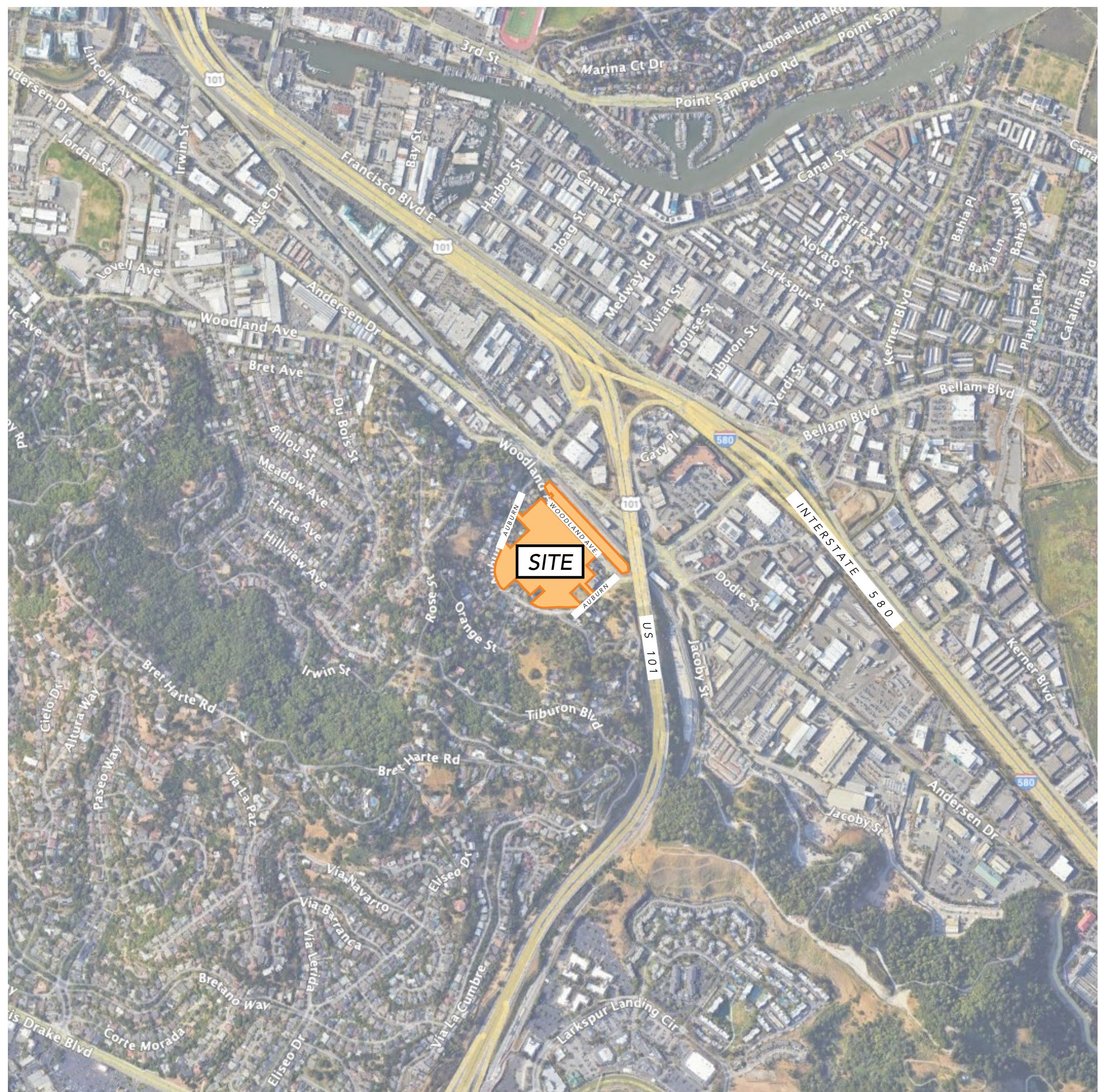


VICINITY MAP



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PROJECT TEAM

CITY VENTURES

Contact: Kian Malek  
 444 Spear Street, Suite 200 | San Francisco, CA 94105  
 650.248.8388 | KMalek@CityVentures.com

FOURNIER DESIGN STUDIO

Contact: Roland Fournier  
 311 Main Street 10-C | Seal Beach, CA 90740  
 562.719.4650 | Roland@FournierDesign.Studio

HUNT HALE JONES ARCHITECTS

Contact: Dan Hale  
 444 Spear Street, Suite 105 | San Francisco, CA 94105  
 415.568.3833 | DHale@HHJA.com

CBG | CIVIL ENGINEERS

Contact: Jason Neri, P.E.  
 2633 Camino Ramon, Suite 350 | San Ramon, CA 94583  
 925.866.0322 x251 | JNeri@CBandG.com

TARRAR UTILITY CONSULTANTS

Contact: Alfonso Reyes  
 813 First Street | Brentwood, CA 94513  
 925.240.2595 | AReyes@Tarrar.com

C2 COLLABORATIVE

Contact: Trevor Rathfon  
 100 Avenida Miramar | San Clemente, CA 92672  
 949.542.7705 | TRathfon@C2Collaborative.com

**CITY SUBMITTAL**

April 8th, 2024

**Auburn Grove**

Auburn Street and Woodland Avenue  
 San Rafael, CA

COVER SHEET



**PROJECT DESCRIPTION**

**Physical Description**

City Ventures is delighted to submit our proposal for the Auburn Grove project and grateful for the chance to collaborate with Marin County. The net project acreage is 3.29 Acres and is located in San Rafael, Marin County California. Woodland Avenue lines the Northeast side of the site and Auburn Street wraps around the site from the Northern corner to the Southeast corner. The Montessori School of Central Marin is located at the Southeast corner of the project site, where the two streets connect. Commercial space, the Sonoma-Marín Area Rail Transmit (SMART) Pathway, and Highway 101 reside to the North and East of the project site, and single family homes are located to the West and South.

**Proposed Project Description**

The Auburn Grove project proposes a total of 79 homes comprised of 3-bedroom townhome-style condominiums ranging between 1,500 and 1,665 square feet with a craftsman style of architecture. 41 of the homes are proposed on the East side of Woodland Avenue and 38 of the homes are proposed on the West side of Woodland Avenue. Each home will come standard with solar panels and will incorporate a specific focus on healthy, energy efficient living. Twenty percent of the housing units will be made affordable to households at 60% of the area median income. The project site is in a floodplain designated by FEMA as Zone AE Elevation with a base flood elevation of 10 Feet. Therefore, the project proposes each home's habitable space to begin on the 2nd floor at elevation 11 feet with no habitable space on the 1st floor. The proposed homes in the project are designed to meet the definition of carriage units in the California Building Code Section 202 where the garage level contains no habitable space and is exempt from accessibility requirements per CBC Sections 1104A.2 & CBC 1102A.3.1.

**Compliance with General Plan, Zoning and Form Based Code**

The site was adopted on the 2023 Housing Element and falls within the land use designation of MF2-HOD and the general plan RSP-4: HOD.T4. The site is subject to an HOD combining zoning district, allowing housing development at a density of up to 30 units per acre, as outlined in the Marin County Code (MCC) Section 22.14.090, Table 2-12. The project is consistent with the density requirement by proposing 24.01 dwelling units per net acre and was also designed to be consistent with the Form Based Code requirements under the T4 designation.

**Compliance with the Housing Accountability Act**

The Project is a Housing Development Project within the meaning of Government Code section 65589.5(h)(2) and has been designed to comply with applicable, objective general plan, zoning, and subdivision standards and criteria, as described in Government Code section 65589.5(j). As such, the Project is covered by the protections afforded by the Housing Accountability Act. At this time, City Ventures is requesting two State Density Bonus waivers.

**Requested Approvals**

City Ventures is requesting approval of the Housing Compliance Review: Form Based Code permit and State Density Bonus with this submittal. City Ventures is also requesting consideration under the State's SB 330 Law and has submitted an SB 330 application to Marin County on 2/20/2024. City Ventures is requesting a State Density Bonus waiver to Marin County's General Plan Policy BIO-3.1 that requires a 100-foot development setback from wetlands for projects in the City-Centered Corridor. The project proposes a 20' development setback between the 3.54 Acres of seasonal wetlands located to the West and Northeast of the project site. Included with this Design Review Application Submittal is a report from the project's biologist, confirming that a 20-foot buffer between the seasonal wetlands and the proposed project will not cause impacts to the wetlands. City Ventures is also requesting a State Density Bonus waiver to the rear setback requirement of 10' and instead proposing a 5.5' setback to the North property line that abuts the SMART pathway.

We look forward to working with Marin County to address the critical need for new housing with solar all electric townhomes.

**PROJECT SUMMARY**

RESIDENTIAL		SF	Garage	Deck	BeDs	79 units
P1	3B/2.5Ba/2C	1,500	485	80	3	27 units
P2	3B/2.5Ba/2C	1,535	480	130	3	15 units
P3	3B/2.5Ba/2C	1,565	505	160	3	15 units
P4	3B/2.5Ba/Flex/Office/2C+	1,665	800	190	3	22 units

<b>Gross Acreage</b>	<b>8.80</b>
<b>Net Acreage</b>	<b>3.29</b>

Building #	Floor Area	Total	Building #	Floor Area	Total
Bldg 1	3,165	1,285	Bldg 9	9,430	3,555
Bldg 2	9,430	3,555	Bldg 10	1,565	505
Bldg 3	9,430	3,555	Bldg 11	3,165	985
Bldg 4	9,430	3,555	Bldg 12	12,530	4,540
Bldg 5	9,430	3,555	Bldg 13	12,530	4,540
Bldg 6	9,430	3,555	Bldg 14	3,100	985
Bldg 7	9,430	3,555	Bldg 15	7,730	2,760
Bldg 8	4,600	1,470	Bldg 16	9,200	3,220
<b>Totals</b>			<b>123,595 45,175</b>		

ZONING	Cal Park ~ T4 CMS w/ Housing Overlay	
	Requirement	Provided
<b>DENSITY</b>	30du/ac maximum	24.01du/Nac
<b>BUILDING STORIES</b>	4 Stories Maximum	3 Stories
<b>BUILDING HEIGHT</b>	36' to 50'	38'
<b>OPEN SPACE</b>		
Private	No requirement	135 sf/du
<b>PARKING</b>		
3 Bedroom Home	1.2 cars/du	2 cars/du
<b>PARKING TOTAL</b>	94.8 cars	158 cars
<b>SETBACKS</b>		
Front ~ ROW	0' to 10' maximum	10' bldg, 6' to Projected Porch
Street Side	0' to 10' maximum	N/A
Interior Side	0' ~ 10'min to Residential Zone	29'
Rear	10'	5.5' *
Wetland Setback	100'	20' *
Architectural Projections	3' maximum	2'
Curb Cut	1 du 12' ~ 2 du 16' ~ 7+ du 26'	16' ~ 26'
<b>BUILDING TYPES</b>		
	House Scale	Carriage House, Multiplex
	Block Scale	Core Courtyard
<b>ARCHITECTURAL STYLE</b>		Craftsman

\* Indicates State Density Bonus Waiver requested

**PROJECT DESCRIPTION and SUMMARY**



**Auburn Grove**  
Auburn Street and Woodland Avenue  
San Rafael, CA





## SOLAR ALL-ELECTRIC ADVANCED TECHNOLOGY HOMES

This project will include solar-powered, all electric, energy efficient homes that will reduce the impact on the environment.

### ALL INCLUSIVE ADVANCED TECHNOLOGY - NO EXTRA COST:

- Exceeds national energy efficiency standards
- High-performance energy efficient appliances & materials
- High-efficiency LED lighting
- Dual glaze Milgard windows with energy efficient ultraviolet coating
- Water wise Kohler™ plumbing fixtures
- Advanced framing Technology saves trees & keep our planet green
- Energy efficient smart NEST™ thermostat
- Energy efficient radiant barrier roof sheathing
- All HVAC systems are tested for optimal refrigerant charge & duct performance
- QII Testing verifying consistent installation to ensure maximum installation
- Duct leak testing verified by a 3rd party to optimize efficiency
- Low to Zero VOC materials, paints, stains & adhesives

### A SOLAR-POWERED LIFE INCLUDES ALL GREEN LIVING BENEFITS, PLUS

- Advanced technology powers your entire home
- Eliminates your gas bill and reduces your electric bill
- Pre-wired ready for electric vehicle chargers in garage
- Energy efficient while living in comfort & style



SUNPOWER™

Solar Panels power everything  
in your home



Energy Star® rated high-efficiency  
appliances so you don't have to worry

nest

Smart thermostat learns your lifestyle,  
saving energy and money

THE BOLD LOOK  
OF KOHLER.

Faucets and shower heads offer significant  
water savings reducing water bills

Milgard  
WINDOWS & DOORS

Dual-glazed windows + ultra-violet coating  
offer insulation against cold & heat.



City Ventures Homes' Energy Efficiency  
exceeds 15% of the state required  
minimum

### SUSTAINABLE FEATURES





Woodland Ave. ~ Viewing North West



Woodland Ave. & Auburn St. ~ Viewing North



Woodland Ave. ~ Viewing South East



Woodland Ave. ~ Viewing East

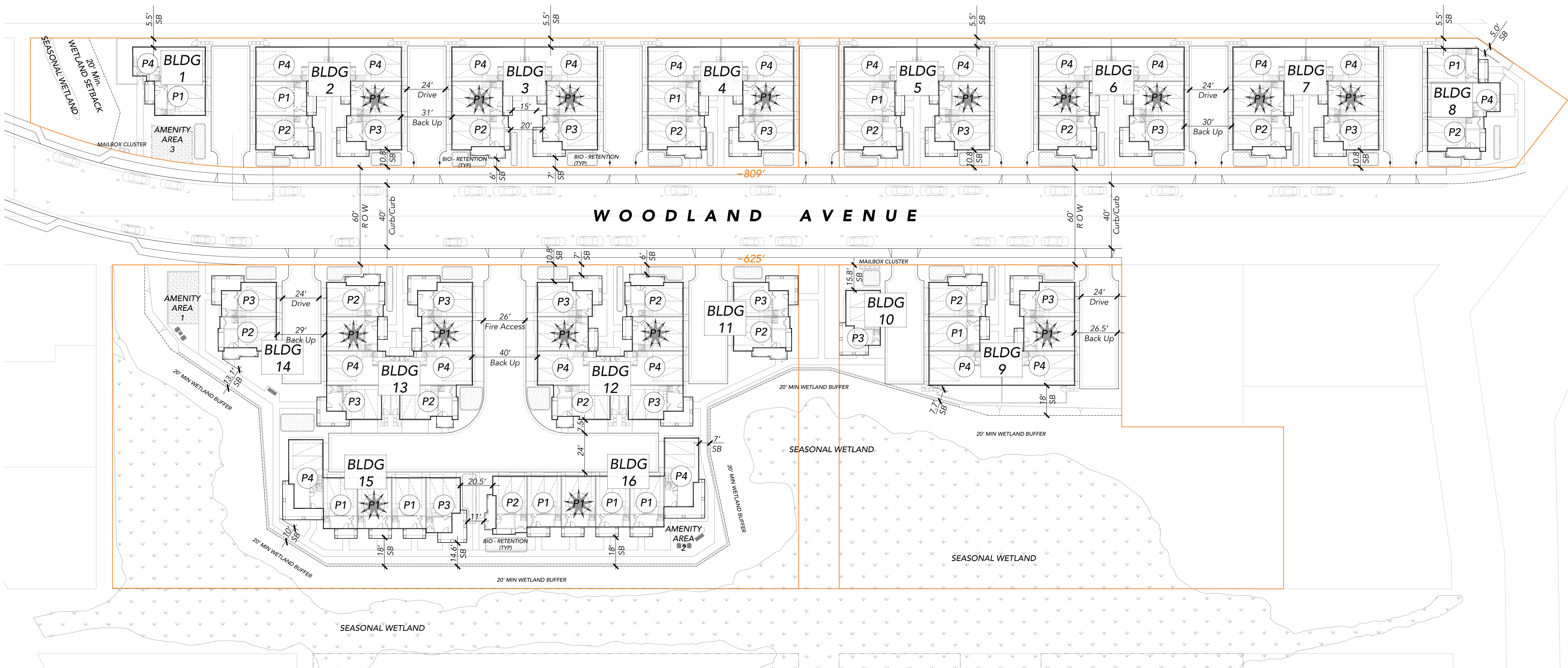
EXISTING SITE PHOTOS





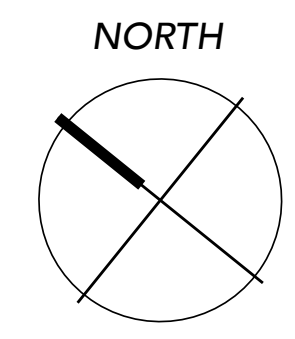
ILLUSTRATIVE SITE PLAN





WOODLAND AVENUE

**NOTES:**  
 ~SEE CIVIL SHEETS FOR ADDITIONAL INFORMATION  
 ~SEE LANDSCAPE SHEETS FOR ADDITIONAL INFORMATION  
 \* INDICATES INCLUSIONARY BMR HOUSING UNITS

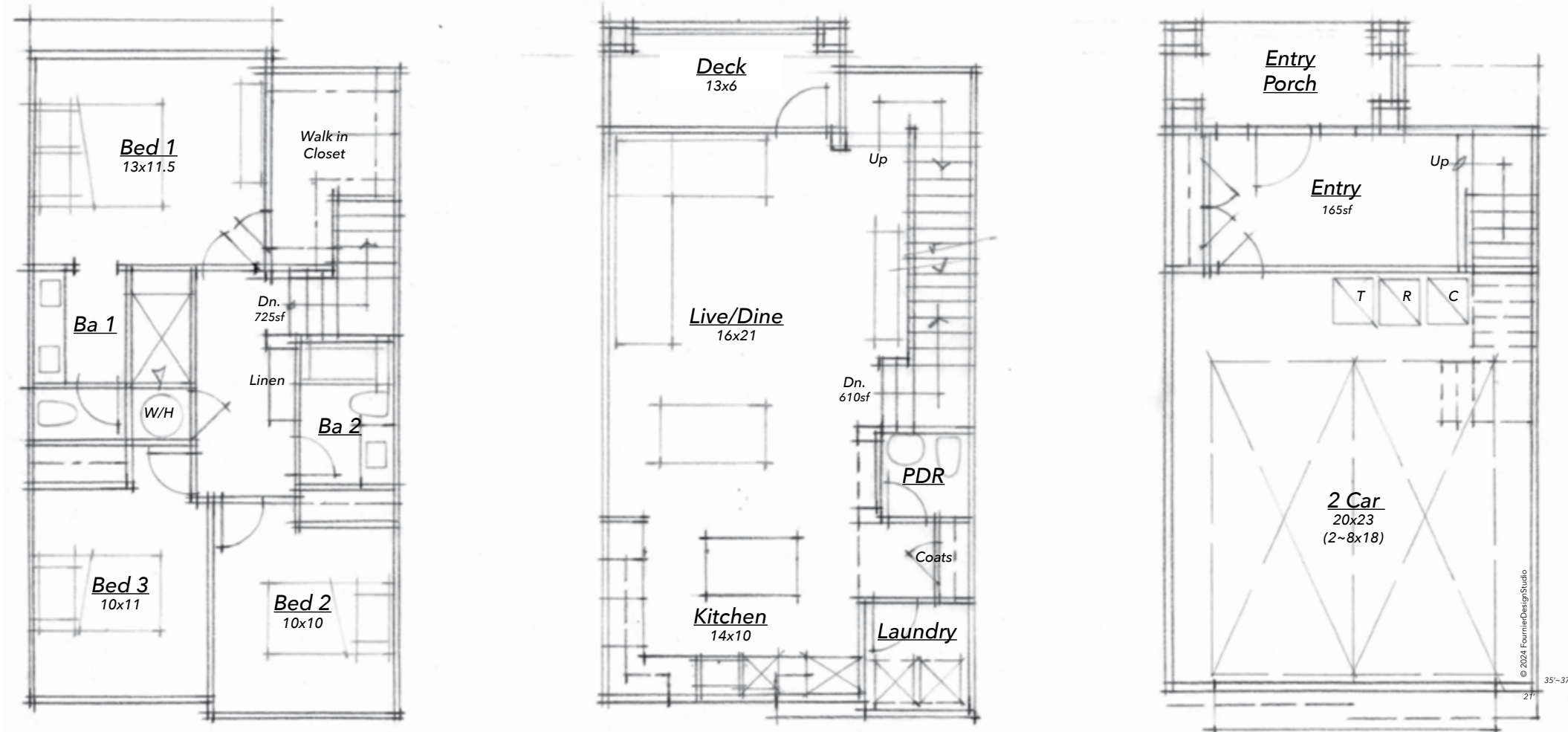


SCALE 0' 30' 60' 120' 30th @ 22X34

**CONCEPTUAL ARCHITECTURAL SITE PLAN**



**Plan 1**  
1,500sf  
3Bed/2.5Ba  
Deck 80sf  
2C+ 485sf

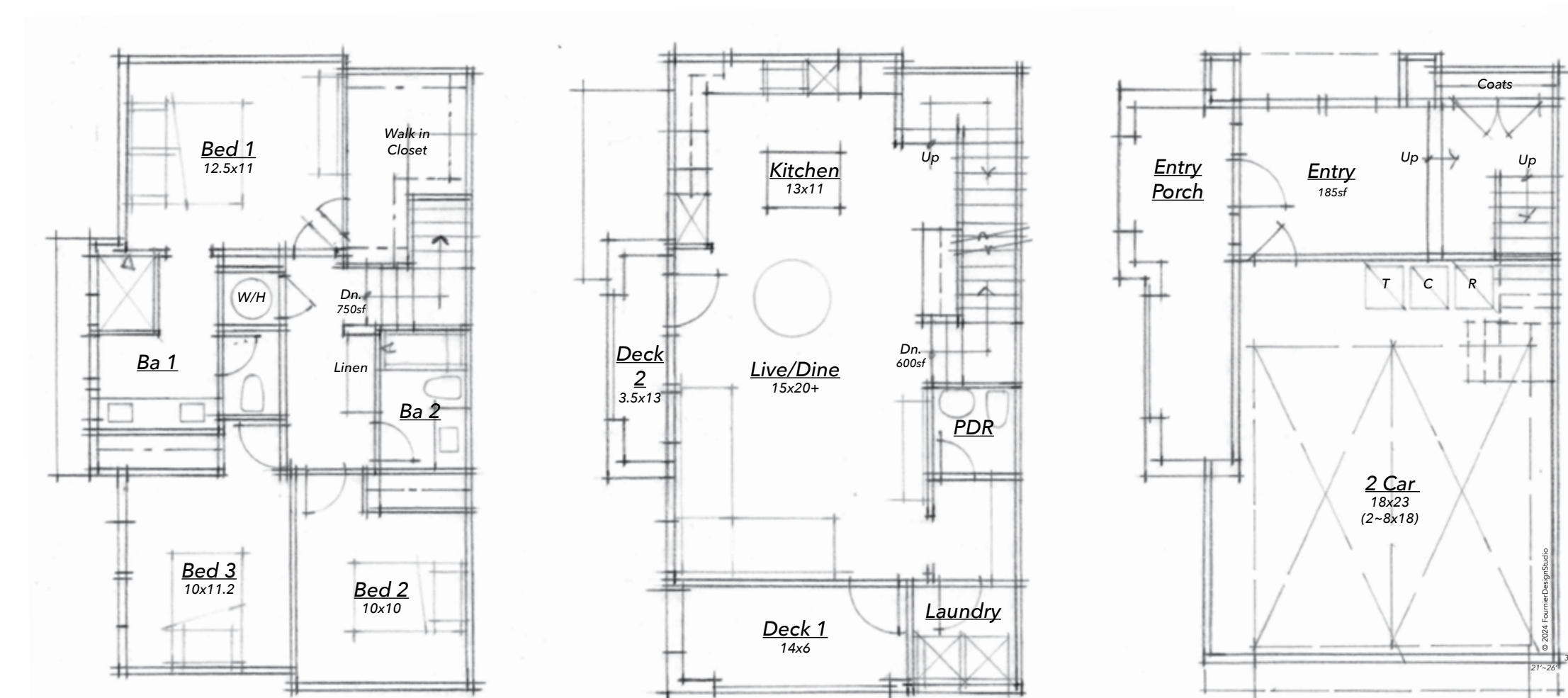


3rd FLOOR

2nd FLOOR

GROUND FLOOR

**Plan 2**  
1,535sf  
3Bed/2.5Ba  
Deck1 80sf/ Deck 2 50sf  
2C+ 480sf

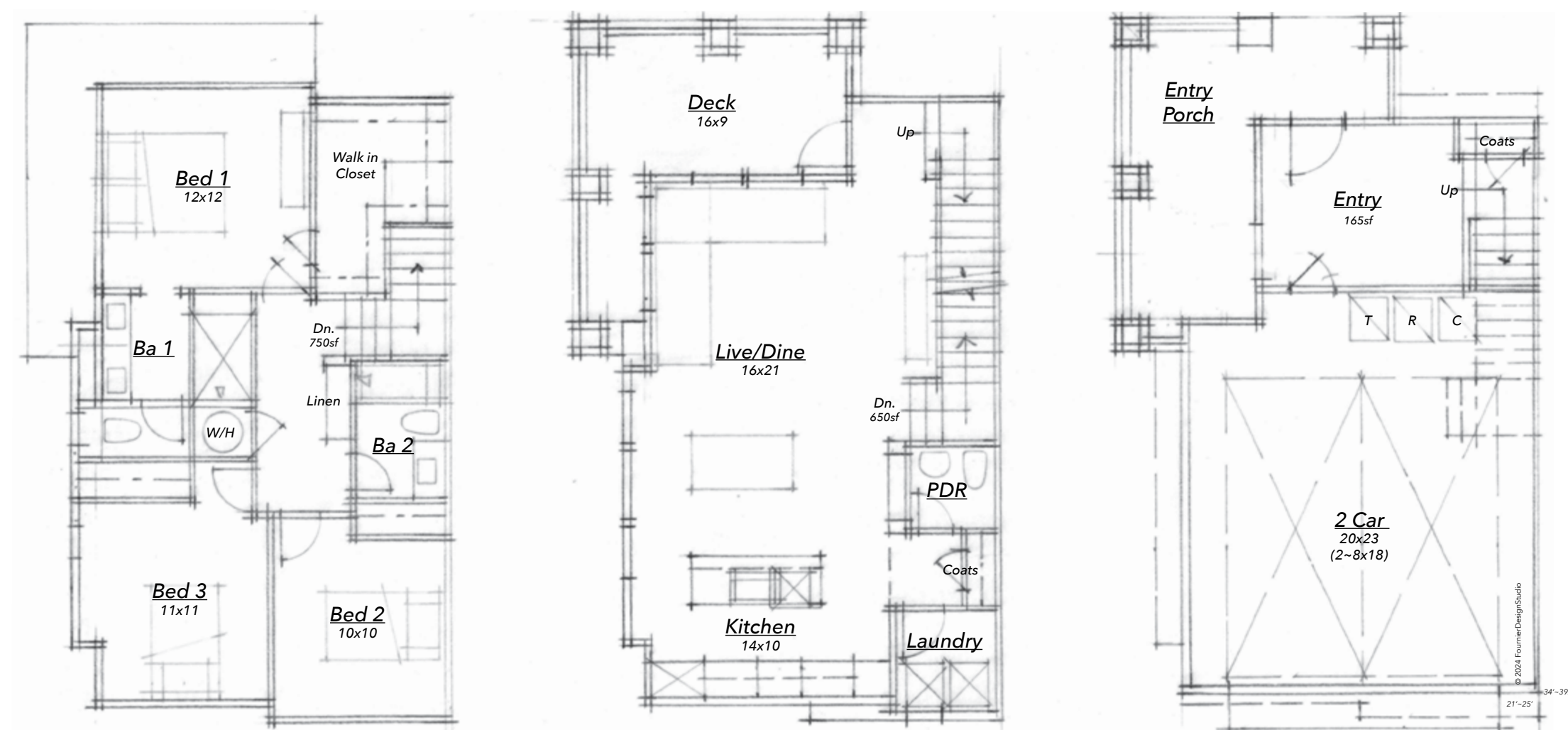


3rd FLOOR

2nd FLOOR

GROUND FLOOR

**Plan 3**  
1,565sf  
3Bed/2.5Ba  
Deck 160sf  
2C+ 505sf

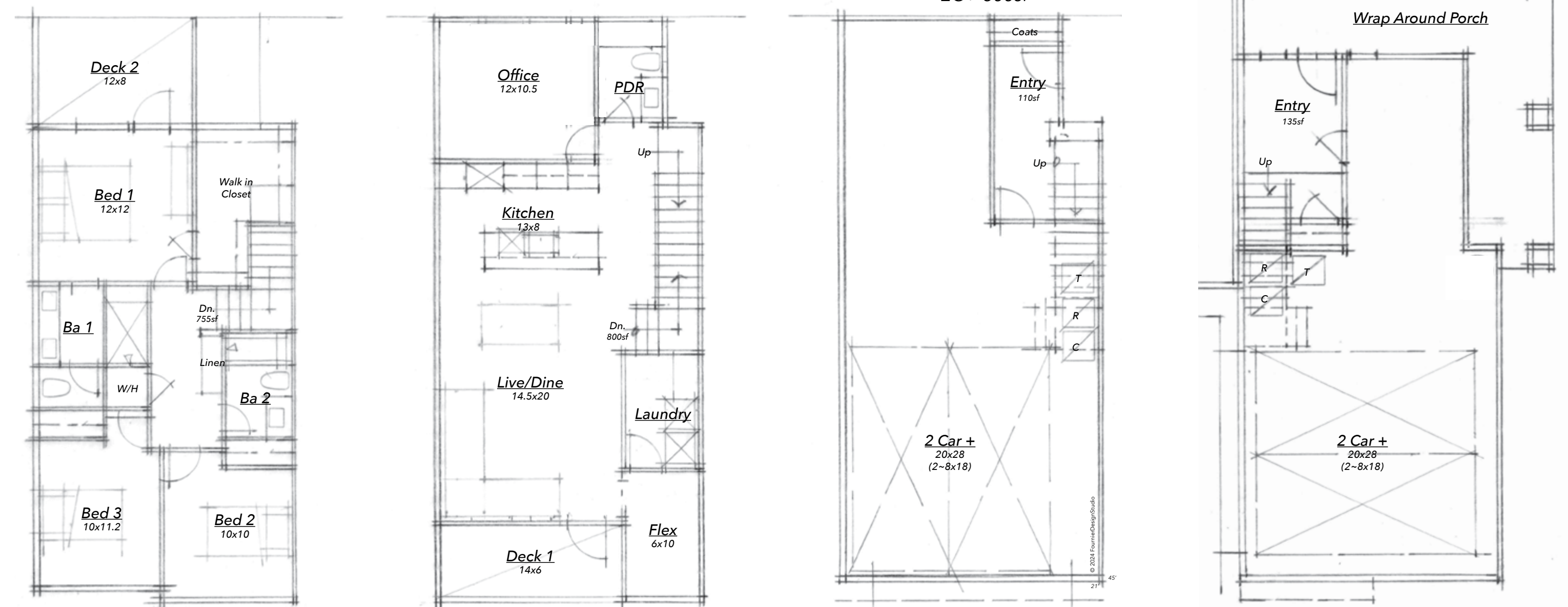


3rd FLOOR

2nd FLOOR

GROUND FLOOR

**Plan 4**  
1,665sf  
3Bed/2.5Ba/Flex/Office  
Decks 190sf  
2C+ 800sf

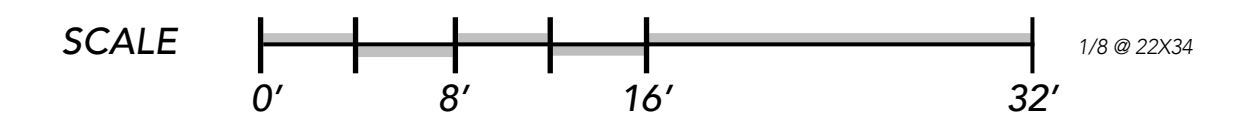


3rd FLOOR

2nd FLOOR

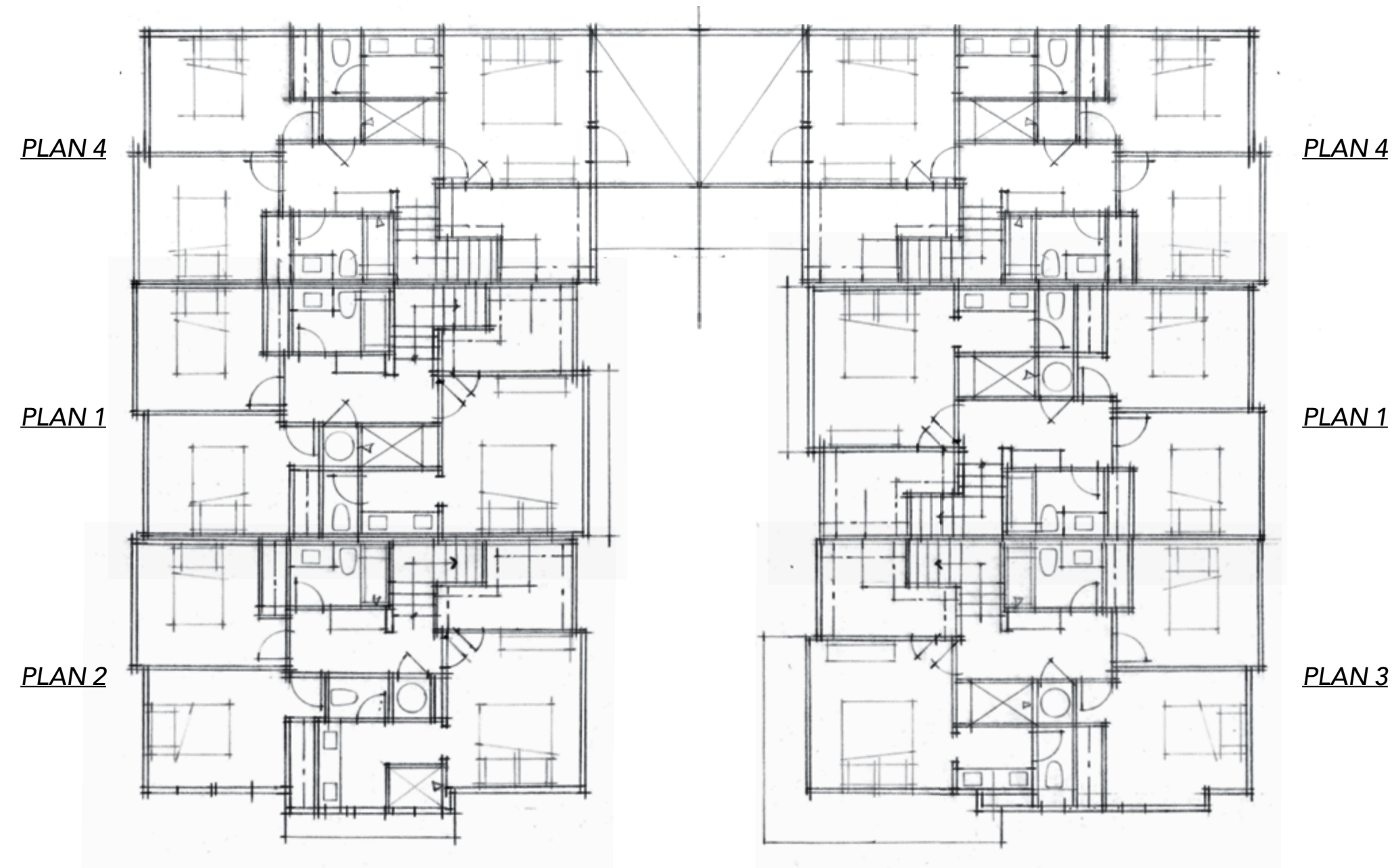
GROUND FLOOR

GROUND FLOOR  
@ Buildings 15 & 16

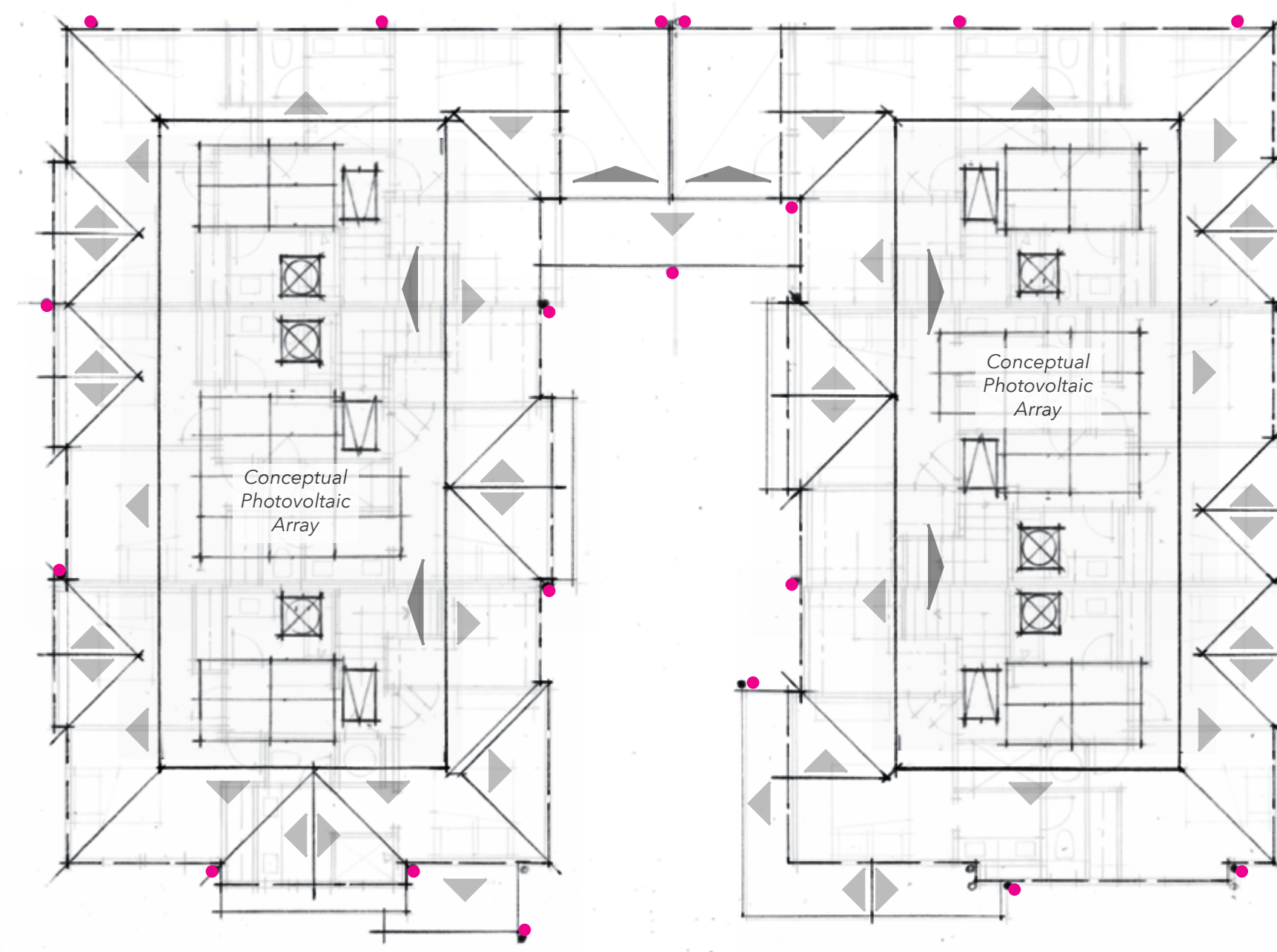


**CONCEPTUAL UNIT FLOORPLANS**



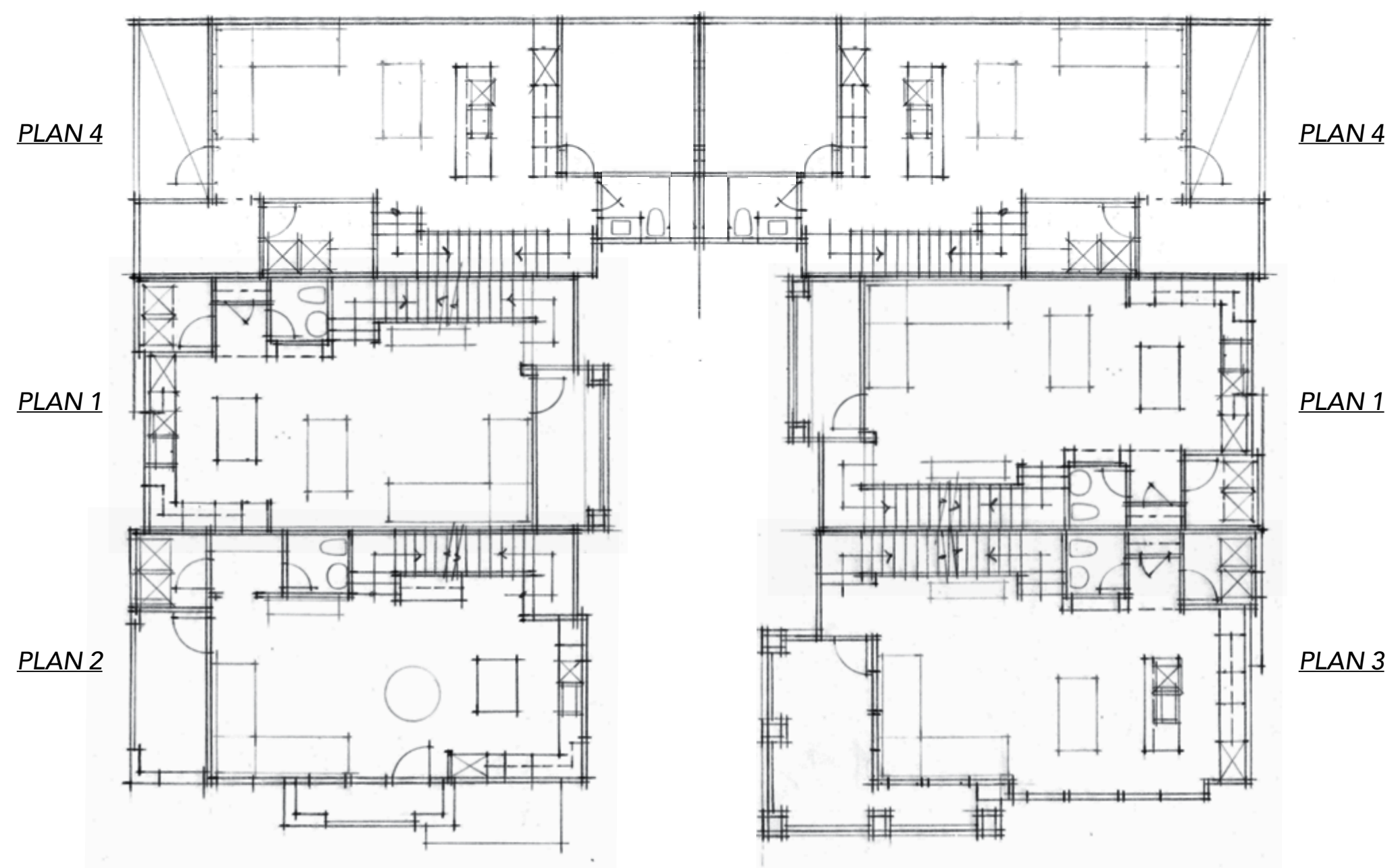


3rd FLOOR PLAN

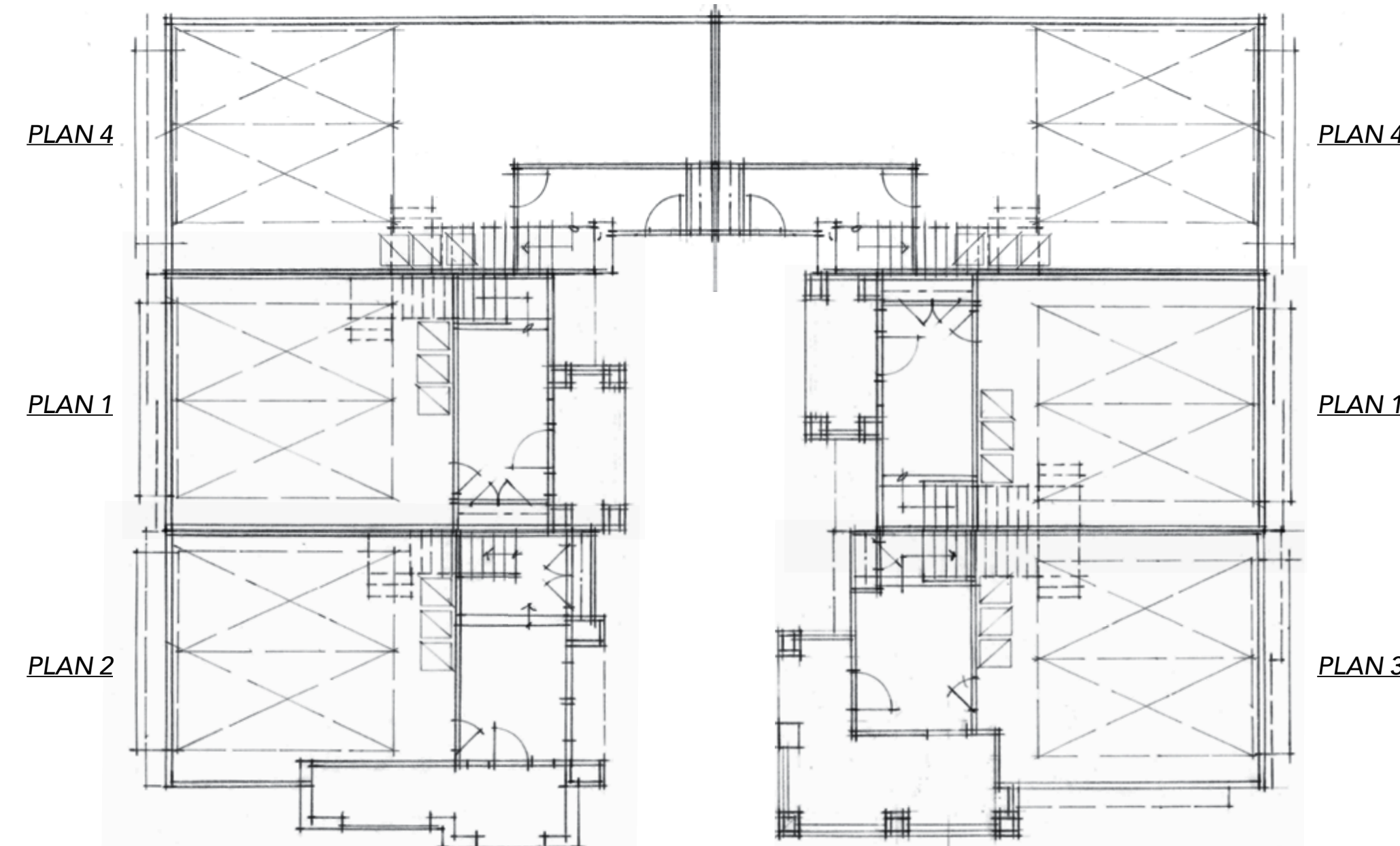


ROOF PLAN

**ROOF PLAN NOTES**  
 Roof Pitch;  $\nabla$  7:12 2%  
 Overhangs Typical; Rake 1'-6" Eave 1'-6"  
 ● Downspout Location  
 ☒ A/C Condenser  
 ☐ Unit Roof Access Hatch



2nd FLOOR PLAN



GROUND FLOOR PLAN

BUILDINGS 2 3 4 5 6 7 9 ~ 12 13 SIMILAR  
 CONCEPTUAL BUILDING FLOOR & ROOF PLANS

SCALE 0' 8' 16' 32' 3/32 @ 22x34





RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION

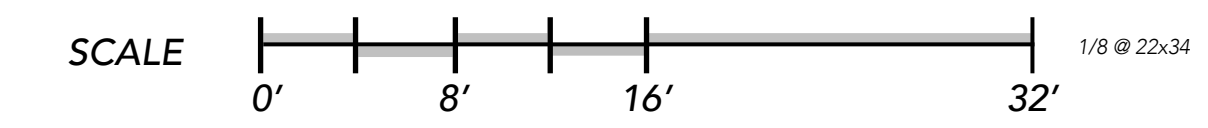


FRONT ELEVATION  
WOODLAND AVENUE FRONTAGE

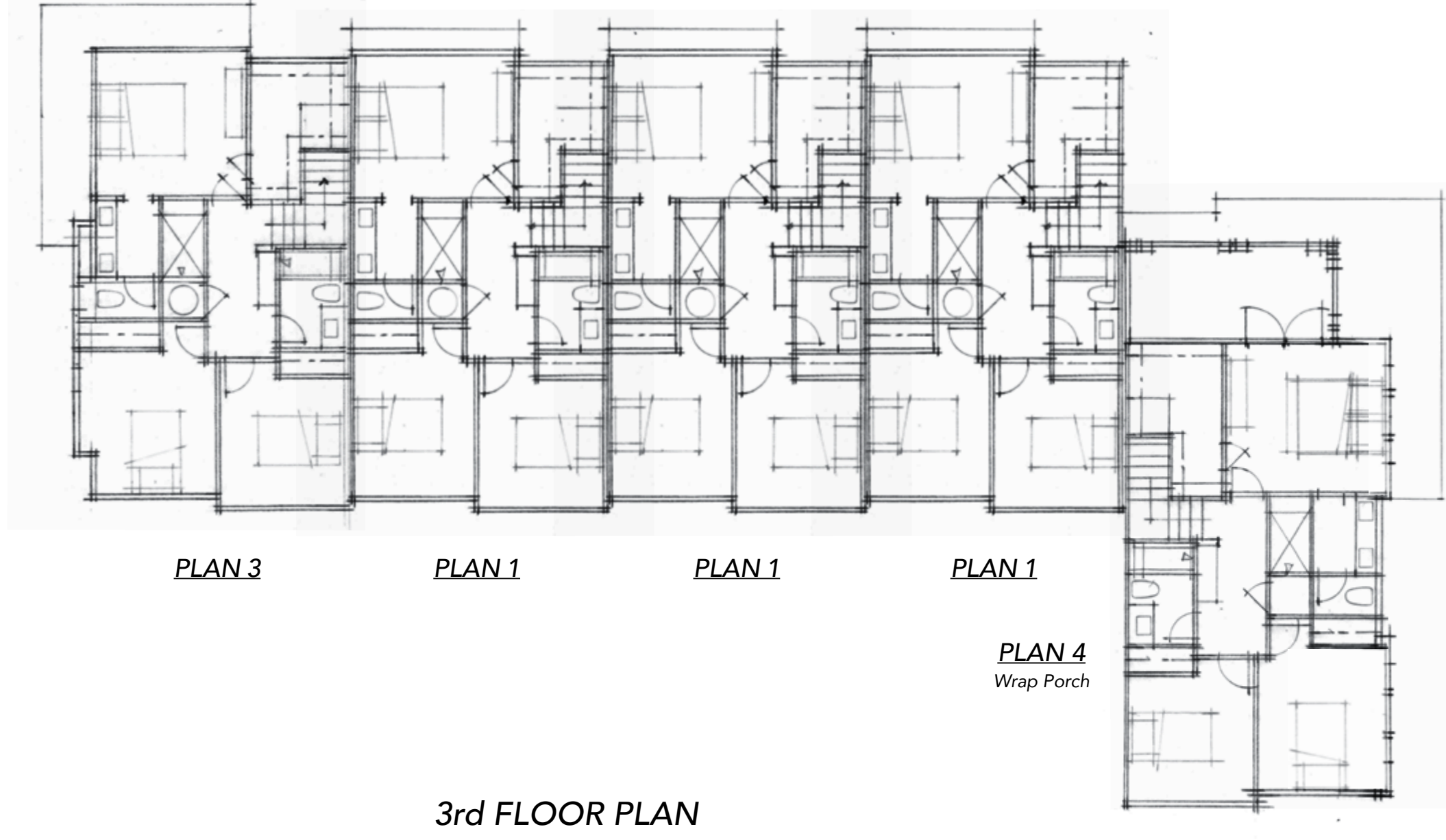


- | EXTERIOR MATERIALS LIST             | COLOR SPECIFICATIONS                                  |
|-------------------------------------|---|
| Asphalt Composition Shingle Roofing | A Weathered Wood; CertainTeed                         |
| Wood Rake - Fascia - Eaves          | B SW 2846; 10x Rake Resawn, 6x Fascia gutter          |
| Gable End Detail                    | C SW 2846; .75x2.5 smooth batt @ 7" o.c.              |
| Cementous Siding                    | D SW 2826; 4" Lap Smooth                              |
| Cementous Trim Boards               | E SW 2851; 5/4x7 Head, 4/4x3.5 Sides, 2x3 Sill Smooth |
| Cementous Shingle Siding            | F SW 2835; 8" Shingle Board                           |
| Stucco Columns                      | G SW 2860; Sand                                       |
| Stucco                              | H SW 2860; Sand                                       |
| Brick Veneer                        | I Tundra; Hartford                                    |
| Vinyl Windows                       | J White; Milgard                                      |
| Garage Door                         | K SW 2826 & SW 2851; Coplay                           |
| Entry Door                          | L SW 2839; Thermatru 'Smooth Star' FibreGlass         |
| Wood Railings                       | M SW 2843; 1x6 @ 10" o.c.                             |
| Downspouts                          | N SW 2846; 3.5" Round                                 |
| Architectural Lighting              | O Hinkley Harbor Collection (Downward Lighting)       |

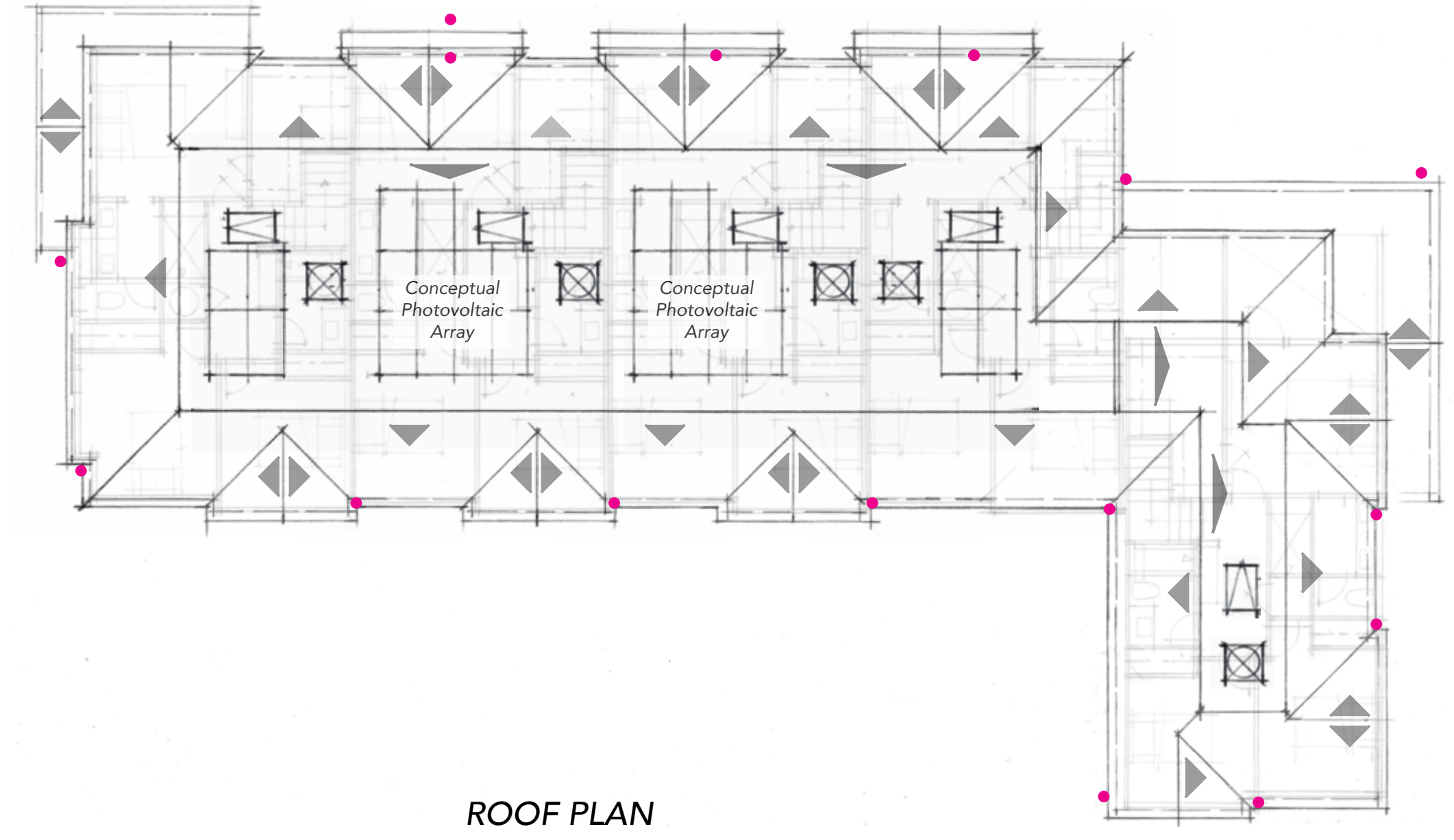
BUILDINGS 2 3 4 5 6 7 9 ~ 12 13 SIMILAR  
CONCEPTUAL ELEVATIONS AND MATERIALS





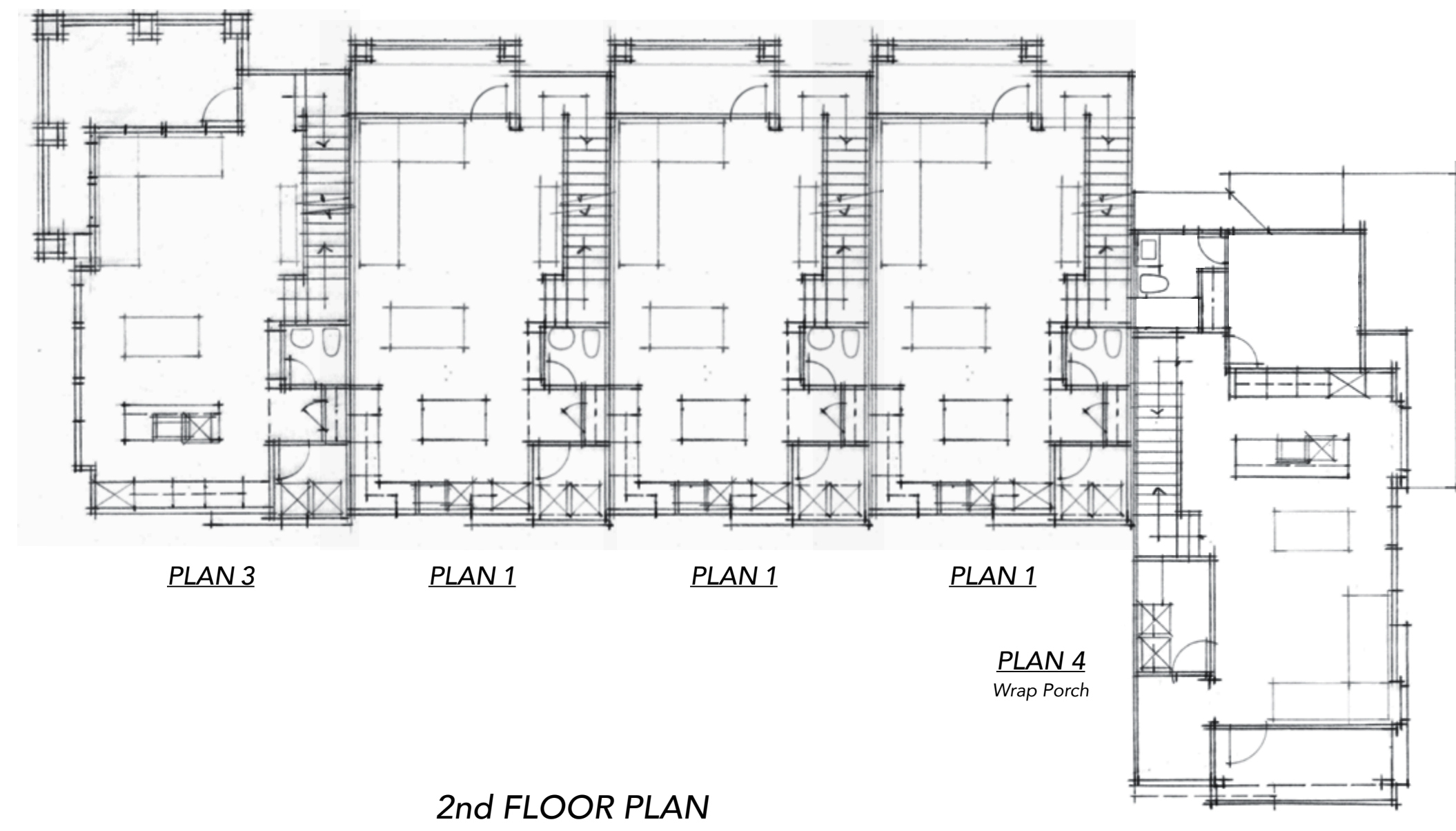


3rd FLOOR PLAN

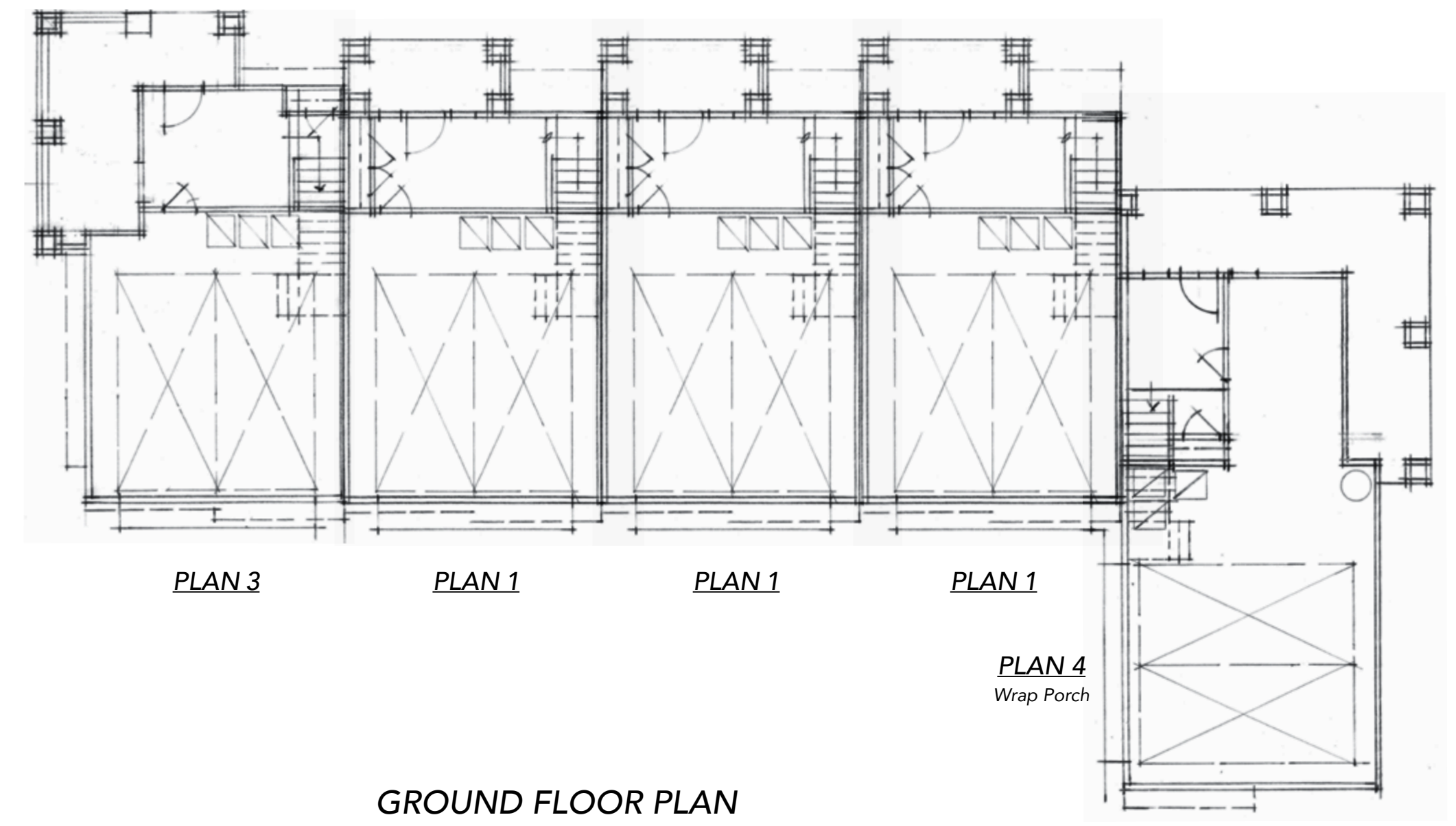


ROOF PLAN

**ROOF PLAN NOTES**  
 Roof Pitch;  $\nabla$  7:12  $\nabla$  2%  
 Overhangs Typical; Rake 1'-6" Eave 1'-6"  
 ● Downspout Location  
 ☒ A/C Condensor  
 ☒ Unit Roof Access Hatch

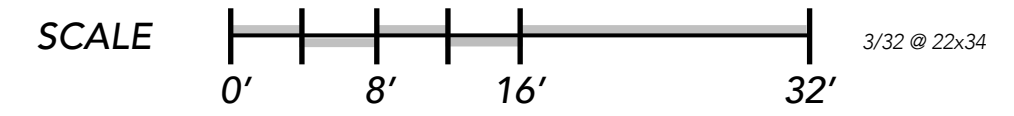


2nd FLOOR PLAN



GROUND FLOOR PLAN

**BUILDING 15 ~ 1 8 10 11 14 16 SIMILAR  
 CONCEPTUAL BUILDING FLOOR & ROOF PLANS**







RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION

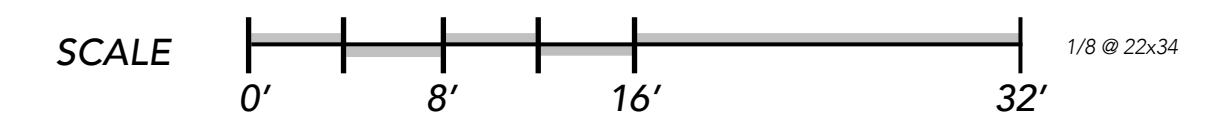


FRONT ELEVATION  
WETLAND BUFFER FRONTAGE

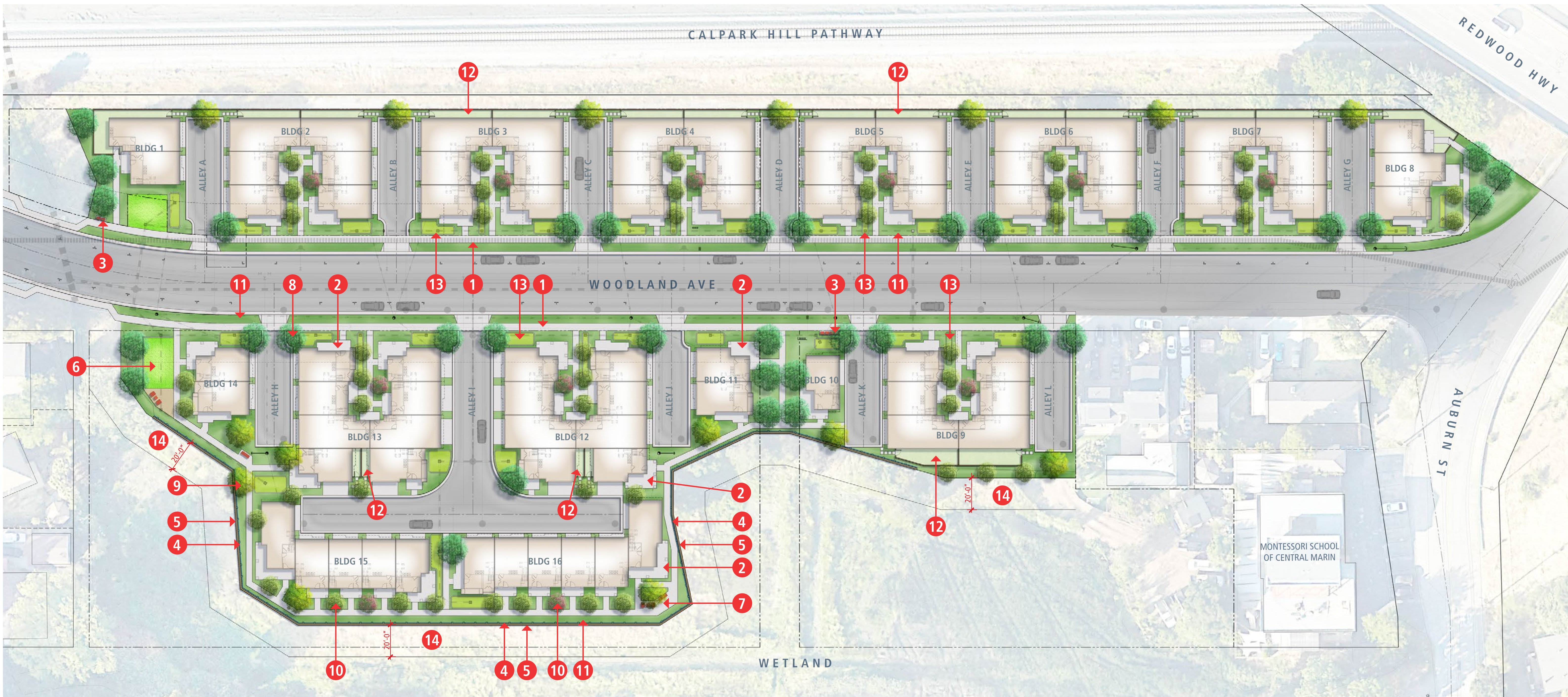


EXTERIOR MATERIALS LIST	COLOR SPECIFICATIONS
Asphalt Composition Shingle Roofing	A Weatherd Wood; CertainTeed
Wood Rake - Fascia - Eaves	B SW 2846; 10x Rake Resawn, 6x Fascia gutter
Gable End Detail	C SW 2846; .75x2.5 smooth batt @ 7" o.c.
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Stucco	H SW 2860; Sand
Brick Veneer	I Tundra; Hartford
Vinyl Windows	J White; Milgard
Garage Door	K SW 2826 & SW 2851; Coplay
Entry Door	L SW 2839; Thermatru 'Smooth Star' FibreGlass
Wood Railings	M SW 2843; 1x6 @ 10" o.c.
Downspouts	N SW 2846; 3.5" Round
Architectural Lighting	O Hinkley Harbor Collection (Downward Lighting)

BUILDING 15 ~ 1 8 10 11 14 16 SIMILAR  
CONCEPTUAL ELEVATIONS AND MATERIALS



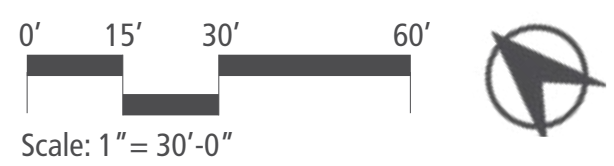




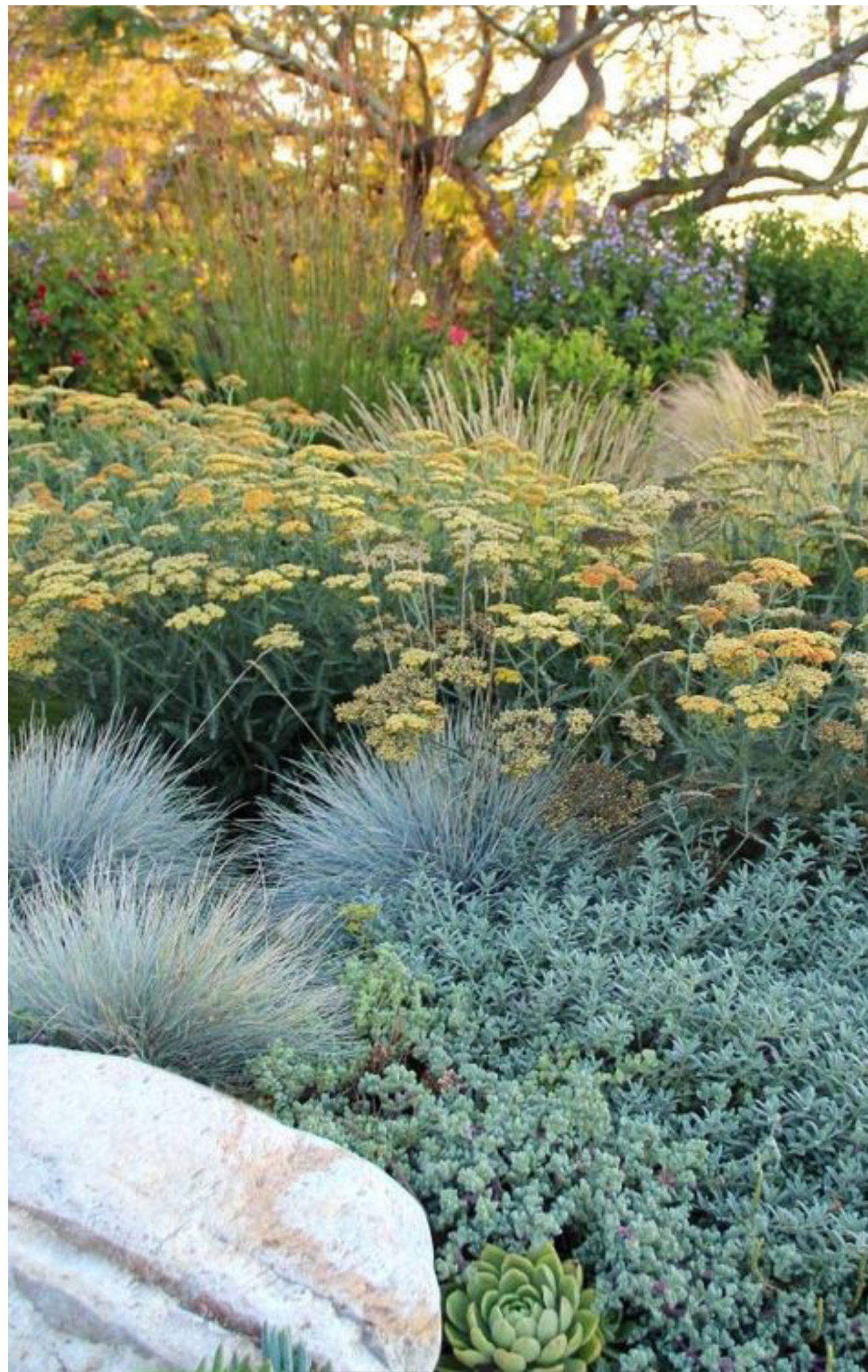
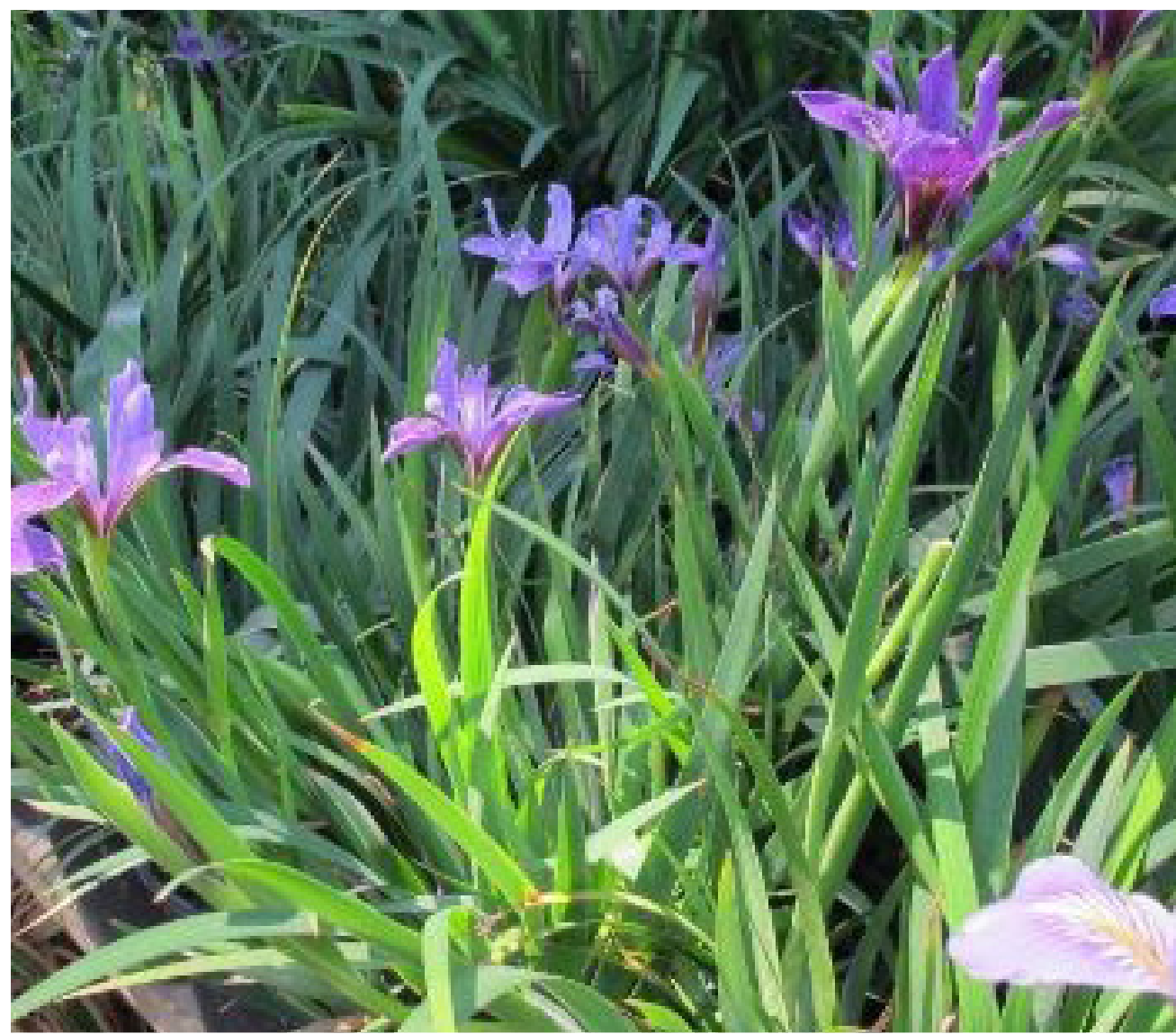
## LEGEND

- |                                      |  |  |
|--------------------------------------|--|--|
| 1 Concrete Sidewalk                  | 6 Social Space - Lounge Seating and Lawn | 11 Common Area Shrub Planting              |
| 2 Private Patio per Architect's Plan | 7 Overlook to Wetland - Seating          | 12 Private Yards                           |
| 3 Mailboxes                          | 8 Screen Tree                            | 13 LID Treatment Basins per Civil Engineer |
| 4 View Fence (42" ht.)               | 9 Canopy Tree                            | 14 20' Wetland Buffer Zone                 |
| 5 Low Retaining Wall                 | 10 Accent Tree                           |  |

## CONCEPTUAL LANDSCAPE PLAN







CONCEPTUAL LANDSCAPE IMAGERY

Auburn Grove

Auburn Street and Woodland Avenue  
San Rafael, CA

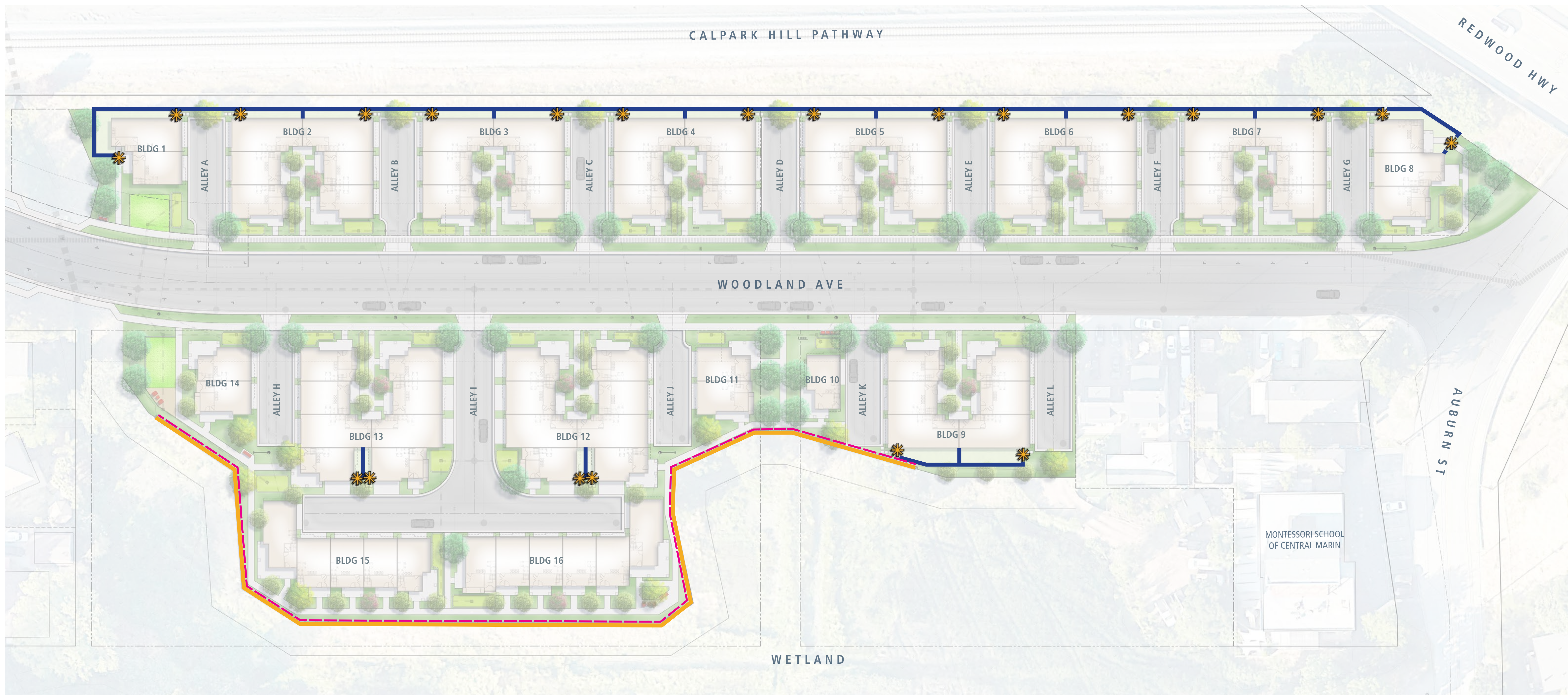


April 8th, 2024





L-2

#23017

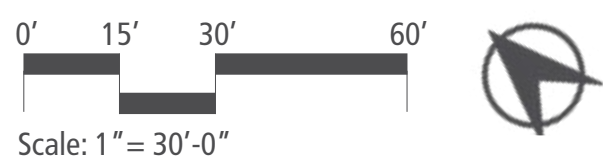




**LEGEND**

-  Low Retaining Wall (24" -36" ht.)
-  View Fence (42" ht.)
-  Sideyard Fence (6' ht.)
-  Sideyard Gate (6' ht.)

CONCEPTUAL WALL AND FENCE PLAN





### Conceptual Low Retaining wall

- 24" to 36" ht.
- Acker-stone Sapphire Wall or Equal
- Universal Cap
- Split Face



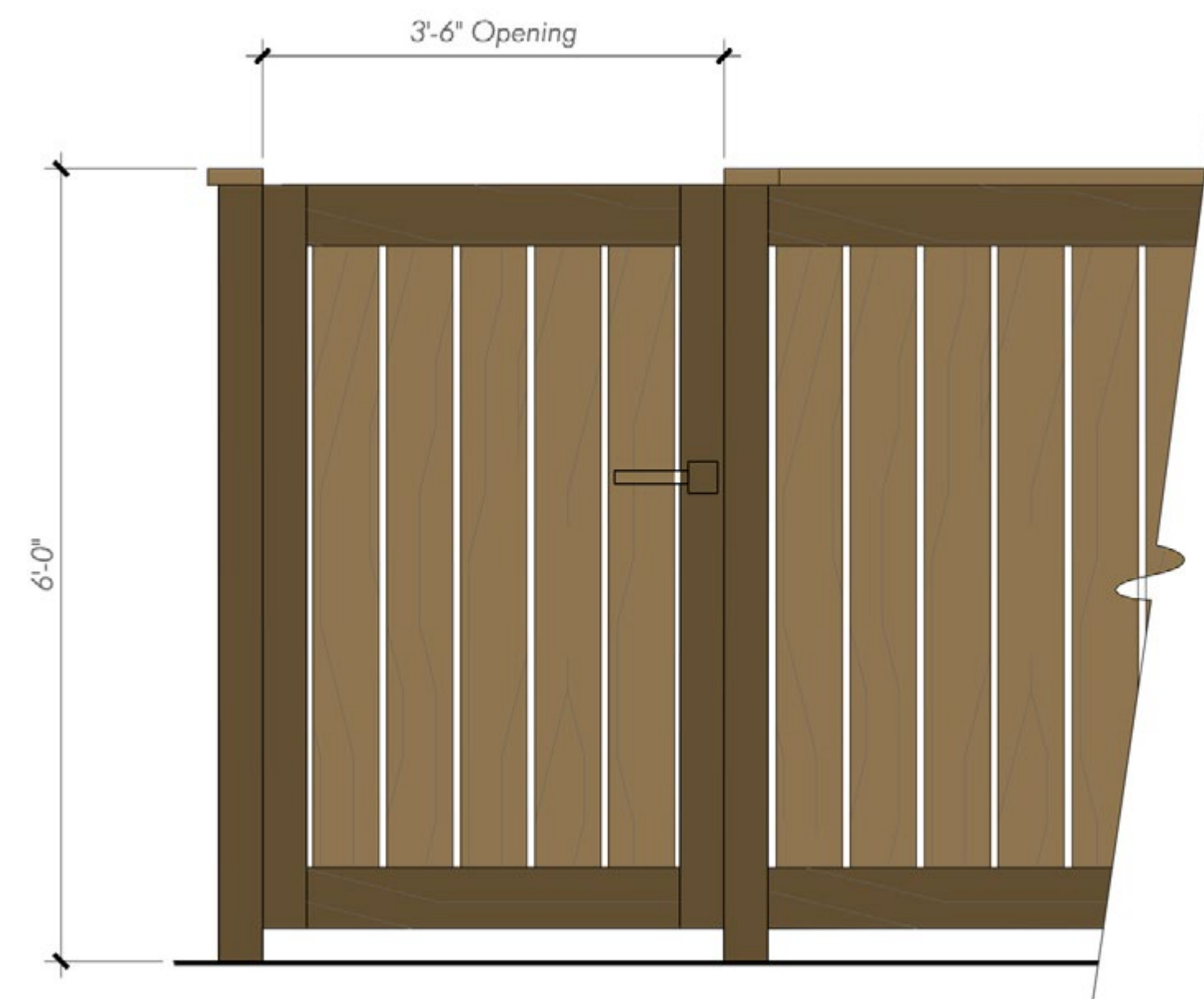
### Conceptual View Fence

- 42" ht.
- Color: Natural



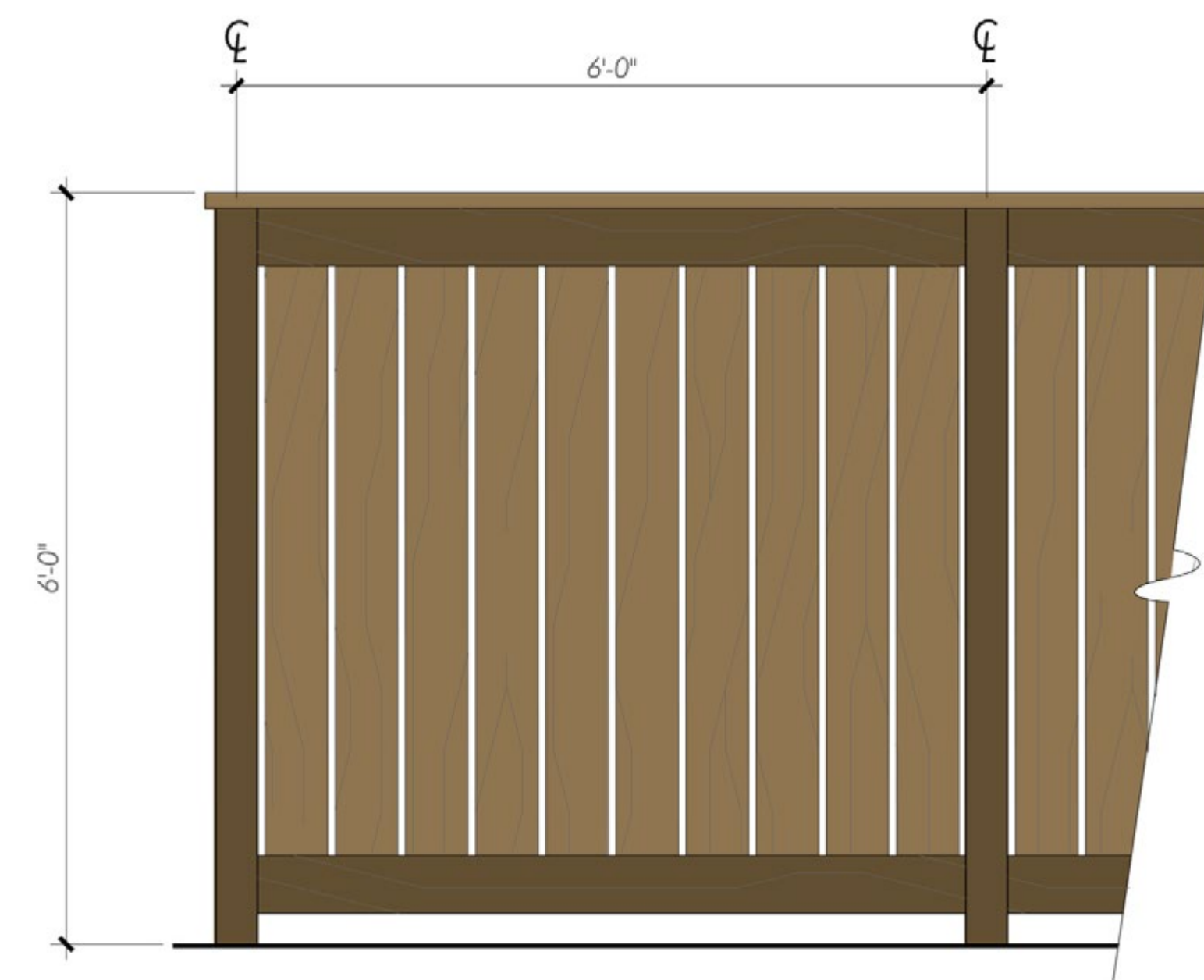
### Conceptual Sideyard Gate

- 6' ht.
- Paint Color: SW7048 Urbane Bronze or Equal



### Conceptual Sideyard Fence

- 6' ht.
- Paint Color: SW7048 Urbane Bronze or Equal



## CONCEPTUAL WALL AND FENCE DETAILS



# CONCEPTUAL PLANT PALETTE

## TREES (24" BOX MIN.)

SCIENTIFIC NAME	COMMON NAME	WUC.
Acacia stenophylla	Shoestring Acacia	Very Low
Acer spp.	Maple	Med.
Callistemon citrinus	Lemon Bottle Brush	Low
Cercis canadensis	Eastern Redbud	Med.
Cercis occidentalis	Western Redbud	Very Low
Chilopsis linearis	Desert Willow	Very Low
Cornus nuttallii	Pacific Dogwood	Med.
Fraxinus spp.	Ash	Med.
Geijera parviflora	Australian Willow	Med.
Ginkgo biloba 'Autumn Gold'	Maidenhair Tree	Med.
Koelreuteria bipinnata	Chinese Flame Tree	Med.
Koelreuteria paniculata	Golden Rain Tree	Med.
Lagerstroemia indica	Crape Myrtle	Low
Lagerstroemia Indica 'Tuscarora Red'	Tuscarora Crape Myrtle	Low
Laurus nobilis	Bay Laurel	Low
Magnolia spp.	Magnolia spp.	Med.
Olea ssp.	Olive	Very Low
Pinus spp.	Pine	Very Low
Pistacia chinensis	Chinese Pistache	Very Low
Platanus acerifolia	London Plane Tree	Med.
Platanus racemosa	Sycamore	Med.
Podocarpus spp.	Fern Pine	Med.
Prunus spp.	Cherry	Med.
Punica granatum	Pomegranate	Low
Quercus spp.	Oak	Very Low
Tristania laurina	Water Gum	Med.
Ulmus spp.	Elm	Low/Med.

## VINE AND ESPALIER (5 GAL MIN.)

SCIENTIFIC NAME	COMMON NAME	WUC.
Campsis ssp.	Trumpet Creeper	Low
Lonicera hispidula	California Honeysuckle	Low
Pyracantha fortuneana 'Graber'	Graber's Pyracantha	Low
Rosa x 'Cecile Brunner'	Cecile Brunner Climbing Rose	Low
Rosa banksiae	Lady Banks Rose	Low

## SHRUBS, GRASSES, AND GROUND COVER (1 GAL-5 GAL MIN.)

SCIENTIFIC NAME	COMMON NAME	WUC.
Achillea millefolium	Yarrow	Low
Arctostaphylos spp.	Manzanita	Low
Bermuda Hybrid	Turf Grass	Med.
Buxus microphylla	Boxwood	Med.
Buxus japonica 'Green Beauty'	Japanese Boxwood	Med.
Carex glauca	Blue Sedge	Med.
Carex tumulicola	Foothill Sedge	Low
Chondropetalum tectorum	Cape Rush	Med.
Cistus 'Sunset'	Magenta Rockrose	Low
Dianella sp.	Flax Lily	Med.
Diets bicolor	Fortnight Lily	Low
Euonymus ssp.	Euonymus	Low/Med.
Festuca mairei	Atlas Fescue	Low
Hemerocallis spp.	Daylily	Med.
Hesperaloe parviflora	Red Yucca	Low
Heteromeles arbutifolia	Toyon	Low
Ilex vomitoria 'Stokes'	Yaupon	Low
Iris douglasiana	Douglas' Iris	Low
Juncus patens	California Gray Rush	Low
Lantana montevidensis	Trailing Lantana	Low
Lavandula ssp.	Lavender	Low
Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye	Low
Leymus glaucus	Creeping Wildrye	Low
Ligustrum japonicum 'Texanum'	Waxleaf Privet	Med.
Lomandra spp.	Dwarf Mat Rush	Low
Lonicera ssp.	Honeysuckle	Low
Muhlenbergia ssp.	Deer Grass	Low
Myopyrum 'Pink'	Pink Myropyrum	Low
Myrtus communis	Myrtle	Low
Olea europaea 'Little Ollie'	Little Ollie Dwarf Olive	Low
Phormium spp.	New Zealand Flax	Low
Pittosporum spp.	Pittosporum	Low
Podocarpus elongatus 'Icee Blue'	Icee Blue Yellow-wood	Low
Prunus caroliniana 'Bright n Tight'	Bright N Tight Carolina Laurel	Low
Raphiolepis spp.	Indian Hawthorn	Low
Rosa spp.	Rose	Low
Rosmarinus officinalis	Rosemary	Low
Salvia spp.	Sage	Low
Trachelospermum jasminoides	Star Jasmine	Med.
Westringia spp.	Coast Rosemary	Low

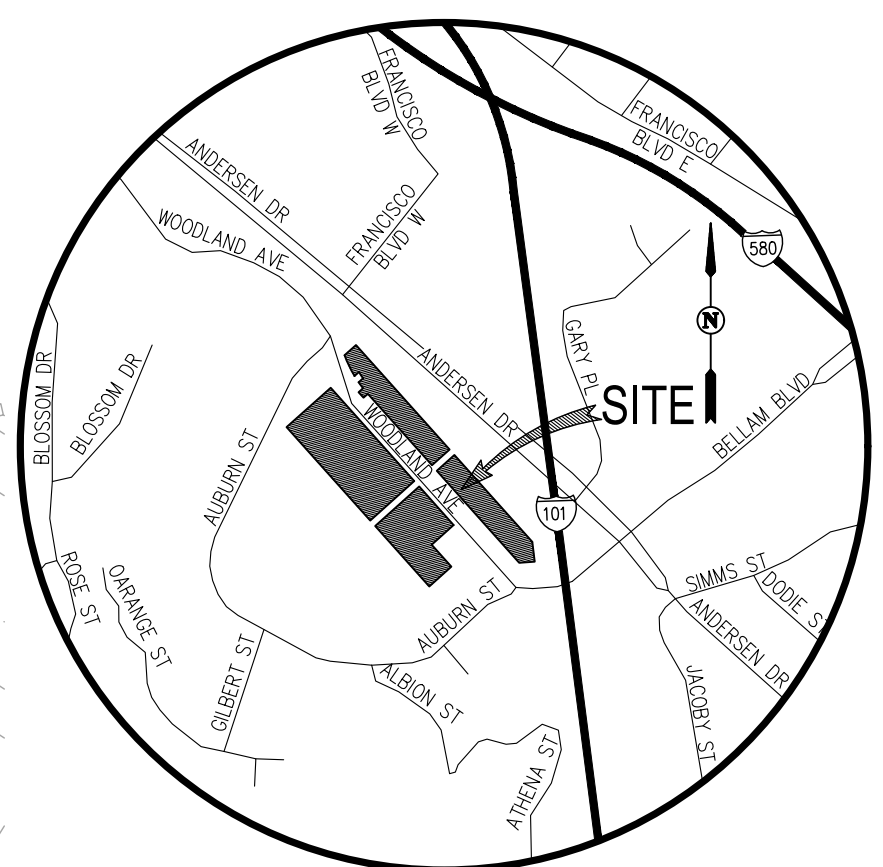


## CONCEPTUAL PLANT PALETTE

### Auburn Grove

Auburn Street and Woodland Avenue  
San Rafael, CA





VICINITY MAP  
NOT TO SCALE

SHEET INDEX	
SHEET NO.	SHEET TITLE
C-1	TITLE SHEET
C-2	PRELIMINARY SITE PLAN
C-3	PRELIMINARY GRADING & DRAINAGE PLAN
C-4	PRELIMINARY GRADING SECTIONS
C-5	PRELIMINARY UTILITY PLAN

**LEGEND:**

	PROJECT BOUNDARY
	PROPERTY LINE
	RIGHT-OF-WAY
	CURB, GUTTER & SIDEWALK
	EXISTING WETLANDS TO REMAIN
	PROPOSED BIORETENTION AREA
	STORM DRAIN MANHOLE
	CATCH BASIN
	FIELD INLET
	STORM DRAIN AREA DRAIN
	SANITARY SEWER MANHOLE
	FIRE HYDRANT
	WATER VALVE
	SPOT ELEVATION
	DIRECTION OF FLOW
	CURB CUT

**GENERAL NOTES:**

- OWNER/SUBDIVIDER: CITY VENTURES, LLC  
444 SPEAR STREET, SUITE 200  
SAN FRANCISCO, CA 94105  
(415) 722-6534  
ATTN: KIAN MALEK
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.  
2633 CAMINO RAMON, SUITE 350  
SAN RAMON, CA 94583  
(925) 866-0322  
ATTN: EVAN DAMBACHER, RCE #85144
- ARCHITECT: HUNT HALE JONES ARCHITECTS  
444 SPEAR STREET, SUITE 105  
SAN FRANCISCO, CA 94105  
(415) 568-3833  
DAN HALE
- APN: 018-074-16, 018-075-28, 018-085-23,  
018-086-17, 018-086-18
- OVERALL PROJECT AREA: 8.80 AC±
- NET PROJECT AREA: 3.29 AC±

- TOTAL DWELLING UNITS: 79 CONDOMINIUM UNITS
- OVERALL PROJECT DENSITY: 24.01 DU/AC
- GENERAL PLAN: MF2-HOD
- ZONING: RSP-4-HOD
- LAND USE: EXISTING: VACANT  
PROPOSED: RESIDENTIAL
- EXISTING STRUCTURES: NO EXISTING STRUCTURES WITHIN PROJECT BOUNDARY.
- EXISTING UTILITIES: EXISTING UTILITIES WITHIN THE PROJECT BOUNDARY TO BE PRESERVED.
- FLOOD ZONE: ZONE AE: SPECIAL FLOOD HAZARD AREAS,  
BASE FLOOD ELEVATION = 10 FEET (NAVD 88)  
SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP,  
MAP NUMBER 06041C0459F  
DATE: MARCH 16, 2016

PARKING SUMMARY	
PARKING TYPE	NUMBER OF STALLS
ON-STREET PUBLIC PARKING (ALONG WOODLAND AVENUE)	40
TOTAL	40

**PARKING NOTES:**  
1. PARALLEL PARKING STALL DIMENSIONS ARE 8'x22'.

**ABBREVIATIONS**

- AB AGGREGATE BASE
- AC ACRE
- BEW BOTTOM OF EXPOSED WALL
- BW BACK OF WALK
- CL CENTERLINE
- CB CATCH BASIN
- DW DRIVEWAY
- EX EXISTING
- FF FINISHED FLOOR ELEVATION
- FG FINISHED GRADE
- FH FIRE HYDRANT
- FI FIELD INLET
- FL FLOWLINE ELEVATION
- GB GRADE BREAK
- HP HIGH POINT
- INV INVERT
- LP LOW POINT

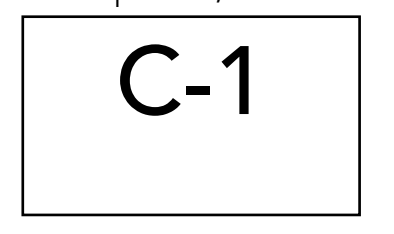
**ABBREVIATIONS**

- LS LANDSCAPE
- PL PROPERTY LINE
- PR PROPOSED
- R/W RIGHT-OF-WAY
- SD STORM DRAIN
- SDMH STORM DRAIN MANHOLE
- SS SANITARY SEWER
- SSMH SANITARY SEWER MANHOLE
- SW SIDEWALK
- TC TOP OF CURB ELEVATION
- TW TOP OF RETAINING WALL
- TYP TYPICAL
- W WATER

**TITLE SHEET**

**Auburn Grove**

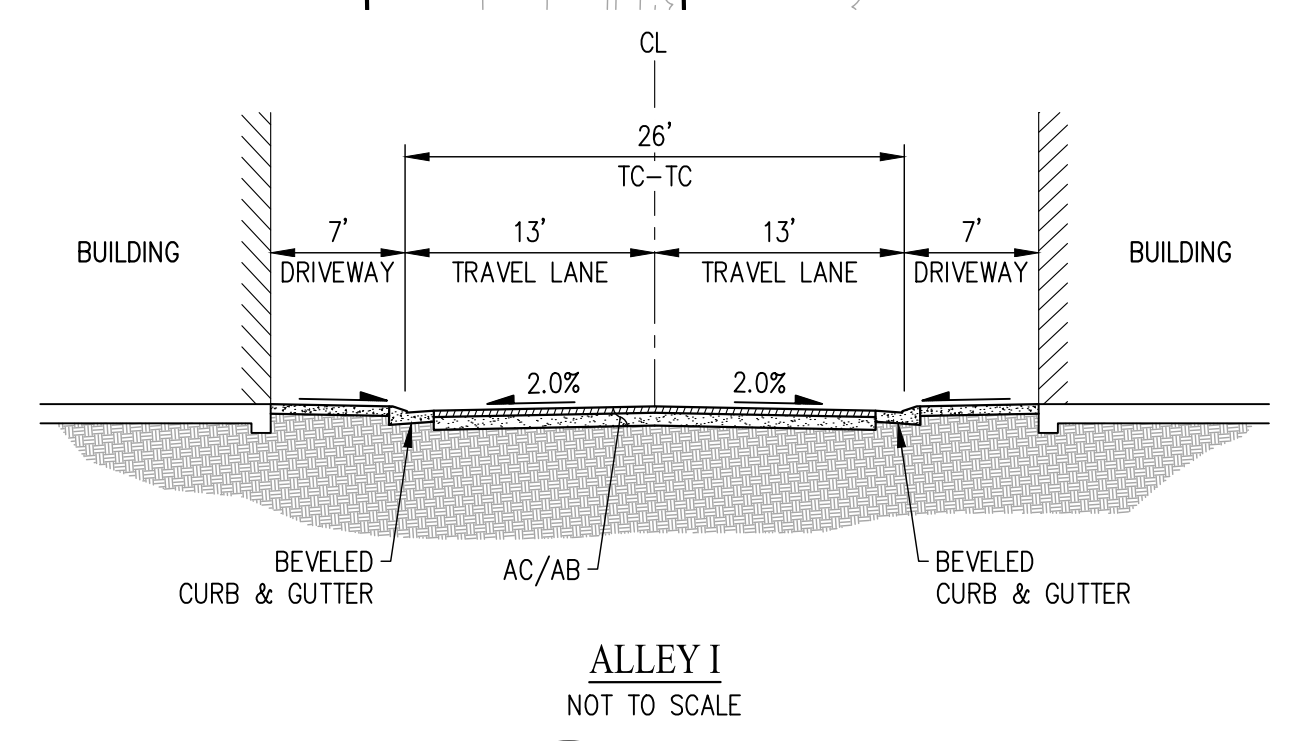
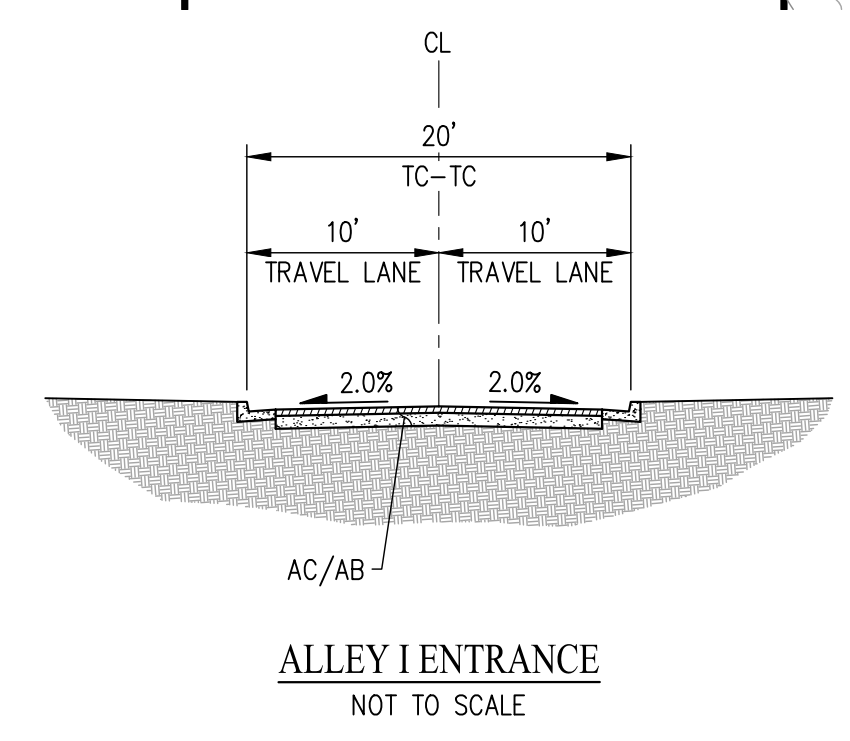
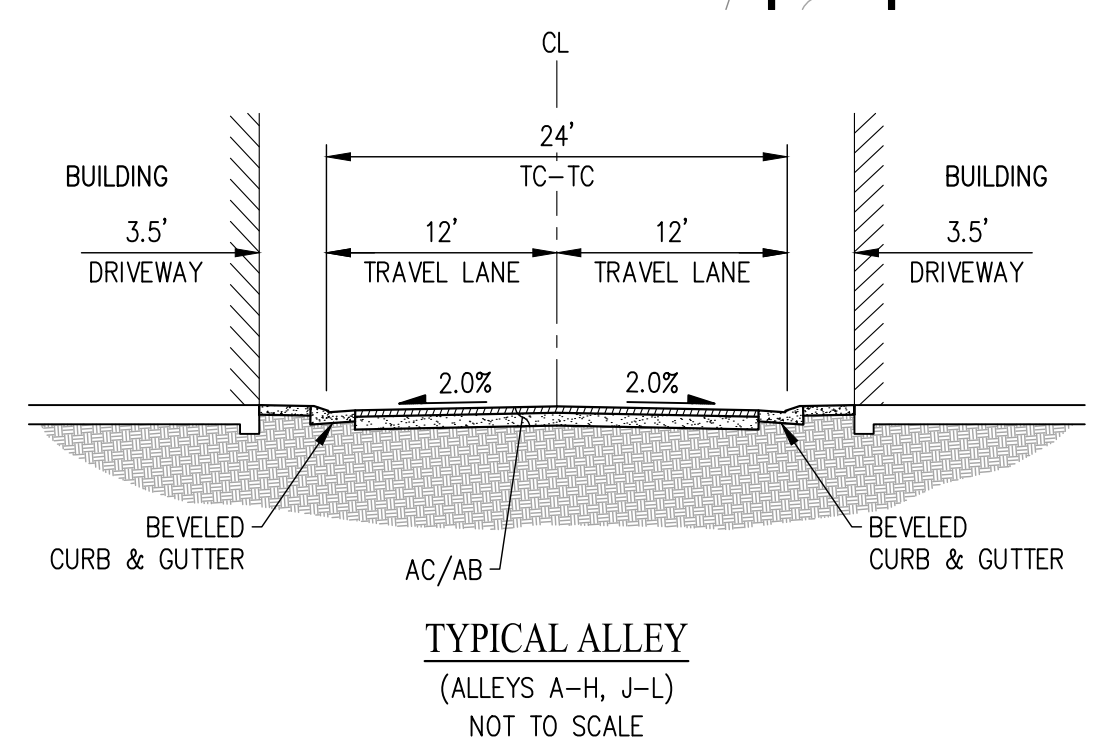
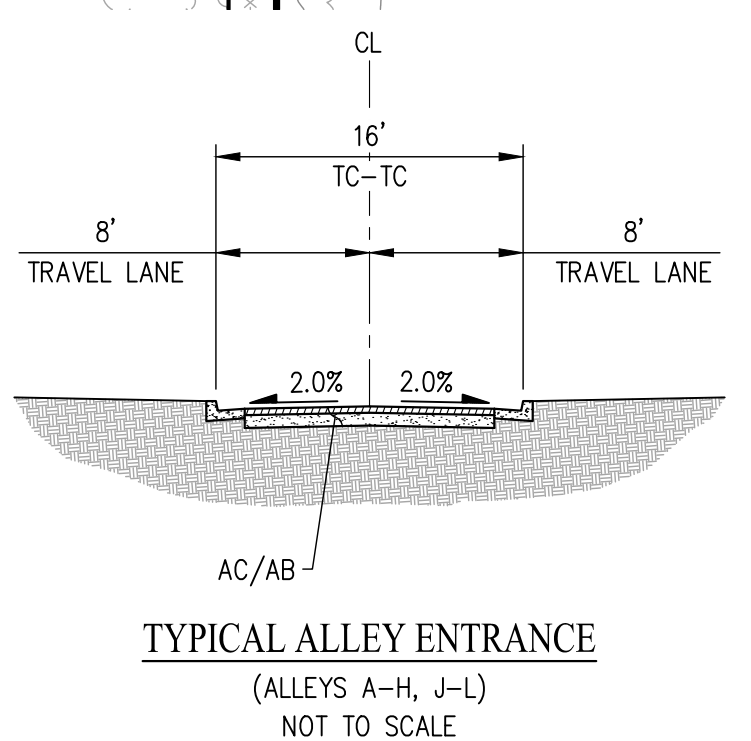
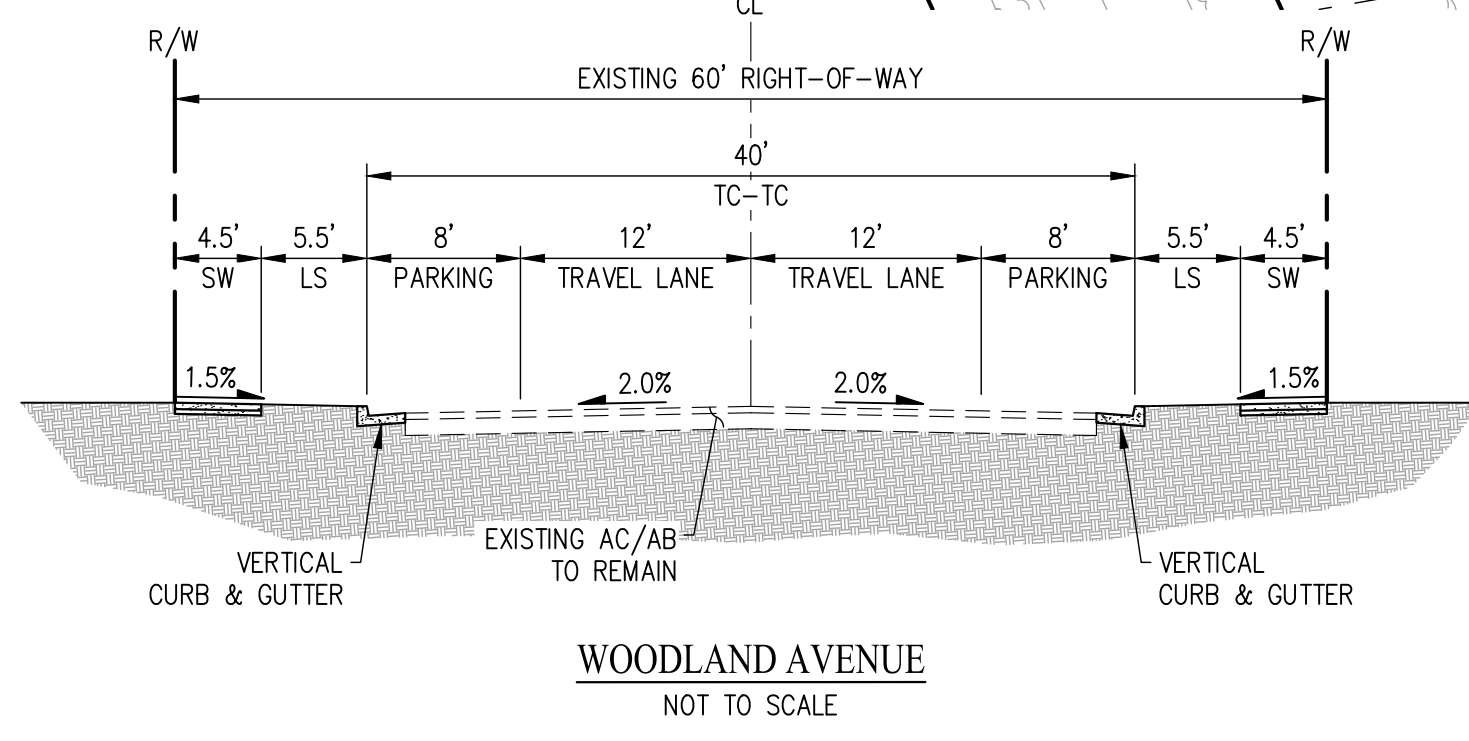
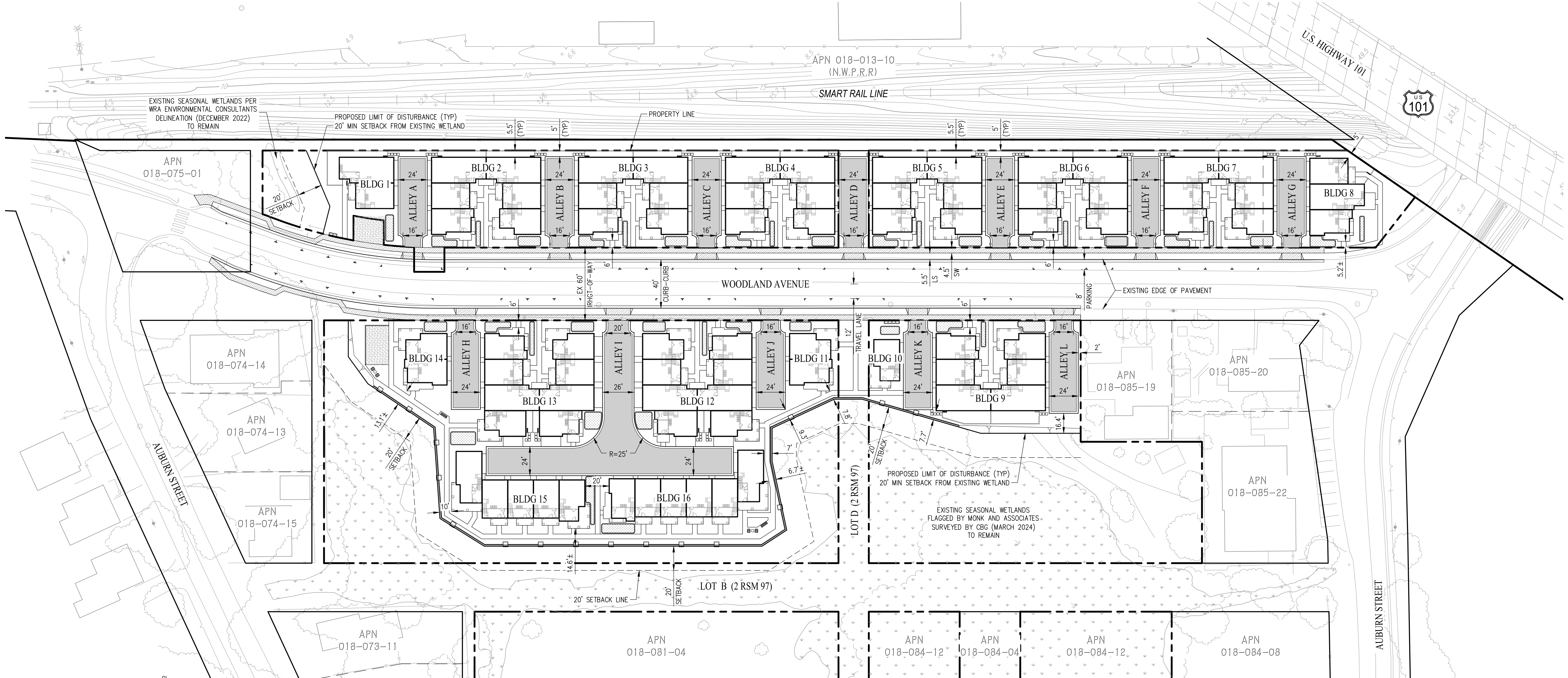
Auburn Street and Woodland Avenue  
San Rafael, CA



April 8th, 2024

#23017

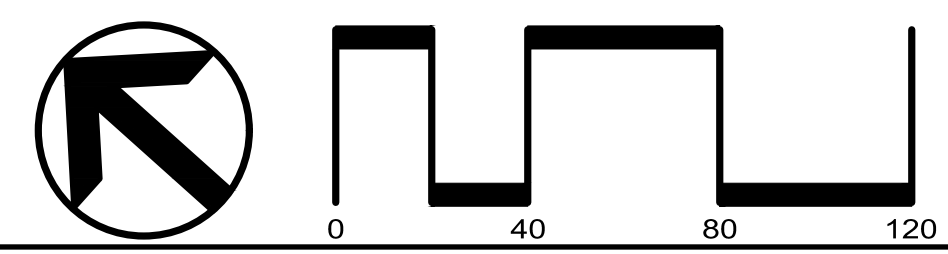
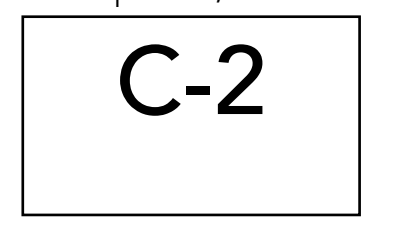




# PRELIMINARY SITE PLAN

## Auburn Grove

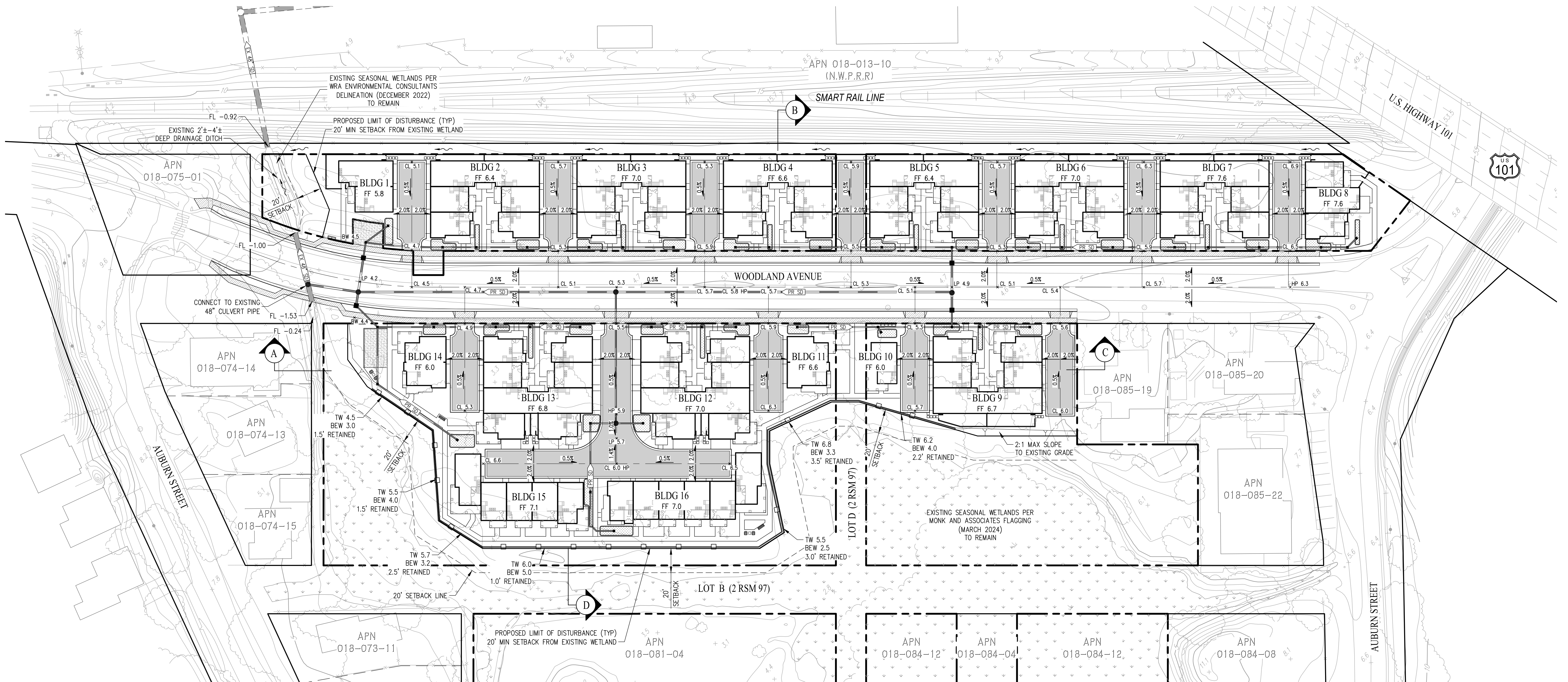
Auburn Street and Woodland Avenue  
San Rafael, CA



April 8th, 2024

#23017





**ABBREVIATIONS:**

BLDG	BUILDING	PAD	PAD ELEVATION
BW	BACK OF WALK	PAV	PAVEMENT
CL	CENTER LINE	PL	PROPERTY LINE
EX	EXISTING	RIM	RIM ELEVATION
FF	FINISHED FLOOR	R/W	RIGHT-OF-WAY
FG	FINISH GRADE	SD	STORM DRAIN
GR	TOP OF GRATE	SW	SIDEWALK
HP	HIGH POINT	TC	TOP OF CURB
LP	LOW POINT	TBC	TOP OF BEVELED CURB

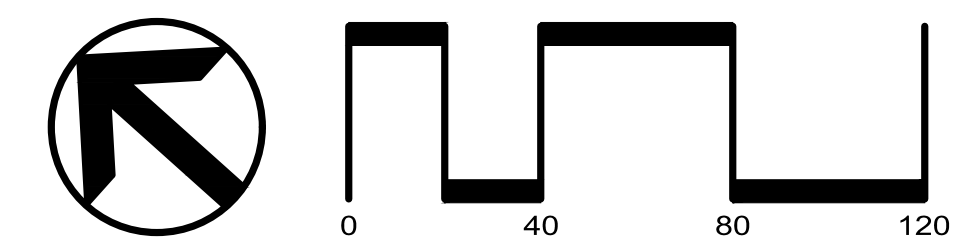
**LEGEND:**

	PROJECT BOUNDARY
	PROPERTY LINE
	RIGHT-OF-WAY
	CURB, GUTTER & SIDEWALK
	BIORETENTION AREA
	EXISTING STORM DRAIN PIPE
	PROPOSED STORM DRAIN PIPE
	STORM DRAIN MANHOLE
	CATCH BASIN
	FIELD INLET
	SPOT ELEVATION
	DIRECTION OF FLOW
	CURB CUT

**GRADING NOTES:**

- PROPOSED GRADING IS PRELIMINARY AND SUBJECT TO FINAL DESIGN.
- NO GRADING SHALL OCCUR WITHIN THE LIMIT OF DISTURBANCE LINE SHOWN, WHICH IS 20' MINIMUM FROM EXISTING WETLANDS AS FLAGGED BY MONK AND ASSOCIATES AND SURVEYED BY CBG, INC. (MARCH 2024)
- PROJECT IS WITHIN SPECIAL FLOOD HAZARD AREA (SFHA) ZONE AE (ELEVATION 10) PER FEMA MAP PANEL NUMBER 06041C0459F (EFFECTIVE 3/16/2016). CONSTRUCTION OF PROPOSED BUILDINGS AND UTILITIES SHALL COMPLY WITH FEMA AND MARIN COUNTY'S REQUIREMENTS. GROUND FLOOR BUILDING AREAS SHALL BE LIMITED TO PARKING AND STORAGE ONLY, AND FLOOD VENTS/OPENINGS SHALL BE PROVIDED.

SEE SHEET C-4 FOR ROUGH GRADING SECTIONS



**PRELIMINARY GRADING & DRAINAGE PLAN**

**Auburn Grove**

Auburn Street and Woodland Avenue  
San Rafael, CA

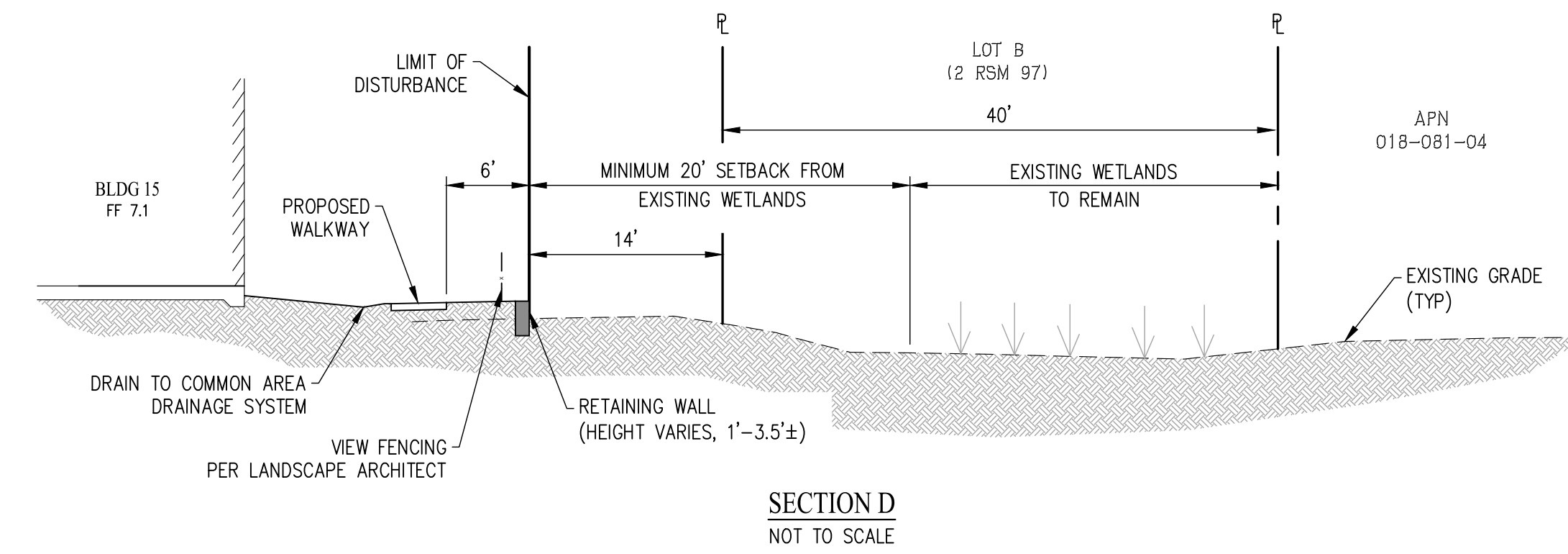
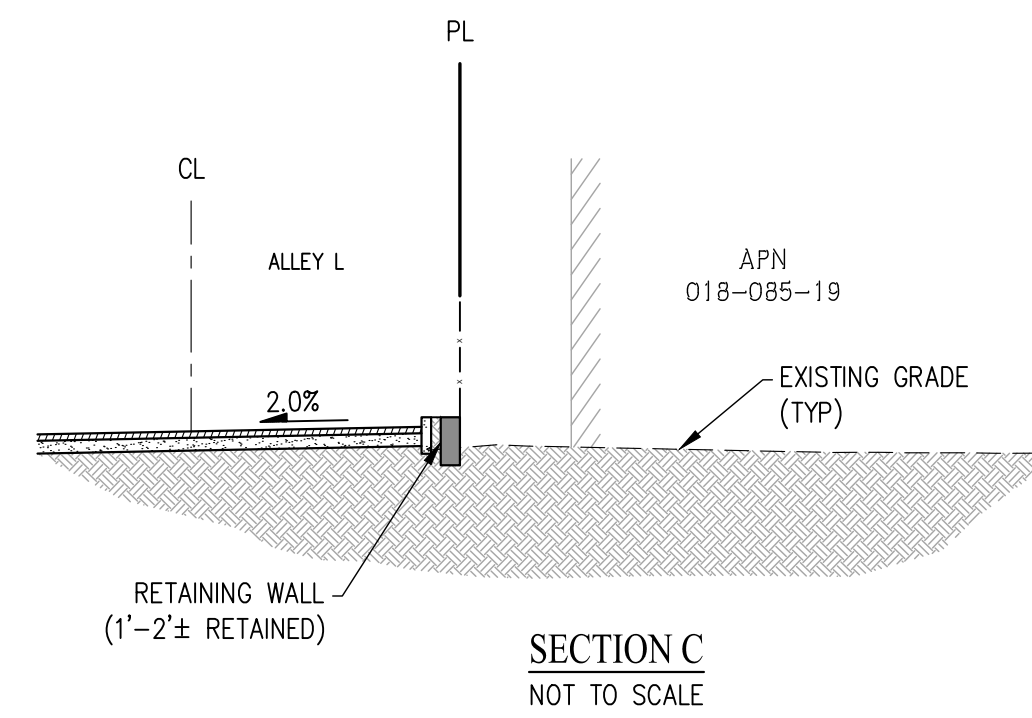
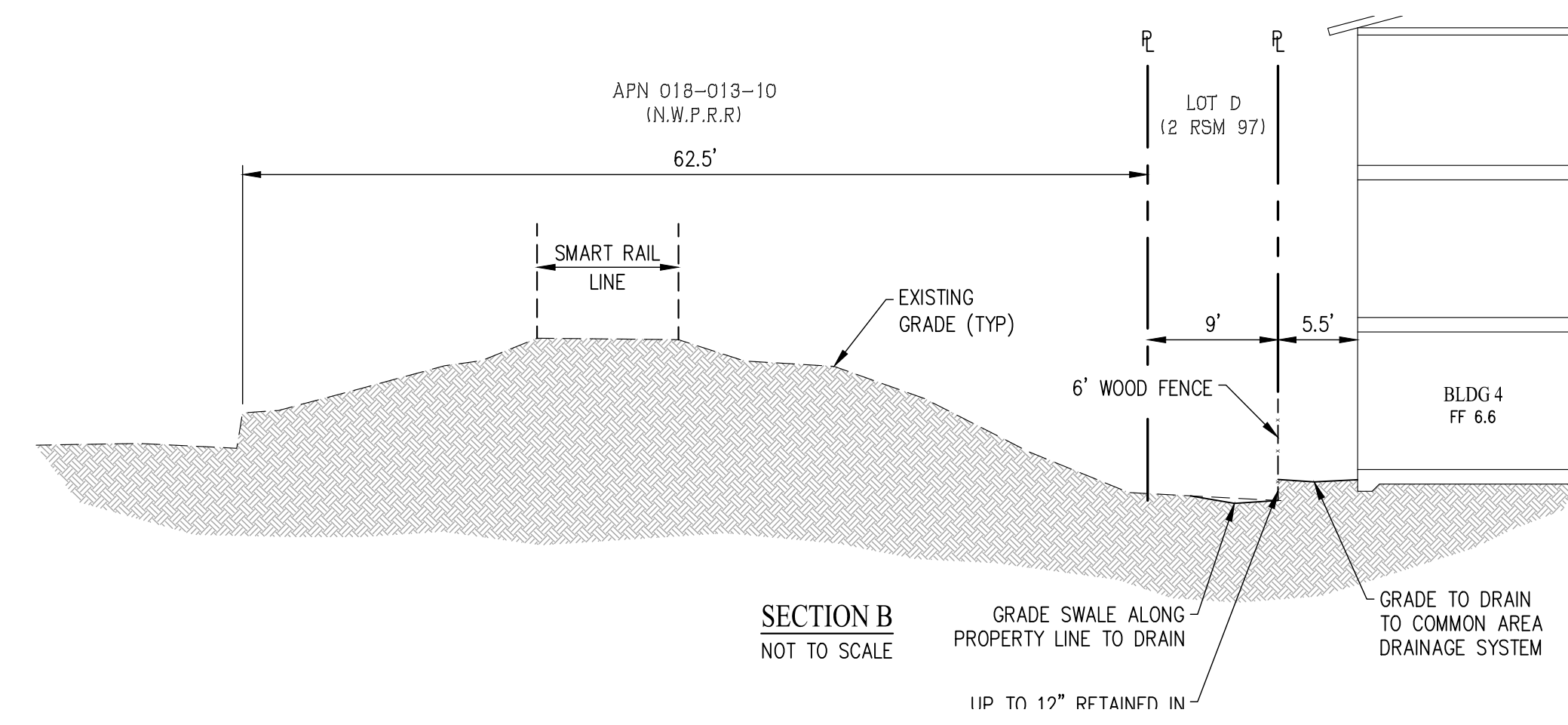
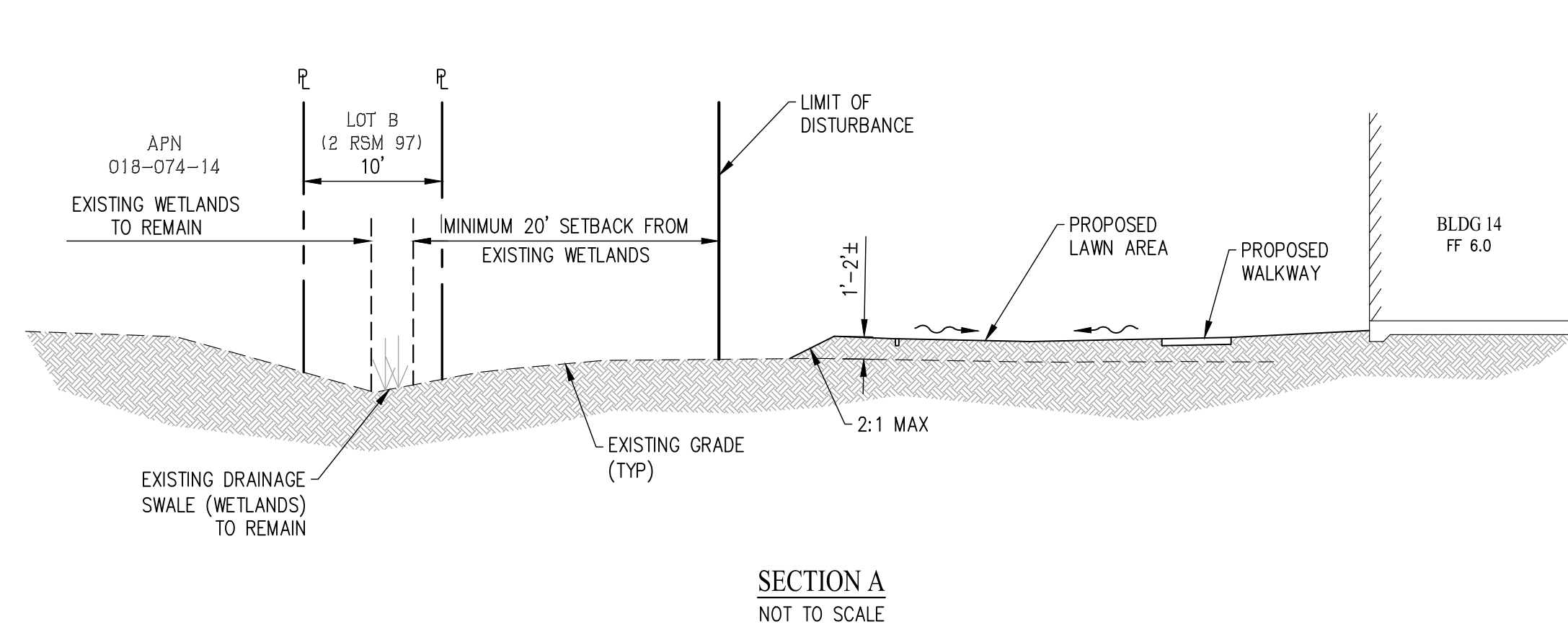


April 8th, 2024

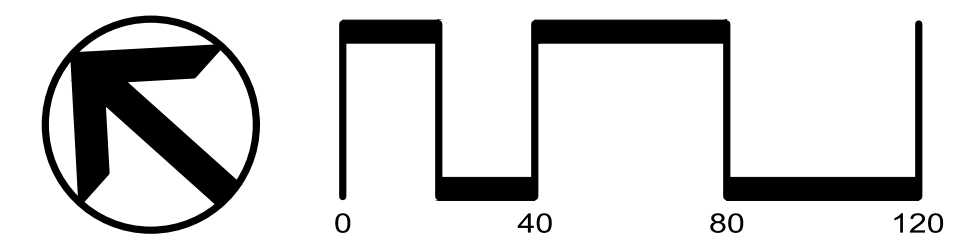
**C-3**

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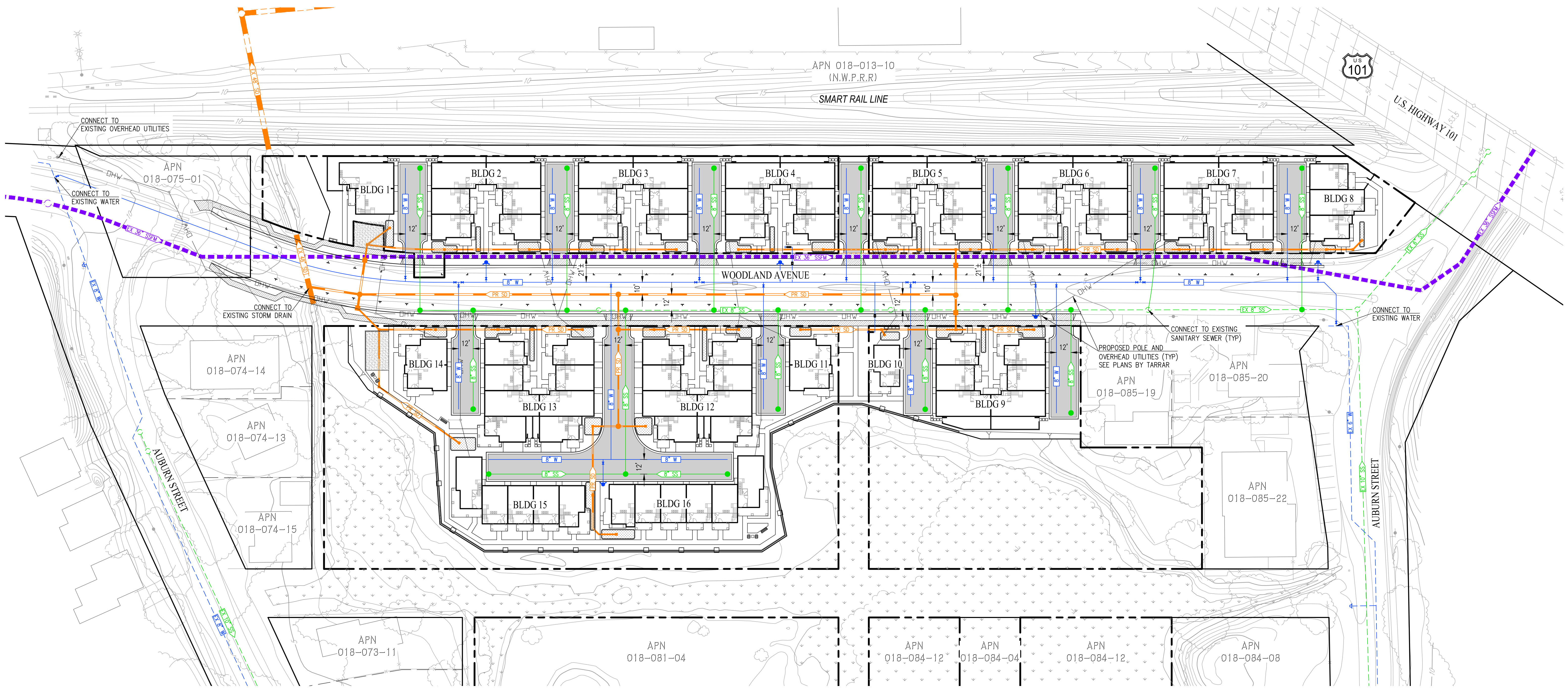




# PRELIMINARY GRADING SECTIONS







# PRELIMINARY UTILITY PLAN

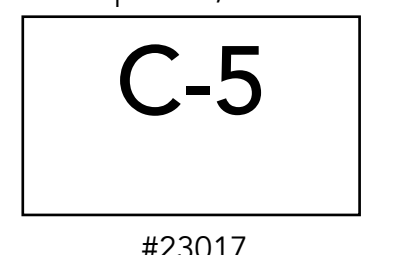
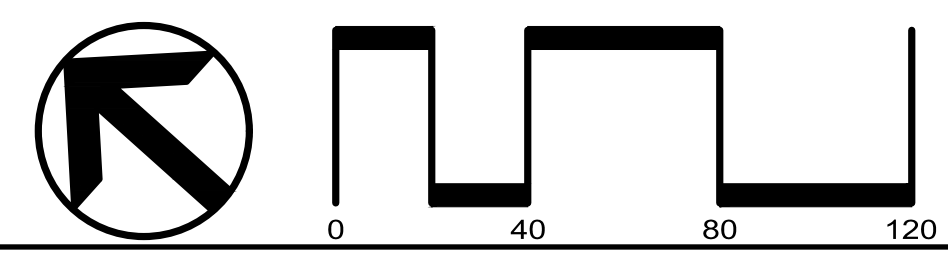
## Auburn Grove

Auburn Street and Woodland Avenue  
San Rafael, CA

**LEGEND**

	PROJECT BOUNDARY
	EXISTING STORM DRAIN PIPE
	EXISTING SANITARY SEWER PIPE
	EXISTING SANITARY SEWER FORCE MAIN
	EXISTING WATER PIPE
	PROPOSED STORM DRAIN PIPE
	PROPOSED SANITARY SEWER PIPE
	PROPOSED WATER PIPE
	PROPOSED STORMWATER TREATMENT AREA

- UTILITY NOTES:**
1. WATER PROVIDER: MARIN MUNICIPAL WATER DISTRICT (MMWD)
  2. SANITARY SEWER PROVIDER: SAN RAFAEL SANITATION DISTRICT (SRSD)
  3. LOCATION OF EXISTING UTILITIES IS APPROXIMATE AND SHOULD BE FIELD VERIFIED VIA POT-HOLING.
  4. PROPOSED UTILITY LAYOUT IS PRELIMINARY AND SUBJECT TO FINAL DESIGN.
  5. PROJECT IS WITHIN SPECIAL FLOOD HAZARD AREA (SFHA) ZONE AE (ELEVATION 10) PER FEMA MAP PANEL NUMBER 06041C0459F (EFFECTIVE 3/16/2016). CONSTRUCTION OF PROPOSED BUILDINGS AND UTILITIES SHALL COMPLY WITH FEMA AND MARIN COUNTY'S REQUIREMENTS. UTILITIES SHALL BE ELEVATED TO BE ABOVE THE FLOOD ELEVATION OR MADE SAFE FROM FLOODING. SANITARY SEWER LATERALS WILL INCLUDE BACKWATER CHECK VALVES AT THE BUILDING CONNECTIONS.



April 8th, 2024