET

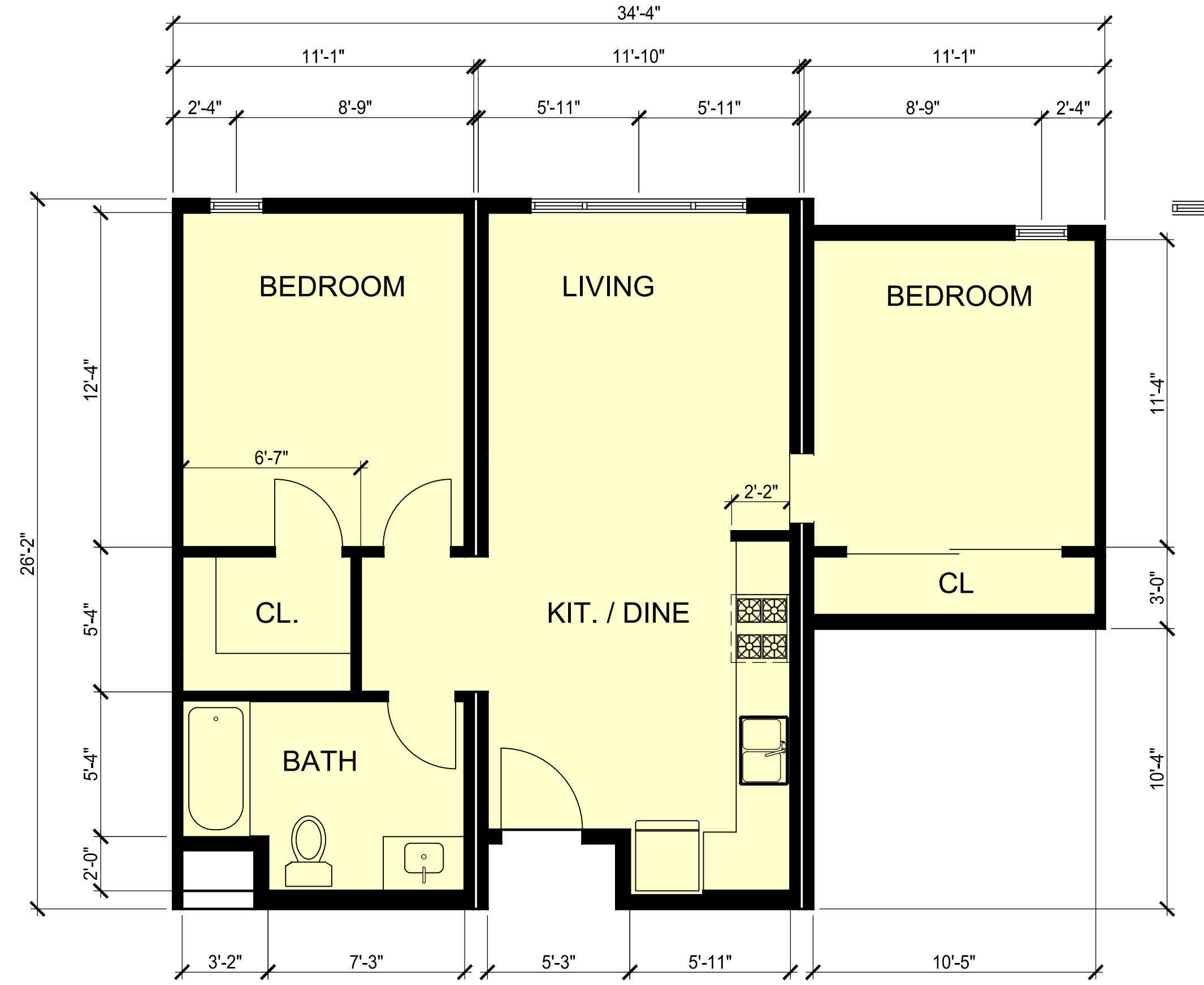
ENLARGED
UNIT TYPE
PLANS

No.	DATE	DESCRIPTION	BY	CKD
4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

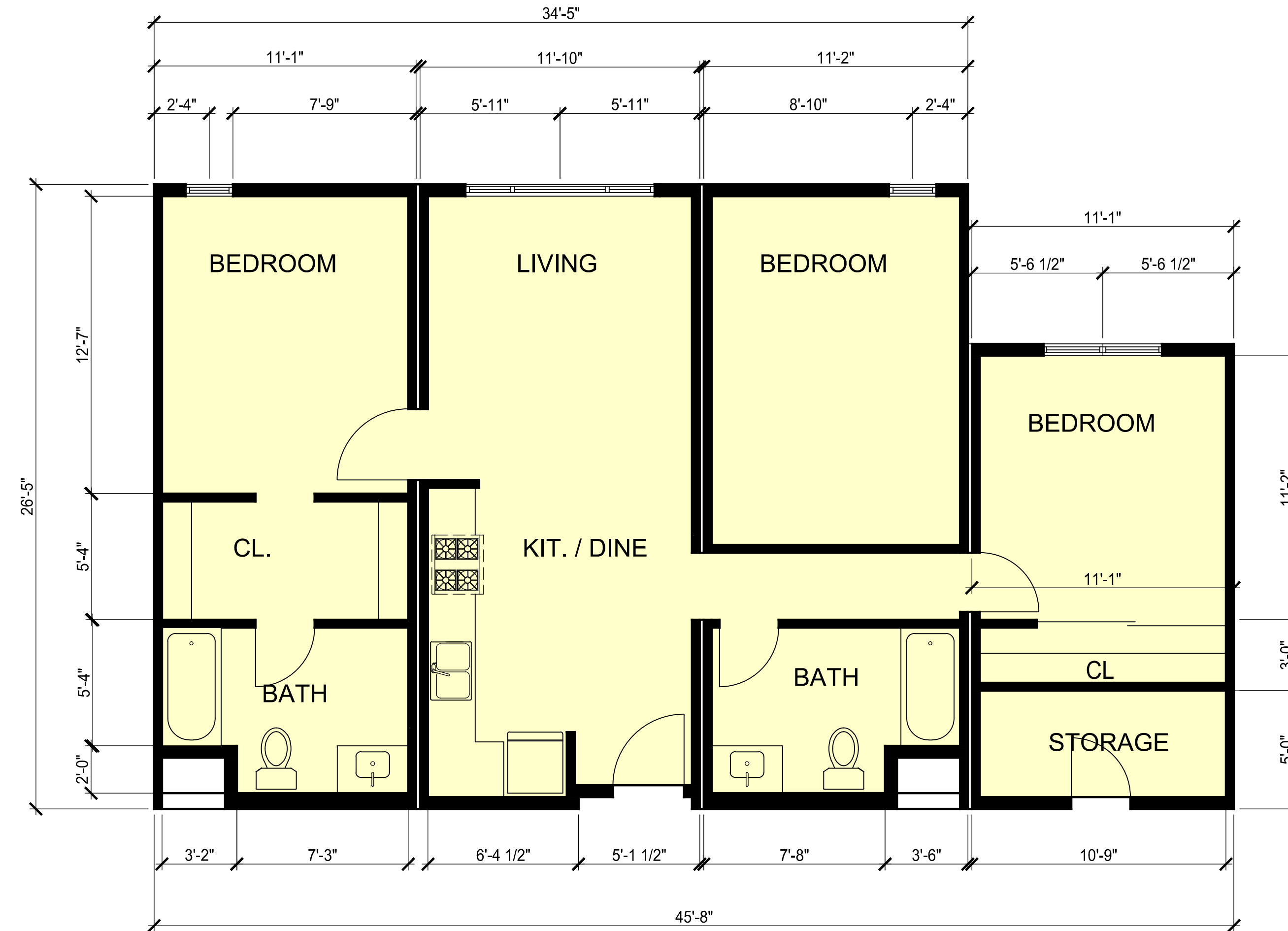
SCALE: 1/4" = 1'-0"
KD PROJ. NO. ###
SHEET **A4.1**



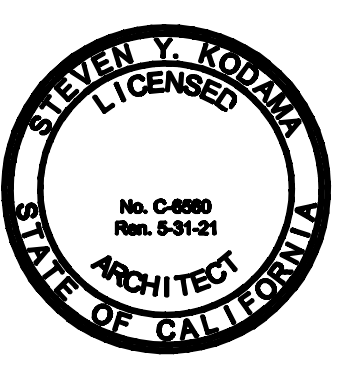
1 BEDROOM
592 S.F.



2 BEDROOM
765 S.F.



3 BEDROOM
1128 S.F.

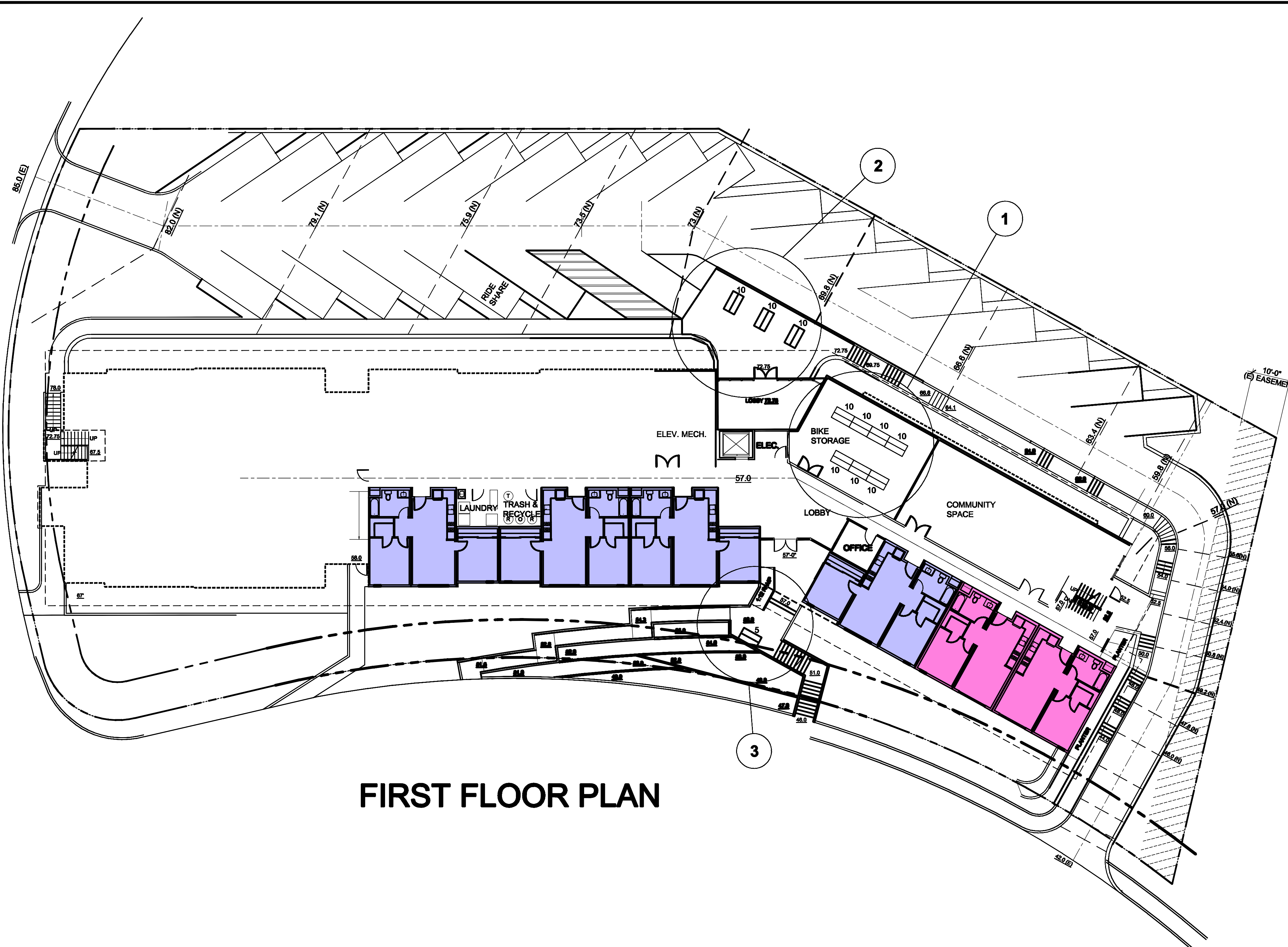


**825 DRAKE AVENUE
MULTI FAMILY HOUSING**
825 DRAKE AVENUE
MARIN CITY, CA 94965

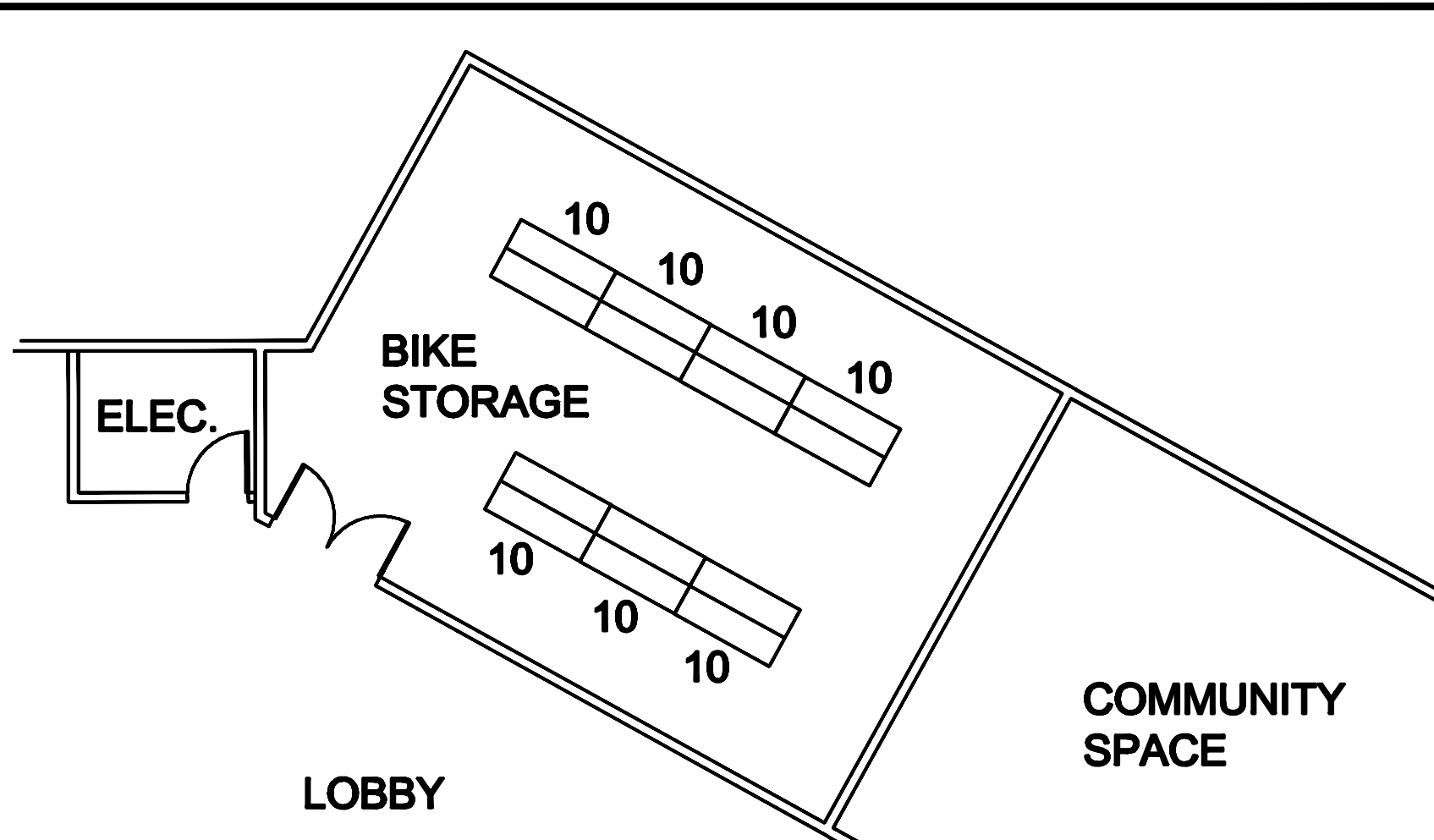
PROGRESS
SET

**BIKE
STORAGE**

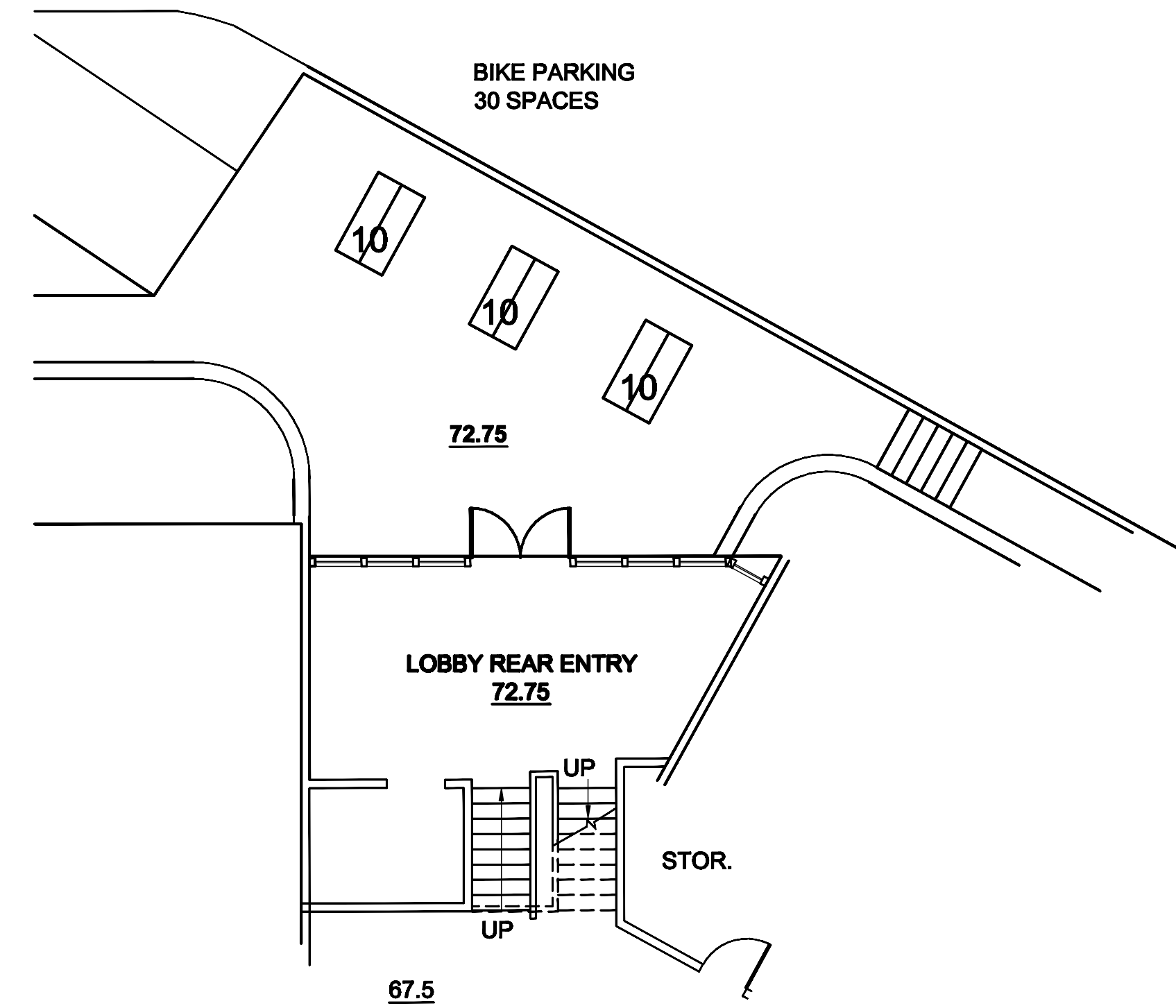
No.	DATE	DESCRIPTION	BY	CHKD
7	7/28/20	BIKE STORAGE	CW	SK
6	7/17/20	BIKE STORAGE	CW	SK
5	7/10/20	BIKE STORAGE	CW	SK
4	5/12/20	PROGRESS SET	CW	SK
3	3/10/20	PROGRESS SET	CW	SK
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK



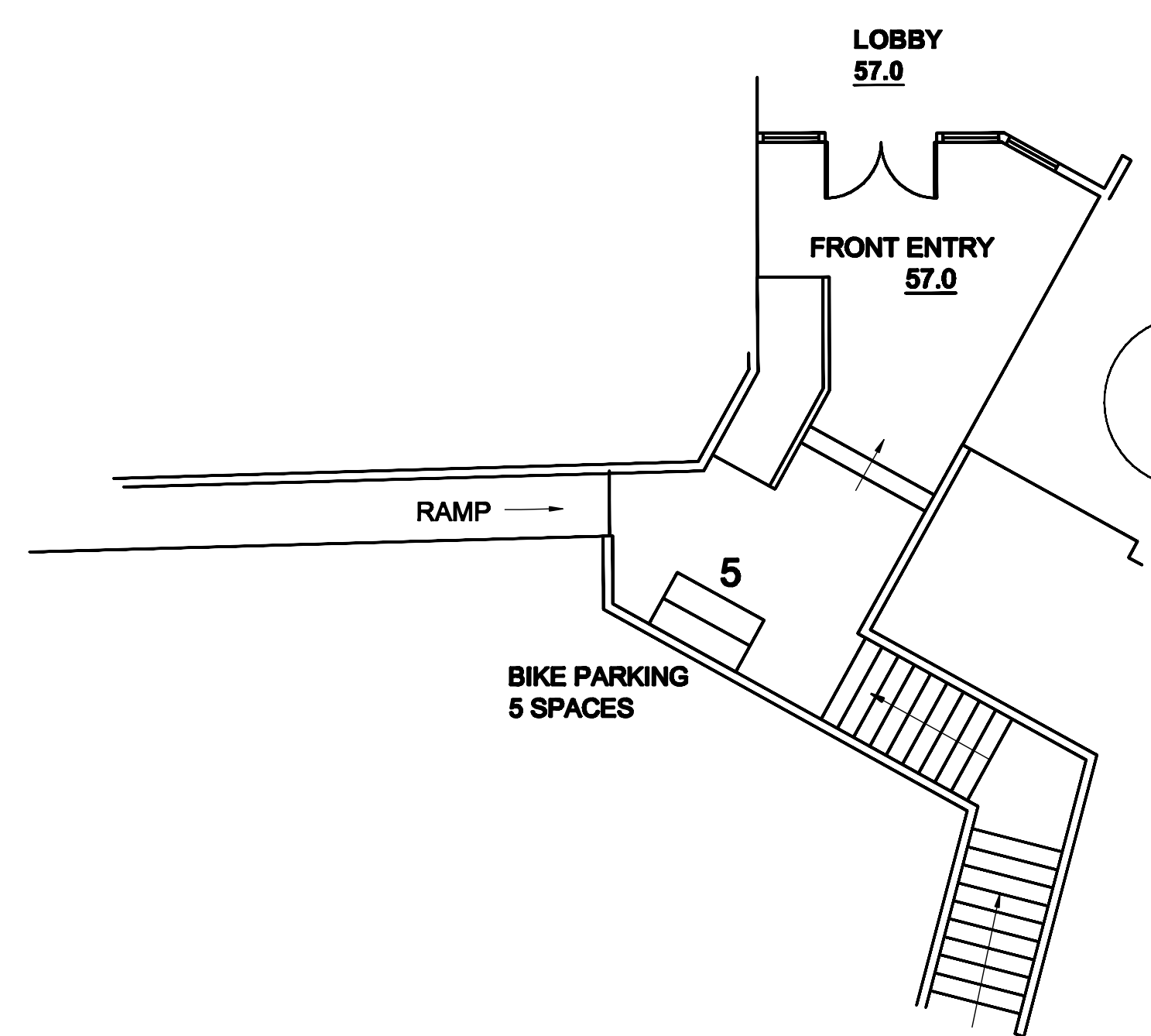
FIRST FLOOR PLAN



**1 LONG TERM
CAPACITY: 70 BIKES
SCALE: 1/8" = 1'-0"**



**2 SHORT TERM
REAR ENTRANCE
CAPACITY: 30 BIKES
SCALE: 1/8" = 1'-0"**



**3 SHORT TERM
FRONT ENTRANCE
CAPACITY: 5 BIKES
SCALE: 1/8" = 1'-0"**

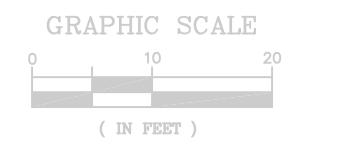
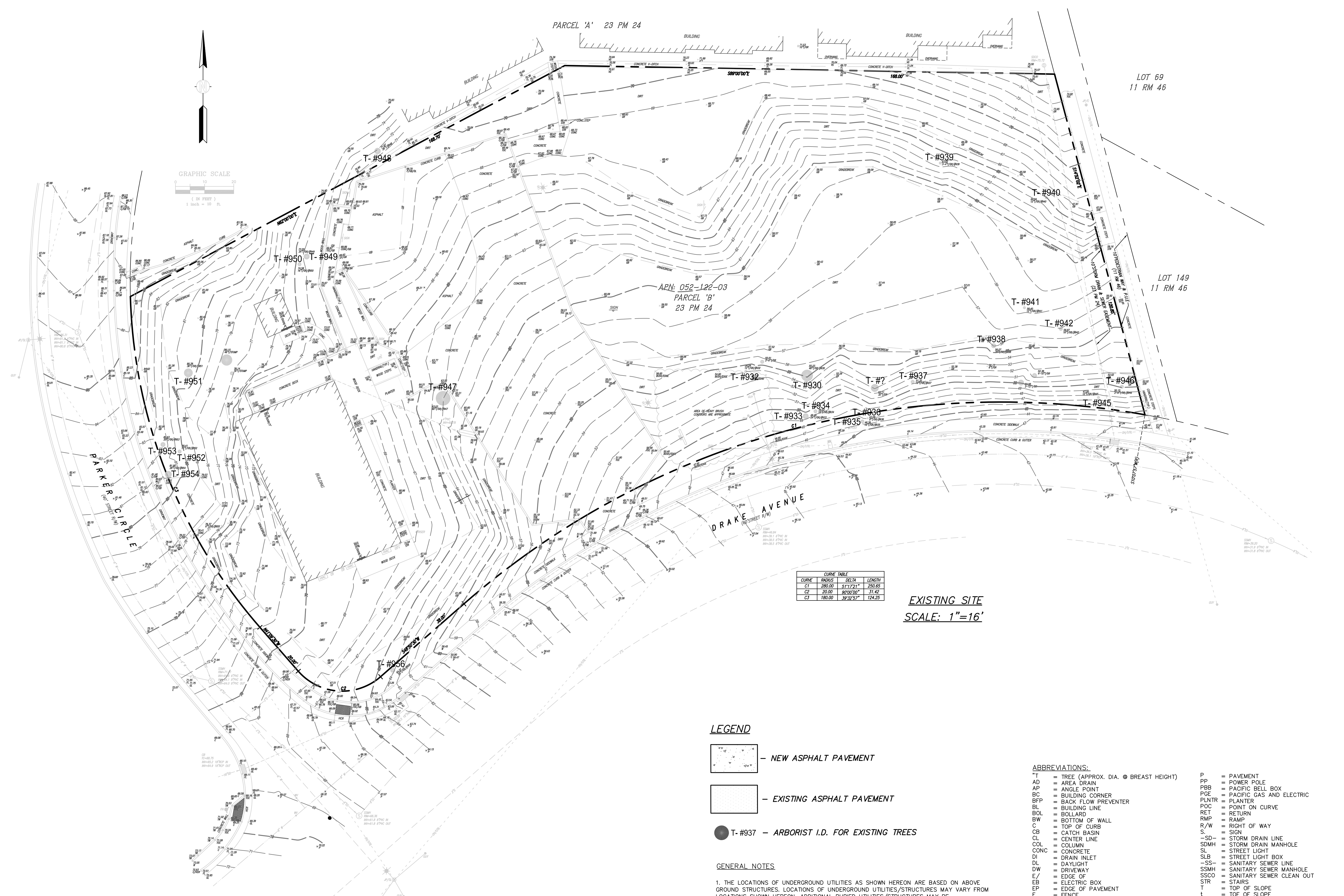


825 DRAKE AVENUE
MULTI FAMILY HOUSING
825 DRAKE AVENUE
SAUSALITO, MARIN COUNTY, CA 94965

EXISTING CONDITIONS

No.	DATE	DESCRIPTION	BY	CKD
3	4/01/20	CIVIL DRAWINGS	RB	MR
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

SCALE	AS SHOWN	SHEET	C1.0
KD PROJ. NO.	###	###	



CURVE	RADIUS	DELTA	LENGTH
C1	280.00	51°17'21"	250.65
C2	200.00	80°30'00"	31.42
C3	180.00	90°00'00"	124.25

EXISTING SITE
SCALE: 1"=16'

LEGEND

- NEW ASPHALT PAVEMENT
- EXISTING ASPHALT PAVEMENT
- T-#937 - ARBORIST I.D. FOR EXISTING TREES

GENERAL NOTES

- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
- CONTRACTORS AND OTHERS PERFORMING WORK SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES.
- CONTOUR INTERVAL = 1'
- BASIS OF BEARINGS: THE CALCULATED BEARING N70°20'44" BETWEEN TWO FOUND MONUMENTS ON DRAKE AVENUE AS SHOWN ON THE MAP OF MARIN CITY REDEVELOPMENT PROJECT UNIT FOUR, FILED OCTOBER 10, 1962, IN VOLUME 11 OF MAPS AT PAGE 46, RECORDS, MARIN COUNTY CALIFORNIA.
- BENCHMARK: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), ESTABLISHED BY AN RTK GPS SURVEY, REFERENCED TO THE TOPNET LIVE REAL TIME GNSS REFERENCE NETWORK.
- SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.

ABBREVIATIONS:

- T = TREE (APPROX. DIA. ● BREAST HEIGHT)
- AD = AREA DRAIN
- AP = ANGLE POINT
- BC = BUILDING CORNER
- BFP = BACK FLOW PREVENTER
- BL = BUILDING LINE
- BOL = BOLLARD
- SW = TOP OF CURB
- C = CATCH BASIN
- CL = CENTER LINE
- COL = COLUMN
- CONC = CONCRETE
- DL = DRAIN INLET
- DL = DAYLIGHT
- DW = DRIVEWAY
- E/ = EDGE OF
- EB = ELECTRIC BOX
- EP = EDGE OF PAVEMENT
- F = FENCE
- FDC = FIRE DEPARTMENT CONNECTION
- FF = FINISH FLOOR
- FH = FIRE HYDRANT
- FL = FLOW LINE
- G- = GAS LINE
- GB = GRADE BREAK
- GL = GUTTER LIP
- GM = GAS METER
- GP = GATE POST
- GR = GROUND ELEVATION
- GUY = GUY WIRE
- GV = GAS VALVE
- HB = HOSE BIB
- HCR = HANDICAP RAMP
- INV = INVERT
- JP = JOINT POLE
- JP/C = JOINT POLE W/CONDUIT
- MH = MAN HOLE
- P = PAVEMENT
- PP = POWER POLE
- PBB = PACIFIC BELL BOX
- PGE = PACIFIC GAS AND ELECTRIC
- PLNTR = PLANTER
- POC = POINT ON CURVE
- RET = RETURN
- RMP = RAMP
- R/W = RIGHT OF WAY
- S = SIGN
- SD- = STORM DRAIN LINE
- SDMH = STORM DRAIN MANHOLE
- SL = STREET LIGHT
- SLB = STREET LIGHT BOX
- SS- = SANITARY SEWER LINE
- SSMH = SANITARY SEWER MANHOLE
- SSCO = SANITARY SEWER CLEAN OUT
- STR = STAIRS
- T = TOP OF SLOPE
- t = TOE OF SLOPE
- TEL- = UNDERGROUND TELEPHONE LINE
- T/E- = OVERHEAD TELEPHONE & ELECTRIC
- TOC = TOP OF CONCRETE
- TW = TOP OF WALL
- UB = UTILITY BOX
- VD = V-DITCH
- VG = VALLEY GUTTER
- W = BACK OF WALK
- WL- = WATER LINE
- WLK = WALK
- WM = WATER METER
- WV = WATER VALVE



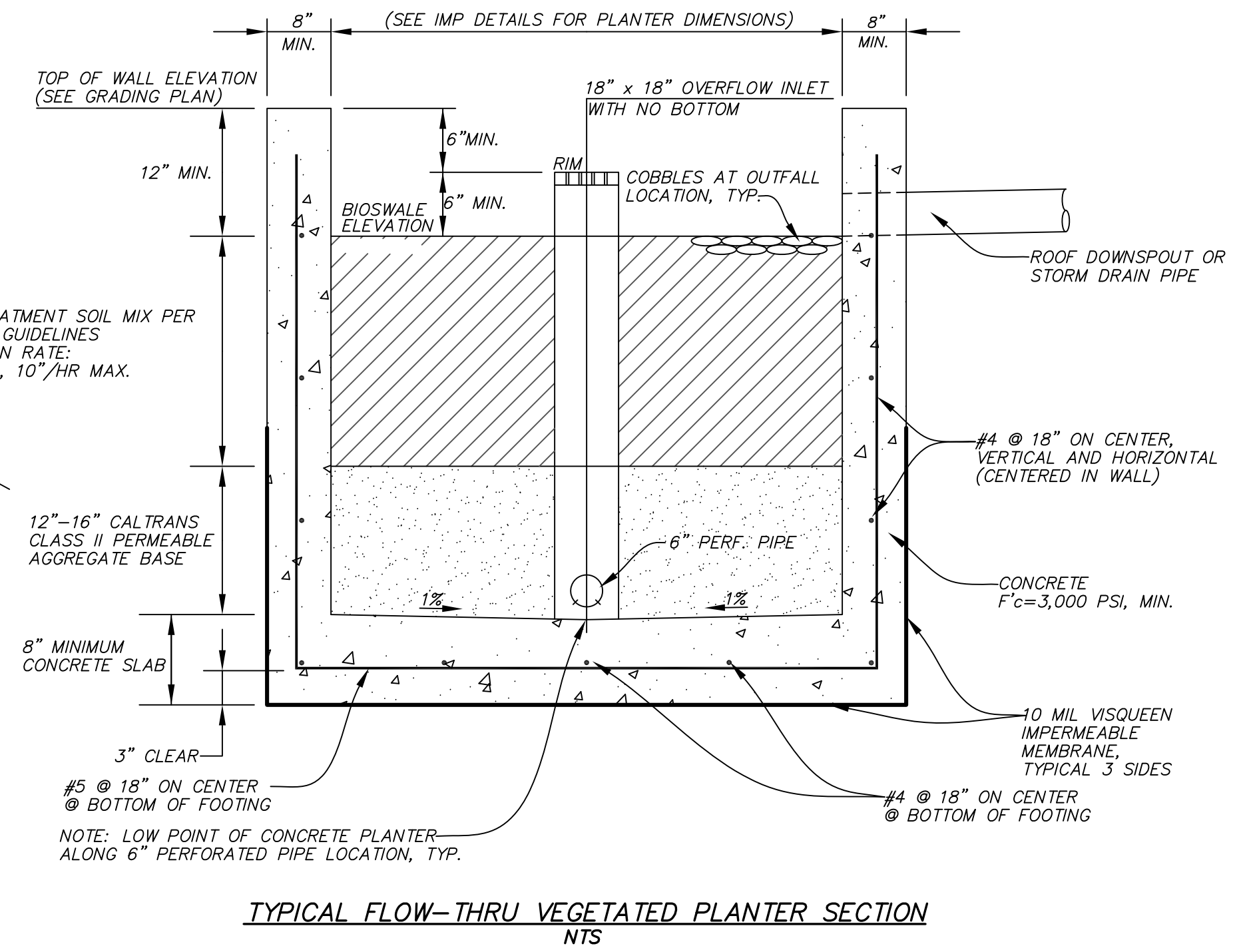
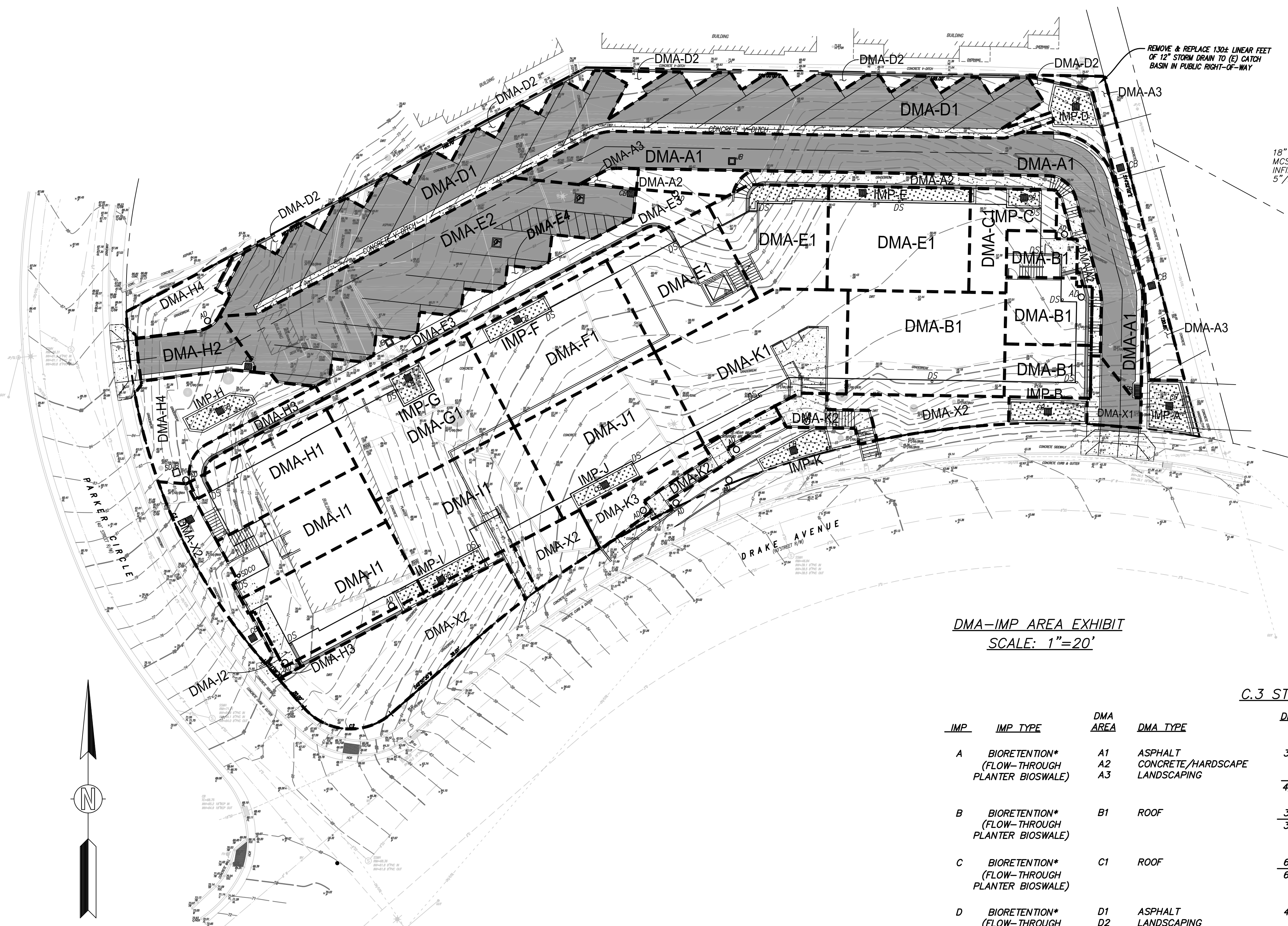
Matthew H. Kister
 Exp. 12/31/21

**825 DRAKE AVENUE
 MULTI FAMILY HOUSING
 825 DRAKE AVENUE
 SAUSALITO, MARIN COUNTY, CA 94965**

**PRELIMINARY
 STORMWATER
 CONTROL PLAN**

4	7/31/20	REVISE CIVIL DRAWINGS	RB	MR
3	4/01/20	CIVIL DRAWINGS	RB	MR
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

No.	DATE	DESCRIPTION	BY	CKD
SCALE	AS SHOWN	SHEET		
KD PROJ. NO.	#	###		

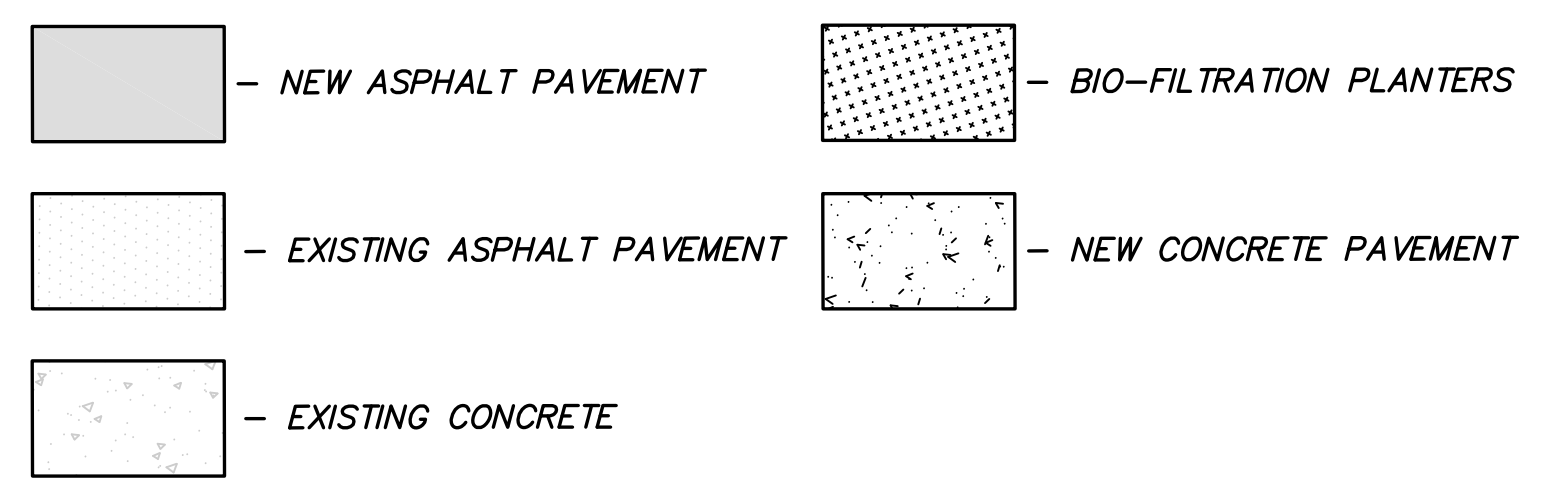


DMA-IMP AREA EXHIBIT
 SCALE: 1"=20'

C.3 STORM WATER TREATMENT MEASURES

IMP	IMP TYPE	DMA AREA	DMA TYPE	DRAINAGE AREA	IMPERVIOUS AREA	PERVIOUS AREA	BIORETENTION AREA REQUIRED	BIORETENTION AREA PROVIDED	RISER HEIGHT	LOCATION		
A	BIORETENTION* (FLOW-THROUGH PLANTER BIOSWALE)	A1	ASPHALT	3,150 SF	3,150 SF		126 SF	168 SF	0.50'	ONSITE		
		A2	CONCRETE/HARDSCAPE	940 SF	940 SF		38 SF			ONSITE		
		A3	LANDSCAPING	775 SF		775 SF	3 SF			ONSITE		
				4,865 SF	4,090 SF		167 SF					
B	BIORETENTION* (FLOW-THROUGH PLANTER BIOSWALE)	B1	ROOF	3,125 SF	3,125 SF		125 SF	144 SF	0.50'	ONSITE		
					3,125 SF	3,125 SF		125 SF				
C	BIORETENTION* (FLOW-THROUGH PLANTER BIOSWALE)	C1	ROOF	620 SF	620 SF		25 SF	50 SF	0.50'	ONSITE		
					620 SF	620 SF		25 SF				
D	BIORETENTION* (FLOW-THROUGH PLANTER BIOSWALE)	D1	ASPHALT	4,810 SF	4,810 SF		192 SF	195 SF	0.50'	ONSITE		
			D2	LANDSCAPING	600 SF		600 SF	3 SF			ONSITE	
					5,410 SF	4,810 SF		600 SF	195 SF			
E	BIORETENTION* (FLOW-THROUGH PLANTER BIOSWALE)	E1	ROOF	3,895 SF	3,895 SF		156 SF	327 SF	0.50'	ONSITE		
			E2	ASPHALT	3,380 SF	3,380 SF		135 SF			ONSITE	
				E3	CONCRETE/HARDSCAPE	825 SF	825 SF		33 SF			ONSITE
					E4	LANDSCAPING	245 SF		245 SF	1 SF		
				8,345 SF	8,100 SF		325 SF					
F	BIORETENTION* (ABOVE GROUND FLOW-THROUGH BIOSWALE)	F1	ROOF	1,740 SF	1,740 SF		70 SF	85 SF	0.50'	ONSITE		
					1,740 SF	1,740 SF		70 SF				
G	BIORETENTION* (ABOVE GROUND FLOW-THROUGH BIOSWALE)	G1	ROOF	1,720 SF	1,720 SF		69 SF	89 SF	0.50'	ONSITE		
					1,720 SF	1,720 SF		69 SF				
H	BIORETENTION* (FLOW-THROUGH PLANTER BIOSWALE)	H1	ROOF	1,085 SF	1,085 SF		44 SF	117 SF	0.50'	ONSITE		
			H2	ASPHALT	500 SF	500 SF		20 SF			ONSITE	
				H3	CONCRETE/HARDSCAPE	285 SF	285 SF		11 SF			ONSITE
					H4	LANDSCAPING	1,955 SF		1,955 SF	8 SF		
				3,825 SF	1,870 SF		83 SF					
I	BIORETENTION* (ABOVE GROUND FLOW-THROUGH BIOSWALE)	I1	ROOF	4,120 SF	4,120 SF		165 SF	176 SF	0.50'	ONSITE		
			I2	CONCRETE/HARDSCAPE	115 SF	115 SF		4 SF			ONSITE	
					4,235 SF	4,235 SF		169 SF				
J	BIORETENTION* (ABOVE GROUND FLOW-THROUGH BIOSWALE)	J1	ROOF	1,740 SF	1,740 SF		70 SF	85 SF	0.50'	ONSITE		
					1,740 SF	1,740 SF		70 SF				
K	BIORETENTION* (FLOW-THROUGH PLANTER BIOSWALE)	K1	ROOF	1,990 SF	1,990 SF		80 SF	126 SF	0.50'	ONSITE		
			K2	CONCRETE/HARDSCAPE	570 SF	570 SF		23 SF			ONSITE	
				K3	LANDSCAPING	610 SF		610 SF	2 SF			ONSITE
				3,170 SF	2,560 SF		105 SF					
***X	BIORETENTION* (FLOW-THROUGH PLANTER BIOSWALE)	X1	ASPHALT/CONCRETE	275 SF	275 SF		11 SF	***0 SF	N/A	ONSITE		
			X2	LANDSCAPING	3,905 SF		3,905 SF	16 SF			ONSITE	
				4,180 SF	275 SF		3,905 SF					

HATCHING LEGEND



NOTE 1.: REFER TO THE STORM WATER CONTROL REPORT THAT ACCOMPANIES THIS EXHIBIT TO SEE THE BREAKDOWN OF DMA AND IMP SELF TREATING AREAS AND REQUIRED TREATMENT.

NOTE 2.: THIS PROJECT CREATES LESS THAN ONE ACRE OF IMPERVIOUS SURFACES, THEREFORE, HYDROMODIFICATION IS NOT REQUIRED. BASED ON ANNUAL RAINFALL OF 33 INCHES, THE TOTAL PRELIMINARY BIORETENTION AREA REQUIRED IS BASED ON THE FOLLOWING FACTOR:
 $((1.0)(\text{IMPERVIOUS}-\text{DMA AREA})(0.04))=\text{TOTAL IMP TREATMENT AREA}$
 $((0.1)(\text{PERVIOUS}-\text{DMA AREA})(0.04))=\text{TOTAL IMP TREATMENT AREA}$

NOTE 3.(***): DMA-X AREAS ARE AREAS THAT ARE SHOWN THAT WILL NOT BE TREATED. MOSTLY LANDSCAPED AREAS.



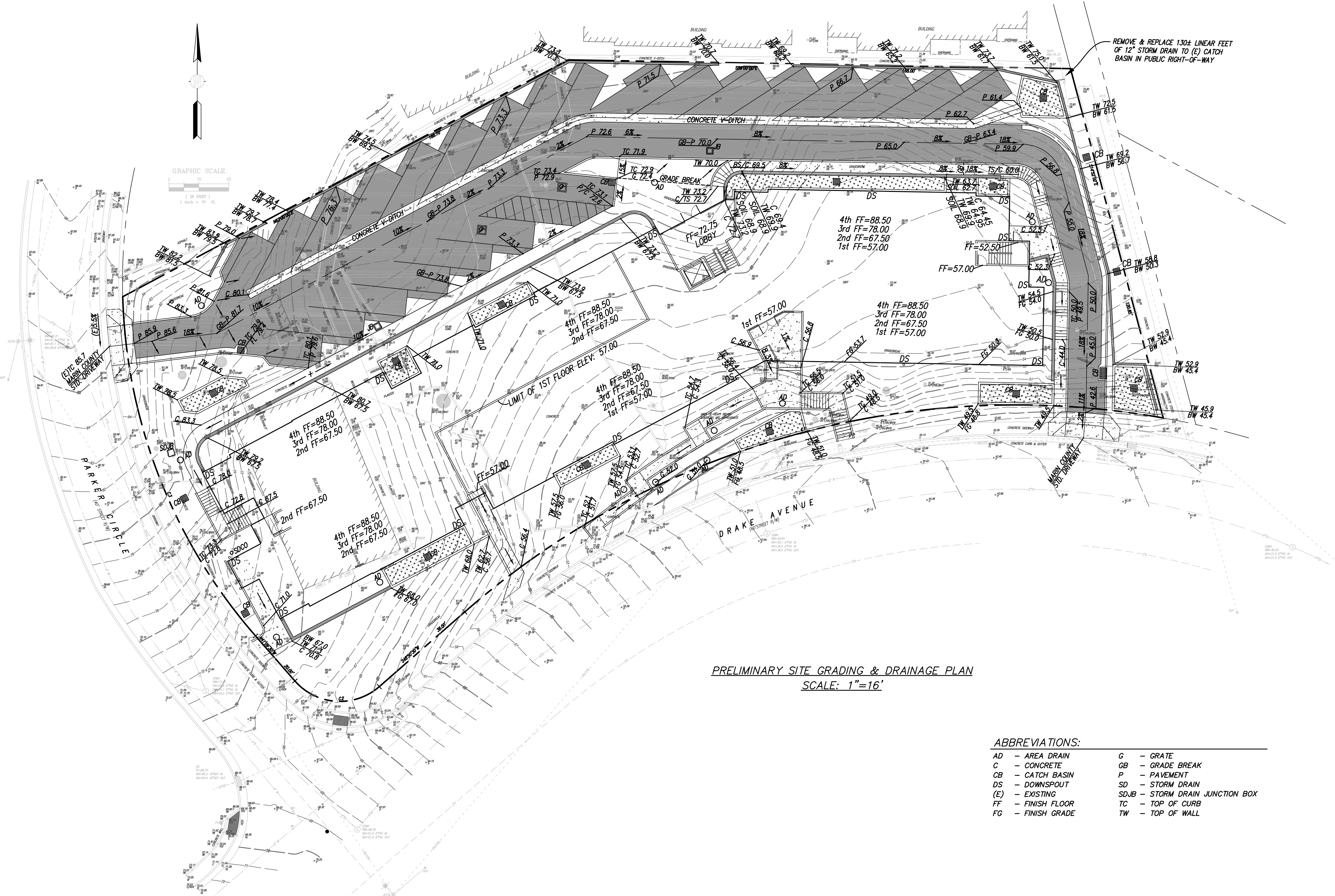
Matthew H. Kister
Exp. 12/31/21

**825 DRAKE AVENUE
MULTI FAMILY HOUSING
825 DRAKE AVENUE
SAUSALITO, MARIN COUNTY, CA 94965**

**PRELIMINARY
GRADING &
DRAINAGE PLAN**

4	7/31/20	REVISE CIVIL DRAWINGS	RB	MR
3	4/01/20	CIVIL DRAWINGS	RB	MR
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

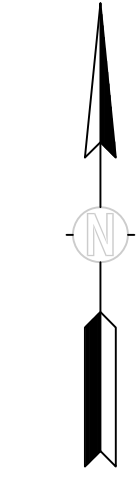
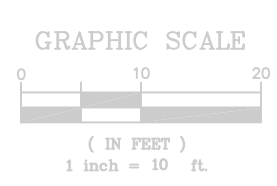
SCALE	AS SHOWN	SHEET	C1.2
KD PROJ. NO.	###	###	



PRELIMINARY SITE GRADING & DRAINAGE PLAN
SCALE: 1"=16'

- ABBREVIATIONS:**
- AD - AREA DRAIN
 - C - CONCRETE
 - CB - CATCH BASIN
 - DS - DOWNSPOUT
 - (E) - EXISTING
 - FF - FINISH FLOOR
 - FG - FINISH GRADE
 - G - GRATE
 - GB - GRADE BREAK
 - P - PAVEMENT
 - SD - STORM DRAIN
 - SDJB - STORM DRAIN JUNCTION BOX
 - TC - TOP OF CURB
 - TW - TOP OF WALL

- HATCHING LEGEND**
- NEW ASPHALT PAVEMENT
 - EXISTING ASPHALT PAVEMENT
 - EXISTING CONCRETE
 - BIO-FILTRATION PLANTERS
 - NEW CONCRETE PAVEMENT





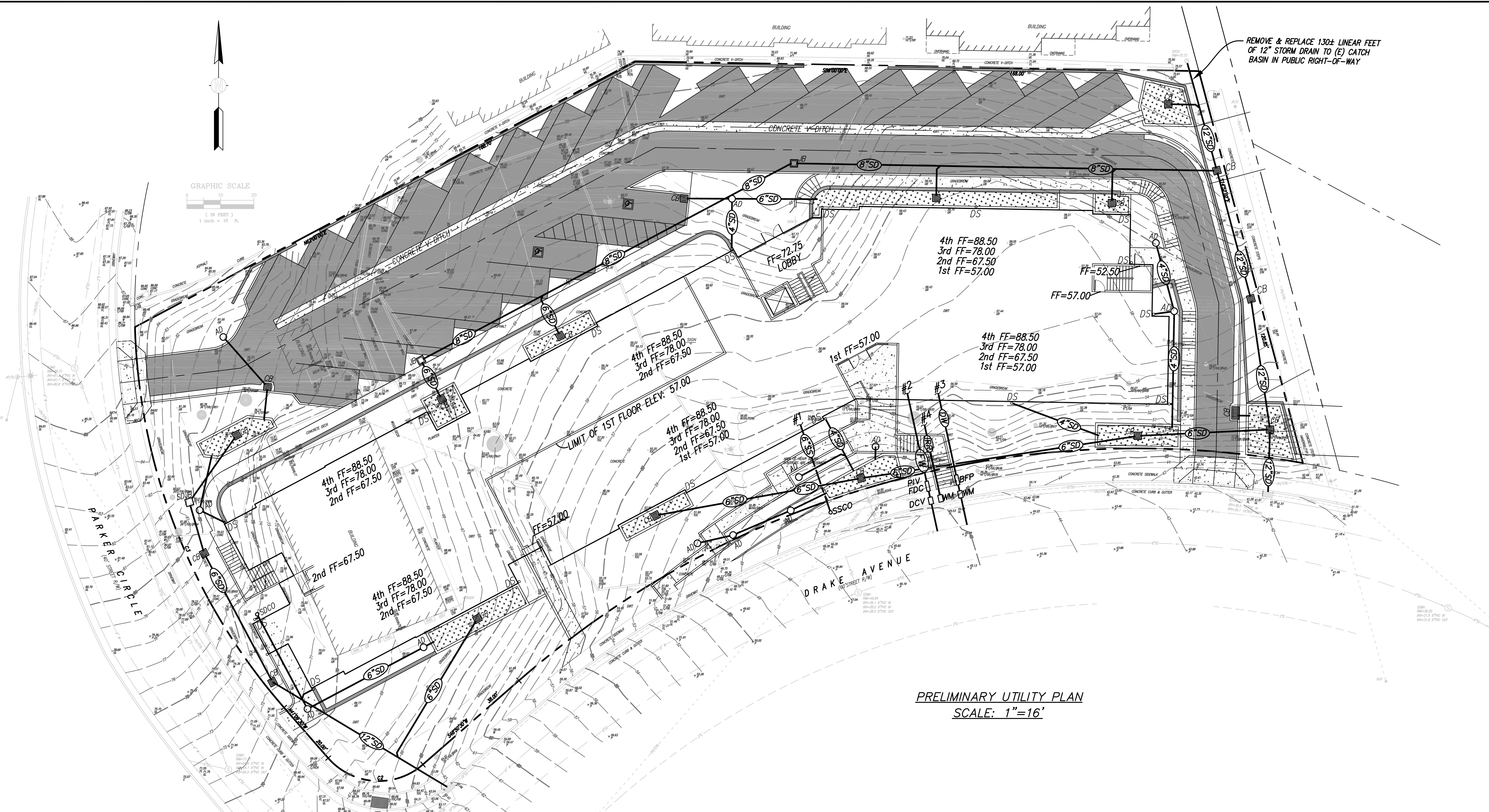
Matthew L. Kister
Exp. 12/31/21

**825 DRAKE AVENUE
MULTI FAMILY HOUSING
825 DRAKE AVENUE
SAUSALITO, MARIN COUNTY, CA 94965**

**PRELIMINARY
UTILITY PLAN**

4	7/31/20	REVISE CIVIL DRAWINGS.	RB	MR
3	4/01/20	CIVIL DRAWINGS	RB	MR
2	2/27/20	PRE-APPLICATION REVIEW	CW	SK
1	2/3/20	PRE-APPLICATION REVIEW	CW	SK

SCALE	AS SHOWN	SHEET	C1.3
KD PROJ. NO.	###	###	



REMOVE & REPLACE 130± LINEAR FEET OF 12" STORM DRAIN TO (E) CATCH BASIN IN PUBLIC RIGHT-OF-WAY

**PRELIMINARY UTILITY PLAN
SCALE: 1"=16'**

STORM DRAIN & SEWER PIPE LEGEND

- (12"SD) - 12" STORM DRAIN; HDPE, RCP, OR EQUAL SLOPE=1% MIN.
- (6"PP) - 6" SDR-35 PERFORATED STORM DRAIN PIPE; SIZE AS SHOWN; SLOPE=1% MIN.
- (6"SD) - 6" SDR-35 PVC SOLID STORM DRAIN PIPE; SIZE AS SHOWN; SLOPE=1% MIN.
- (4"DS) - 4" SCHEDULE 40 DOWN SPOUT DRAIN PIPE WITH INTEGRAL CLEANOUT; SLOPE=1% MIN.
- (6"SS) - 6" SDR-17 PVC/HIGH STRENGTH VCP SANITARY SEWER PIPE; SIZE AS SHOWN; SLOPE=1% MIN.

WATER PIPE LEGEND

- (DW) - PROJECT DOMESTIC WATER SERVICE.
- (FW) - PROJECT FIRE WATER SERVICE.
- (IRR) - PROJECT IRRIGATION WATER SERVICE.

UTILITY NOTES:

1. INSTALL NEW SANITARY SEWER LATERAL & CLEANOUT ON EXISTING 6" SANITARY SEWER LINE. VERIFY IF EXISTING SANITARY SEWER LATERAL IS ADEQUATE.
2. INSTALL NEW FIRE SERVICE & APPURTENANCES (DCV, PIV, FDC) TO NEW BUILDING.
3. INSTALL NEW DOMESTIC WATER METER AND BACK FLOW PREVENTER WHERE SHOWN.
4. INSTALL NEW IRRIGATION WATER METER AND BACK FLOW PREVENTER WHERE SHOWN.
5. SEE P.G. & E. PLANS FOR DESIGN OF ELECTRIC AND GAS SERVICES.





ABBREVIATIONS:

- | | |
|----------------------------------|---------------------------------|
| AD - AREA DRAIN | FW - FIRE WATER |
| BFP - BACKFLOW PREVENTER | IRR - IRRIGATION WATER |
| CB - CATCH BASIN | PIV - POST INDICATOR VALVE |
| DCV - DETECTOR CHECK VALVE | SD - STORM DRAIN |
| DS - DOWNSPOUT | SDCO - STORM DRAIN CLEANOUT |
| DW - DOMESTIC WATER | SDJB - STORM DRAIN JUNCTION BOX |
| (E) - EXISTING | SS - SANITARY SEWER |
| FDC - FIRE DEPARTMENT CONNECTION | SSCO - SANITARY SEWER CLEANOUT |
| FF - FINISH FLOOR | WM - WATER METER |

HATCHING LEGEND

- [Hatched Box] - NEW ASPHALT PAVEMENT
- [Dotted Box] - BIO-FILTRATION PLANTERS
- [Horizontal Lines Box] - EXISTING ASPHALT PAVEMENT
- [Vertical Lines Box] - NEW CONCRETE PAVEMENT
- [Diagonal Lines Box] - EXISTING CONCRETE

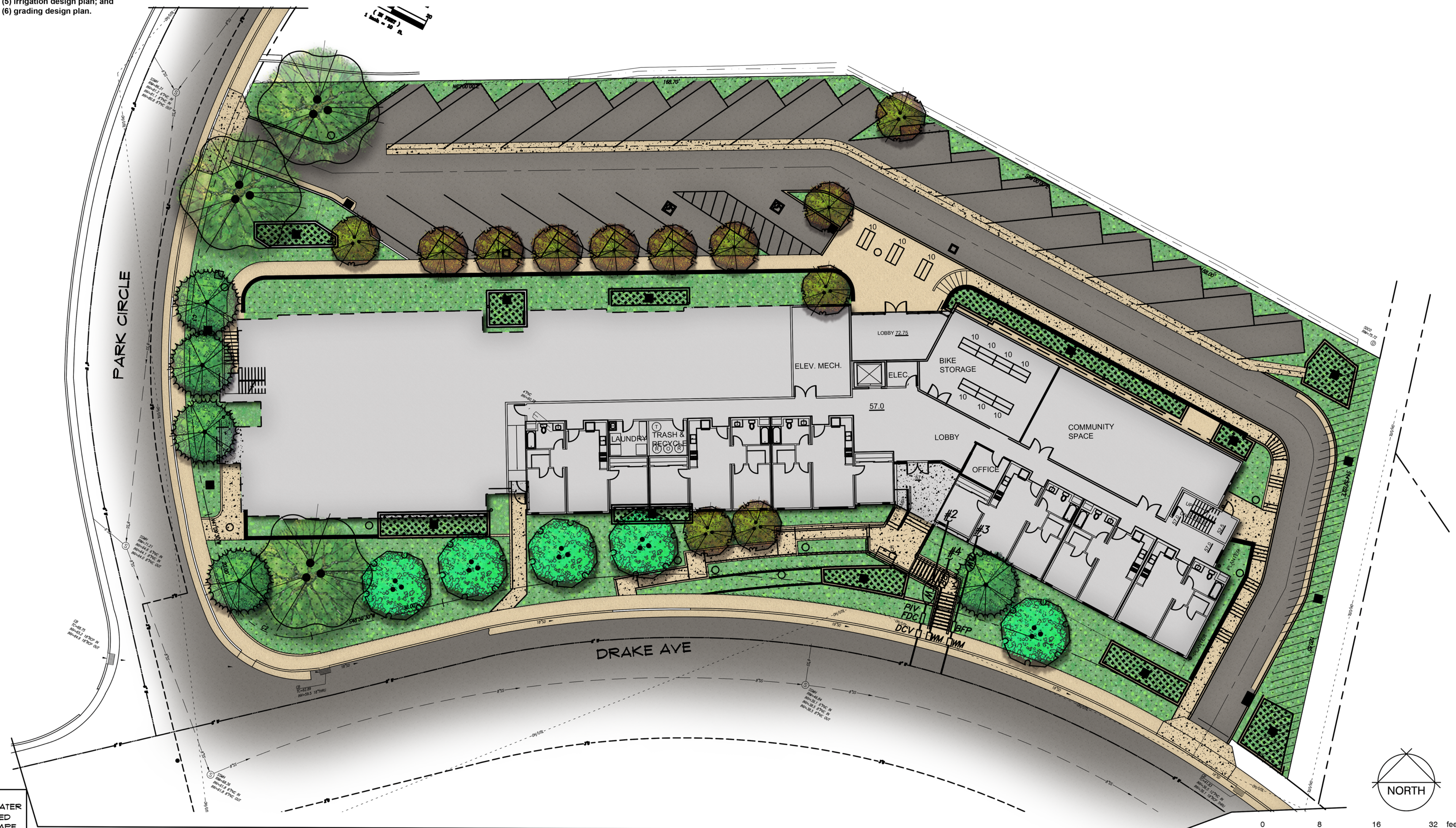
PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY
	CERCIS OCCIDENTALIS	WESTERN REDBUD MULTI-TRUNK	15 GAL	6
	HEPEROCYPARIS MACROCARPA	MONTEREY CYPRESS	24"	5
	PARKINSONIA X 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	24"	1
	QUERCUS AGRIFOLIA	COAST LIVE OAK MULTI-TRUNK	24"	3

GENERAL NOTES:

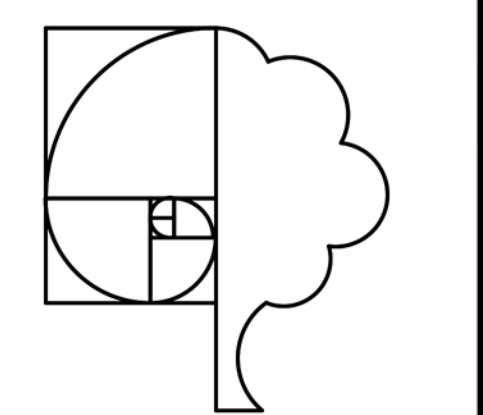
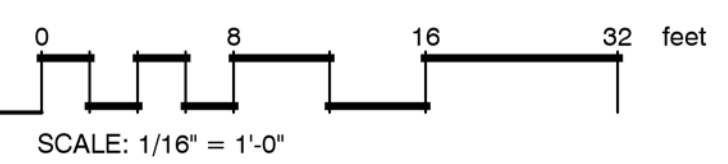
- A. The landscape plans will comply with the requirements of the water efficient landscape ordinance (WELO):
 Elements of the Landscape Documentation Package:
 (a) The Landscape Documentation Package shall include the following six (6) elements:
 (1) project information;
 (A) date
 (B) project applicant
 (C) project address (if available, parcel and/or lot number(s))
 (D) total landscape area (square feet)
 (E) project type (e.g., new, rehabilitated, public, private, cemetery, homeowner-installed)
 (F) water supply type (e.g., potable, recycled, well) and identify the local retail water Purveyor if the applicant is not served by a private well
 (G) checklist of all documents in Landscape Documentation Package
 (H) project contacts to include contact information for the project applicant and property owner
 (I) applicant signature and date with statement, "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package"
 (2) Water Efficient Landscape Worksheet;
 (A) hydrozone information table
 (B) water budget calculations
 1. Maximum Applied Water Allowance (MAWA)
 2. Estimated Total Water Use (ETWU)
 (3) soil management report;
 (4) landscape design report;
 (5) irrigation design plan; and
 (6) grading design plan.

Trees	Botanical	Common	Size	Quantity	Very Low	Low	Medium	High	< 6"	6 - 18"	18 - 36"	> 3'	< 18"	3 - 6'	6 - 10'	10 - 15'	> 15'	< 15'	15 - 25'	25 - 40'	40 - 65'	> 65'	
Cercis occidentalis	Western Redbud Multi-trunk	15 gal.	5 X																				
Hesperocyparis macrocarpa	Monterey Cypress	24"	5				X																
Lagerstroemia x 'Natchez'	Crape Myrtle	15 gal.	7			X																	
Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde	24"	5			X																	
Quercus agrifolia	Coast Live Oak Multi-Trunk	24"	3 X																				X
Arctostaphylos densiflora 'Howard McMinn'	Howard McMinn Manzanita	5 gal.	5		Very Low	Low	Medium	High	< 6"	6 - 18"	18 - 36"	> 3'	< 18"	3 - 6'	6 - 10'	10 - 15'	> 15'	< 15'	15 - 25'	25 - 40'	40 - 65'	> 65'	
Ribes viburnifolium	Evergreen Currant	5 gal.	5			X																	X
Festuca idahoensis 'Siskiyou Blue'	Siskiyou Blue Fescue	1 gal.	1		Very Low	Low	Medium	High	< 6"	6 - 18"	18 - 36"	> 3'	< 18"	3 - 6'	6 - 10'	10 - 15'	> 15'	< 15'	15 - 25'	25 - 40'	40 - 65'	> 65'	
Achillea millefolium	Common Yarrow	1 gal.	1		Very Low	Low	Medium	High	< 6"	6 - 18"	18 - 36"	> 3'	< 18"	3 - 6'	6 - 10'	10 - 15'	> 15'	< 15'	15 - 25'	25 - 40'	40 - 65'	> 65'	
Aquilegia formosa	Western Columbine	5 gal.	1							X													
Iris douglasiana	Douglas Iris	1 gal.	1		X																		
Salvia clevelandii 'Allen Chickering'	Cleveland Sage	5 gal.	1		X																		
Zauschneria californica	California Fuchsia	5 gal.	1		X																		
Carex barberae	Santa Barbara Sedge	1 gal.	1		Very Low	Low	Medium	High	< 6"	6 - 18"	18 - 36"	> 3'	< 18"	3 - 6'	6 - 10'	10 - 15'	> 15'	< 15'	15 - 25'	25 - 40'	40 - 65'	> 65'	
Juncus patens	California Gray Rush	1 gal.	1			X																	
Point Reyes Manzanita	Point Reyes Manzanita	1 gal.	1																				
Twin Peaks Coyote Brush	Twin Peaks Coyote Brush	1 gal.	1																				
Carmel Creeper	Carmel Creeper	1 gal.	1																				
Theodore Payne's Buckwheat	Theodore Payne's Buckwheat	1 gal.	1																				
planting area	planting area	---	10652																				



"I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN"

LANDSCAPE PLAN



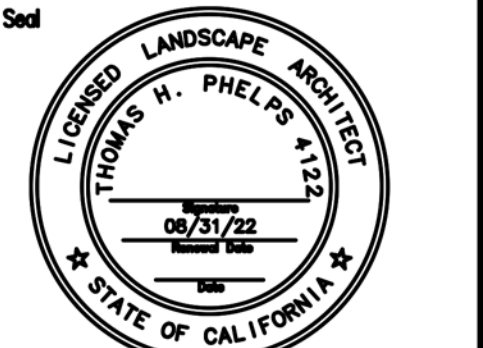
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**825 DRAKE AVENUE
 MULTI-FAMILY HOUSING
 825 DRAKE AVENUE
 SAUSALITO, CALIFORNIA**

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Sheet Title
LANDSCAPE PLAN



No.	Date	Revision
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Project Mgr: THP
 Drawn By: THP
 Scale: 1/16"=1'-0"
 Date: 31 JUL 2020
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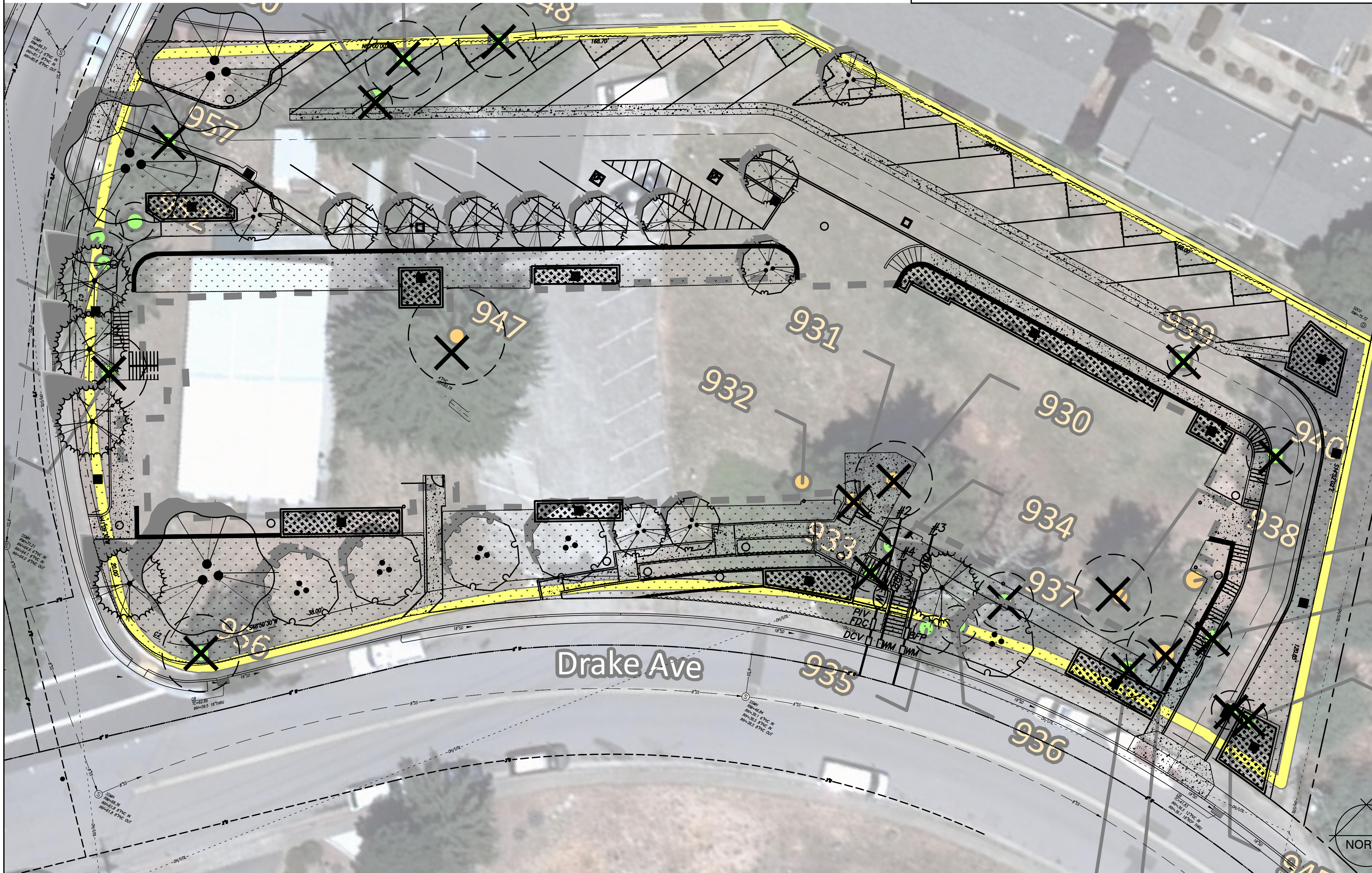
TREE INVENTORY

A TOTAL OF 21 TREES WERE IDENTIFIED WITHIN THE STUDY AREA. TREE SPECIES SURVEYED WITHIN THE STUDY AREA INCLUDE COAST REDWOOD (*SEQUOIA SEMPERVIRENS*), MONTEREY CYPRESS (*HEPEROCYPARIS MACROCARPA*), MONTEREY PINE (*PINUS RADIATA*), BLUE GUM (*EUCALYPTUS GLOBULUS*), SILVER WATTLE (*ACACIA DEALBATA*), AND BLACKWOOD ACACIA (*ACACIA MELANOXYLON*). ONLY ONE OF THE TREES SURVEYED IS CONSIDERED A HERITAGE TREE WITH THE REMAINING 20 TREES HAVING NO PROTECTION STATUS PER THE TREE ORDINANCE.

THE SINGLE HERITAGE TREE (TREE #930) WITHIN THE STUDY AREA IS A 53-INCH DBH, SINGLE TRUNK, COAST REDWOOD. THE HERITAGE TREE IS LOCATED IN THE SOUTHERN PORTION OF THE STUDY AREA APPROXIMATELY 30 FEET NORTH OF DRAKE AVENUE. A COMPLETE LIST OF ALL TREES SURVEYED IS PRESENTED IN APPENDIX A. THE GPS LOCATIONS OF SURVEYED TREES ARE SHOWN IN APPENDIX B.

Appendix A. 825 Drake Ave Tree Survey Table

Tag ID	Species	Common Name	Multi-stem	Diameter	Diameter	Diameter	Diameter	Diameter	Total Diameter (inches)	Ordinance Status	Potential Impact	Drip-line (feet)	Height (feet)	Condition	Health	Structure
930	<i>Sequoia sempervirens</i>	coast redwood	No	53.0	0.0	0.0	0.0	0.0	53.0	heritage tree	Removal	20	75	Good	Good	Fair
931	<i>Acacia melanoxylon</i>	black wood acacia	Yes	10.5	8.0	0.0	0.0	0.0	18.5	non-protected	Removal	10	25	Fair	Fair	Fair
932	<i>Acacia melanoxylon</i>	black wood acacia	No	19.5	0.0	0.0	0.0	0.0	19.5	non-protected	Removal	10	30	Fair	Fair	Fair
933	<i>Acacia melanoxylon</i>	black wood acacia	Yes	10.0	3.2	5.0	0.0	0.0	18.2	non-protected	No impact	10	25	Fair	Fair	Fair
934	<i>Acacia melanoxylon</i>	black wood acacia	Yes	9.0	4.0	0.0	0.0	0.0	13.0	non-protected	No impact	10	20	Fair	Fair	Fair
935	<i>Acacia melanoxylon</i>	black wood acacia	Yes	10.6	8.0	0.0	0.0	0.0	18.6	non-protected	No impact	10	25	Fair	Fair	Fair
936	<i>Quercus agrifolia</i>	coast live oak	No	6.8	0.0	0.0	0.0	0.0	6.8	non-protected	No impact	10	15	Fair	Fair	Poor
937	<i>Pinus radiata</i>	Monterey pine	No	19.5	0.0	0.0	0.0	0.0	19.5	non-protected	No impact	15	60	Fair	Fair	Fair
938	<i>Eucalyptus globulus</i>	Blue gum	No	23.2	0.0	0.0	0.0	0.0	23.2	non-protected	Removal	20	65	Fair	Fair	Fair
939	<i>Pinus radiata</i>	Monterey pine	Yes	4.0	4.0	2.2	0.0	0.0	10.2	non-protected	No impact	8	20	Fair	Fair	Fair
940	<i>Acacia dealbata</i>	silver wattle	Yes	8.5	7.0	0.0	0.0	0.0	15.5	non-protected	No impact	15	25	Fair	Fair	Fair
941	<i>Acacia dealbata</i>	silver wattle	Yes	6.0	8.2	0.0	0.0	0.0	14.2	non-protected	Removal	15	25	Fair	Fair	Fair
942	<i>Acacia dealbata</i>	silver wattle	Yes	9.0	6.0	2.5	3.0	2.0	22.5	non-protected	No impact	10	30	Fair	Fair	Fair
943	<i>Acacia dealbata</i>	silver wattle	Yes	11.5	7.6	7.5	6.0	5.5	38.1	non-protected	Removal	20	30	Fair	Fair	Fair
944	<i>Acacia dealbata</i>	silver wattle	Yes	8.2	6.5	4.0	2.5	2.5	23.7	non-protected	No impact	15	30	Fair	Fair	Fair
945	<i>Pinus radiata</i>	Monterey pine	No	8.0	0.0	0.0	0.0	0.0	8.0	non-protected	No impact	10	25	Fair	Fair	Fair
946	<i>Acacia melanoxylon</i>	black wood acacia	Yes	5.0	3.8	2.0	0.0	0.0	10.8	non-protected	No impact	10	25	Fair	Fair	Fair
947	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	No	40.5	0.0	0.0	0.0	0.0	40.5	non-protected	Removal	25	60	Good	Good	Fair
948	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	No	29.5	0.0	0.0	0.0	0.0	29.5	non-protected	No impact	20	50	Good	Fair	Fair
949	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	No	28.0	0.0	0.0	0.0	0.0	28.0	non-protected	No impact	20	50	Fair	Fair	Fair
950	<i>Acacia melanoxylon</i>	black wood acacia	Yes	8.5	7.0	5.5	0.0	0.0	21.0	non-protected	No impact	8	15	Fair	Fair	Poor
951	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	Yes	24.5	18.0	0.0	0.0	0.0	42.5	non-protected	No impact	20	55	Good	Good	Good
952	<i>Pinus radiata</i>	Monterey pine	No	18.0	0.0	0.0	0.0	0.0	18.0	non-protected	No impact	10	50	Fair	Fair	Fair
953	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	No	22.0	0.0	0.0	0.0	0.0	22.0	non-protected	No impact	15	50	Fair	Fair	Poor
954	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	Yes	17.0	10.4	8.0	6.0	5.5	46.9	non-protected	No impact	15	50	Fair	Fair	Poor
955	<i>Hesperocyparis macrocarpa</i>	Monterey cypress	No	5.0	0.0	0.0	0.0	0.0	5.0	non-protected	No impact	10	20	Fair	Fair	Fair
956	<i>Acacia melanoxylon</i>	black wood acacia	No	13.0	10.5	0.0	0.0	0.0	23.5	non-protected	No impact	20	25	Good	Good	Good



TREE INFORMATION PLAN

SCALE: 1/16"=1'-0"

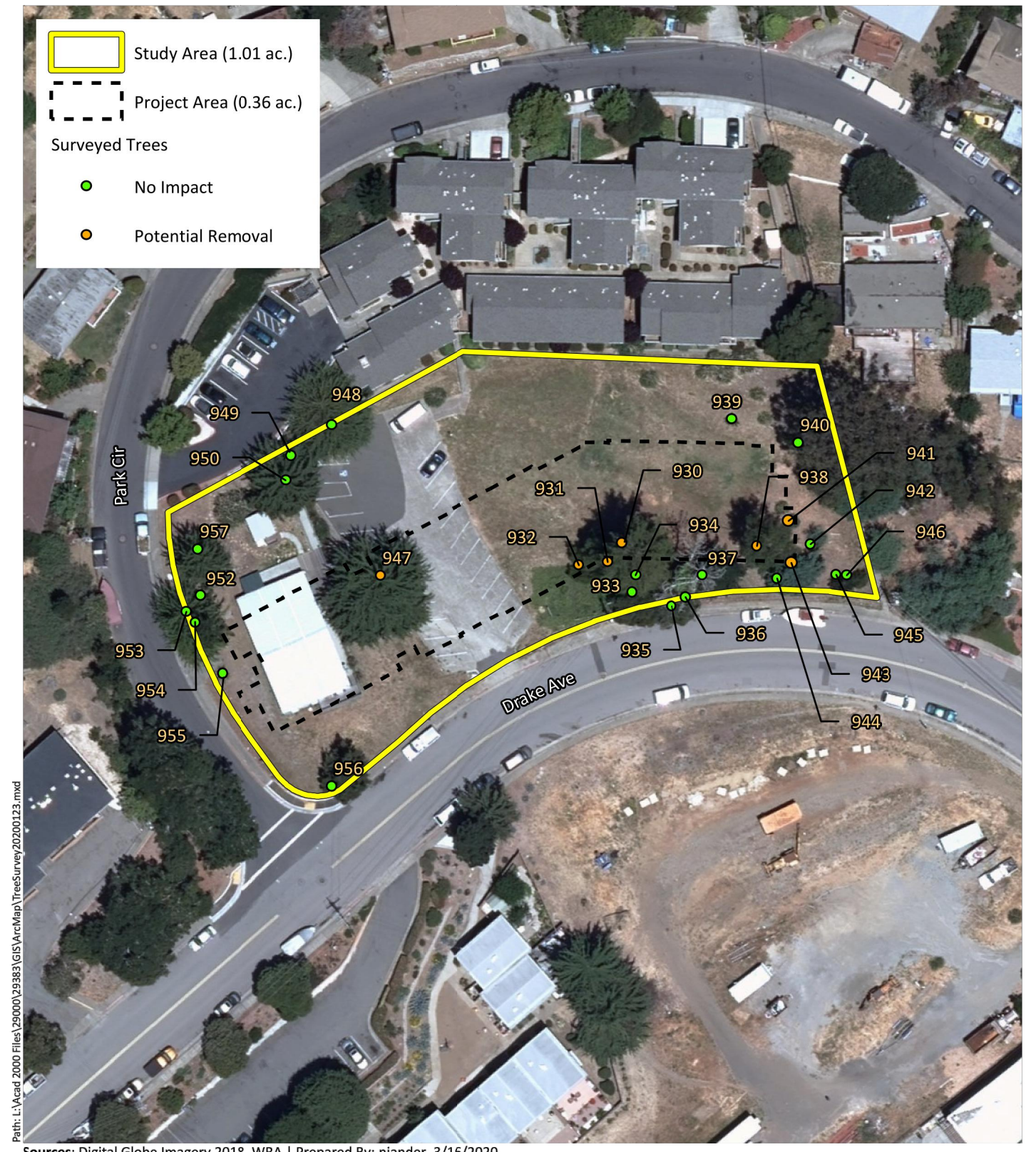
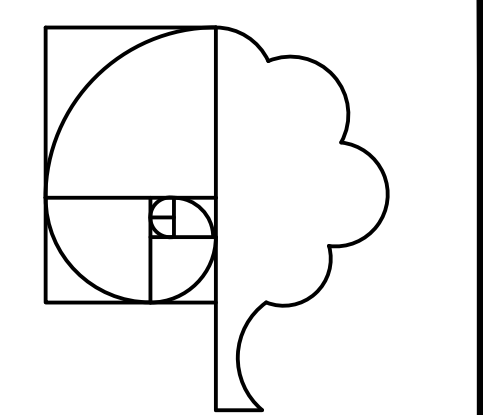


Figure 1. Trees in the Study Area

825 Drake Avenue
Marin County, CA



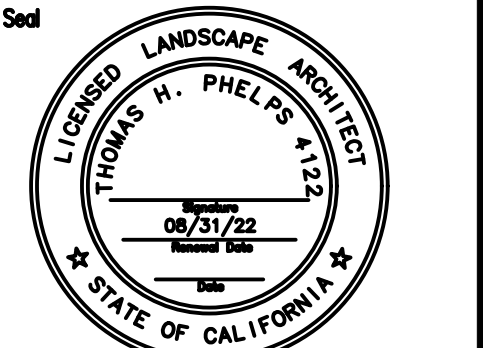
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SAUSALITO, CALIFORNIA

Sheet Title
LANDSCAPE PLAN

Scale
1/16"=1'-0"



No.	Date	Revision

Project Mgr: THP
Drawn By: THP
Scale: 1/16"=1'-0"
Date: 31 JUL 2020
File Name: 20-016 of 1 sheets

Sheet No.:
L2