

COMMUNITY ACTION MARIN

1123 COURT STREET SAN RAFAEL, CA 94901

KAPPE ARCHITECTS

801 'D' STREET SAN RAFAEL, CA 94901
TEL: 415.457.7801 FAX: 415.457.7805

GENERAL NOTES

- DESIGNS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND WERE DEVELOPED FOR USE ON THIS PROJECT ONLY. THESE DRAWINGS AND THE DESIGNS THEY REPRESENT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSON OR FIRM OUTSIDE THE SCOPE OF THIS PROJECT WITHOUT WRITTEN PERMISSION FROM KAPPE ARCHITECTS.
- THE GENERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF BUILDINGS, PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS SHALL APPLY TO AND GOVERN THE WORK OF THIS CONTRACT. A COPY OF THE GENERAL CONDITIONS, ALTHOUGH NOT BOUND HEREIN, IS AVAILABLE FOR REVIEW AT THE OFFICE OF THE ARCHITECT. ALL WORK SHALL CONFORM TO THE CALIFORNIA BUILDING CODE AND STANDARDS REFERENCED THEREIN.
- CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT PROMPTLY OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.
- DISCREPANCIES AND INCONSISTENCIES IN CONTRACT DOCUMENTS: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE ARCHITECT IN WRITING, DURING THE BIDDING PERIOD, OF ANY INCONSISTENCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF THIS INFORMATION, THE ARCHITECT WILL SEND WRITTEN INSTRUCTION TO ALL CONCERNED. ANY SUCH DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY CLAIMS FOR EXTRAS WILL NOT BE HONORED.
- TESTING AND INSPECTIONS: THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL TESTING AND INSPECTIONS REQUIRED BY APPLICABLE BUILDING CODES, ORDINANCES OR DIRECTIVES OF GOVERNING BUILDING OFFICIALS. THE OWNER OR ARCHITECT MAY REQUIRE TESTING OF MATERIALS FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE OWNER SHALL PAY ALL COSTS FOR SUCH TESTING IF THE TESTS INDICATE CONFORMANCE. THE CONTRACTOR SHALL PAY COSTS WHEN THE TESTING INDICATES NON-CONFORMANCE.
- PERMITS AND INSPECTIONS: THE OWNER SHALL PAY FOR PLAN CHECKING FEES AND BUILDING PERMITS. EACH CONTRACTOR SHALL SECURE AND PAY FOR PERMITS REQUIRED FOR THEIR WORK AND FOR ALL INSPECTIONS WHICH MAY ALSO BE REQUIRED.
- SCOPE OF WORK: THE SCOPE OF WORK FOR EACH DIVISION SHALL INCLUDE ALL LABOR, MATERIALS, APPLIANCES, EQUIPMENT AND FACILITIES NECESSARY TO DO ALL OF THE WORK INDICATED IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES OF EVERY KIND, INCLUDING WATER AND POWER, NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHOWN ON THE CONSTRUCTION DOCUMENTS.
- ALL MATERIALS SHALL BE NEW AND UNUSED AND OF HIGH QUALITY IN EVERY RESPECT. ALL WORK TO BE DONE IN A PROFESSIONAL MANNER. MANUFACTURER'S MATERIAL, EQUIPMENT, ETC. SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. ALL WORKERS AND SUBCONTRACTORS SHALL BE SKILLED IN THEIR TRADE.
- MATERIALS AND WORKMANSHIP WARRANTY: THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE MATERIALS AND CORRECT POOR WORKMANSHIP WITH NO ADDITIONAL COST TO THE OWNER, AND SHALL REMEDY ANY DEFECTS IN MATERIAL OR WORKMANSHIP WHICH APPEAR IN ONE YEAR FROM THE DATE OF COMPLETION OF THE JOB. THIS WARRANTY APPLIES TO WORK DONE BY SUBCONTRACTORS AS WELL AS WORK DONE BY THE EMPLOYEES OF THE CONTRACTOR.
- SHOP DRAWINGS: CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH FABRICATION. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL NEW FINISH MATERIALS TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OR EXECUTION.
- ALL EXTERIOR DOORS SHALL BE WEATHERSTRIPPED. ALL SASH AND SLIDING GLASS DOORS SHALL HAVE WEATHERSTRIPPING.
- ALL GLAZING SHALL COMPLY WITH TITLE 24, CALIFORNIA BUILDING CODE, C.B.C.
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE LATEST APPLICABLE EDITION OF THE CALIFORNIA ELECTRICAL CODE (C.E.C.) LOCATION AND RATING OF ALL ELECTRICAL PANELS TO BE PROVIDED BY ELECTRICAL CONTRACTOR.
- CONTRACTOR TO PROVIDE LUMINARIES WIRED WITH CONDUCTORS HAVING INSULATION SUITABLE FOR THE ENVIRONMENTAL CONDITIONS, CURRENT, VOLTAGE, AND TEMPERATURE TO WHICH THE CONDUCTORS WILL BE SUBJECTED.
- CONTRACTOR TO PROVIDE TAMPER RESISTANT RECEPTACLES FOR ALL NEW LOCATIONS PER CEC 210.52, ARC-FAULT PROTECTION FOR ALL NEW OUTLETS PER CEC 210.12 (B), AND GFCI PROTECTED OUTLETS FOR LOCATIONS PER 210.8 (A).
- MECHANICAL AND PLUMBING WORK TO BE DONE BY A LICENSED CONTRACTOR ON A DESIGN/BUILD BASIS.
- CONTRACTOR TO PROVIDE SEISMIC ANCHORAGE FOR (N) AND/OR (E) WATER HEATER TANKS PER CPC 507.2. THIS INCLUDES STRAPS WITHIN UPPER AND LOWER ONE-THIRD OF UNIT, WITH LOWER STRAP AT LEAST 4" ABOVE CONTROLS.
- ALL REQUIRED ENGINEERING OR DRAWINGS FOR ELECTRICAL SYSTEMS TO BE PROVIDED BY LICENSED ENGINEERS OR BY CONTRACTOR. COORDINATE ALL WORK WITH ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE WATER-RESISTANT GYPSUM WALL BOARD AT ALL WET LOCATION, INCLUDING BATHROOMS, SHOWER ROOMS AND KITCHENS. PROVIDE CEMENT BACKER BOARD AT ALL CERAMIC TILE SURFACES.
- CONTRACTOR TO PROVIDE SMOKE ALARMS RECEIVING PRIMARY POWER FROM BUILDING WIRING, PER CODE. DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, OUTSIDE OF SLEEPING ROOMS CENTRALLY LOCATED IN THE CORRIDOR. MINIMUM OF ONE DETECTOR PER STORY OF THE OCCUPIED PORTION OF THE RESIDENCE.
- ALL CONSTRUCTION SHALL COMPLY WITH CODES REFERENCED ON TITLE SHEET ALONG WITH ALL APPLICABLE SECTIONS OF SAN RAFAEL MUNICIPAL CODE.
- DEMOLITION MAY NOT START UNTIL THE CONTRACTOR HAS OBTAINED A PERMIT FROM THE BAY AREA QUALITY MANAGEMENT DISTRICT. THE PERMIT NUMBER (H) MUST BE PROVIDED TO THE INSPECTOR AND NOTED ON THE JOBSITE INSPECTION CARD. IF THE BAQMD HAS DETERMINED THE PROJECT IS EXEMPT, A LETTER FROM THE AGENCY MUST BE PROVIDED.
- ROOFING ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTINGS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.

SCOPE OF WORK

- TENANT IMPROVEMENT OF ROOM 3:
- KITCHENETTE WITH COUNTERTOP, DISHWASHER, SINK, FRIDGE, AND UPPER STORAGE CABINETS.
 - REDUCED SCALE CHILD'S RESTROOM SPACE WITH TOILET AND SINK.
 - VARIOUS HEIGHT PONY WALLS TO ACCOMMODATE PLUMBING APPLIANCES.
 - TRENCHING, PLUMBING CONNECTION TO EXISTING CLEANOUTS
 - INCREASE SIZE OF OPENING BETWEEN ROOM 3 AND ROOM 4. HEADER TO BE EXTENDED AS NECESSARY, THIS CHANGE SHALL NOT REDUCE SHEARWALL REQUIREMENTS OR CHANGE WALL STRUCTURAL SYSTEM.

ZONING DATA

ZONING	=	T4N $\frac{80}{80}$ - T4 NEIGHBORHOOD $\frac{80}{80}$ Q
LAND USE	=	61 - EXEMPTION - IMPROVED
HEIGHT LIMIT	=	50 FT
MAX. LOT COVERAGE	=	40%
FRONT SETBACK	=	7' MIN-15' MAX*
SIDE SETBACKS	=	7' MIN-15' MAX*
REAR SETBACK	=	15 FT.

*SPACE BETWEEN THE MIN AND MAX DISTANCE IS FACADE ZONE

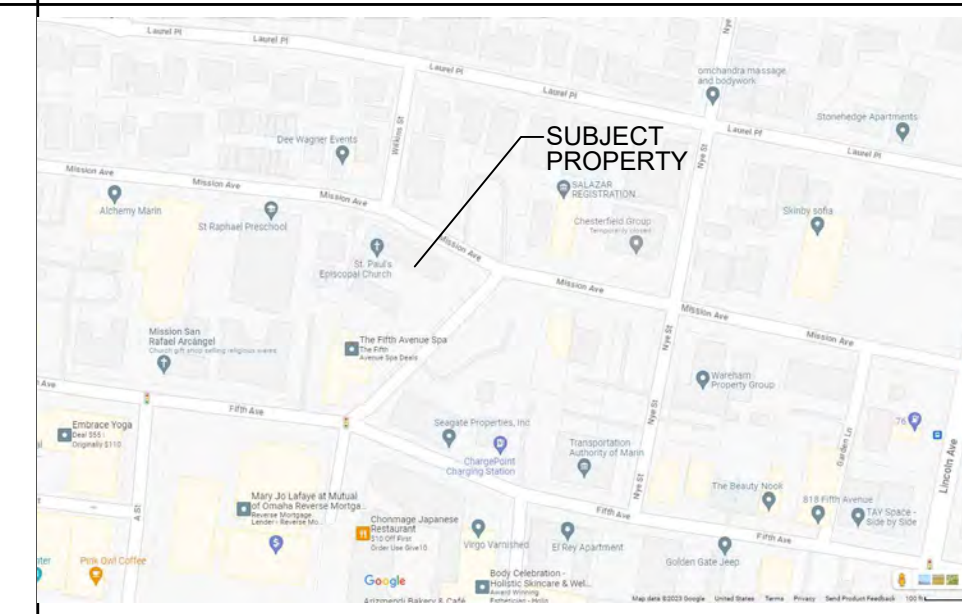
PROJECT DATA SUMMARY

LOT SIZE	=	31,512 SQ. FT.
(N) SQFT PER PROPOSED T.I. PROJECT	=	0 SQ. FT.
TYPE OF CONSTRUCTION	=	III-B
OCCUPANCY TYPE:	=	GROUP E

CODE DATA

2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA MECHANICAL CODE (CMC),
2022 CALIFORNIA PLUMBING CODE,
2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE (CEES),
2022 CALIFORNIA FIRE CODE (CFC),
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBS or CALGreen)

VICINITY MAP



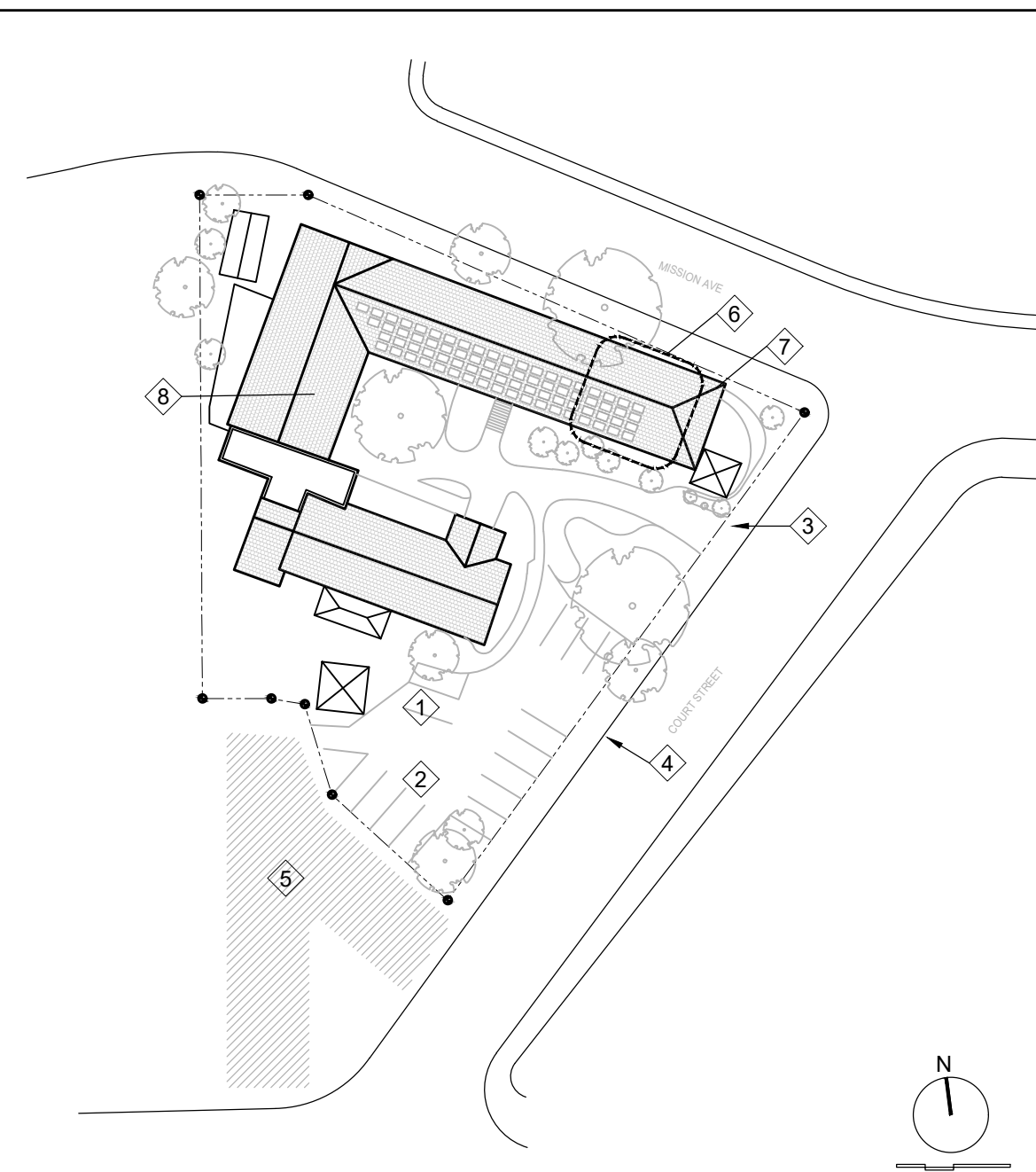
PROJECT DIRECTORY

OWNER	COMMUNITY ACTION MARIN 555 NORTH GATE DR SAN RAFAEL, CA 94903 PH: (415) 847-6430 gneal@camarin.org
ARCHITECT	KAPPE ARCHITECTS 801 D STREET SAN RAFAEL, CA 94901 PH: (415) 457-7801 ron@kappearchitects.com
STRUCTURAL ENGINEER	VAZIRI STRUCTURAL ENGINEERS 905 FOURTH STREET SAN RAFAEL, CA 94901 PH: (415) 453 - 0733 bvaziri@vaziri-se.com
PLUMBING ENGINEER	CTC PLUMBING ENGINEERS 12 TERN COURT SAN RAFAEL, CA 94901 PH: (415) 455 - 0191 joellurie@ctcassociates.biz

INDEX OF DRAWINGS

T1.0	TITLE SHEET
ARCHITECTURAL	
A0.1	EXISTING CONDITIONS
A1.0	FLOOR PLAN
A2.0	INTERIOR ELEVATIONS
ELECTRICAL/STRUCTURAL/PLUMBING	
E1.0	ELECTRICAL PLAN
S1.0	FLOOR PLAN AND WALL ELEVATION
P1.0	PLUMBING PLAN
P2.0	PLUMBING NOTES, SCHEDULE, DETAILS

SITE PLAN



KEY NOTES

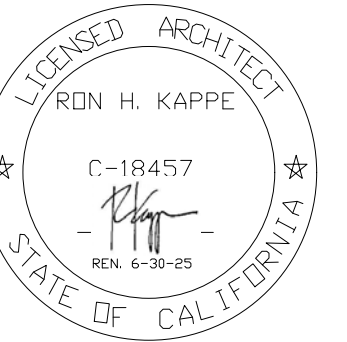
- 1 (E) ADA PARKING LOCATION
- 2 (E) PARKING LOT
- 3 (E) PEDESTRIAN ENTRANCE GATE LOCATION
- 4 (E) VEHICLE ENTRANCE WITH CURB CUT
- 5 NEIGHBORING BUILDING
- 6 LOCATION OF TENANT IMPROVEMENT PROJECT
- 7 CLOSEST POINT FROM FACE OF BUILDING TO PROPERTY LINE: 10'
- 8 ST. PAUL'S EPISCOPAL CHURCH

SYMBOL LEGEND

KEY NOTE	DETAIL NO. / DETAIL REFERENCE / SHEET NO.	REVISION
ROOF SLOPE	SECTION REFERENCE	DATUM OR CONTROL POINT
DOOR TYPE / HARDWARE GROUP	INTERIOR ELEVATION	NORTH ARROW
DOOR TYPE	PROPERTY LINE	NEW OR FINISH CONTOUR
WINDOW TYPE	FENCE	EXISTING CONTOUR
WALL TYPE	WALL TYPE	

COMMUNITY ACTION MARIN

1123 COURT STEET
SAN RAFAEL, CA 94901



AP #: 011 - 213 - 18

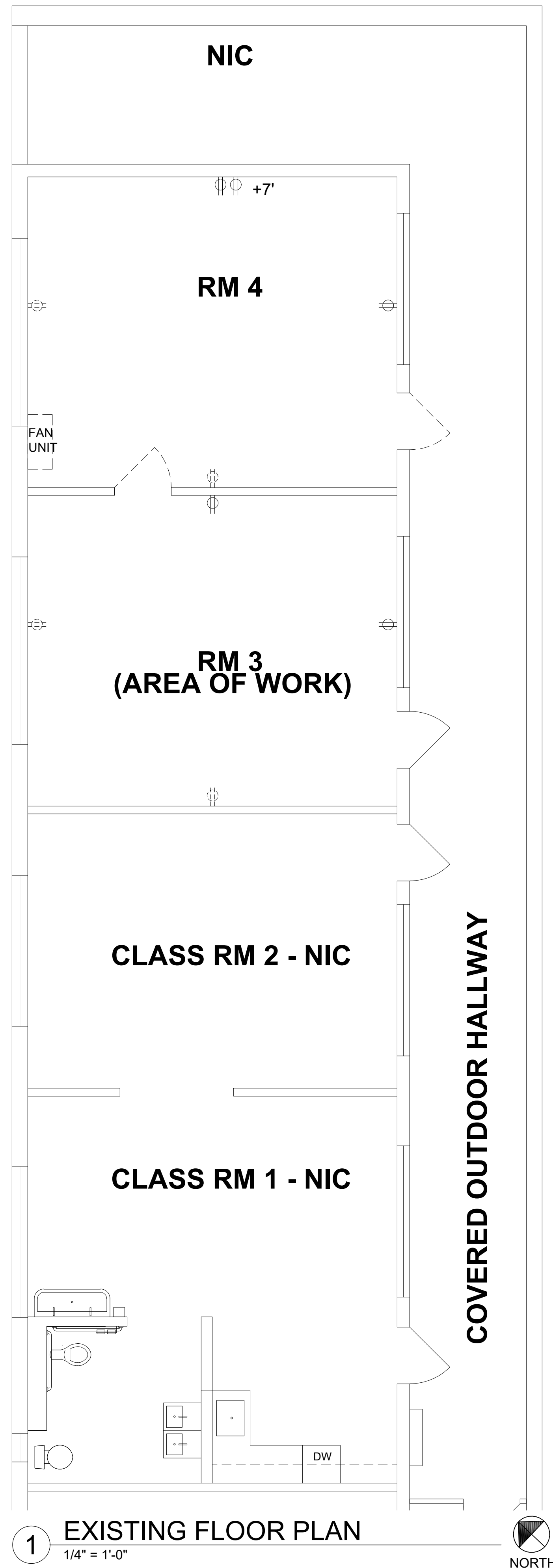
Project No.:	23.06
Drawn By:	GRC
Checked By:	RK
Issued Date:	01.30.24
Revision	No. Date

All drawings and written material herein are the original and unpublished property of and all rights are reserved by Kappe Architects. The same may not be duplicated, used without written or disclosed consent. Material herein is for use by authorized contractors, bidders and subcontractors in connection with this project only. All dimensions on these drawings shall take precedence over scaled dimensions. Contractors shall be responsible to verify all dimensions and conditions on the job. This office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop drawings must be reviewed by this office before proceeding with fabrication.

Sheet Title:
TITLE SHEET

Scale: AS NOTED

Sheet No: **T1.0**

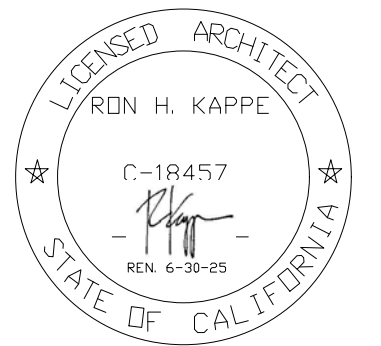


KEY NOTES

KAPPE ARCHITECTS
 801 'D' STREET SAN RAFAEL, CA 94901
 TEL.: 415.457.7801 FAX: 415.457.7885

COMMUNITY ACTION MARIN

1123 COURT STEET
SAN RAFAEL, CA 94901



AP #: 011 - 213 - 18

Project No.: 23.06
 Drawn By: GRC
 Checked By: RK
 Issued Date: 01.30.24

Revision	No.	Date

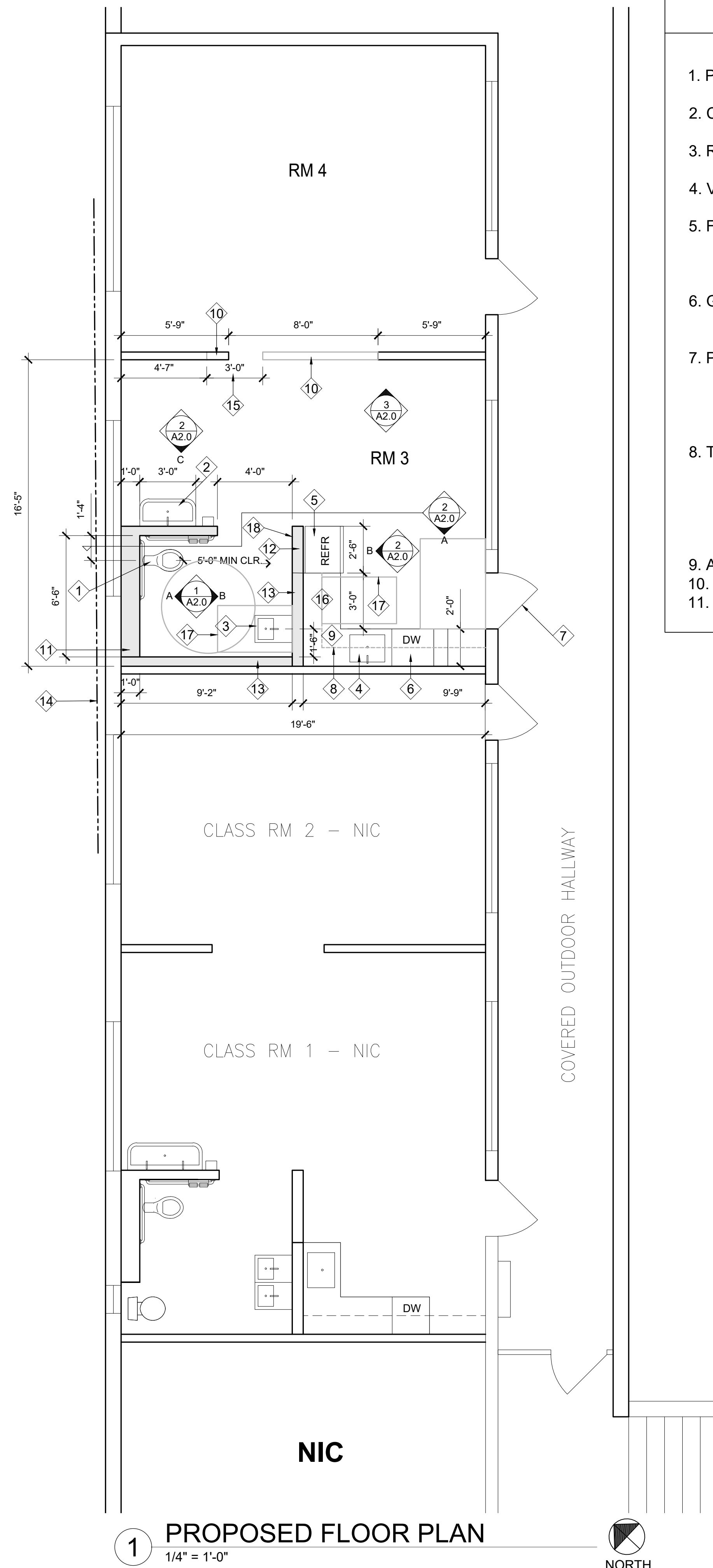
All drawings and written material herein are the original and unpublished property of and all rights are reserved by Kappe Architects. The same may not be duplicated, used without written or disclosed consent. Material herein is for use by authorized contractors, bidders and subcontractors in connection with this project only. All dimensions on these drawings shall take precedence over scaled dimensions. Contractors shall be responsible to verify all dimensions and conditions on the job. This office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop drawings must be reviewed by this office before proceeding with fabrication.

Sheet Title:

EXISTING CONDITIONS

Scale: AS NOTED

Sheet No: **A0.1**



1 PROPOSED FLOOR PLAN
1/4" = 1'-0"



FINISHES:

1. Plastic laminate (P-lam)- products to be Formica or Wilsonart, or equal; Color to be selected from standard range of colors
2. Cabinetry- perform finish carpentry in accordance with standards of Woodwork Institute (formerly Woodwork Institute of California) "Manual of Millwork"
3. Rubber base by Roppe, Burke, or equal; Color to be selected from standard range of colors
4. Vinyl Composition Tile (VCT) or sheet flooring to match existing type and quality
5. Fiber Reinforced Plastic (FRP)- wainscot to be Gel-coat finished glass fiber plastic panel complying with ASTM D 5319. Basis of design: Marlite; Marlite Company, Subway tile style: C100-G G3 (white), or equal. Sealant: gunnable silicone rubber.
6. Gypsum board assembly- Provide gypsum board systems including wood stud framing. Manufacturers to be United States Gypsum Co., USG Corp, Georgia-Pacific Corp., National Gypsum Co., or equal
7. Paints and coatings- Provide painting and finishing of exposed items and surfaces. Manufacturers to be Kelly Moore Co., Sherwin-Williams Co, or equal. Interior Work: Provide following paint systems. For Gypsum Board Systems: use semigloss sheen at kitchen and toilet rooms. 1st Coat: Universal primer. 2nd and 3rd Coat: Interior latex or acrylic latex emulsion.
8. Toilet accessories- provide for toilet accessories with backing and attachment hardware and rough-in frames as required for complete, operational installation. Product to be by Bobrick Washroom Equipment, Inc., Bradley Corp., American Specialties, Inc. or equal. Install accessories in accordance with manufacturer's printed instructions using fasteners appropriate to substrate.
9. Appliances-Owner will purchase appliances; contractor will install appliances
10. Plumbing fixtures to be American Standard, Kohler, or equal; color to be white
11. Kitchen sink to be stainless steel by Moen, or equal; 18 gauge

SIGN PLACEMENT NOTES

11B-703.3.2 Position
Braille shall be positioned below the corresponding text in a horizontal format, flush left or centered if text is multi-lined. Braille shall be placed below the entire text. Braille shall be separated 1/8 inch (3.2 mm) minimum and 1/2 inch (12.7 mm) maximum from any other tactile characters and 3/8 inch (9.5 mm) minimum from raised borders and decorative elements.
Exception: Braille provided on elevator car controls shall be separated 1/4 inch (6.4 mm) minimum and shall be located directly below the corresponding raised characters or symbols.

FIGURE 11B-703.3.2 POSITION OF BRAILLE

11B-703.4 Installation height and location
Signs with tactile characters shall comply with Section 11B-703.4.

11B-703.4.1 Height above finish floor or ground
Tactile characters on signs shall be located 48 inches (1219 mm) minimum above the finish floor or ground surface, measured from the baseline of the lowest Braille cell; and 60 inches (1524 mm) maximum above the finish floor or ground surface, measured from the baseline of the highest line of raised characters.
Exception: Tactile characters for elevator car controls shall not be required to comply with Section 11B-703.4.1.

FIGURE 11B-703.4.1 HEIGHT OF TACTILE CHARACTERS ABOVE FINISH FLOOR OR GROUND

(UNISEX BATHROOM SIGN)

(TACTILE WALL SIGN)

A COMBINED CIRCLE AND TRIANGLE SYMBOL POSTED SHALL COMPLY WITH 11B-703.7.2.6.3 IN SIZE AND SPECIFICATION

KEY NOTES

- 1 (N) REDUCED SCALE CHILD TOILET FIXTURE
- 2 (N) 36" TROUGH SINK
- 3 (N) WALL MOUNTED CHILD RESTROOM SINK
- 4 (N) KITCHEN SINK
- 5 (N) LOW-PROFILE REFRIGERATOR LOCATION
- 6 (N) IN COUNTER DISHWASHER
- 7 REVERSE HANDEDNESS OF DOOR AS SHOWN
- 8 (N) CABINETRY ABOVE
- 9 (N) KITCHEN COUNTERTOP
- 10 (E) SECTION OF WALL TO BE REMOVED.
- 11 (N) 2'-10" PONY WALL TO ACCOMMODATE PLUMBING APPLIANCE HOOKUPS. NEW WALL SECTION TO BE AT OR BELOW LEVEL OF EXISTING ADJACENT WINDOW SILL
- 12 (N) 5'-0" PONY WALL TO ACCOMMODATE PLUMBING APPLIANCE HOOKUPS
- 13 (N) FULL HEIGHT WALL TO ACCOMMODATE PLUMBING APPLIANCE HOOKUPS
- 14 LOCATION OF (E) SEWER LINE AT EXTERIOR OF BUILDING, V.I.F.
- 15 LOCATION AND DIMENSION OF (E) DOOR OPENING
- 16 KITCHEN ADA ACCESSIBLE WORK SURFACE: UNDER-SURFACE CABINET DOOR TO INCLUDE ATTACHED KICK FOR COMPLIANCE WITH CBC 11B-305 FORWARD APPROACH. FINISH FLOOR TO EXTEND UNDER CABINETRY. WALLS BEHIND AND SURROUNDING CABINETRY TO BE FINISHED TO MATCH EXTERIOR CABINET SURFACES, TYP.
- 17 30"x48" CLEAR FLOOR SPACE
- 18 LOCATION OF ADA BATHROOM SIGNAGE, SEE SIGN PLACEMENT NOTES

GENERAL NOTES:

PLUMBING ON KITCHENETTE SIDE (DISHWASHER AND SINK) TO BE INSTALLED BELOW KITCHENETTE COUNTER

(N) TOILET CLEANOUT TO BE CONNECTED TO ADJACENT EXISTING PLUMBING LINE, TRENCHING AS NECESSARY FOR INSTALL.

TOILET, BATHING, AND SHOWER ROOM FLOOR FINISH MATERIALS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE. THE INTERSECTIONS OF SUCH FLOOR WITH WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT VERTICAL BASE THAT EXTENDS UPWARD ONTO THE WALLS NO LESS THAN 4" (CBC 1209.2.1)

WALLS AND PARTITIONS WITHIN 2' OF SERVICE SINKS, URINALS, AND WATER CLOSETS SHALL HAVE SMOOTH, HARD, NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 4' ABOVE THE FLOOR.

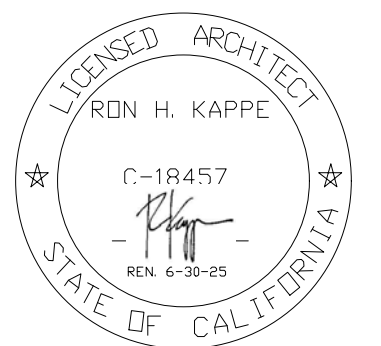
WHERE STORAGE IS PROVIDED IN ACCESSIBLE SPACES, AT LEAST ONE OF EACH TYPE WILL COMPLY WITH SECTION 11B-811. STORAGE ELEMENTS SHALL COMPLY WITH AT LEAST ONE OF THE REACH RANGES SPECIFIED IN SECTION 11B-308

KAPPE ARCHITECTS

801 'D' STREET SAN RAFAEL, CA 94901
TEL: 415.457.7801 FAX: 415.457.7885

COMMUNITY ACTION MARIN

1123 COURT STEET
SAN RAFAEL, CA 94901



AP #: 011 - 213 - 18

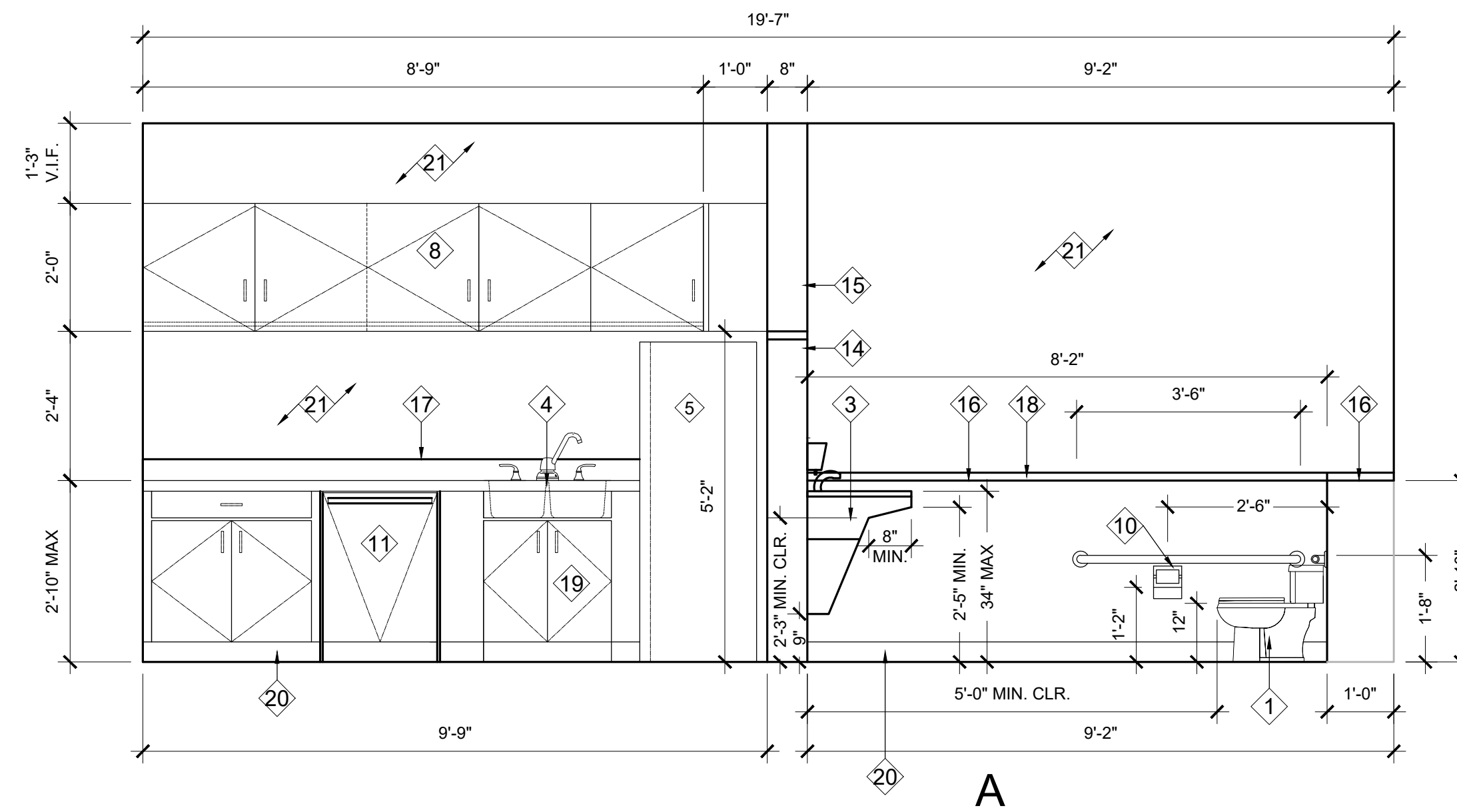
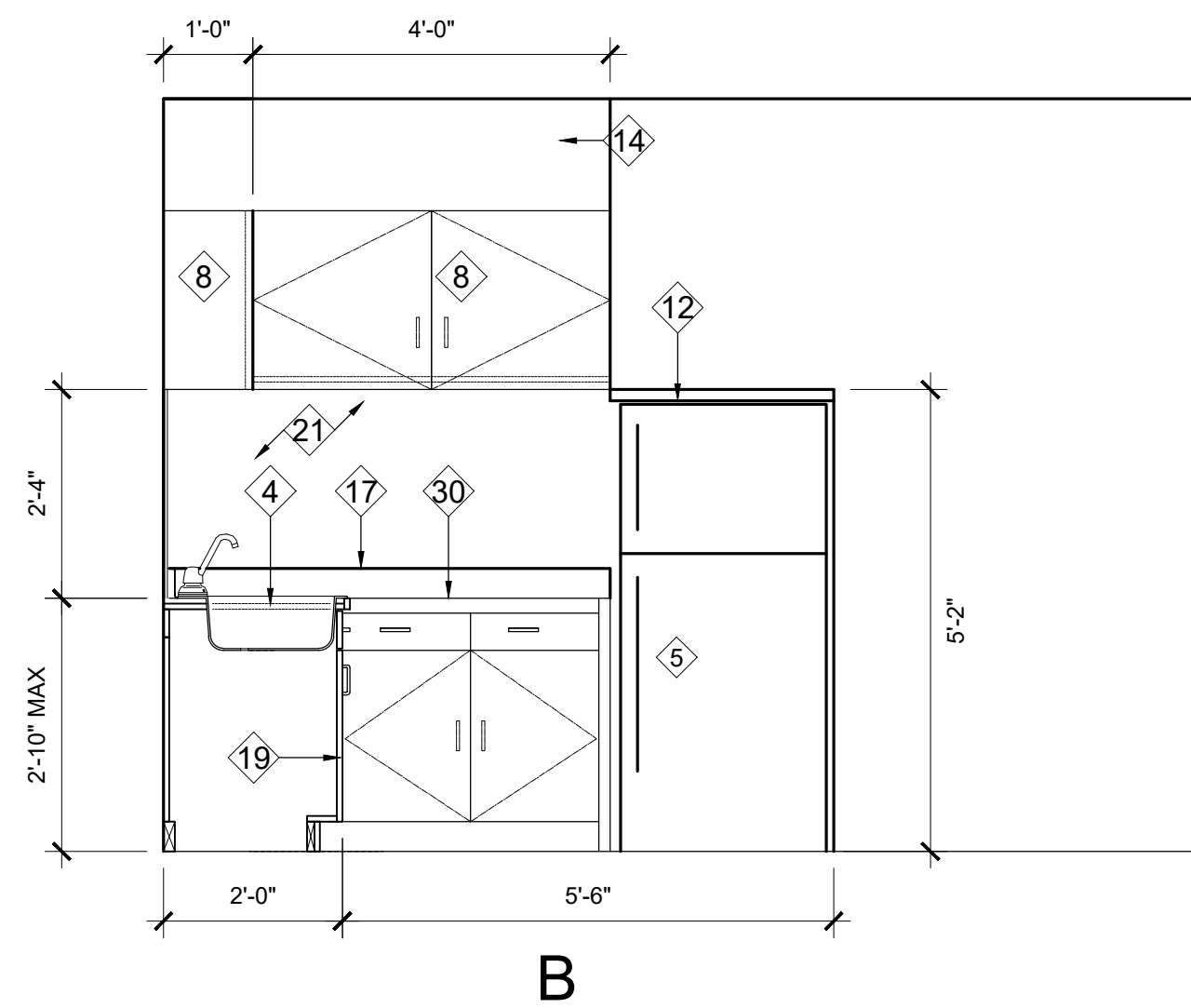
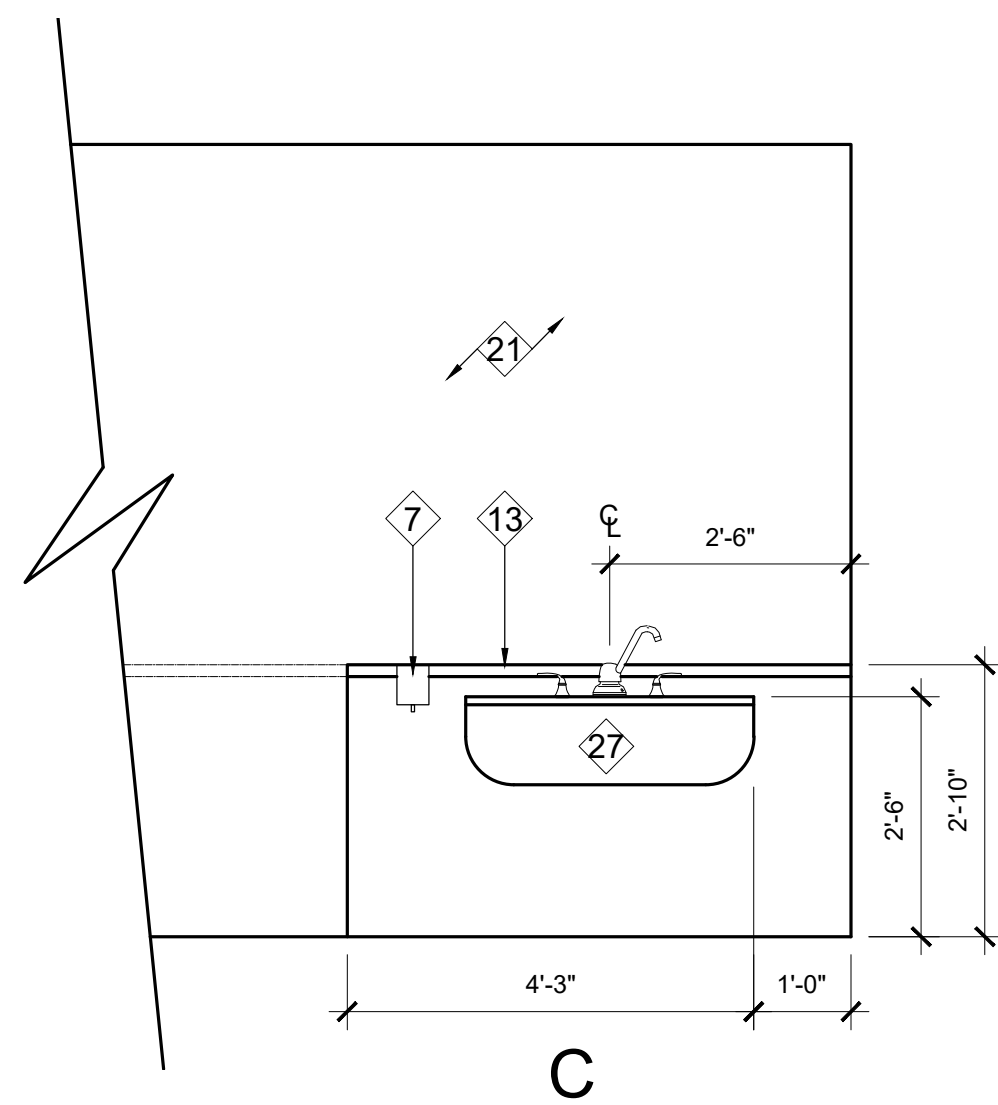
Project No.:	23.06
Drawn By:	GRC
Checked By:	RK
Issued Date:	01.30.24
Revision	No. Date

All drawings and written material herein are the original and unpublished property of and all rights are reserved by Kappe Architects. The same may not be duplicated, used without written or disclosed consent. Material herein is for use by authorized contractors, bidders and subcontractors in connection with this project only. All dimensions on these drawings shall take precedence over scaled dimensions. Contractors shall be responsible to verify all dimensions and conditions on the job. This office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop drawings must be reviewed by this office before proceeding with fabrication.

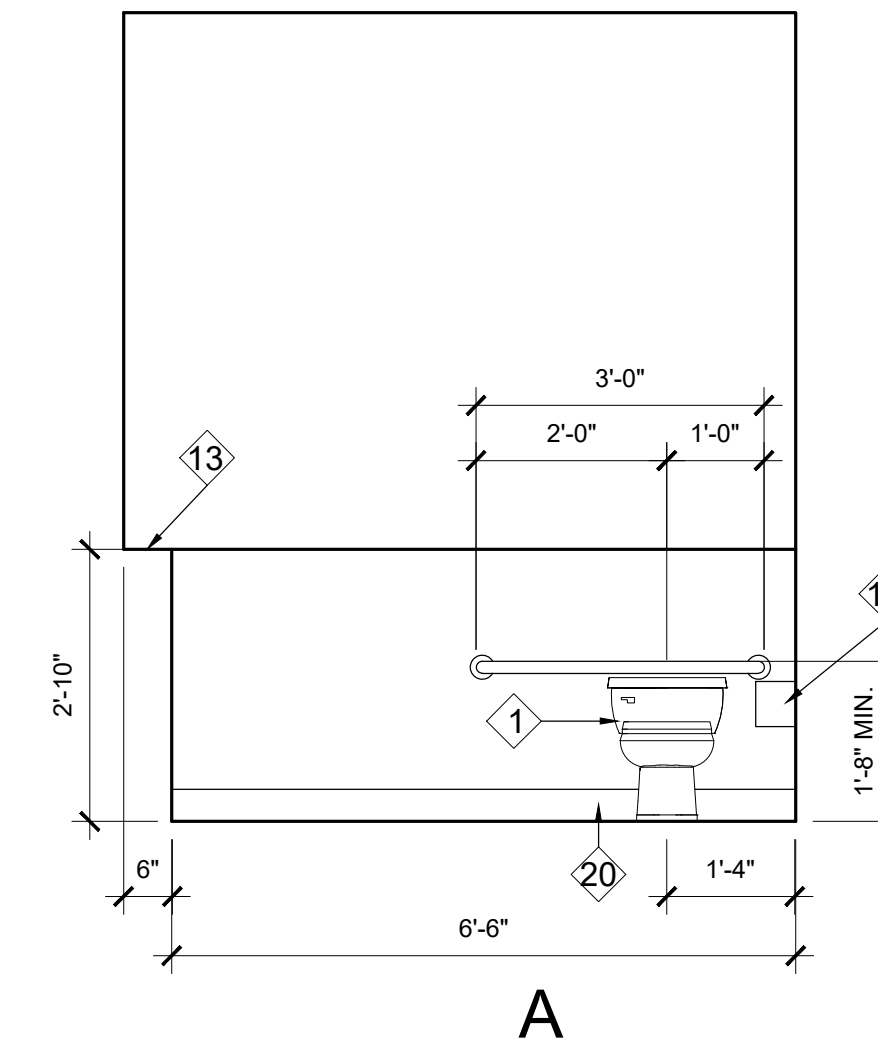
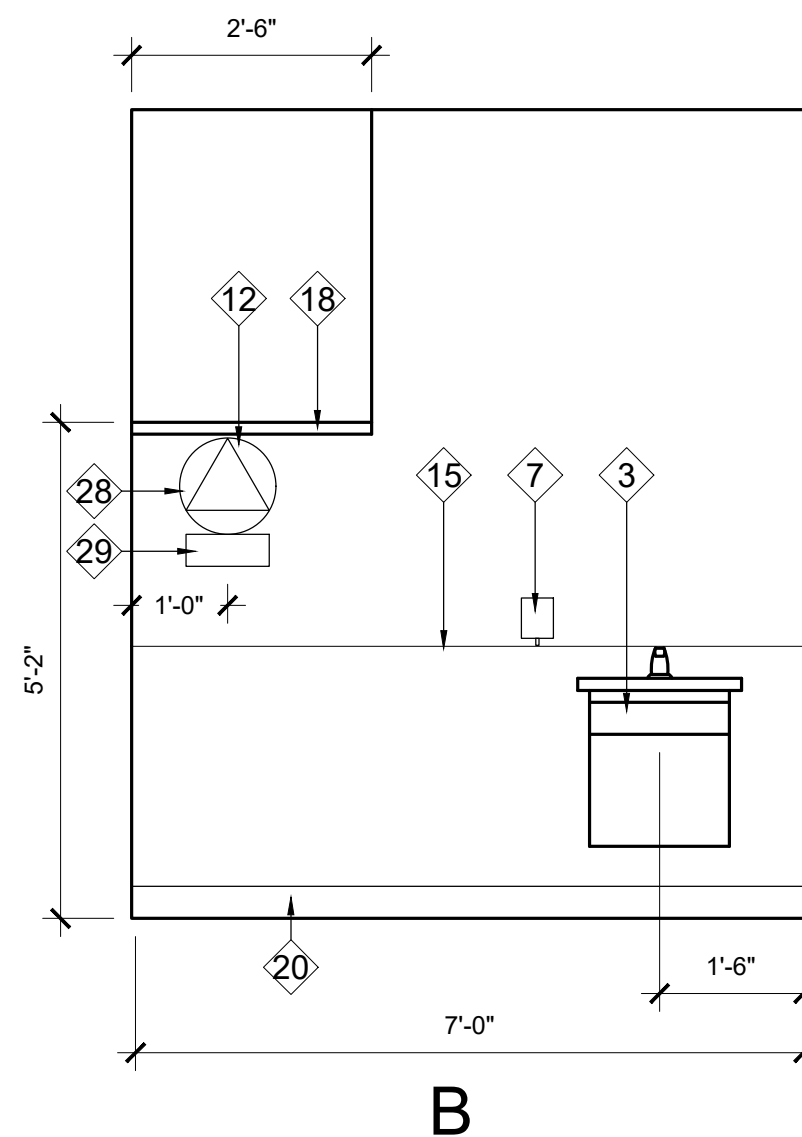
Sheet Title:
**PROPOSED FLOOR PLAN
KITCHEN AND BATH
RENOVATION**

Scale: AS NOTED

Sheet No: **A1.0**



2 PROPOSED INTERIOR ELEVATIONS/SECTION
1/2" = 1'-0"



1 PROPOSED INTERIOR RR ELEVATIONS
1/2" = 1'-0"

KEY NOTES

- 1 (N) TOILET FIXTURE
- 2 (N) 24" TROUGH SINK
- 3 (N) WALL MOUNTED RESTROOM SINK
- 4 (N) KITCHEN SINK
- 5 (N) LOW-PROFILE REFRIGERATOR LOCATION
- 6 (N) IN COUNTER DISHWASHER
- 7 (N) SOAP DISPENSER
- 8 (N) ABOVE COUNTER KITCHEN CABINETS
- 9 (N) KITCHEN COUNTERTOP
- 10 (N) TOILET PAPER DISPENSER
- 11 (N) UNDER-COUNTER DISHWASHER
- 12 LINE OF 5'-0" HT. PONY WALL
- 13 LINE OF 2'-11" HT. PONY WALL TO ACCOMMODATE PLUMBING FIXTURES.
- 14 LINE OF 5'-0" HT. PONY WALL
- 15 LINE OF FULL HT. WALL
- 16 LINE OF WAINSCOT
- 17 LINE OF BACKSPLASH
- 18 WAINSCOT CAP, 2x6
- 19 CABINET DOORS BELOW SINK TO OPEN WITH ATTACHED TOE-KICK TO COMPLY WITH ADA STANDARDS, TYP.
- 20 BURKE OR EQ. RUBBER BASE, (SMOOTH, HARD, NONABSORBENT VERTICAL BASE) COLOR TO MATCH WALL COLOR
- 21 PAINTED GYP. BD.
- 22 (N) 4x12 WD HEADER. MATCH EXISTING HEADER HEIGHT, V.I.F.
- 23 (N) 2x4 CRIPPLE STUD, TYP.
- 24 (N) 2x6 TRIMMER STUD, TYP. RE-USE EXISTING WHERE POSSIBLE
- 25 (N) 2x4 FULL-HEIGHT STUD, TYP. RE-USE EXISTING WHERE POSSIBLE
- 26 LINE OF EXISTING DOOR OPENING
- 27 (N) 24" TROUGH SINK
- 28 LOCATION OF ADA BATHROOM SIGNAGE, SEE A1.0 FOR SPEC
- 29 LOCATION OF ADA BATHROOM BRAIL SIGN, SEE A1.0 FOR SPEC
- 30 KITCHEN ADA ACCESSIBLE WORK SURFACE: UNDER-SURFACE CABINET DOOR TO INCLUDE ATTACHED KICK FOR COMPLIANCE WITH CBC 11B-305 FORWARD APPROACH. FINISH FLOOR TO EXTEND UNDER CABINETS. WALLS BEHIND AND SURROUNDING CABINETS TO BE FINISHED TO MATCH EXTERIOR CABINET SURFACES, TYP.

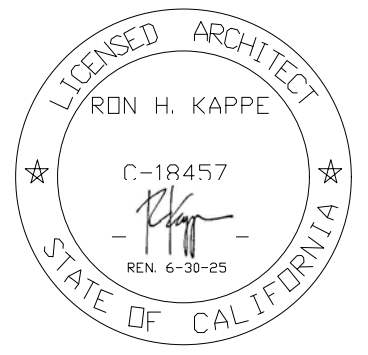
GENERAL NOTES

ALL PIPES TO BE WRAPPED OR PROVIDED WITH A PIPE SHROUD INSTALLED TO COMPLY WITH ADA STANDARDS, TYP.

KAPPE ARCHITECTS

COMMUNITY ACTION MARIN

1123 COURT STEET
SAN RAFAEL, CA 94901



AP #: 011 - 213 - 18

Project No.:	23.06
Drawn By:	GRC
Checked By:	RK
Issued Date:	01.30.24
Revision	No. Date

All drawings and written material herein are the original and unpublished property of and all rights are reserved by Kappe Architects. The same may not be duplicated, used without written or disclosed consent. Material herein is for use by authorized contractors, bidders and subcontractors in connection with this project only. All dimensions on these drawings shall take precedence over scaled dimensions. Contractors shall be responsible to verify all dimensions and conditions on the job. This office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop drawings must be reviewed by this office before proceeding with fabrication.

Sheet Title:
PROPOSED INTERIOR ELEVATIONS

Scale: AS NOTED

Sheet No: **A2.0**