



560 VIA DE LA VISTA

PLANNING / COASTAL PERMIT SET - 08.10.2023

ABBREVIATIONS

AFF ALUM APPROX ARCH AWG AVG APT BD BLDG BLKG BO BOT BYD BRS CAB CAF CIP CJ CL CLNG CLOS CLR CMU COL CONC CONT CONTR CPT CT CTWK DG DBL DF DTL DIA DIAG DIM DIV DN DR DW DWG EQ EQST EA EJ ELEV ELEC EQ EQUIP EST EXC FAB FD FIN FLSG FLEX FLR FOUN FP FT FTD GA GAL GALV GD GEN GL GR GWB GYPS HDWH HORIZ HP HT ID IN INCR INFO INSUL INT INTV JST JT KJ KOP LAV LGT LAM LIN LT LOCN MSS MATL	ABOVE FINISH FLOOR APPROXIMATELY ARCHITECTURAL ARCHITECT AMERICAN WIRE GUAGE AVERAGE APARTMENT BOARD BUILDING BLOCKING BOTTOM OF BOTTOM BEYOND BRICK CABINET CEILING HEIGHT CAST IN PLACE CONTROL JOINT CENTER LINE CEILING CLOSED CLR CMU CONCRETE MASONRY WALL COLUMN CONCRETE CONTINUOUS CONTRACTOR CARPET CERAMIC TILE COUNTERSINK DECOMPOSED GRANITE DOUBLE DOWEL AS FIR DETAIL DIAMETER DIAGONAL DIMENSION DIVISION DOWN DOOR DISHWASHER DRAWING EXIST EACH EXPANSION JOINT ELEVATION ELECTRICAL EQUAL EQUIPMENT ESTIMATED EXCAVATED FABRICATED FLOOR DRAIN FINISH FLOOR FINISHED FLASHING FLEXIBLE FLOOR FOUNDATION FRIDGE/ROOFING FEET FOOTING GUAGE GALLON GALVANIZED GARBAGE DISPOSAL GENERAL GLASS GLAZING GRADE GYPSUM WALL BOARD OVERSIL HARDWOOD HORIZONTAL HIGH POINT HEIGHT INSIDE DIAMETER INCH INCREASE INFORMATION INSULATION INTERIOR INVERT JOIST JOINT KNOCKOUT KICK PLATE LABORATORY LIGHTING LAMINATE LINEAR LIGHT LOCATION MASONRY MATERIAL	MECH MEMB MFR MIN MISC MLDG MTL NA NEG NIC NOT IN SCOPE NOT IN CONTRACT NOT IN SCOPE NUMBER NOMINAL NOT TO SCALE OVERALL ON CENTER OUTSIDE DIAMETER OPENING OPPOSITE ORIENTED STRAND BOARD OVERHEAD PARALLEL PARTITION PRICE PERFORATED; PERFORATION PERPENDICULAR PLATE, PROPERTY LINE PLASTIC LAMINATE PLYWOOD PAIR PRELIMINARY PROJECT PROTECTION PROPERTY PROPERTY PRESSURE TREATED POUNDS PER SQUARE INCH RADIUS, RISER REQUIRED RETURN REVISID ROOM ROUND ROUGH OPENING RUBBER REFRIGERATOR SOLID CORE SCHEDULE SECTION SHEET SHTG SIMILAR SPECIFICATIONS SQUARE STAINLESS STEEL STANDARD STEEL STORAGE STRUCTURAL SUBSTITUTE SUSPENDED SEE ARCHITECTURAL DRAWINGS SEE STRUCTURAL DRAWINGS SYMMETRICAL SYSTEM TREAD TONGUE & GROOVE THERMOSTAT TRASH COMPACTOR TEMPERATURE THRESHOLD THROUGH TOP OF CONCRETE TOP OF PLANTER TOP OF SLAB TOILET TOP OF WALL TYPICAL UNDERWRITER'S LABORATORY UNFINISHED VERIFY IN FIELD VERTICAL VOLUME WITH WITHOUT WANSKOT WATER CLOSET WOOD WATERHEATER WINDOW WATERPROOFING WEATHERSTRIP WEIGHT YARD
---	--	---

CODE COMPLIANCE

ZONING DATA
Jurisdiction: Marin County
Address: 560 Via de la Vista, Inverness, CA 94937
Zoning District: C-RSP-0.33 - Residential Single Family Planned
Community Plan: Inverness Ridge
Neighborhood: Upper Seahaven
Countywide Plan Designation: C-SF3 Rural / Residential Coastal Zone
APN: 112-050-22

APPLICABLE CODES & REQUIREMENTS
Marin County Zoning Code (Coastal Zone) - Local Coastal Program
Section 22.62 Coastal Zoning Districts and Allowable Land Uses
2022 Edition of the California Building Standards Code and California Code of Regulations, Title 24
Part 2: 2022 California Building Code 7A Wildlife-Urban Interface
Part 2.5: 2022 California Residential Code (Based on the 2022 International Residential Code - IRC)
Part 3: 2022 Electrical Code (Based on the 2020 National Electrical Code NEC)
Part 4: 2022 California Mechanical Code (Based on the 2021 Uniform Mechanical Code UMC)
Part 5: 2022 California Plumbing Code (Based on the 2021 Uniform Plumbing Code UPC)
Part 6: 2022 California Energy Code
Part 9: 2022 California Fire Code (Based on the 2021 International Fire Code)
Part 11: 2022 California Green Building Standards Code (Based on the 2021 International Building Code)

BUILDING DATA
Construction Type: V-N
Stories: 2
Use Type: Single Family Residential R-3 / Shed U
Firesprinklered: Yes (Deferred under separate permit)

ZONING COMPLIANCE	EXISTING	PROPOSED
Lot Area	87,860 SF	87,860 SF
Building Area	2,627 SF	2,755 SF SHED: 644 SF CARPORT: 451 SF TOTAL: 3,850 SF
Floor Area	LEVEL 0: 1,287 SF LEVEL 1: 1,287 SF TOTAL: 2,574 SF	LEVEL 0: 1,450 SF LEVEL 1: 1,461 SF SHED: 644 SF TOTAL: 3,555 SF
Floor Area Ratio	.029	.040
Area of Disturbance	-	9,583 SF
Impervious Lot Coverage	2,926 SF	4,612 SF
Pervious Lot Coverage	84,934 SF	82,995 SF
Grading Calculations:		
Cut		316 CY
Fill		175 CY
Total		141 CY
Parking	2 (UNCOVERED)	2 (COVERED)
Bedrooms	2	3
Bathrooms	2	3.5

22'-2 1/2" (ACCESSORY BUILDING PER MARIN COUNTY COASTAL ZONING CODE HEIGHT LIMITS AND EXCEPTIONS SECTION 22.64.045 (3))

9'-6" (CARPORT)

PROJECT INFORMATION

SCOPE OF WORK
Renovation of existing 1 story over crawlspace single family residence. The use remains unchanged as a 1 unit residential building.
Work will include:
Renovation and addition of 1,216 SF of conditioned space on level 1 (E) crawlspace to be converted to conditioned space on level 0 (E) asphalt shingle roofing to be replaced with standing seam metal roofing (N) front courtyard, retaining walls, deck, planters & landscape pavers (N) carport under wood trellis
Construction of new 644 SF accessory structure for storage
Removal of (E) septic system with (N) septic system

PROJECT TEAM

CLIENT
Annie and Perry Klebahn
62 5th Ave
San Francisco, CA 94118

LAND SURVEYOR
Adobe Associates, Inc.
1220 N. Dutton Ave.
Santa Rosa, CA 95401

Contact: Aaron R. Smith
T 707-541-2300
E ASmith@adobeinc.com

CIVIL ENGINEER
Adobe Associates, Inc.
1220 N. Dutton Ave.
Santa Rosa, CA 95401

Contact: Tim Schram, P.E.
T 707-541-2300
E TSchram@adobeinc.com

SEPTIC ENGINEER
Adobe Associates, Inc.
1220 N. Dutton Ave.
Santa Rosa, CA 95401

Contact: Steve Brown, P.E.
T 707-541-2300
E SBrown@adobeinc.com

ARCHITECT
Medium Plenty
1729 Telegraph Avenue, Third Floor
Oakland, CA 94612

Contact: Ian Read
T 415-699-1520
E ian@mediumplenty.com

GEOTECHNICAL ENGINEER
Bauer Associates, Inc.
6470 Mirabel Road
Post Office Box 460
Forestville, CA 95436

Contact: Arthur H. Graff
T 707-887-2505
E art@bauergeotech.com

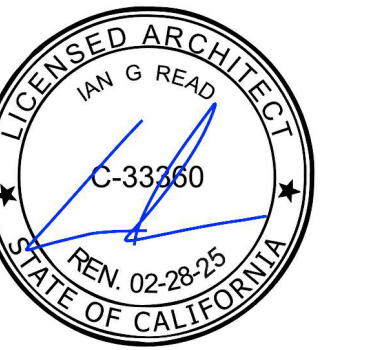
DRAWING INDEX

Sheet Number	Sheet Name
A 001	COVER SHEET
V1	SITE TOPOGRAPHY
V2	PROPERTY INFO & EASEMENTS
C1.0	CIVIL TITLE SHEET
C1.1	OVERALL SITE PLAN
C2.0	DRIVEWAY PLAN AND PROFILE
C2.1	DRIVEWAY SECTIONS
C3.0	GRADING AND DRAINAGE PLAN
C4.0	DETAILS
EC1.0	EROSION AND SEDIMENT CONTROL PLAN
EC2.0	BEST MANAGEMENT PRACTICES
A 002	EXISTING / DEMO SITE PLAN
A 003	PROPOSED SITE / LANDSCAPE PLAN
A 101	EXISTING - LEVEL 0 PLAN
A 102	EXISTING - LEVEL 1 PLAN
A 103	PROPOSED - LEVEL 0 PLAN
A 104	PROPOSED - LEVEL 1 PLAN
A 400	ELEVATION - EXISTING & PROPOSED - SOUTH
A 401	ELEVATION - EXISTING & PROPOSED - EAST
A 402	ELEVATION - EXISTING & PROPOSED - NORTH
A 403	ELEVATION - EXISTING & PROPOSED - WEST
A 404	ELEVATION - PROPOSED SHED
A 405	ELEVATION - PROPOSED CARPORT
A 406	PROPOSED MATERIAL BOARD
A 501	EXISTING & PROPOSED - BUILDING SECTIONS - LONGITUDINAL
A 502	EXISTING & PROPOSED - BUILDING SECTIONS - LATERAL
W1	SEPTIC COVER SHEET
W2	SEPTIC SYSTEM PLAN SHEET
W3	SEPTIC DETAIL SHEET

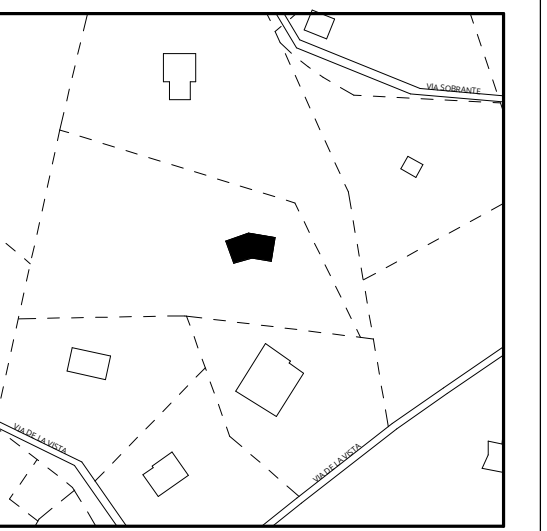
Medium Plenty

CONTACT
MEDIUM PLENTY
1729 Telegraph Avenue, Suite A
Oakland, CA 94612
info@mediumplenty.com
P 415 658 5249
F 415 871 2215

ARCHITECT'S SEAL



PROJECT
Klebahn Residence
560 Via de la Vista
Inverness, CA 94937



Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.

GENERAL NOTES

- Dimensions are to face of finish unless otherwise noted. Dimensions noted with +/- symbol can "float" depending on actual field dimensions. Dimensions without +/- symbol are to be fixed as written. Grid dimensions are to center of structure unless otherwise noted.
- Do not scale drawings. Written dimensions and notes to take precedence over scaled dimensions. Large scale drawings take precedence over small scale drawings.
- New walls or footings to be aligned with existing walls. Any work relating to but not aligning with existing conditions shall be brought to the Designer's attention by the Contractor.
- Contractor to notify Designer of discrepancies before starting work or as they arise.
- Designer will not be responsible for any changes in plans, details or specifications unless approved in advance of construction.
- Coordinate exact location of all electrical fixtures and outlets with Designer in field.
- All Mechanical equipment including, but not limited to, grills, ducts, vents, registers, flues etc., to be coordinated with Architectural drawings.
- Contractor is responsible for locating and protecting all on site utilities and conditions as necessary. CALL BEFORE DIGGING 1-800-227-2600 (Underground Service Alert)
- NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER U.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

OWNERSHIP AND USE OF DOCUMENTS

These drawings are instruments of service and shall remain the property of Medium Plenty whether the project for which they are made is executed or not. These drawings shall not be used by anyone on other projects, for additions to this project, or for completion of this project by others except by agreement in writing and with appropriate compensation to Medium Plenty.

Submission or distribution to meet official regulatory requirements or for other purposes in connection with this project is not to be construed as publication in derogation of Medium Plenty's rights.

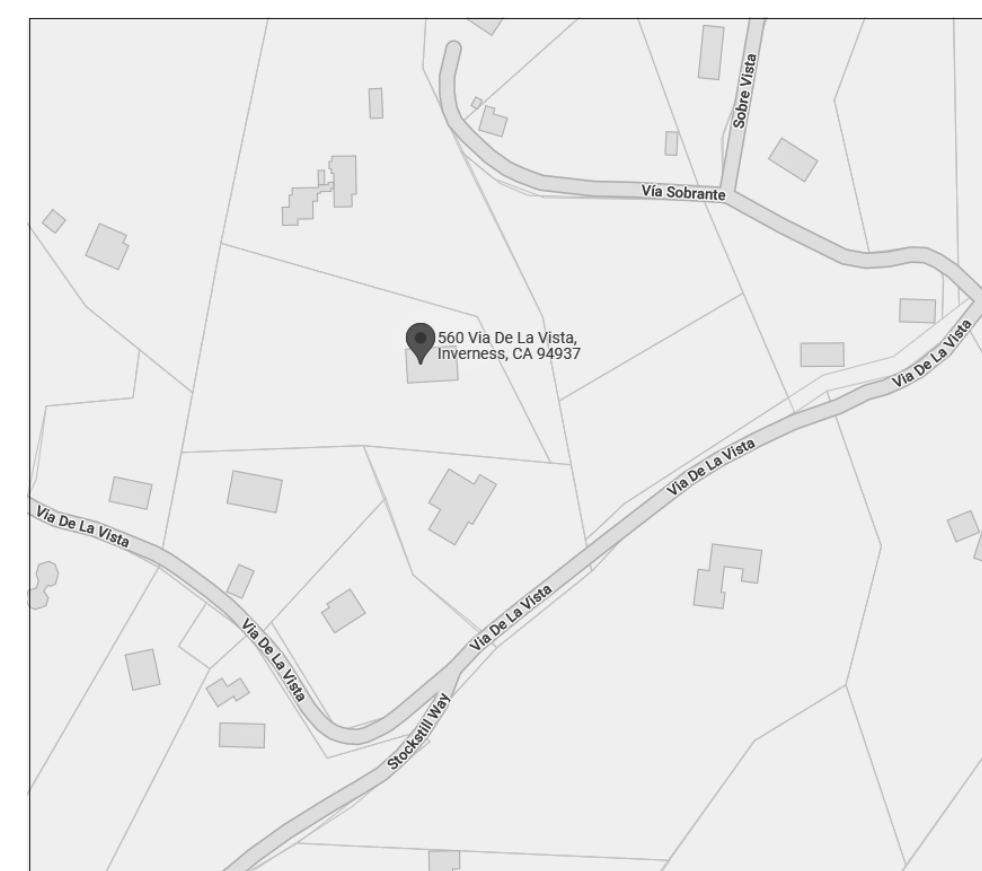
These electronic files, reproductions, or prints have been issued for the convenience to the Owner and Contractor. No changes, alterations, additions, or deletions may be made to these documents except by the Architect.

No reproducible copies are to be made from these drawings without prior written authorization of the Architect.

REGIONAL MAP

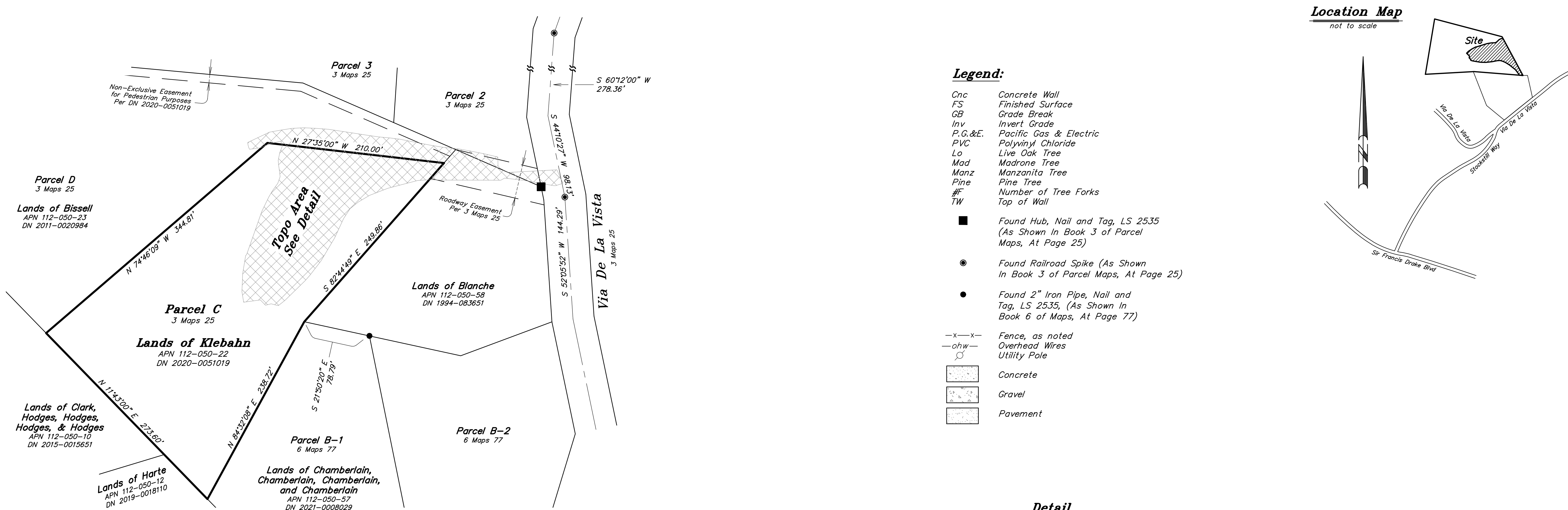


VICINITY MAP

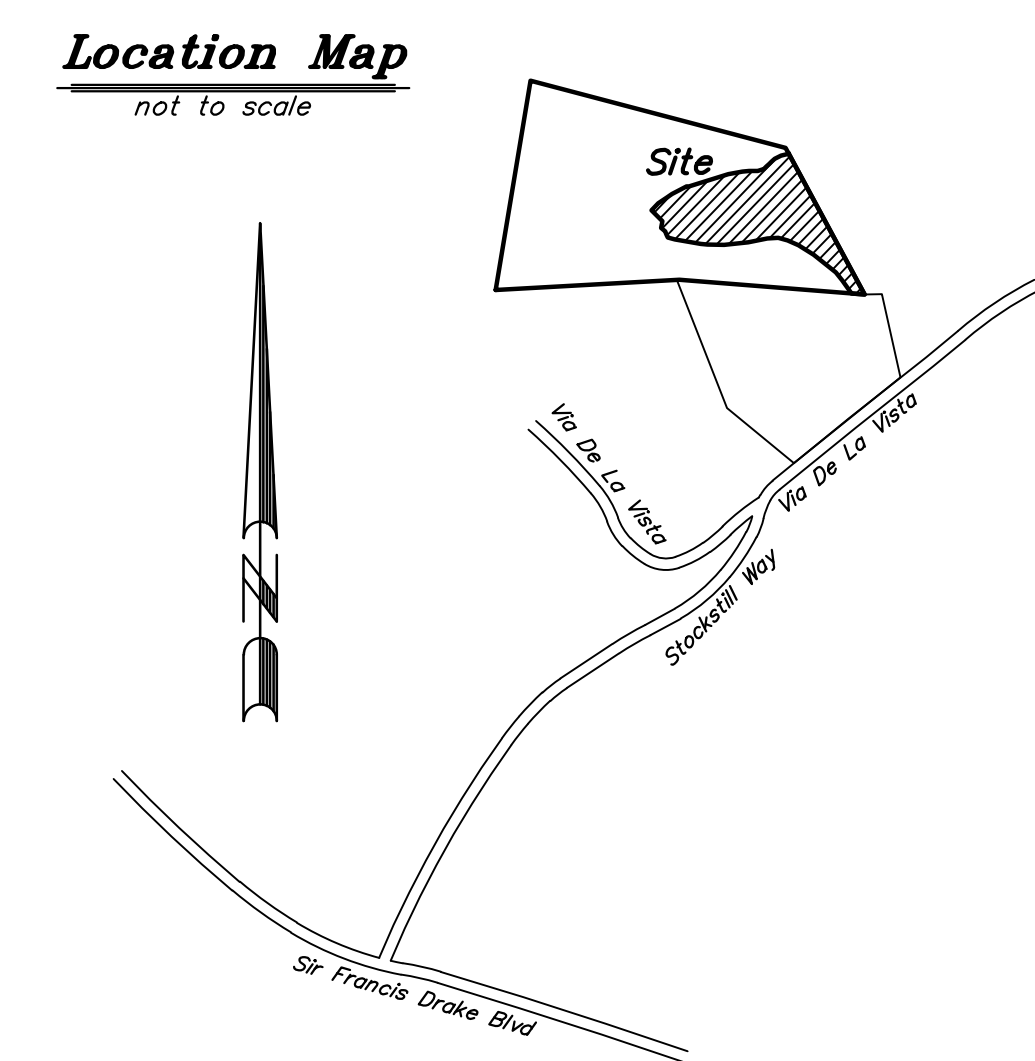


PHASE

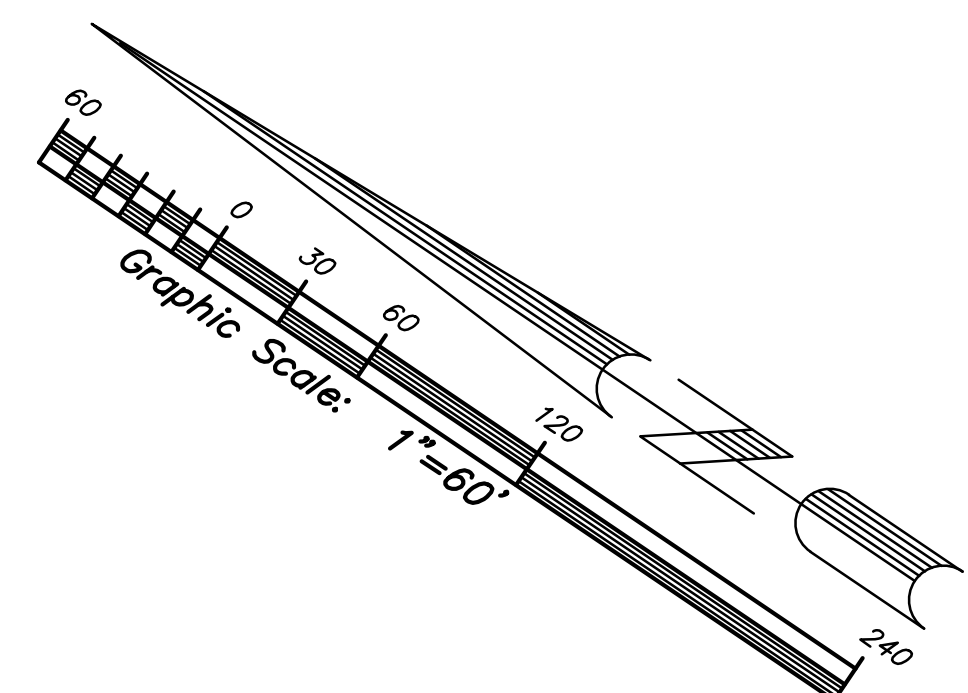
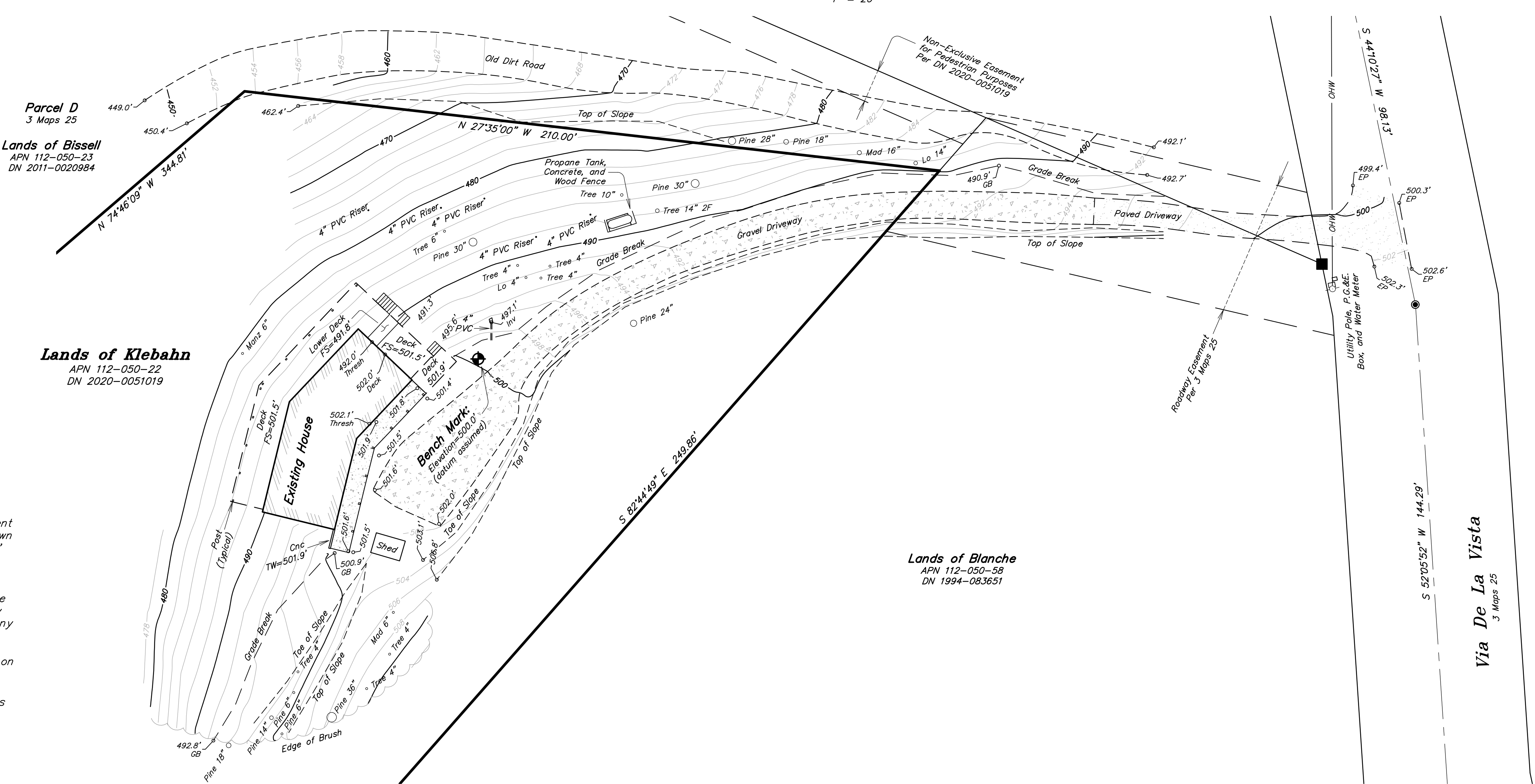
A 001
NOT FOR CONSTRUCTION



- Legend:**
- Cnc Concrete Wall
 - FS Finished Surface
 - GB Grade Break
 - Inv Invert Grade
 - P.G.&E. Pacific Gas & Electric
 - PVC Polyvinyl Chloride
 - Lo Live Oak Tree
 - Mad Madrone Tree
 - Manz Manzanita Tree
 - Pine Pine Tree
 - #F Number of Tree Forks
 - TW Top of Wall
- Found Hub, Nail and Tag, LS 2535 (As Shown In Book 3 of Parcel Maps, At Page 25)
 - Found Railroad Spike (As Shown In Book 3 of Parcel Maps, At Page 25)
 - Found 2" Iron Pipe, Nail and Tag, LS 2535, (As Shown In Book 6 of Maps, At Page 77)
- x-x- Fence, as noted
 - ohw- Overhead Wires
 - Utility Pole
- Concrete
 - Gravel
 - Pavement



Detail
1" = 20'



General Notes

Property owner information is based upon that "Grant Deed" recorded under Document Number 2020-0051019 of Official Records, Marin County Records. Property lines shown hereon are based upon found monumentation and delineated from that "Parcel Map" recorded in Book 3 of Maps at Page 25, Marin County Records. A field survey was performed by Adobe Associates, Inc. on March 21 and 23, 2022.

Utilities and features shown hereon are based upon physical features observed at the time of this survey, such as paint markings, overhead wiring, utility poles, and utility boxes. For the location of under ground utilities, a subsurface utility locating company should be contacted.

Contours shown hereon are a 2' (two foot) vertical interval and are shown based upon a field survey performed by Adobe Associates, Inc., on March 21 and 23, 2022.

Bench Mark: Set Rebar and Cap, Adobe Associates, Inc. Control Point #1, as shown hereon. Elevation = 500.0.' This elevation is on an assumed datum.

Revisions	Description	Approved

adobe associates, inc.
civil engineering | land surveying | wastewater

1220 N. Dutton Ave., Santa Rosa, CA 95401
P. (707) 541-2300 F. (707) 541-2301
Website: www.adobeinc.com

Aaron R. Smith
Aaron R. Smith, PLS 7901

Site Topography

Lands of Klebahn

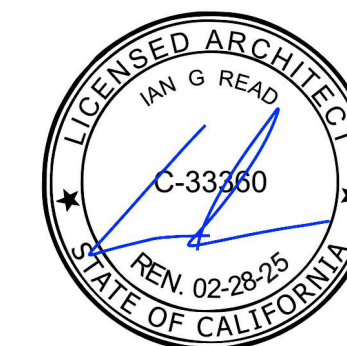
560 Via De La Vista, Inverness Ca.
Assessor's Parcel Number 112-050-22

Scale: 1" = 60'	Date: March 25, 2022	Drawn by: SLM	Checked by: ARS/DPL
Sheet			
1			
of 1 sheet Job No. 22061			

CONTACT

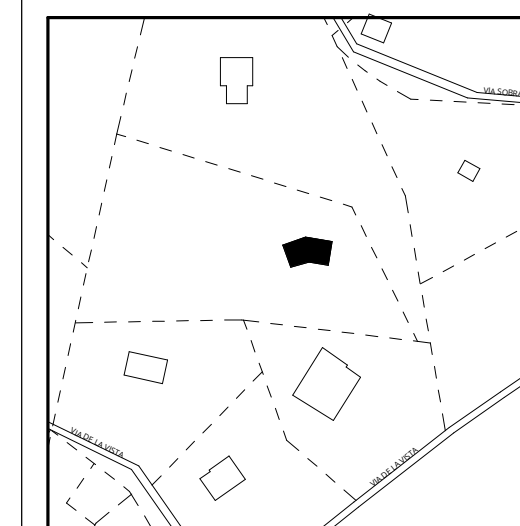
MEDIUM PLENTY
 1729 Telegraph Avenue, Suite A
 Oakland, CA 94612
 info@mediumplenty.com
 P 415 658 5249
 F 415 871 2215

ARCHITECT'S SEAL

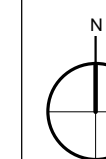


PROJECT

Klebahn Residence
 560 Via de la Vista
 Inverness, CA 94937



Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.



REVISION + ISSUES

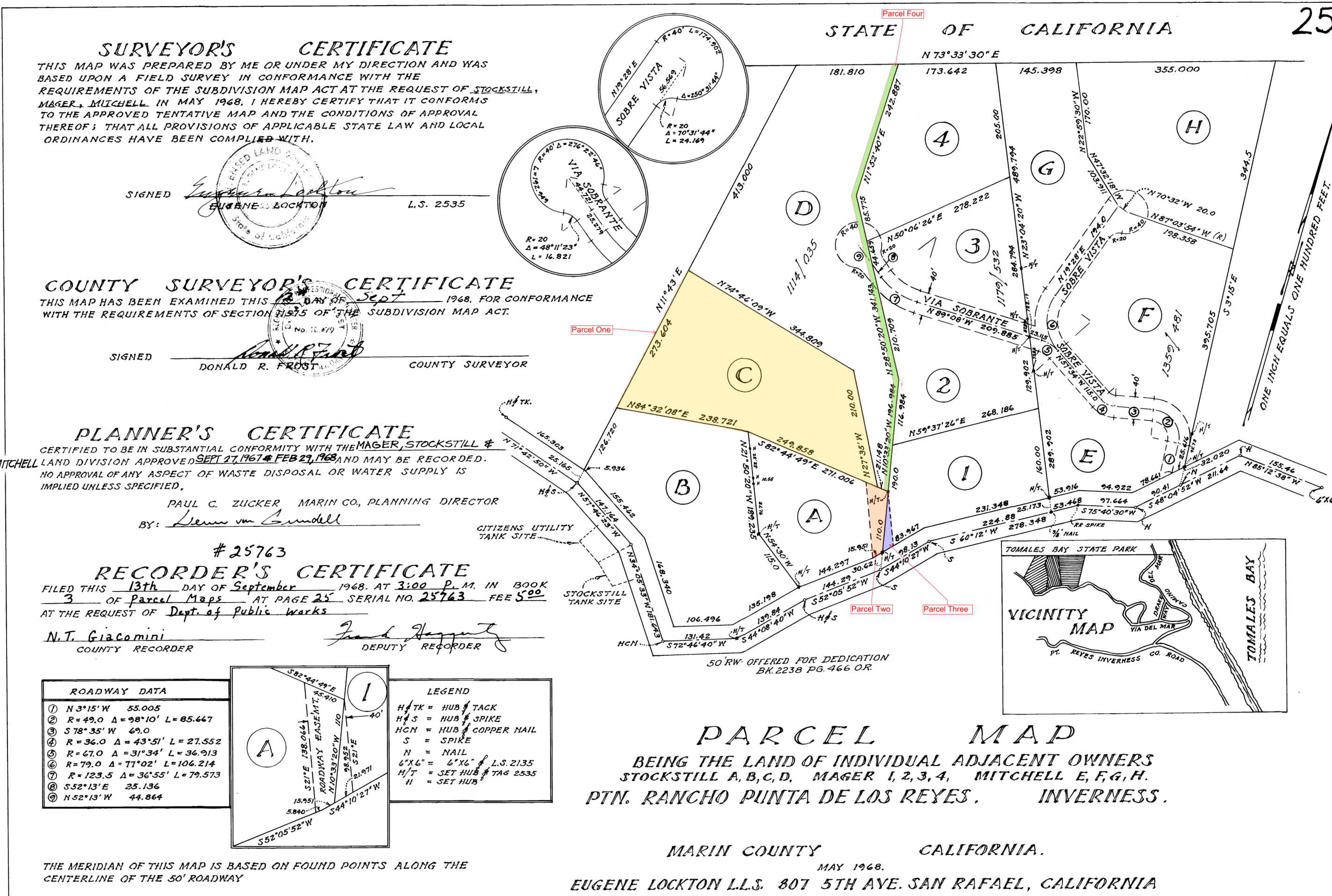
No.	Description	Date
1	Planning Coastal Permit	08.10.23
2	Coastal Permit Rev. 1	11.07.23

PROPERTY INFO & EASEMENTS

PHASE SCALE

V2

NOT FOR CONSTRUCTION



	Homeowner's Policy of Title Insurance For a One-to-Four Family Residence
	ISSUED BY: First American Title Insurance Company
	POLICY NUMBER: 5026100-0251314E
Eagle Exhibit A	

Order No.: 00501170-208-DJ-BC

Legal Description

PARCEL ONE:
 All that certain portion of Parcel One as described in the Deed to Jack H. Stockstill and wife recorded May 13, 1957 in [Book 1114 of Official Records, at Page 35](#), described as follows:

Beginning at a point in the Northern line of Parcel One as described in the Deed to Richard F. Carey and wife, recorded October 7, 1968 in [Book 2246 of Official Records, at Page 127](#), distant thereon North 82° 44' 49" West 21.148 feet from the Northeastern corner thereof, thence leaving said Northern line North 27° 35' 00" West 210.00 feet, thence North 74° 46' 09" West 344.809 feet to a point in the Western line of Parcel One as described in the Deed to Stockstill hereinabove referred to, thence along said Western line South 11° 43' 00" West 273.604 feet to the Northwestern corner of Parcel One as described in the Deed to H. Fredrick Wohlson and wife recorded February 24, 1970 in [Book 2357 of Official Records, at Page 331](#), thence along the Northerly line of said last mentioned parcel, North 84° 32' 08" East 238.721 feet to the Northwestern corner of Parcel One as described in the Deed to Richard F. Carey and wife, hereinabove referred to, thence along the Northern line of said Carey parcel, South 82° 44' 49" East 249.858 feet to the point of beginning.

Being further described as Parcel "C" as shown on the parcel map filed for record in the office of the County Recorder of the County of Marin on September 13, 1958 in [Book 3 of Parcel Maps, at Page 25](#).

APN: 112-050-22

PARCEL TWO:

A non-exclusive easement for roadway purposes over and across a parcel of land described as follows:

Beginning at a point on the Northerly line of a 50.0 foot road, said point being the Southeastery corner of Parcel One as contained in the Deed from L. Kilkeary, et al, to Jack H. Stockstill and wife recorded May 13, 1957 in [Book 1114 of Official Records, at Page 35](#), thence along the Easterly line of said Stockstill parcel North 10° 33' 20" West 110.0 feet, thence leaving said Easterly line North 82° 44' 49" West 45.410 feet, thence South 21° East 138.066 feet to a point on the Southerly boundary of said Stockstill parcel, said point being on the Northerly line of the aforementioned road, and thence along same North 52° 05' 52" East 5.840 feet and North 44° 10' 27" East 15.951 feet to the point of beginning.

PARCEL THREE:

A non-exclusive easement for roadway and utility purposes in, over, along and across a parcel of land described as follows:

Beginning at a point on the Northerly line of a 50 foot road, said point being the Southwesterly corner of the parcel of land conveyed to Sam Kagel, et ux, by Deed recorded December 11, 1956 in [Book 1079 of Official Records, at Page 252](#), Marin County Records, thence along said Northerly line South 48° 04' 52" West 104.277 feet, thence South 75° 40' 30" West 94.922 feet, thence South 60° 12' West 53.916 feet thence South 60° 12' West 231.348 feet, thence South 44° 10' 27" West 83.967 feet to the True Point of Beginning, thence North 10° 33' 20" West 110.0 feet, thence South 21° 00' East 98.952 feet to the Northerly line of said 50 foot road, thence along said Northerly line, South 44° 10' 27" West 21.971 feet to the True Point of Beginning.

PARCEL FOUR:

A non-exclusive easement for pedestrian purposes over and across a strip of land 10.00 feet in width, lying Westerly of, adjacent to and parallel with the following described line:

	Homeowner's Policy of Title Insurance For a One-to-Four Family Residence
	ISSUED BY: First American Title Insurance Company
	POLICY NUMBER: 5026100-0251314E
Eagle Exhibit A (Continued)	

Order No.: 00501170-208-DJ-BC

Beginning at a point on the Northerly line of a 50.0 foot road, said point being the Southeastery corner of Parcel One as contained in the Deed from L. Kilkeary, et al, to Jack H. Stockstill and wife recorded May 13, 1957 in [Book 1114 of Official Records, at Page 35](#), thence along the Easterly line of said Stockstill parcel, North 10° 33' 20" West 110.0 feet to the True Point of Beginning of the line to be herein described, thence continuing along the Easterly line of said Stockstill parcel North 10° 33' 20" West 196.984 feet, North 28° 50' 20" West 341.143 feet and North 1° 52' 40" East 242.887 feet to the Southerly line of that certain parcel of land conveyed to the State of California by Deed recorded January 30, 1950 in [Book 634 of Official Records, at Page 220](#).

WARNING

The Map attached hereto may or may not be a survey of the land depicted thereon. You should not rely upon it for any purpose other than orientation to the general location of the parcel or parcels depicted. First American expressly disclaims any liability for alleged loss or damage which may result from reliance upon such map.

[CLICK HERE FOR MAP](#)

GRADING NOTES:

- 1. The owner shall retain the Geotechnical Engineer of record to provide observation and testing of site grading.
2. Pavement upgrade, the Class II Aggregate Base, shall have a relative compaction of at least 95%.
3. Where paving subgrade is in existing fills or stockpiled material, all fills should be excavated to firm native soils, replaced as engineered fill and compacted to at least 95 percent relative compaction.

CONST. NOTES CONT'D:

- 15. No Precedent Established: This permit is granted with the understanding that this action is not to be considered as establishing any precedent based on this permit with reference to any other future permit.
16. Keep Permit Onsite: This permit shall be kept at the site of the work and must be shown to any representative of the Department of Public Works or any law enforcement officer on demand.
17. The permittees shall, whenever the same is required by any law, secure an encroachment permit, use permit or any other permit required by a public board having jurisdiction, and this permit shall not be considered in operation unless and until such permit is obtained.

CONST. NOTES CONT'D:

- 47. If archaeological, historic, or prehistoric resources are discovered during construction, construction activities shall cease, and the Community Development Agency staff shall be notified so that the extent and location of discovered materials may be recorded by a qualified archaeologist, and disposition of artifacts may occur in compliance with State and Federal law.
48. All construction activities shall comply with the following standards:
a. Construction activity is only permitted between the hours of 7:00 a.m. and 6:00 p.m., Monday through Friday, and 9:00 a.m. and 5:00 p.m. on Saturdays.

CONSTRUCTION NOTES:

- 1. All materials, workmanship and construction shall conform to the County of Marin Uniform Construction Standards, most recent edition.
2. The location of existing underground utilities as shown on these plans, are based on the best information available; however, the County of Marin and Adobe Associates, Inc. assume no responsibility for the accuracy of the information shown, or for the inadvertent omission of any such information.
3. The contractor shall secure all Encroachment Permits from the County of Marin, and any other applicable agencies.

- 49. The applicant/owner hereby agrees to defend, indemnify, and hold harmless the County of Marin and its agents, officers, attorneys, or employees, to attack, set aside, void, or annul an approval of this application, for which action is brought within the applicable statute of limitations.
50. Any changes or additions to the project shall be submitted to the Community Development Agency in writing for review and approval before the contemplated modifications may be initiated.

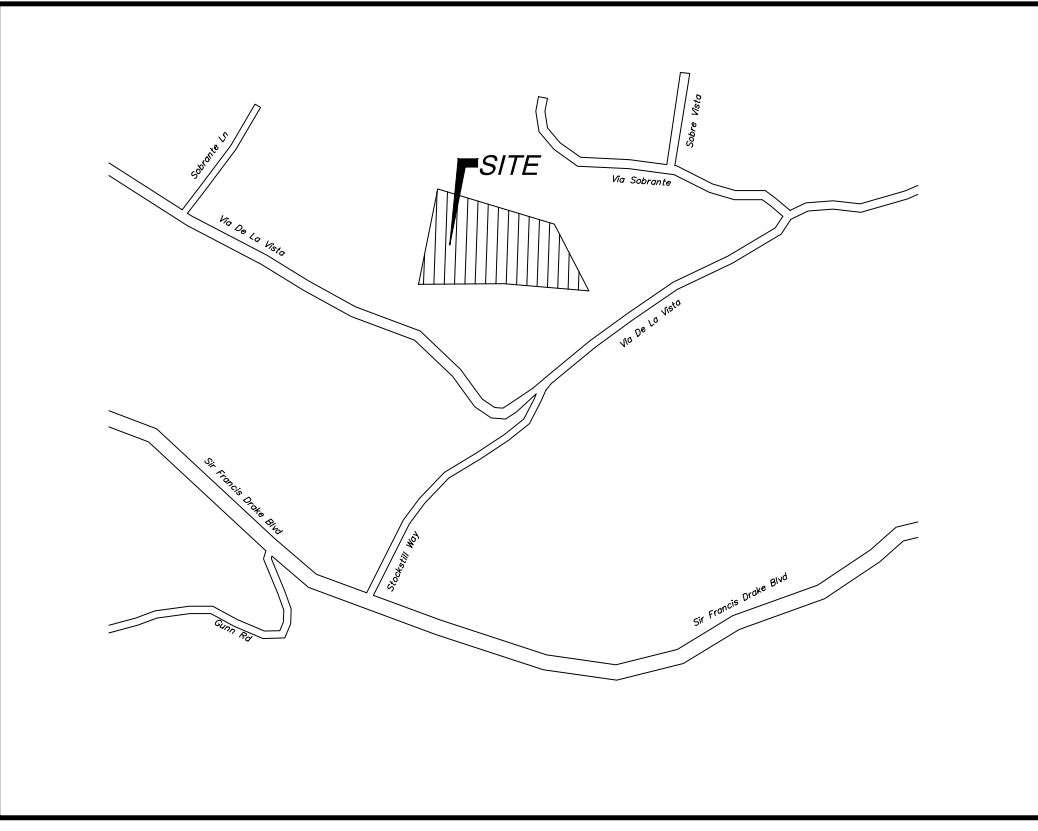
ABBREVIATIONS

- AAI ADOBE ASSOCIATES, INC.
AB AGGREGATE BASE
AC ASPHALT CONCRETE
AD AREA DRAIN
BLDG BUILDING

KLEBAHN RESIDENCE GRADING & DRAINAGE PLAN

560 Via de la Vista Inverness, California

APN 112-050-22



LOCATION MAP NOT TO SCALE

LEGEND

Table with columns for PROPOSED, EXISTING, and DESCRIPTION. Includes symbols for PROPERTY BOUNDARY, CURB & GUTTER, SANITARY SEWER & MANHOLE, FIRE HYDRANT, etc.

SHEET INDEX

- C1.0 TITLE SHEET
C1.1 OVERALL SITE PLAN
C2.0 DWY PLAN & PROFILE
C2.1 DWY SECTIONS
C3.0 GRADING & DRAINAGE PLAN

IMPERVIOUS AREA: NEW OR REPLACED IMPERVIOUS AREA 4,612 SF

GRADING QUANTITIES: Site Grading is based upon subgrade to existing grade. No account has been taken for stripplings, expansion or contraction. Includes CUI, FILL, TOTAL table.

OWNER INFO

ANNIE AND PERRY KLEBAHN
62 5TH AVENUE
SAN FRANCISCO, CA 94118
TEL : (415) 246-2925
EMAIL: anniebdk@gmail.com

PURPOSE STATEMENT:

THIS PROJECT PROPOSES RENOVATION OF AN EXISTING DWELLING, CONSTRUCTION OF A NEW BARN, CONSTRUCTION OF A NEW CARPORT; DRIVEWAY RESURFACING, HARDSCAPING AND LANDSCAPING.

CIVIL ENGINEER/ SEPTIC

ADOBE ASSOCIATES, INC.
CONTACT: TIM SCHRAM/STEVE BROWN
1200 N. DUTTON AVE.
SANTA ROSA, CA 95401
TEL : (707) 541-2300

GEOTECHNICAL ENGINEER

BAUER ASSOCIATES, INC.
CONTACT: ARTHUR H. GRAFF
6470 MIRABEL ROAD
PO BOX 460
FORESTVILLE, CA 95436
TEL : (707) 887-2505
EMAIL: art@bauergeotech.com

LAND SURVEYOR

ADOBE ASSOCIATES, INC.
CONTACT: AARON SMITH
1200 N. DUTTON AVE.
SANTA ROSA, CA 95401
TEL : (707) 541-2300

ARCHTECT

MEDIUM PLENTY
CONTACT: IAN REED
1729 TELEGRAPH AVENUE, THIRD FLOOR
OAKLAND, CA 94612
TEL : (415) 699-1520
EMAIL: ian@mediumplenty.com

NOTE: ALL STRUCTURES, FENCES, WALLS, PORCHES, DECKS, HEADERS, POOLS & SEPTIC ARE SHOWN FOR REFERENCE ONLY AND ARE NOT COVERED UNDER THIS GRADING PERMIT. SEPARATE PERMITS ARE REQUIRED.

Revisions table with columns for No., Date, Description, and Approved.

adobe associates, inc. civil engineering / land surveying / wastewater
1720 N. Dutton Ave., Santa Rosa, CA 95401
P: (707) 541-2300 F: (707) 541-2301
Website: www.adobeinc.com

Professional Engineer Seal for Timothy L. Schram, RCE 67890, My license expires 6/30/2025.

KLEBAHN RESIDENCE TITLE SHEET
560 Via De La Vista Inverness, California
APN 112-050-22

SCALE: AS SHOWN
Date: NOVEMBER, 7, 2023
Design by: MJ
Drawn by: MJ
Checked by: ZR

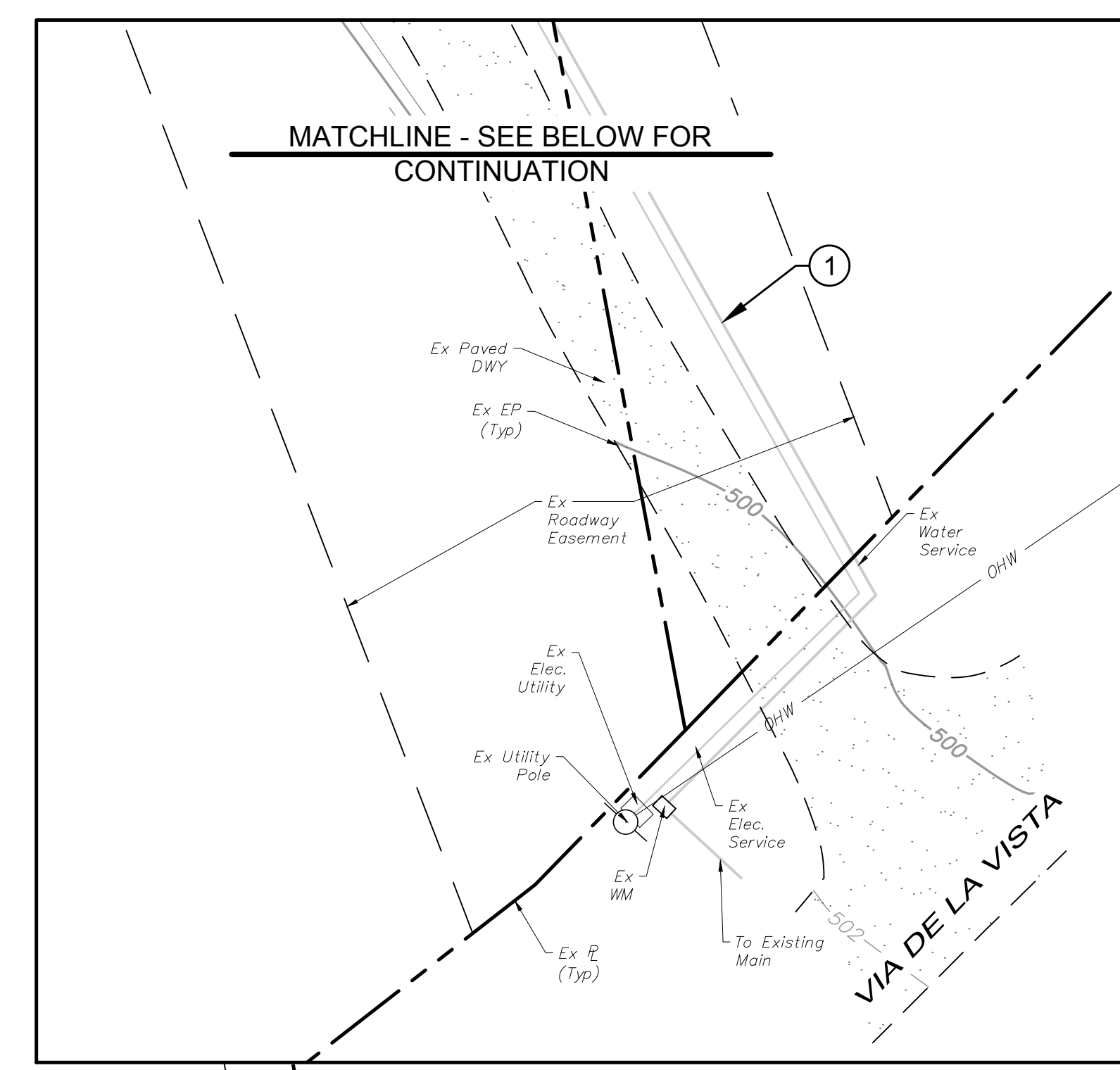
Sheet C1.0
1 of 8 Sheets
Job 22061

T:\2022 PROJECTS\22061\dwg\Adobe-Design\Const_Docs\2_22061- Overall Site Plan.dwg, Matthew Johnson, 11/8/2023, 11:20:05 AM



KEY NOTES:
 ① CONTRACTOR TO POTHOLE AND VERIFY UTILITY LOCATIONS IN FIELD

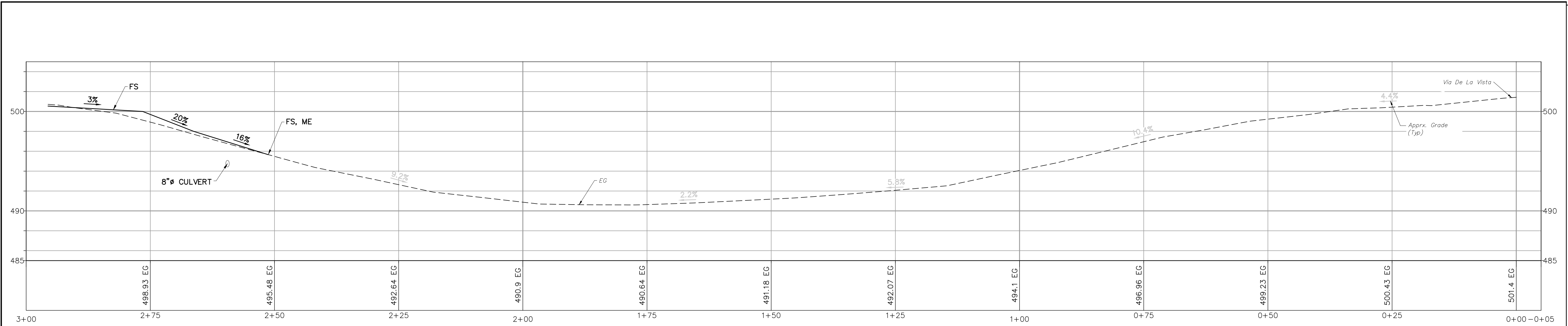
OVERALL SITE PLAN
 20' 10' 0 10' 20' 40' 60'
 Graphic Scale: 1" = 20'



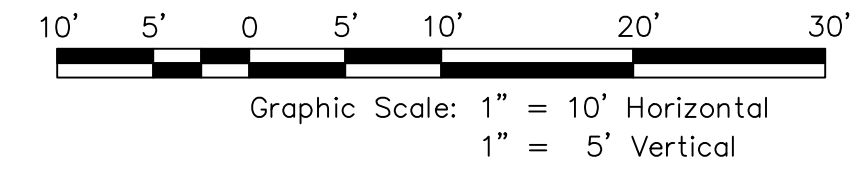
UTILITY CONNECTIONS
 10' 5' 0 5' 10' 20' 30'
 Graphic Scale: 1" = 10'

MATCHLINE - SEE ABOVE FOR CONTINUATION

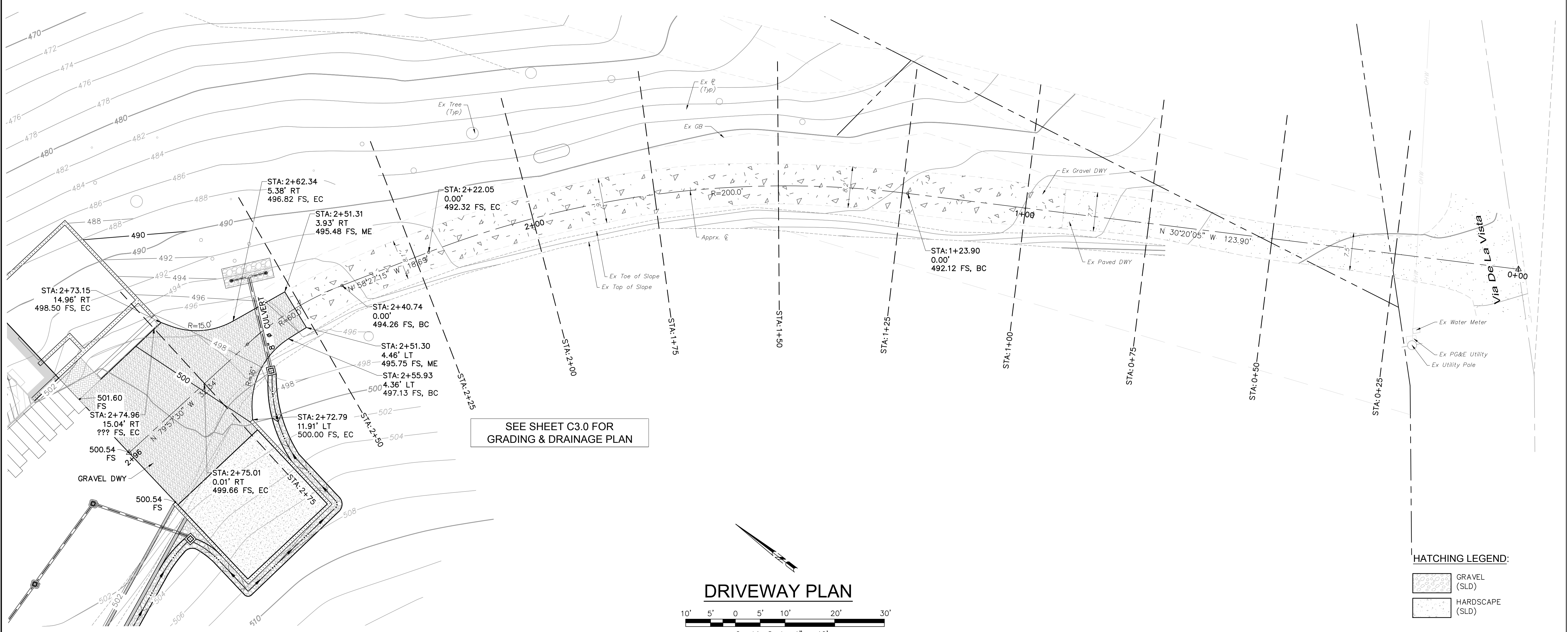
SCALE: AS SHOWN		Date: NOVEMBER, 7, 2023	
Design by:	MJ	Drawn by:	MJ
Checked by:	ZR		
Sheet			
C1.1			
2 of 8 Sheets			
Job 22061			
 adobe associates, inc. civil engineering land surveying wastewater 1720 N. Dutton Ave., Suite 100, San Jose, CA 95101 P: (707) 541-2300 F: (707) 541-2301 Website: www.adobeinc.com <small>*A Service You Can Count On!</small>		 Timothy L. Schram, RCE 67890 My license expires 6/30/2025	
KLEBAHN RESIDENCE OVERALL SITE PLAN 560 Via De La Vista Inverness, California APN 112-050-22			
Revisions No. Date Description Approved			



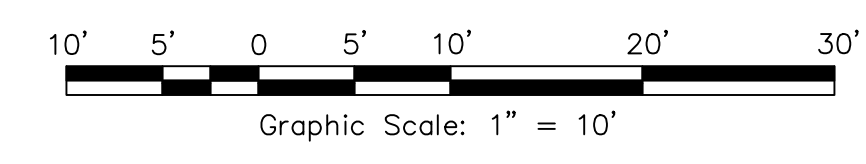
DRIVEWAY PROFILE



LEGEND:
 — FINISHED GRADE
 - - - EXISTING GRADE



DRIVEWAY PLAN



HATCHING LEGEND:
 [Pattern] GRAVEL (SLD)
 [Pattern] HARDSCAPE (SLD)

SEE SHEET C3.0 FOR GRADING & DRAINAGE PLAN

No.	Date	Description	Approved

adobe associates, inc.
 civil engineering / land surveying / wastewater
 1720 N. Dutton Ave., Suite 200, CA 95401
 P: (707) 541-2300 F: (707) 541-2301
 Website: www.adobeinc.com
 "A Service You Can Count On!"

PROFESSIONAL ENGINEER
 TIMOTHY L. SCHRAM
 No. 057890
 Exp. 6/30/2025
 CIVIL
 STATE OF CALIFORNIA

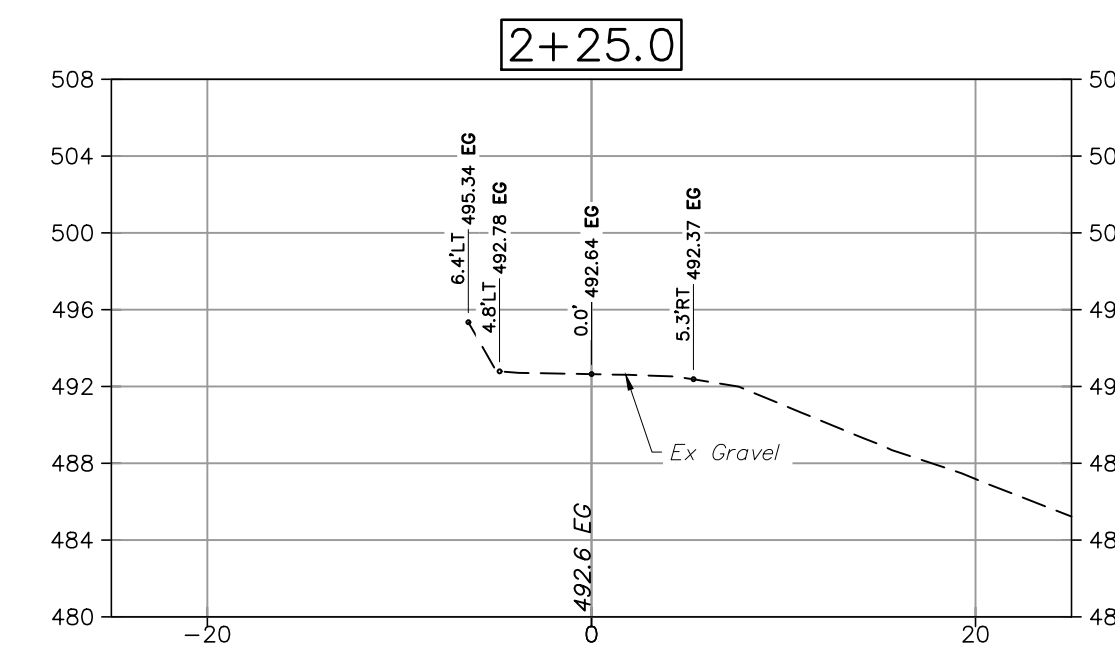
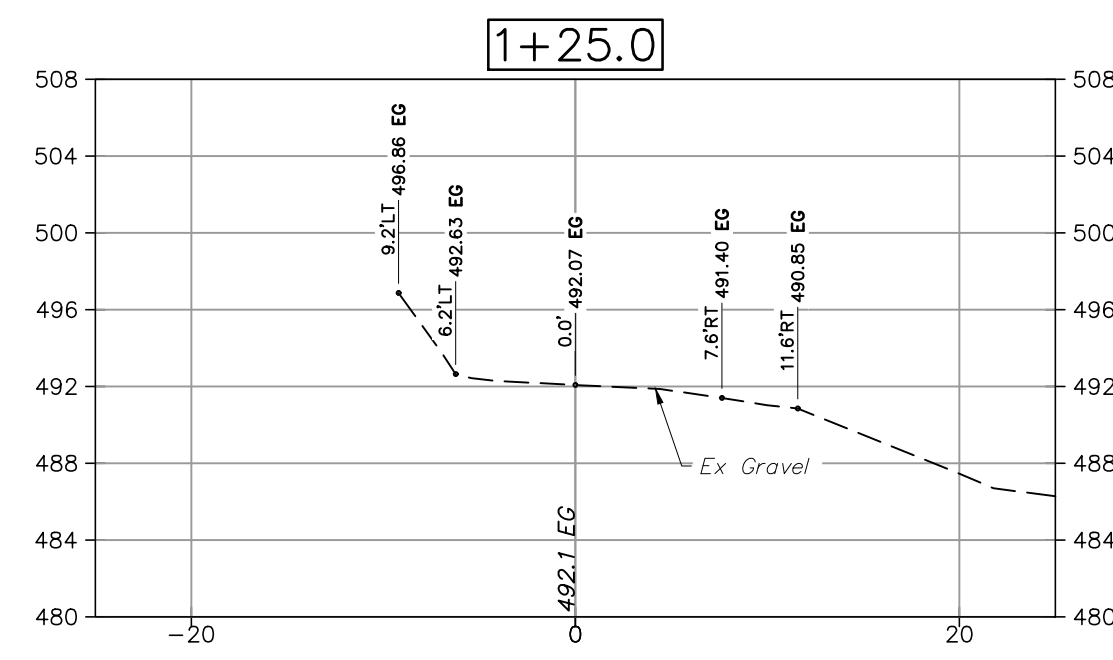
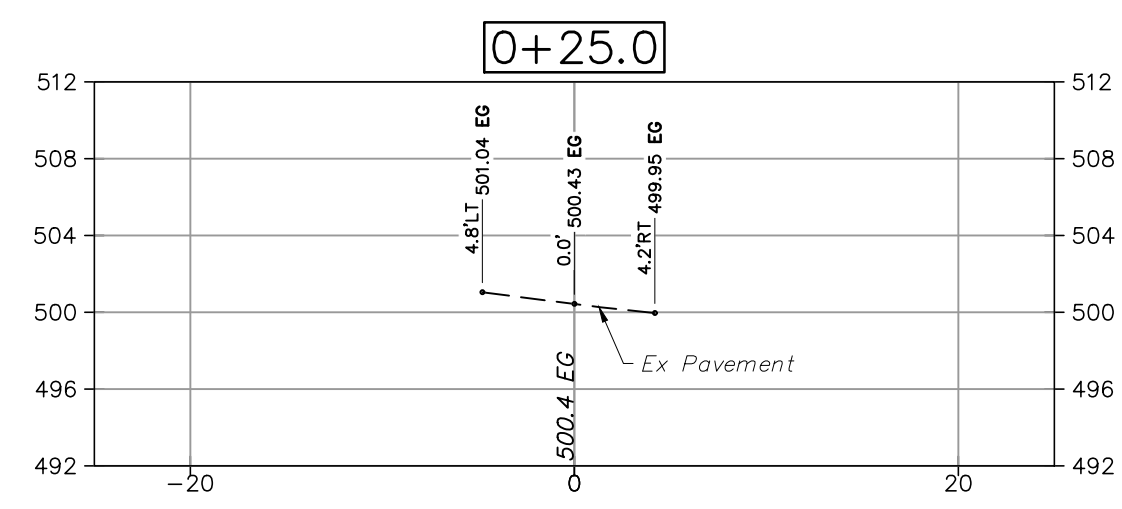
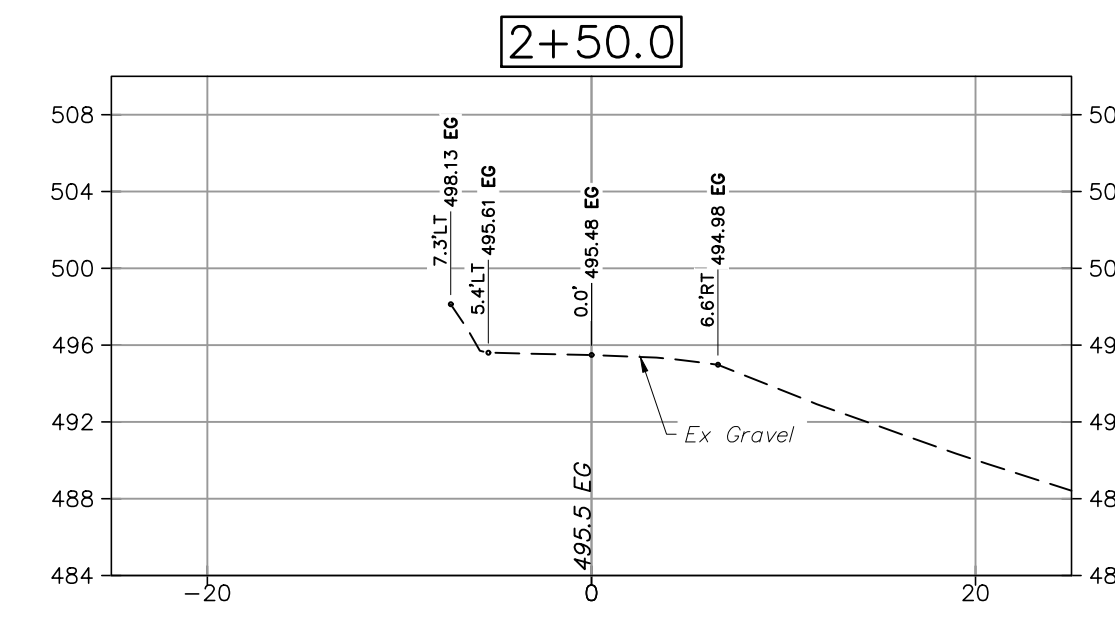
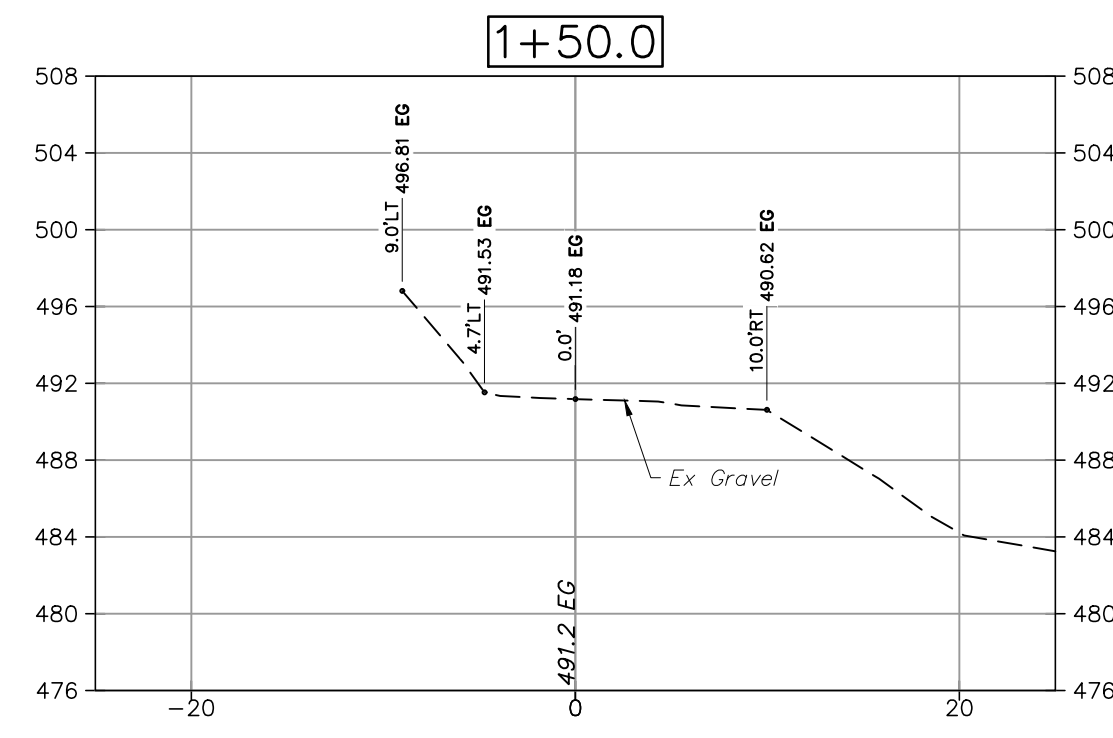
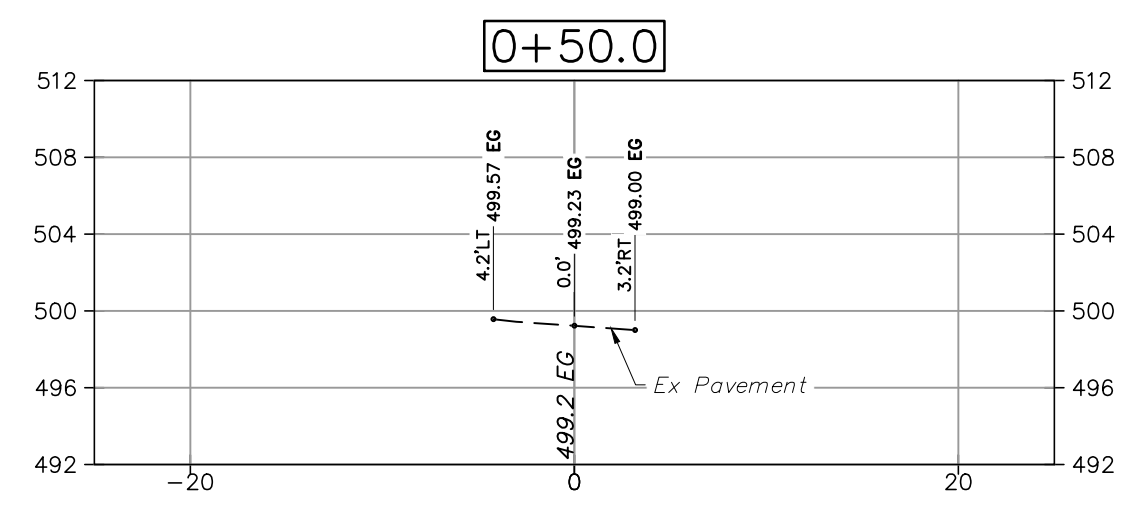
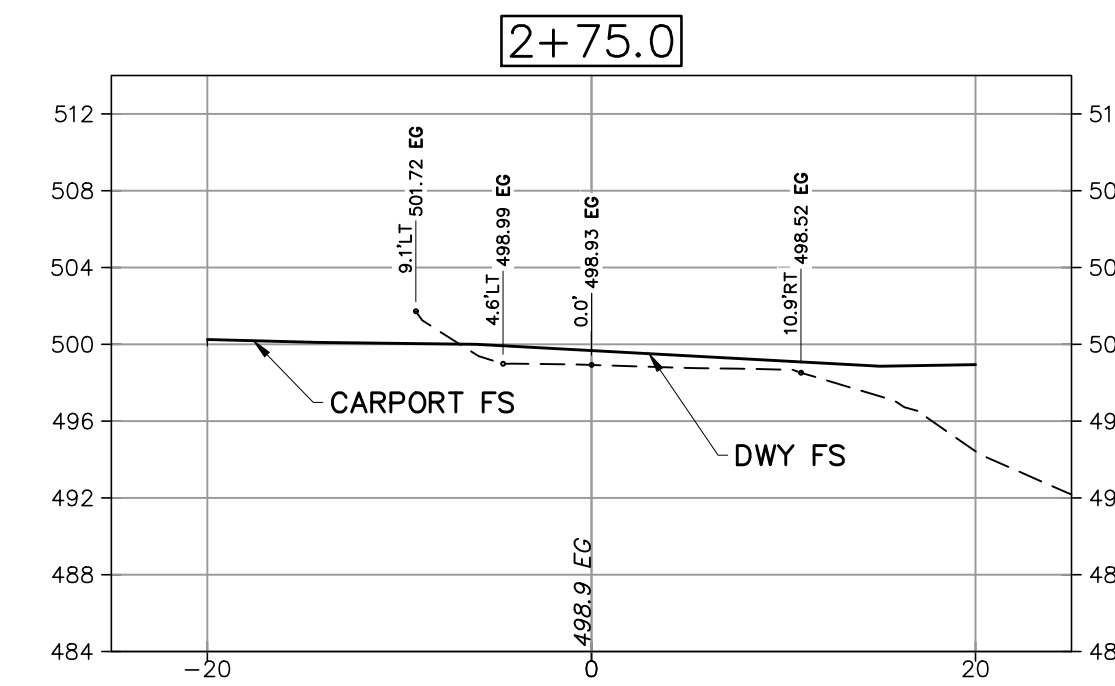
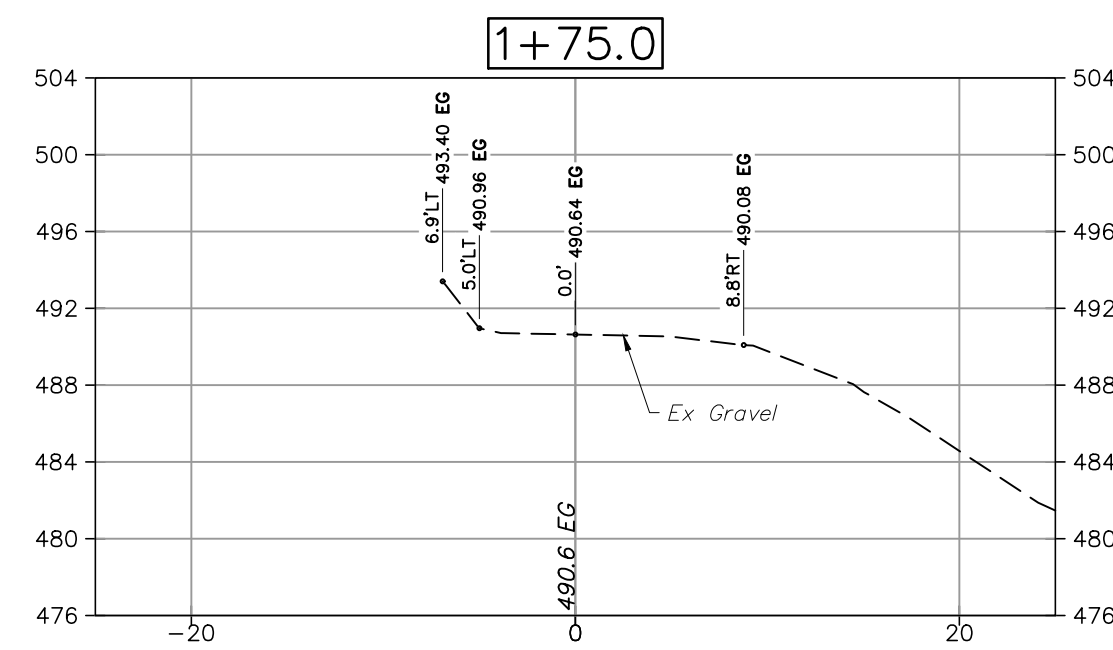
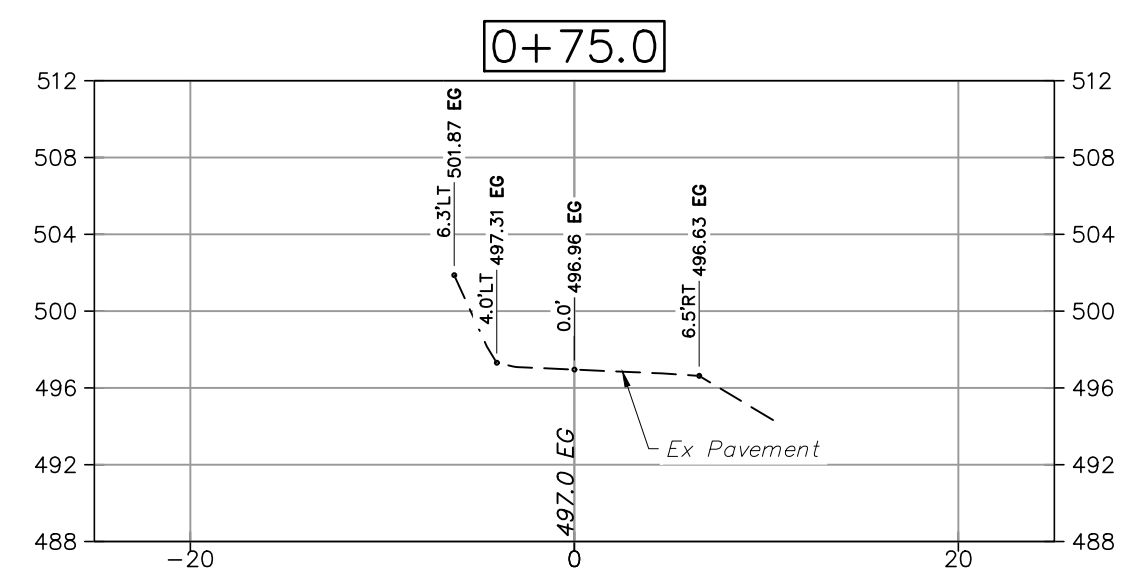
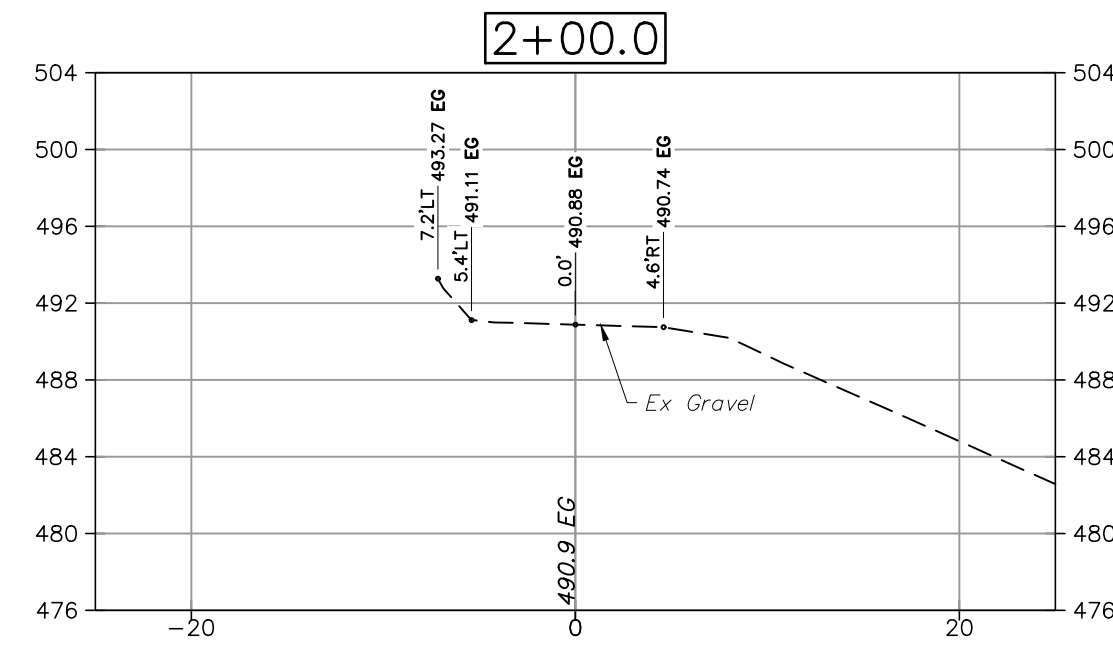
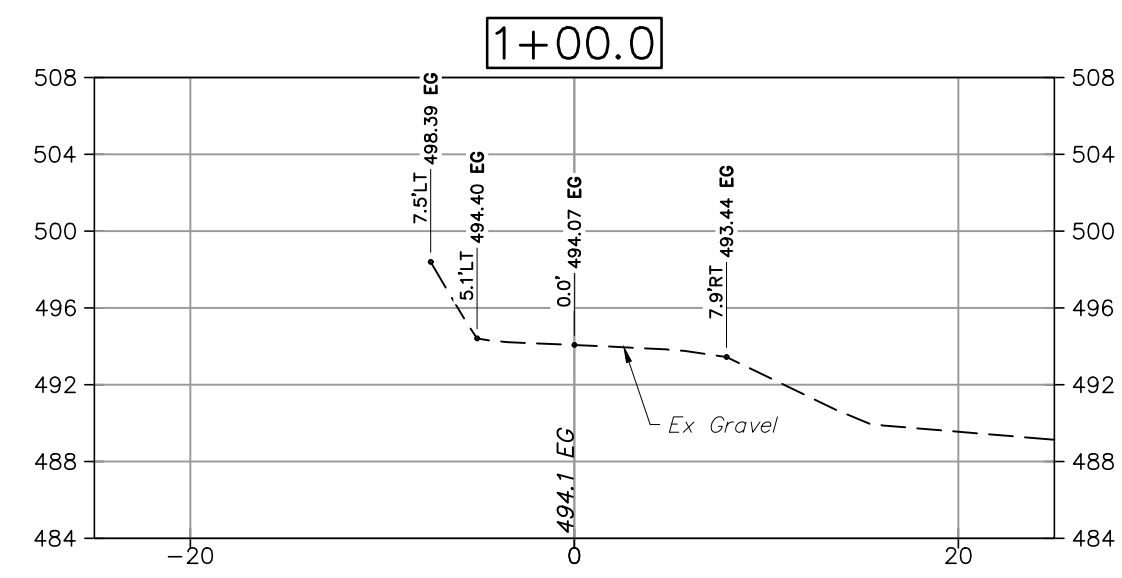
Timothy L. Schram, RCE 67890
 My license expires 6/30/2025

**KLEBAHN RESIDENCE
 DRIVEWAY PLAN & PROFILE**
 560 Via De La Vista
 Inverness, California
 APN 112-050-22

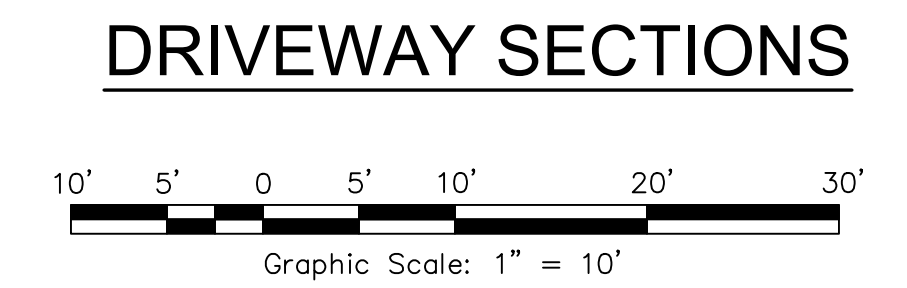
SCALE: AS SHOWN
 Date: NOVEMBER, 7, 2023
 Design by: MJ
 Drawn by: MJ
 Checked by: ZR

Sheet
C2.0
 3 of 8 Sheets
 Job 22061

T:\2022 PROJECTS\22061\dwg\Adobe-Design\Const\4_22061- DWY Sections.dwg, Matthew Johnson, 11/8/2023 11:20:12 AM



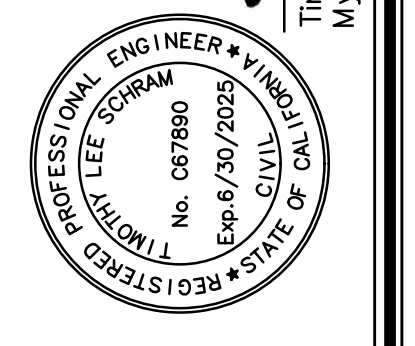
LEGEND:
 — FINISHED GRADE
 - - - EXISTING GRADE



SCALE: AS SHOWN
 Date: NOVEMBER, 7, 2023
 Design by: MJ
 Drawn by: MJ
 Checked by: ZR

Sheet
C2.1
 4 of 8 Sheets
 Job 22061

**KLEBAHN RESIDENCE
 DRIVEWAY SECTIONS**
 560 Via De La Vista
 Inverness, California
 APN 112-050-22

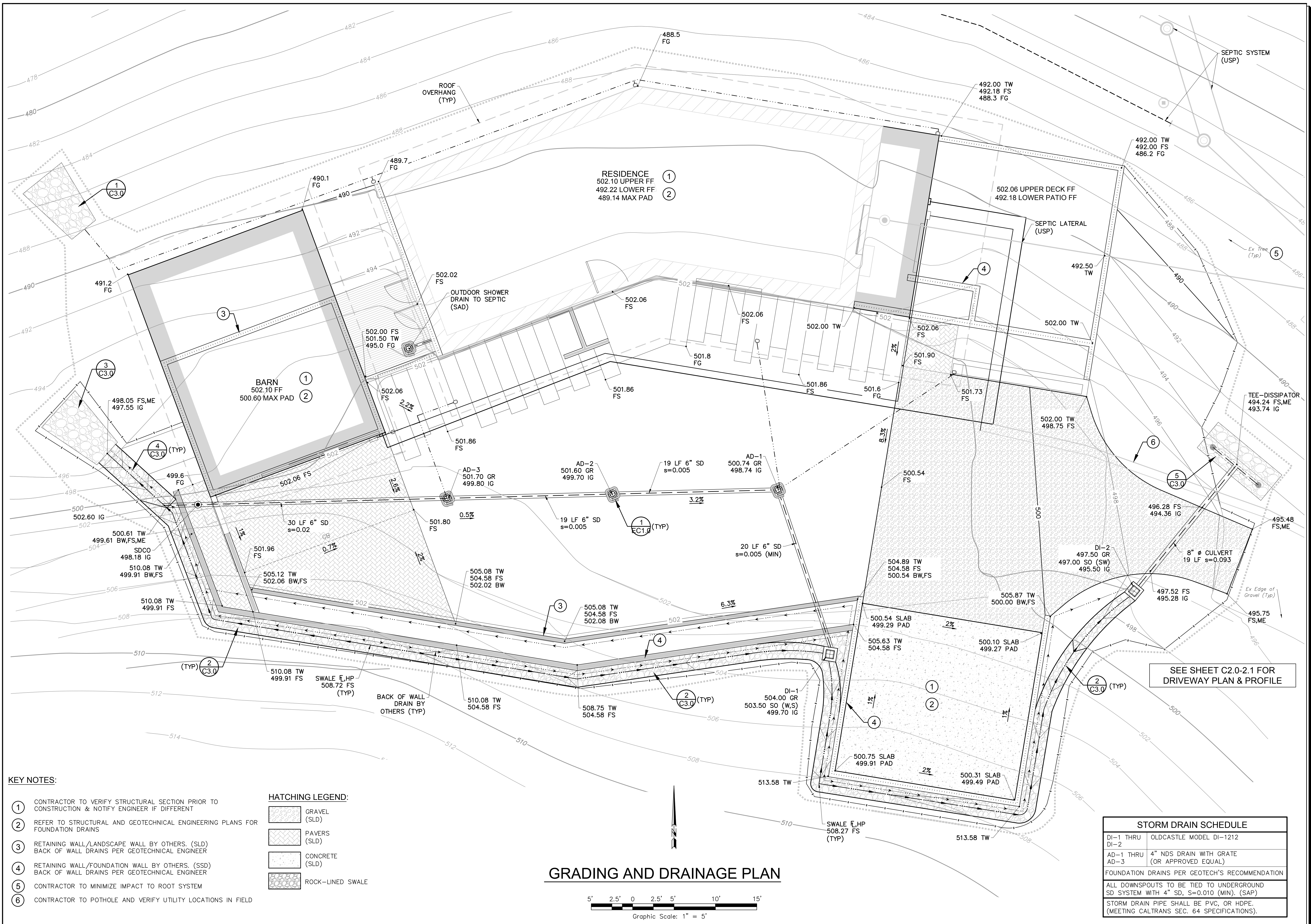


Timothy L. Schram, RCE 67890
 My license expires 6/30/2025

adobe associates, inc.
 civil engineering | land surveying | wastewater
 1720 N. Dutton Ave., Suite 100, CA 95401
 P: (707) 541-2300 F: (707) 541-2301
 Website: www.adobeinc.com
 "A Service You Can Count On!"

No.	Date	Description	Revisions
			Approved

T:\2022 PROJ\ECTS\22061\dwg\Adobe-Design\Const\5_22061- Grading And Drainage Plan.dwg, Matthew Johnson, 11/8/2023 11:20:15 AM

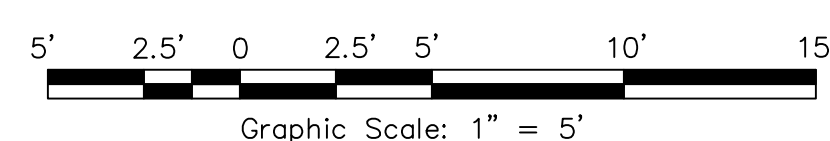


- KEY NOTES:**
- ① CONTRACTOR TO VERIFY STRUCTURAL SECTION PRIOR TO CONSTRUCTION & NOTIFY ENGINEER IF DIFFERENT
 - ② REFER TO STRUCTURAL AND GEOTECHNICAL ENGINEERING PLANS FOR FOUNDATION DRAINS
 - ③ RETAINING WALL/LANDSCAPE WALL BY OTHERS. (SLD) BACK OF WALL DRAINS PER GEOTECHNICAL ENGINEER
 - ④ RETAINING WALL/FOUNDATION WALL BY OTHERS. (SSD) BACK OF WALL DRAINS PER GEOTECHNICAL ENGINEER
 - ⑤ CONTRACTOR TO MINIMIZE IMPACT TO ROOT SYSTEM
 - ⑥ CONTRACTOR TO POTHOLE AND VERIFY UTILITY LOCATIONS IN FIELD

HATCHING LEGEND:

	GRAVEL (SLD)
	PAVERS (SLD)
	CONCRETE (SLD)
	ROCK-LINED SWALE

GRADING AND DRAINAGE PLAN



STORM DRAIN SCHEDULE	
DI-1 THRU DI-2	OLDCASTLE MODEL DI-1212
AD-1 THRU AD-3	4" NDS DRAIN WITH GRATE (OR APPROVED EQUAL)
FOUNDATION DRAINS PER GEOTECH'S RECOMMENDATION	
ALL DOWNSPOUTS TO BE TIED TO UNDERGROUND SD SYSTEM WITH 4" SD, S=0.010 (MIN). (SAP)	
STORM DRAIN PIPE SHALL BE PVC, OR HDPE. (MEETING CALTRANS SEC. 64 SPECIFICATIONS).	

SCALE: AS SHOWN

Date: NOVEMBER, 7, 2023

Design by: MJ

Drawn by: MJ

Checked by: ZR

Sheet

C3.0

5 of 8 Sheets

Job 22061

Revisions

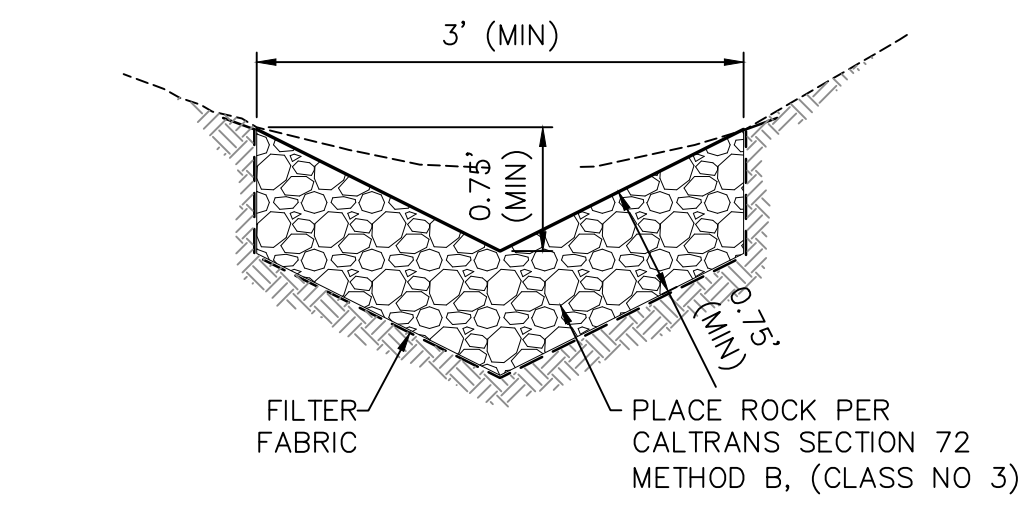
No.	Date	Description	Approved

adobe associates, inc.
 civil engineering | land surveying | wastewater
 1220 N. Dutton Ave. Santa Rosa, CA 95401
 P: (707) 541-2300 F: (707) 541-2301
 Website: www.adobeinc.com

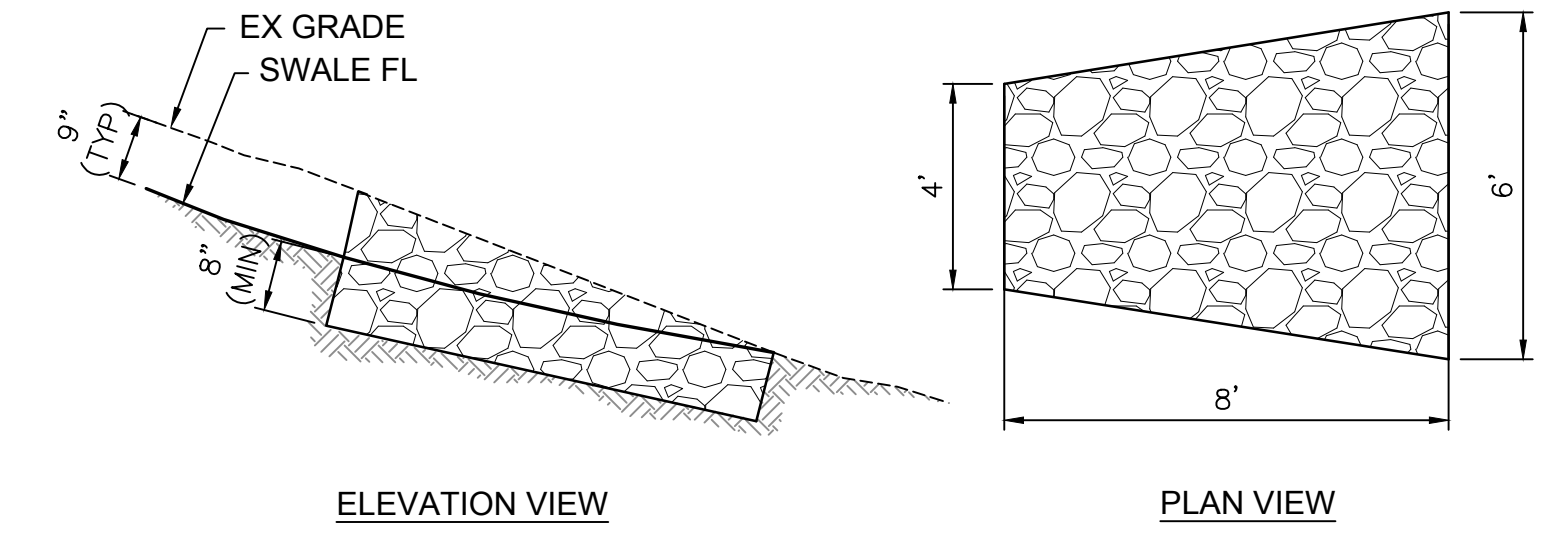
Timothy L. Schram, RCE 67890
 My license expires 6/30/2025

KLEBAHN RESIDENCE
GRADING AND DRAINAGE PLAN
 560 Via De La Vista
 Inverness, California
 APN 112-050-22

I:\2022 PROJECTS\22061\Wdg\Adobe-Design\Const_Docs\6 22061- Details.dwg, Matthew Johnson, 11/08/2023 11:20:18 AM

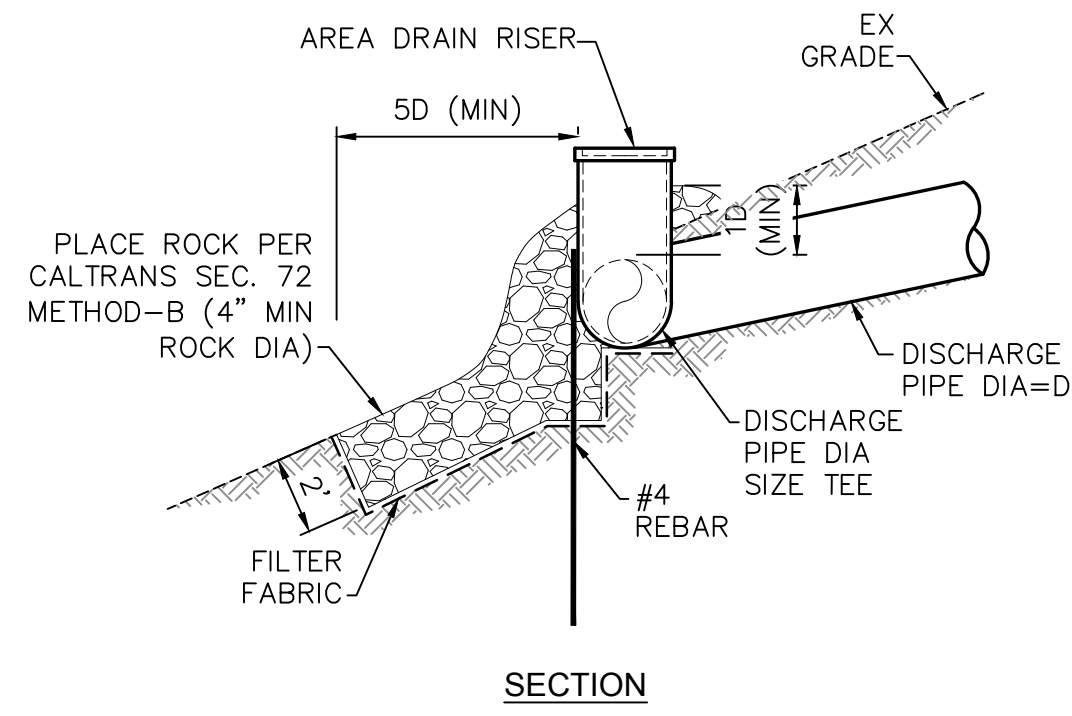


4 **ROCK-LINED DITCH DETAIL**
NTS

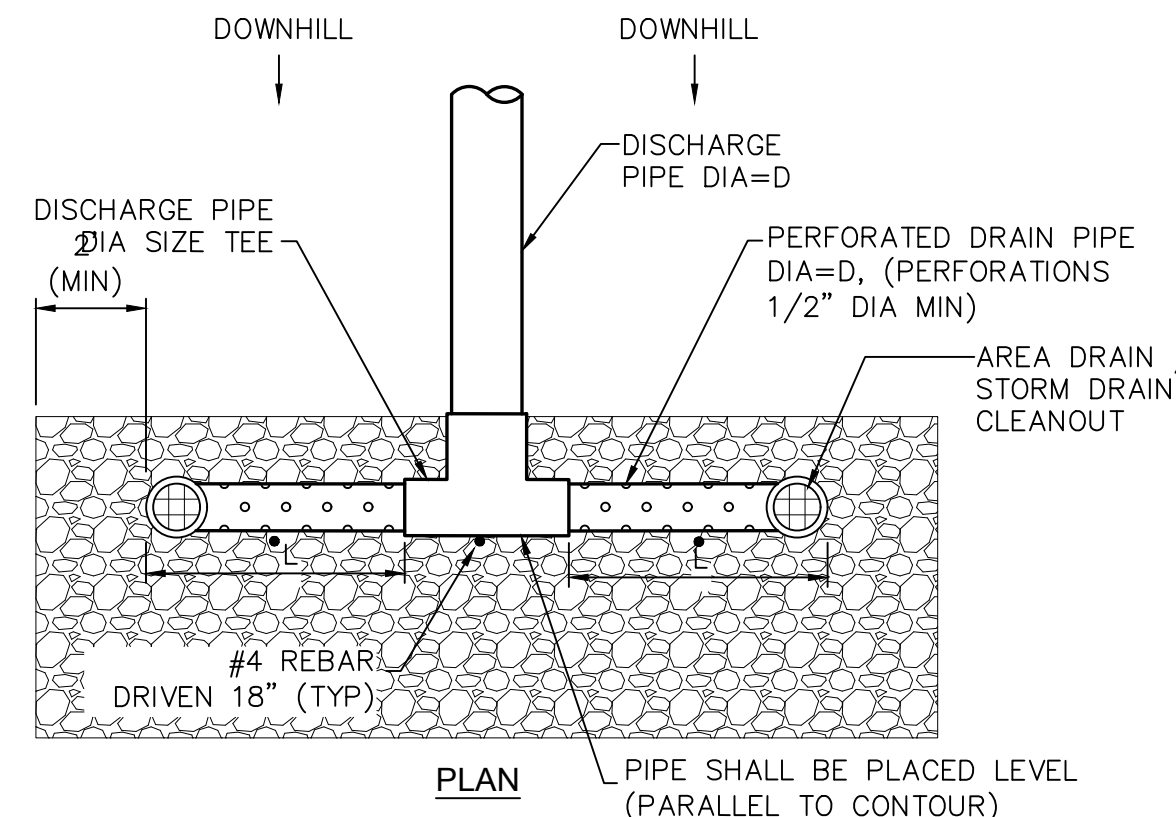


NOTE:
PLACE ROCK PER CALTRANS SECTION 72 METHOD B, (CLASS NO 3) USE CLASS NO 2 FOR BIGGER PIPE & HIGHER FLOW VELOCITY

3 **ROCK RIP-RAP SWALE OUTFALL PROTECTION DETAIL**
NTS

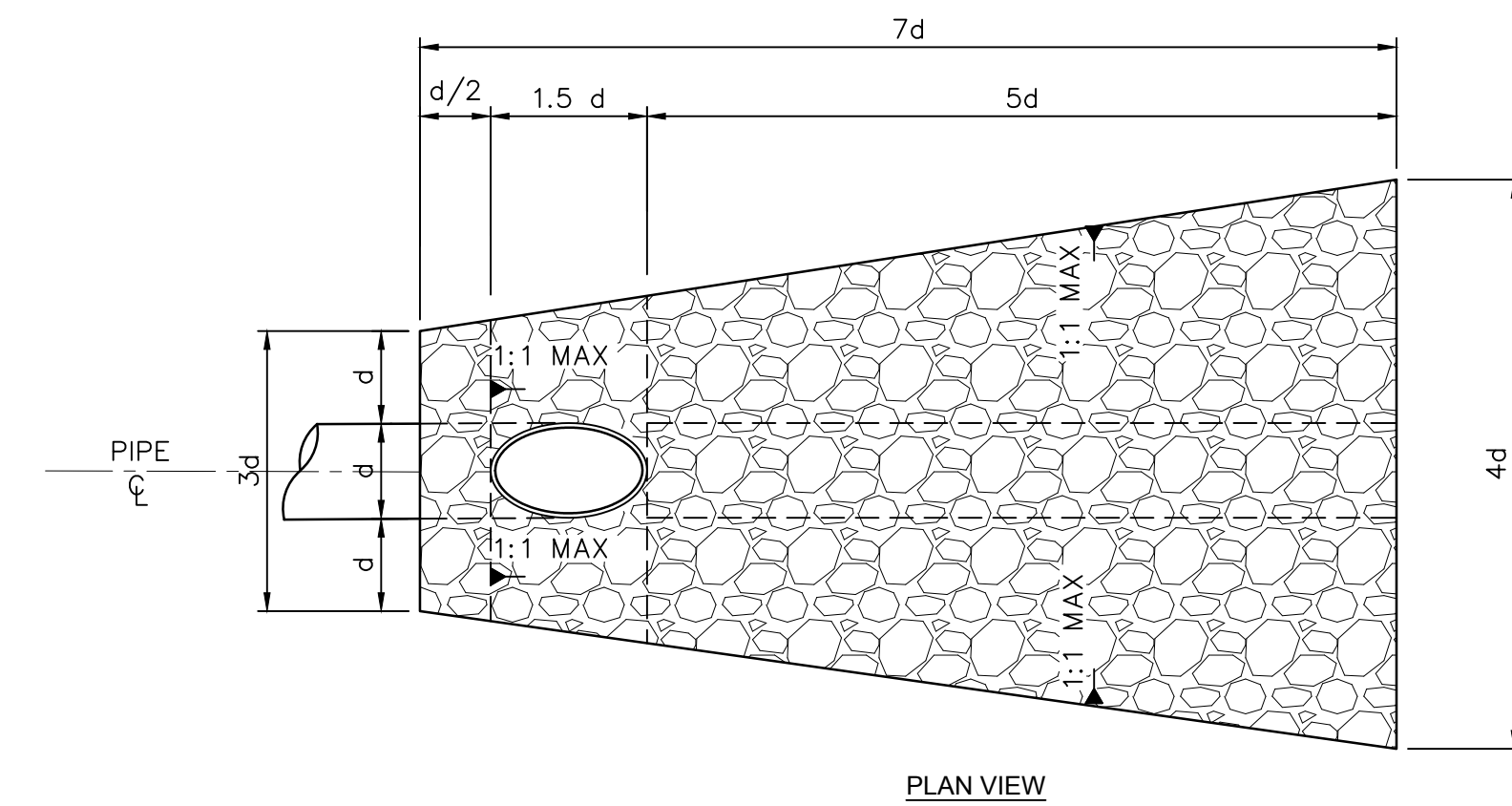
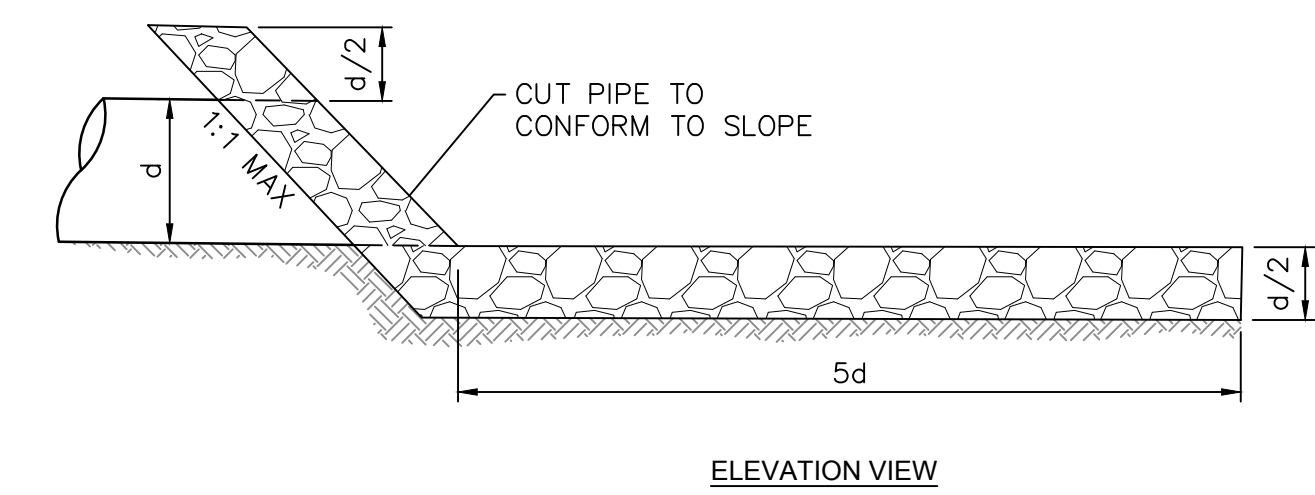


2 **ROCK-LINED DITCH DETAIL**
NTS



NOTES:
1. PLACE ROCK ON TOP OF PIPE THE ENTIRE LENGTH.
2. PIPE HOLES HAVE 90° CENTRAL (RADIAL) ANGLE. THIS YIELDS 4 HOLES AT THE SAME HORIZONTAL DISTANCE FROM THE TEE. REPEAT 4-HOLE GROUPING EVERY 2" HORIZONTAL DISTANCE FROM TEE TO YIELD 28 HOLES PER LINEAL FOOT.
3. L=10'

5 **PERFORATED PIPE ENERGY DISSIPATER**
NTS



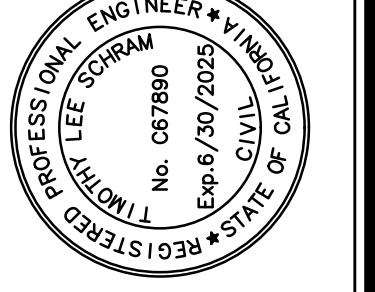
NOTE:
PLACE ROCK PER CALTRANS SECTION 72 METHOD B, (CLASS NO 3)

1 **ROCK RIP-RAP STORM DRAIN OUTLET DETAIL**
NTS

Revisions	Date	Description	Approved

adobe associates, inc.
civil engineering / land surveying / wastewater
1720 N. Dutton Ave., Suite 100, San Ramon, CA 94583
P: (707) 541-2300 F: (707) 541-2301
Website: www.adobeinc.com
"A Service You Can Count On!"

Timothy L. Schram, RCE 67890
My license expires 6/30/2025

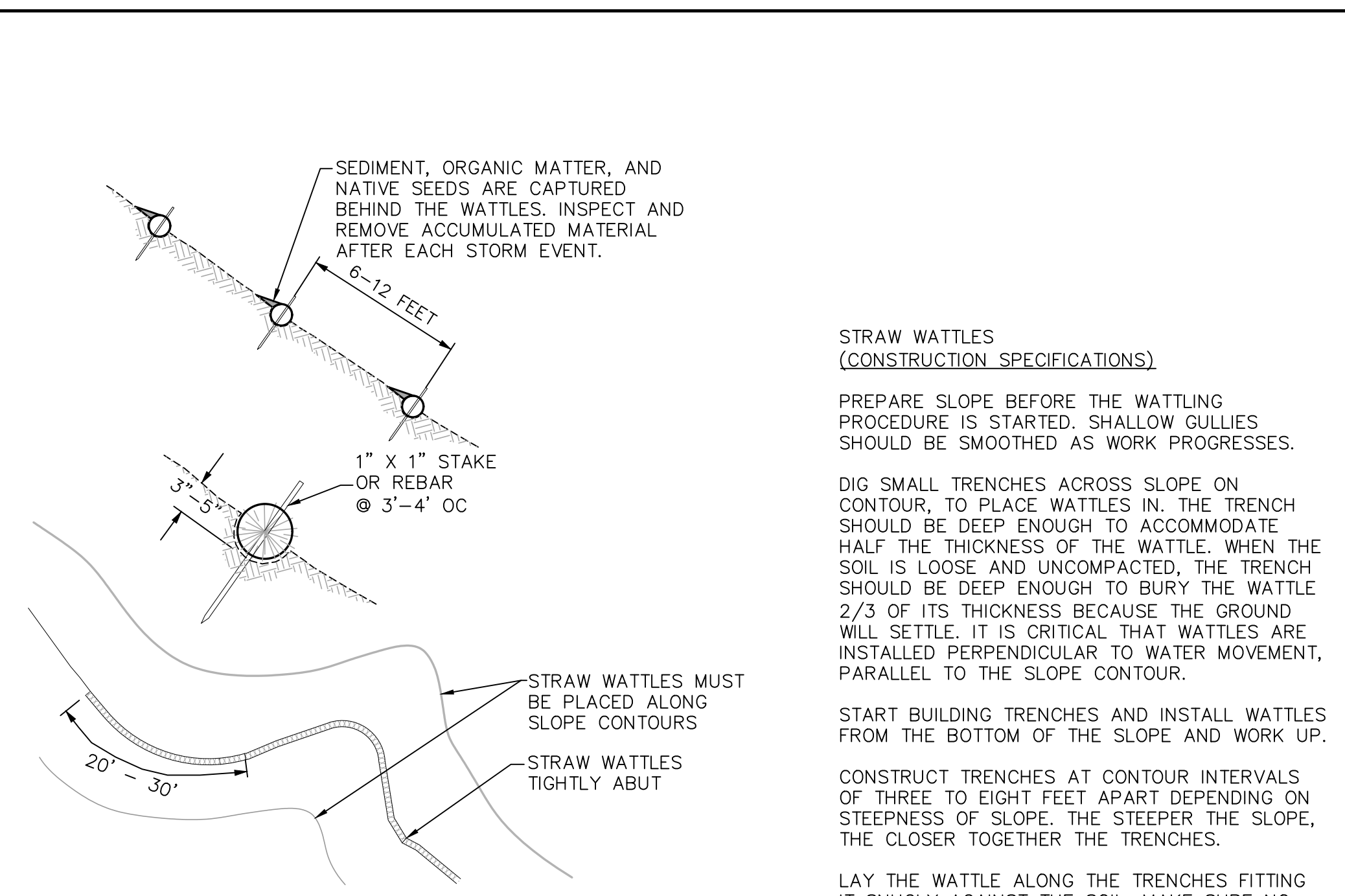
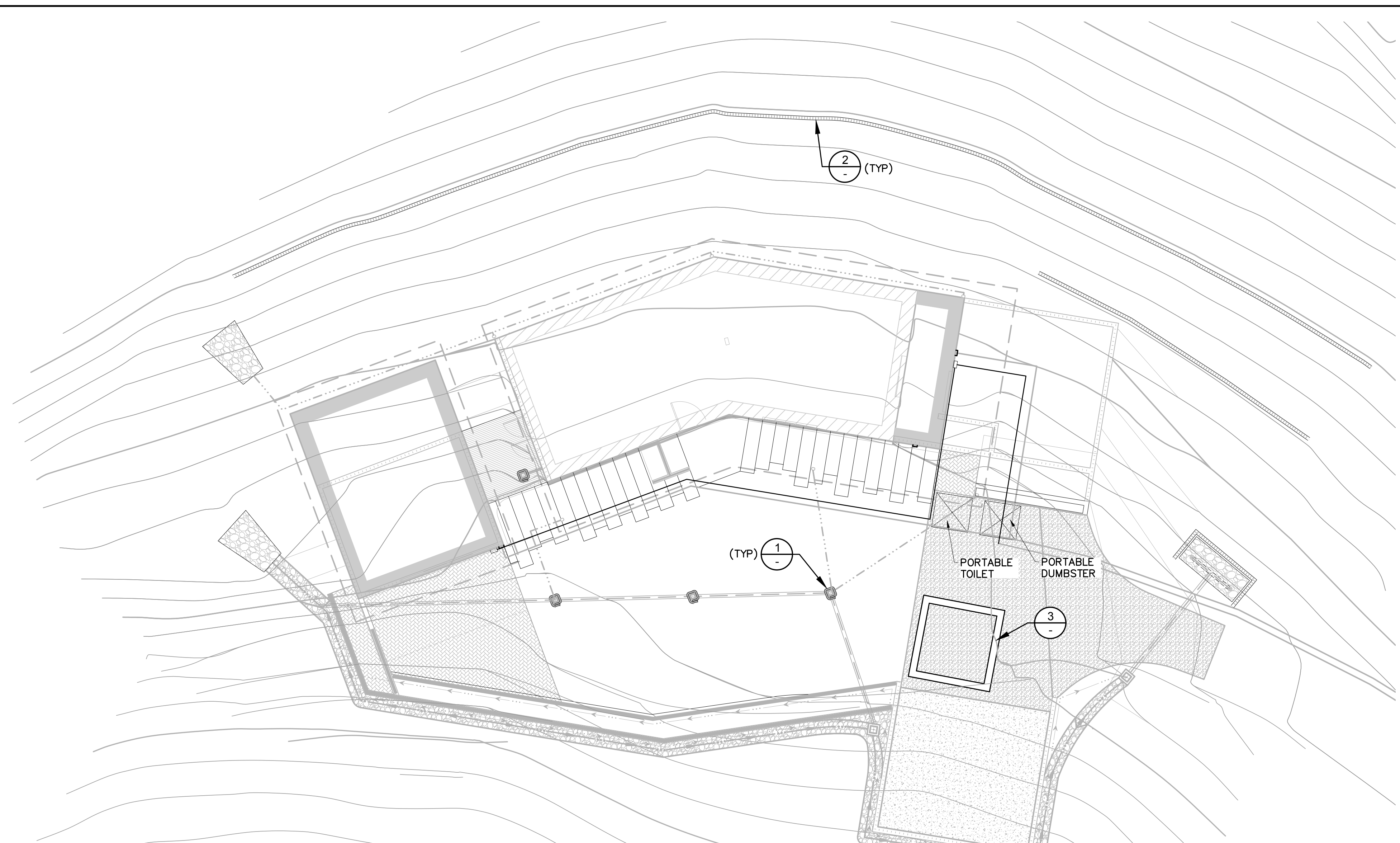


KLEBAHN RESIDENCE DETAILS
560 Via De La Vista
Inverness, California
APN 112-050-22

SCALE: AS SHOWN
Date: NOVEMBER, 7, 2023
Design by: MJ
Drawn by: MJ
Checked by: ZR

Sheet
C4.0
6 of 8 Sheets
Job 22061

T:\2022 PROJECTS\22061\dwg\Adobe-Design\Const\DWG\MCS010PP17 22061- ESCP.dwg, Matthew Johnson, 11/8/2023 11:20:23 AM



NOTES:

- STRAW WATTLES ARE TUBES MADE FROM STRAW AND BOUND W/ BIO-DEGRADABLE WRAPPED NETTING. THEY ARE APPROXIMATELY 8" DIA AND 20 - 30 FT LONG.
- STRAW WATTLES TRAP SEDIMENT AND REDUCE SHEET & RILL EROSION BY REDUCING SLOPE GRADIENT, INCREASING INFILTRATION RATES AND BY PRODUCING A FAVORABLE ENVIRONMENT FOR PLANT ESTABLISHMENT.
- STRAW WATTLE INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE WATTLE IN A TRENCH, 3" - 5" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND WATTLE.

STRAW WATTLES (CONSTRUCTION SPECIFICATIONS)

PREPARE SLOPE BEFORE THE WATTLING PROCEDURE IS STARTED. SHALLOW GULLIES SHOULD BE SMOOTHED AS WORK PROGRESSES.

DIG SMALL TRENCHES ACROSS SLOPE ON CONTOUR, TO PLACE WATTLES IN. THE TRENCH SHOULD BE DEEP ENOUGH TO ACCOMMODATE HALF THE THICKNESS OF THE WATTLE. WHEN THE SOIL IS LOOSE AND UNCOMPACTED, THE TRENCH SHOULD BE DEEP ENOUGH TO BURY THE WATTLE 2/3 OF ITS THICKNESS BECAUSE THE GROUND WILL SETTLE. IT IS CRITICAL THAT WATTLES ARE INSTALLED PERPENDICULAR TO WATER MOVEMENT, PARALLEL TO THE SLOPE CONTOUR.

START BUILDING TRENCHES AND INSTALL WATTLES FROM THE BOTTOM OF THE SLOPE AND WORK UP.

CONSTRUCT TRENCHES AT CONTOUR INTERVALS OF THREE TO EIGHT FEET APART DEPENDING ON STEEPNESS OF SLOPE. THE STEEPER THE SLOPE, THE CLOSER TOGETHER THE TRENCHES.

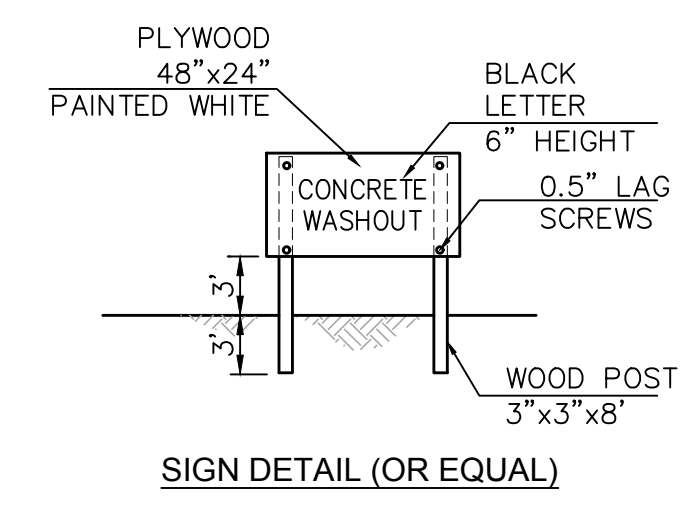
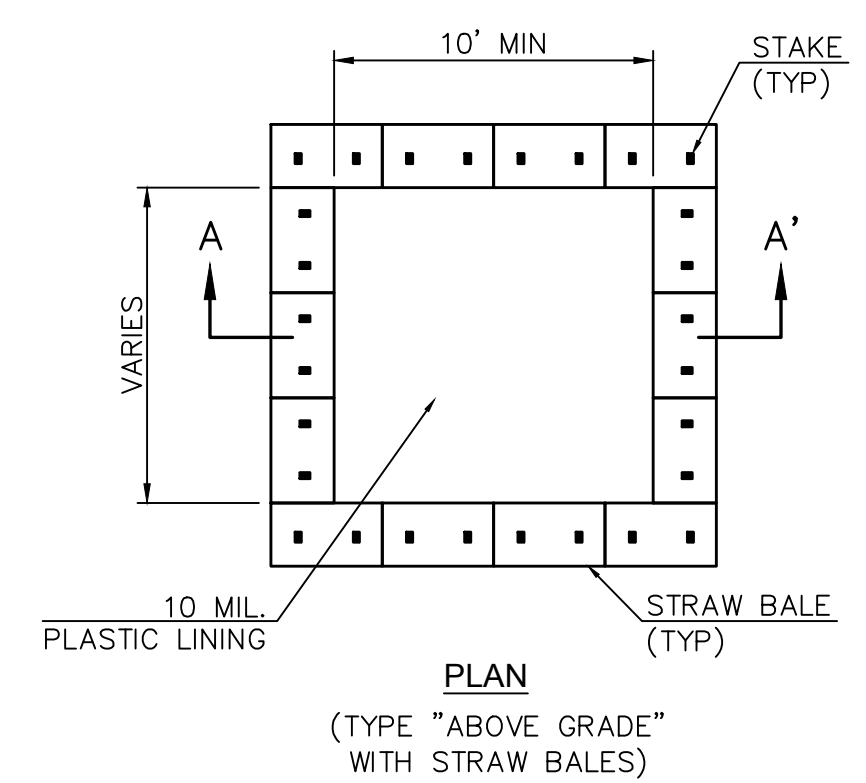
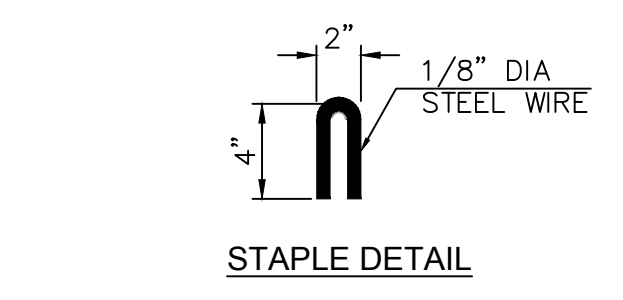
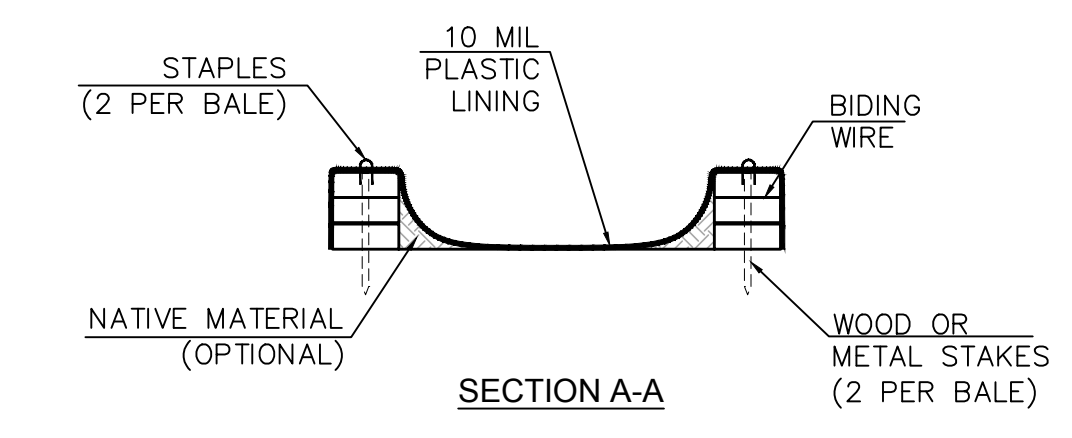
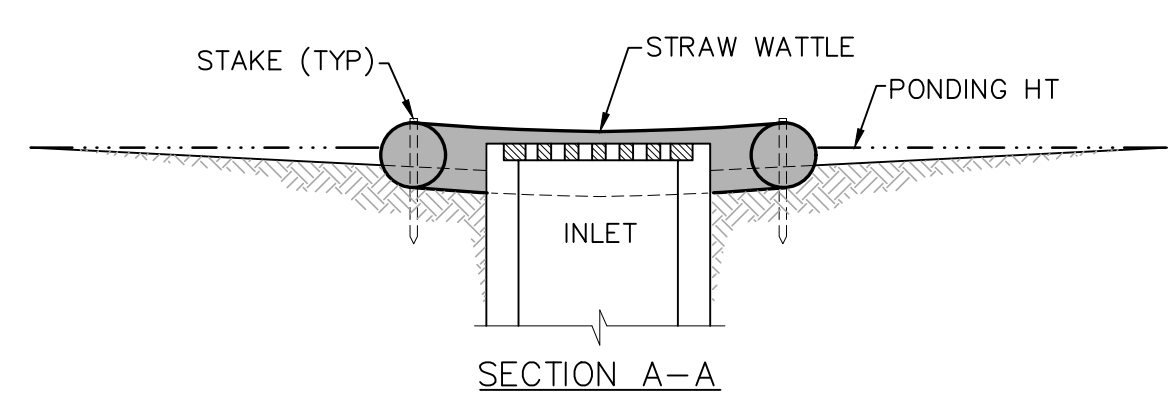
LAY THE WATTLE ALONG THE TRENCHES FITTING IT SNUGLY AGAINST THE SOIL. MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE STRAW WATTLE.

USE A STRAIGHT BAR TO DRIVE HOLES THROUGH THE WATTLE AND INTO THE SOIL FOR THE WOODEN STAKES.

DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE WATTLE.

INSTALL STAKES AT LEAST EVERY FOUR FEET APART THROUGH WATTLE. ADDITIONAL STAKES MAY BE DRIVEN ON THE DOWNSLOPE SIDE OF THE TRENCHES ON HIGHLY EROSION OR VERY STEEP SLOPES.

2 STRAW WATTLE



3 CONCRETE WASHOUT (WM8)

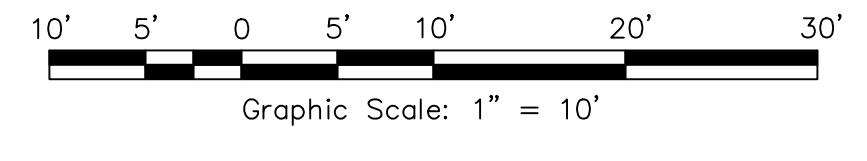
EROSION CONTROL GUIDELINES:

Hydroseeding shall be conducted in a three step process. First, evenly apply seed mix and fertilizer to the exposed slope. Second, evenly apply mulch over the seed and fertilizer. Third, stabilize the mulch in place. An equivalent single step process, with seed, fertilizer, water, and bonded fibers is acceptable.

Applications shall be broadcasted mechanically or manually at the rates specified below. Seed mix and fertilizer shall be worked into the soil by rolling or tamping. If straw is used as mulch, straw shall be derived from wheat, rice, or barley and be approximately six to eight inches in length. Stabilization of mulch shall be done hydraulically by applying an emulsion or mechanically by crimping or punching the mulch into the soil. Equivalent methods and materials may be used only if they adequately promote vegetation growth and protect exposed slopes.

MATERIALS	APPLICATION RATE (pounds per acre)
seed mix	
bromus mollis (blando brome)	40
trifolium hirtum (hykon rose clover)	20
fertilizer	
16-20-0 & 15% sulphur	500
mulch	
straw	4000
hydraulic stabilizing*	
m-binder or sentinel	75-100
equivalent material	per manufacturer
*non-asphaltic, derived from plants	

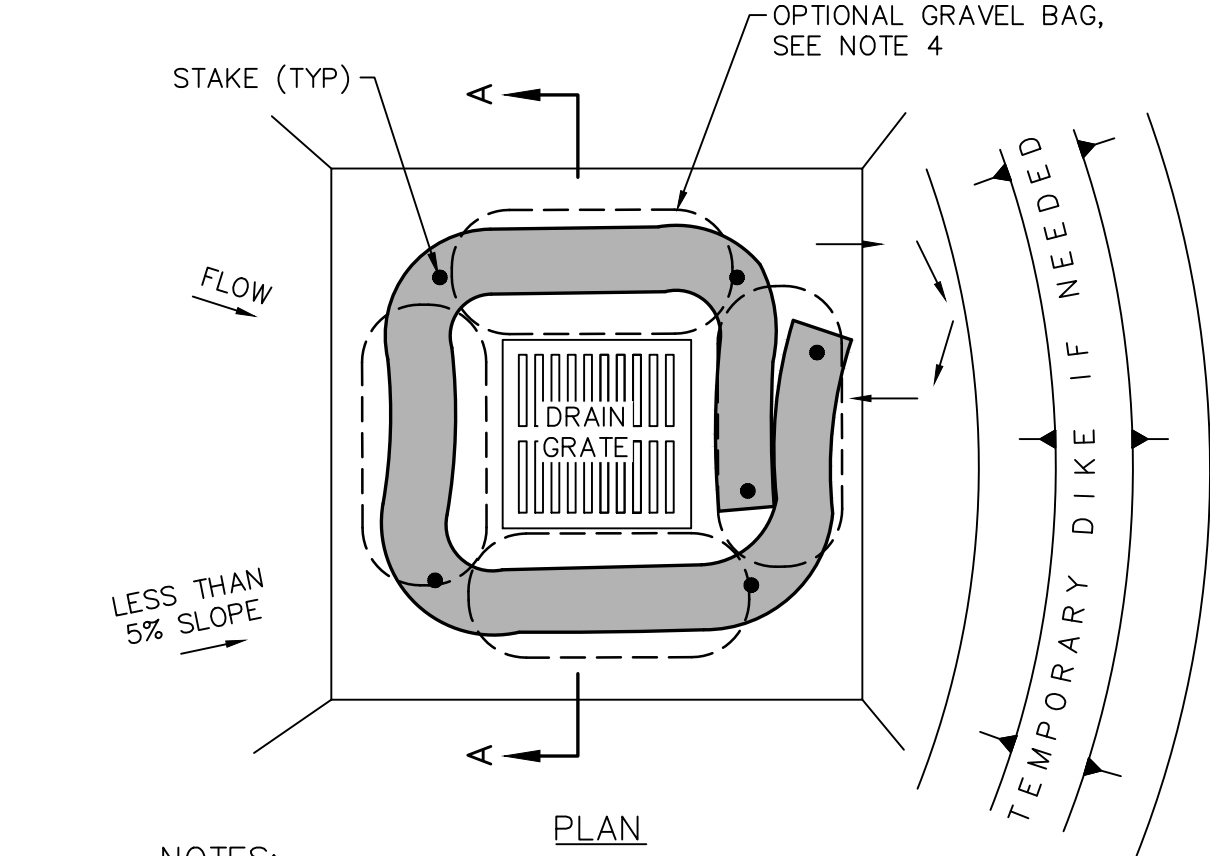
EROSION & SEDIMENT CONTROL PLAN



Erosion Control is a year around responsibility, not just during the rainy season. The County requires that you install and maintain temporary erosion control measures on all construction sites. Allowing mud, muddy water or debris to flow off of your property and onto public or private property is prohibited. The following are some of the methods used to control erosion and runoff:

- Every effort should be made to minimize grading.
- All disturbed dirt must be covered with tied, staked, or sandbagged tarps. Plastic sheeting without grommets or any other material that will not stay in place during a storm is prohibited. You may remove the tarps during construction, but they must be promptly replaced at the end of the day or when it is raining.
- Place wattles and staked silt fences every 25 feet and at the bottom of the site to mitigate flow and allow sediment to settle.
- Use jute netting to cover all areas where vegetation has been removed.
- Practice good housekeeping. Take the necessary measures to prevent dust. Clean-up debris on a daily basis and keep all mud off the street. It may be necessary to install drain rock or pave off-street areas.

Violations of the guidelines can result in the issuance of Stop Work Orders, fines, and revocations of the permit.



- NOTES:**
- INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%).
 - USE 1X4 WOOD OR EQUIVALENT METAL STAKES, (3 FT MIN LENGTH).
 - THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.
 - GRAVEL BAGS TO BE USED IN LIEU OF STRAW WATTLE AFTER PAVEMENT HAS BEEN INSTALLED.

1 INLET SEDIMENT BARRIER

adobe associates, inc.
civil engineering | land surveying | wastewater
1220 N. Dutton Ave., Suite 200, CA 95401
P: (707) 541-2300 F: (707) 541-2301
Website: www.adobeinc.com "A Service You Can Count On!"

LEE SCHRAM
No. 057890
Exp. 6/30/2025
REGISTERED PROFESSIONAL ENGINEER - CIVIL
STATE OF CALIFORNIA

Timothy L. Schram, RCE 67890
My license expires 6/30/2025

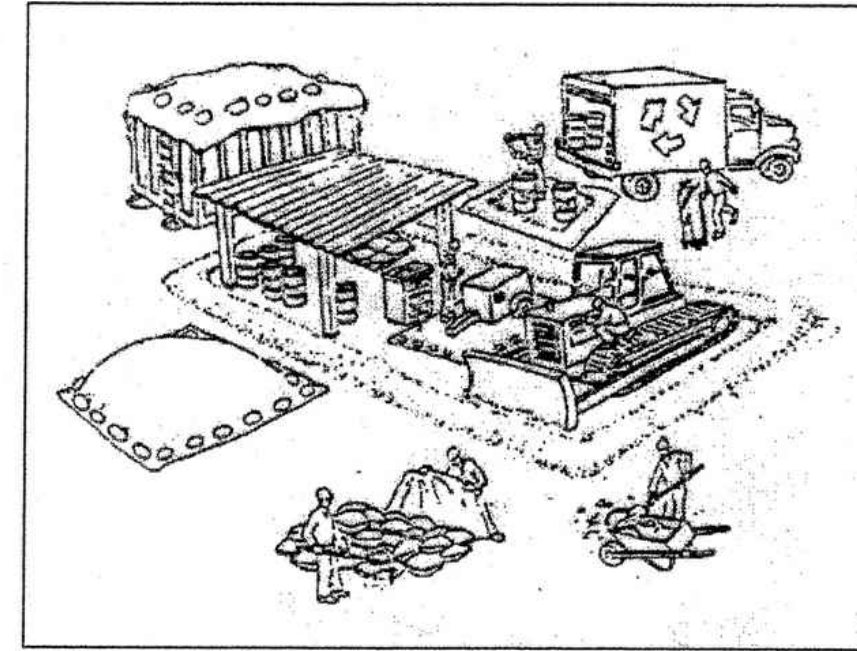
**KLEBAHN RESIDENCE
EROSION AND SEDIMENT CONTROL PLAN**
560 Via De La Vista
Inverness, California
APN 112-050-22

SCALE: AS SHOWN
Date: NOVEMBER, 7, 2023
Design by: MJ
Drawn by: MJ
Checked by: ZR

Sheet
EC1.0
7 of 8 Sheets
Job 22061

Pollution Prevention – It's Part of the Plan

Make sure your crews and subs do the job right!



Runoff from streets and other paved areas is a major source of pollution in creeks and the Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with pertinent ordinance requirements.

Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water.
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters properly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous material spills to the appropriate agency(s) immediately!

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



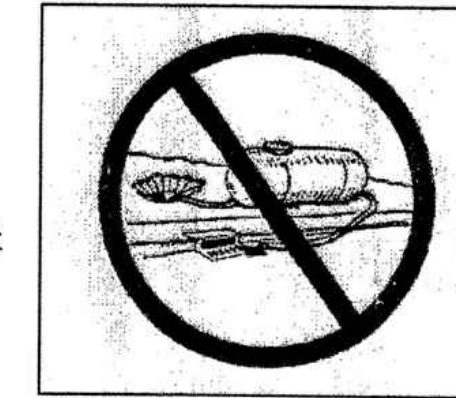
Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure, to prevent erosion.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Local Agency for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Local Agency instructions.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call the Local Agency's Stormwater Manager before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Local Agency to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

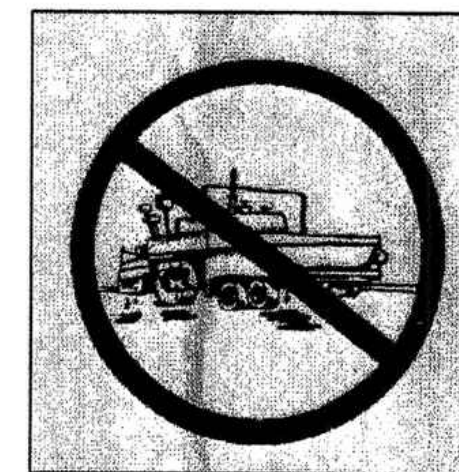
- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain. If a suitable dirt area is not available, filter the wash water through hay bales before discharging to a storm drain.

Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street.
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

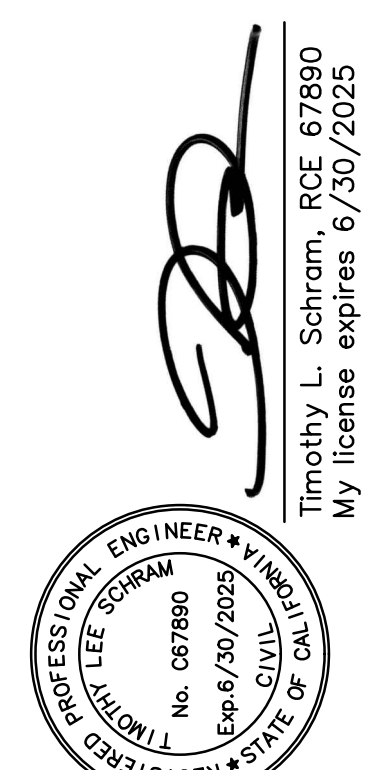


Storm drain polluters may be liable for fines!

For more detailed information, contact the Stormwater Manager of the appropriate local agency.

No.	Date	Description	Approved

adobe associates, inc.
 civil engineering | land surveying | wastewater
 1220 N. Dutton Ave., Santa Rosa, CA 95401
 P: (707) 541-2300 F: (707) 541-2301
 Website: www.adobeinc.com
 "A Service You Can Count On!"



**KLEBAHN RESIDENCE
 BEST MANAGEMENT PRACTICES**
 560 Via De La Vista
 Inverness, California
 APN 112-050-22

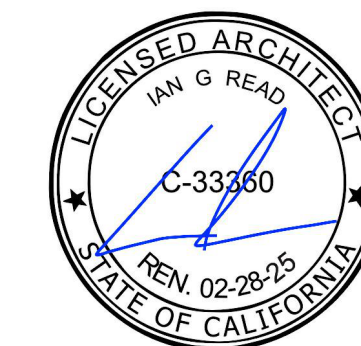
SCALE: AS SHOWN
 Date: NOVEMBER, 7, 2023
 Design by: MJ
 Drawn by: MJ
 Checked by: ZR

Sheet
EC2.0
 8 of 8 Sheets
 Job 22061

CONTACT

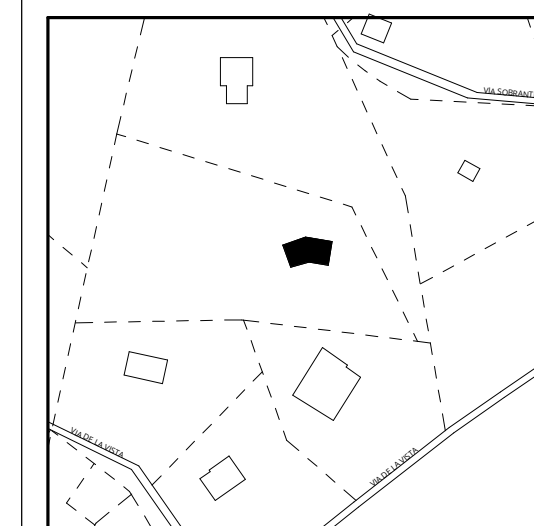
MEDIUM PLENTY
 1729 Telegraph Avenue, Suite A
 Oakland, CA 94612
 info@mediumplenty.com
 P 415 658 5249
 F 415 871 2215

ARCHITECT'S SEAL

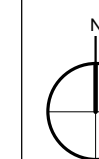


PROJECT

Klebahn Residence
 560 Via de la Vista
 Inverness, CA 94937



Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.



REVISION + ISSUES

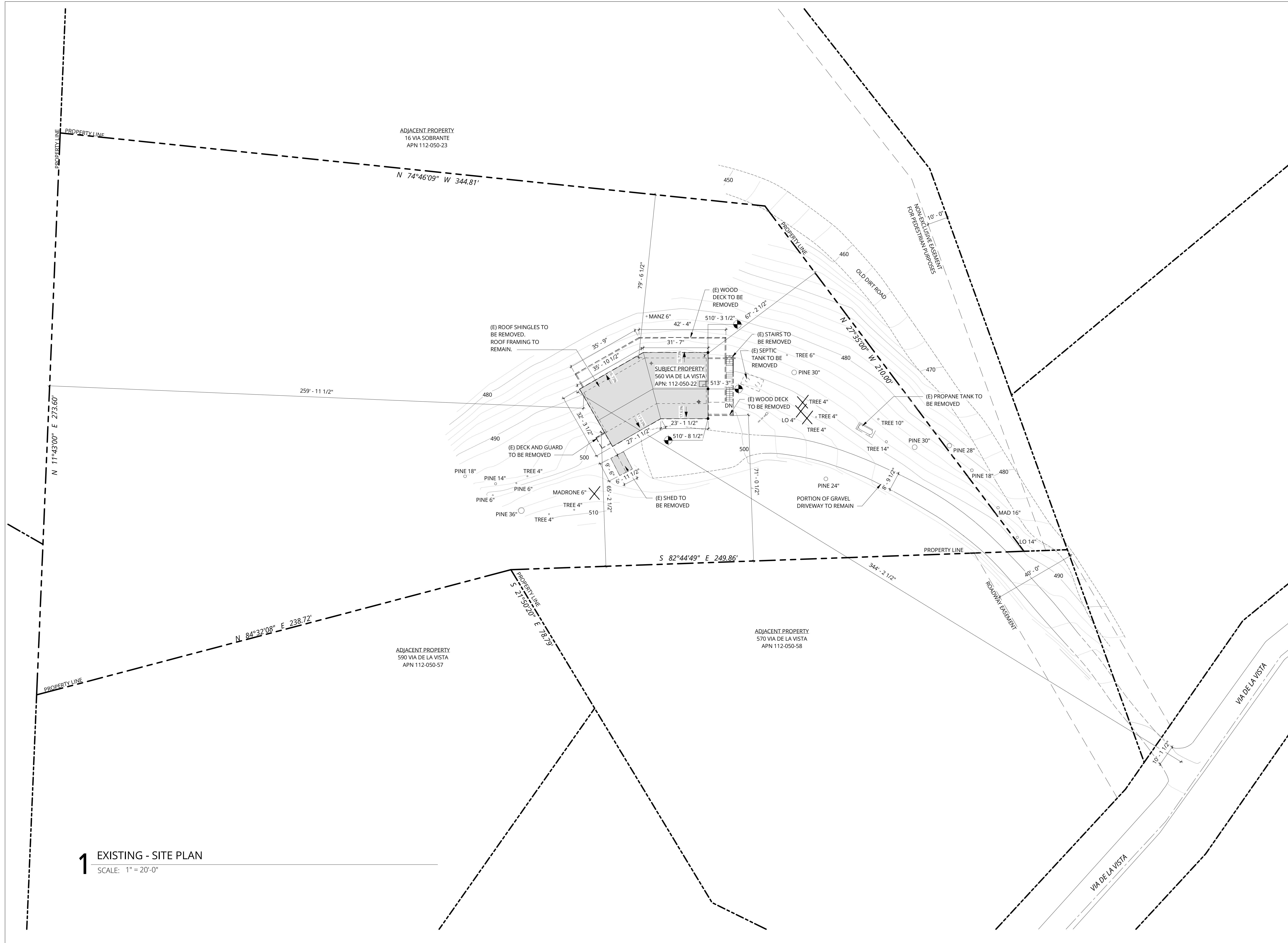
No.	Description	Date
1	Planning Coastal Permit	08.10.23
2	Coastal Permit Rev. 1	11.07.23

EXISTING / DEMO SITE PLAN

PHASE SCALE 1" = 20'-0"

A 002

NOT FOR CONSTRUCTION



1 EXISTING - SITE PLAN
 SCALE: 1" = 20'-0"

CONTACT

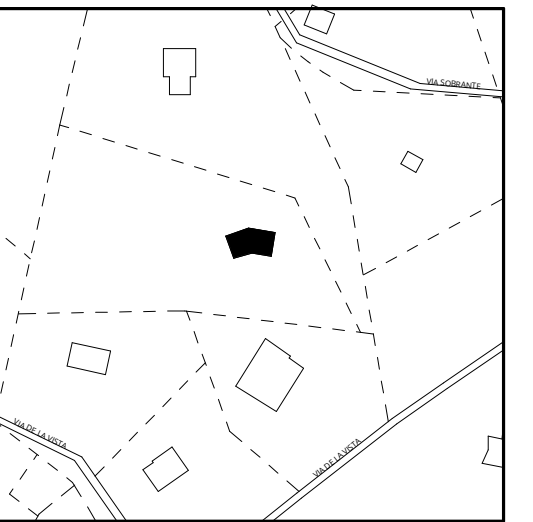
MEDIUM PLENTY
 1729 Telegraph Avenue, Suite A
 Oakland, CA 94612
 info@mediumplenty.com
 P 415 658 5249
 F 415 871 2215

ARCHITECT'S SEAL

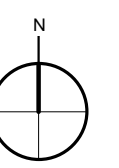


PROJECT

Klebahn Residence
 560 Via de la Vista
 Inverness, CA 94937



Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.



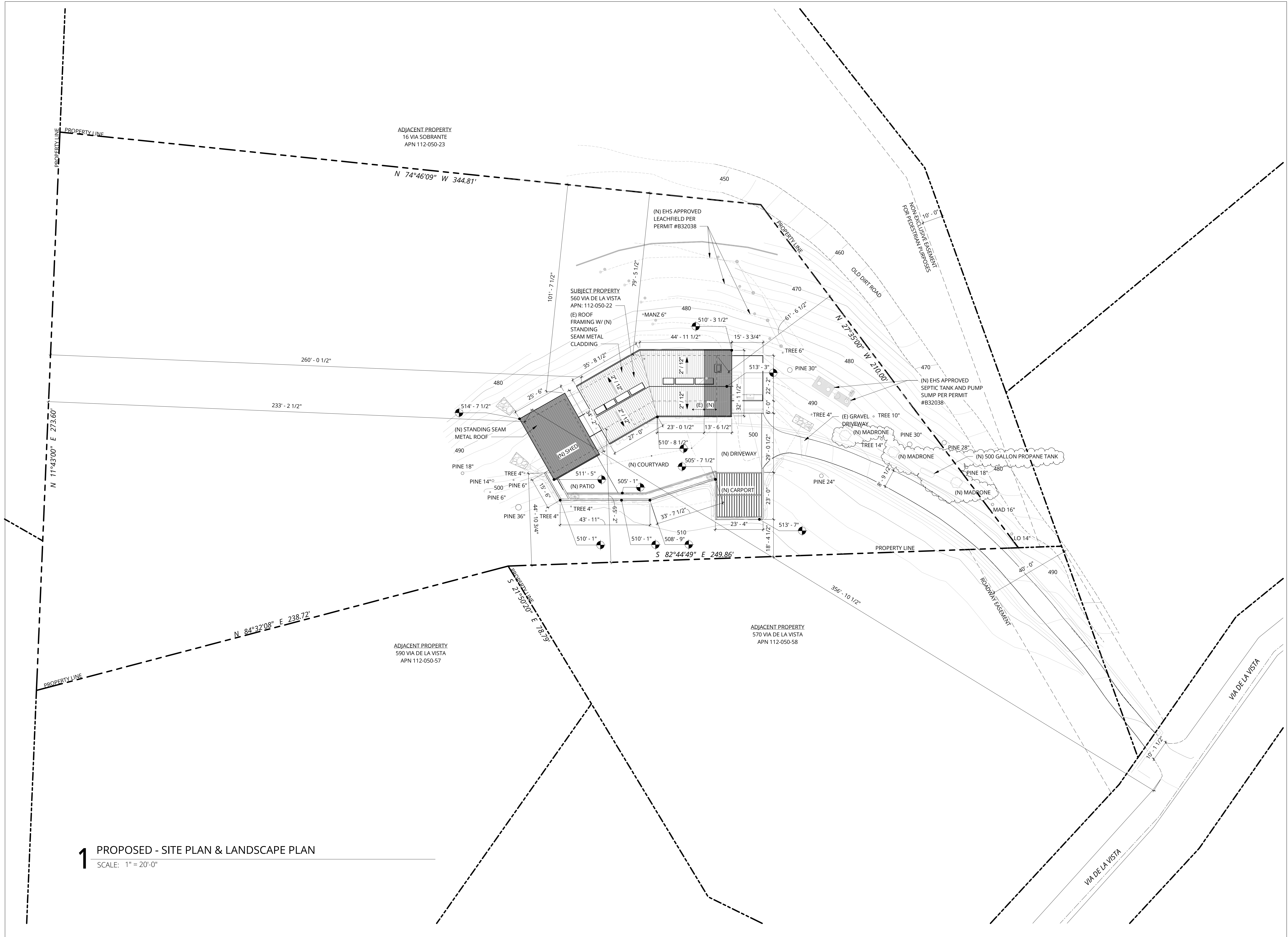
REVISION + ISSUES

No.	Description	Date
1	Planning Coastal Permit	08.10.23
2	Coastal Permit Rev. 1	11.07.23

PROPOSED SITE / LANDSCAPE PLAN

PHASE SCALE 1" = 20'-0"

A 003
 NOT FOR CONSTRUCTION

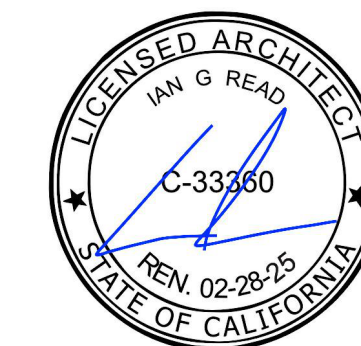


1 PROPOSED - SITE PLAN & LANDSCAPE PLAN
 SCALE: 1" = 20'-0"

CONTACT

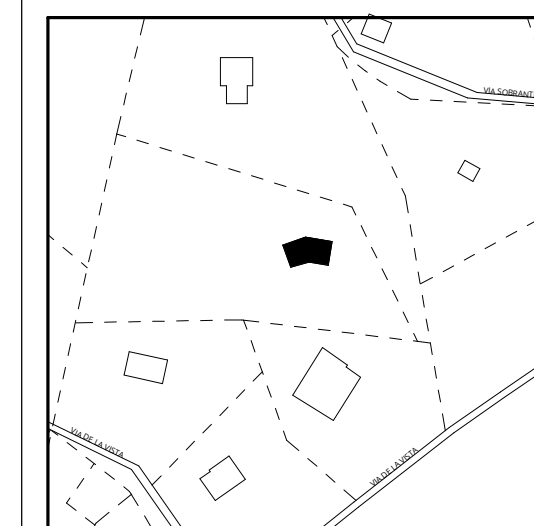
MEDIUM PLENTY
 1729 Telegraph Avenue, Suite A
 Oakland, CA 94612
 info@mediumplenty.com
 P 415 658 5249
 F 415 871 2215

ARCHITECT'S SEAL

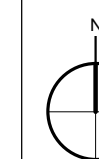


PROJECT

Klebahn Residence
 560 Via de la Vista
 Inverness, CA 94937

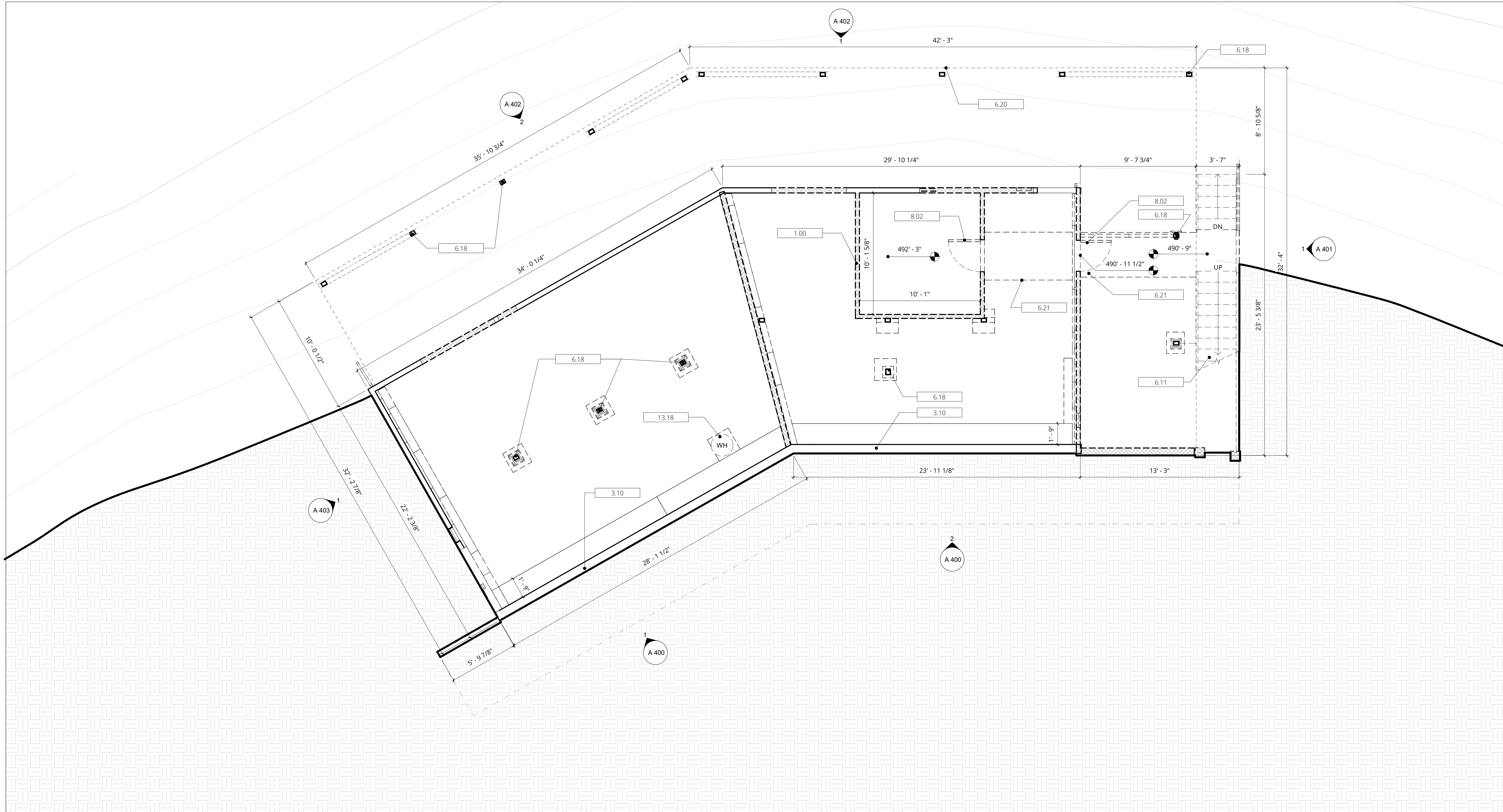


Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.



REVISION + ISSUES

No.	Description	Date
1	Planning Coastal Permit	08.10.23
2	Coastal Permit Rev. 1	11.07.23



1 EXISTING - LEVEL 0 PLAN

SCALE: 1/4" = 1'-0"

KEYNOTES	X.XX
1.00	(E) PORTION OF WALL TO BE REMOVED, TYP.
3.10	(E) CONCRETE RETAINING WALL AND FOOTING TO REMAIN, TYP.
6.11	(E) WOOD STAIR TO BE REMOVED
6.18	(E) WOOD POST TO BE DEMOLISHED, TYP.
6.20	DASHED OUTLINE OF WOOD DECK ABOVE TO BE REMOVED
6.21	(E) WOOD RAMP AND WALKWAY TO BE REMOVED
8.02	(E) DOORS TO BE DEMOLISHED, TYP.
13.18	(E) WATER HEATER TO BE REMOVED, TYP.

MATERIAL KEY	X.XX
WD-02	6" T&G CEDAR SIDING
WD-03	6" T&G CEDAR SIDING W/ EBONY STAIN
WD-04	CEDAR TRELLIS
MT-01	KYNAR PAINTED FLASHING & FASCIA
MT-02	WOOD CLAD WINDOWS & DOORS W/ PTD ALUM. EXTERIOR BRONZE
MT-03	PREFINISHED STANDING SEAM MTL ROOF IN MIDNIGHT BRONZE
CO-1	8" HORIZONTAL BOARD FORMED CONCRETE W/ NO PIGMENT

LEGEND	
	PROPERTY LINE
	EXISTING PARTITION TO REMAIN
	NEW EXISTING PARTITION TO BE REMOVED.
	EXISTING ELEMENTS TO BE REMOVED.
	WINDOW TAG
	DOOR TAG
(E) - EXISTING	
(R) - REPLACE	
(N) - NEW	
(E) - EXISTING	
(R) - REPLACE	
(N) - NEW	

EXISTING - LEVEL 0 PLAN

PHASE SCALE As indicated

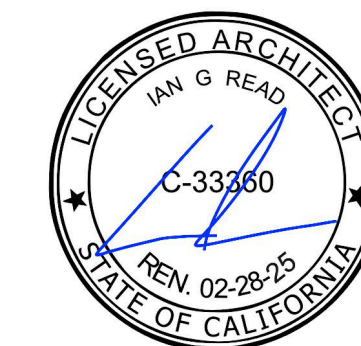
A 101

NOT FOR CONSTRUCTION

CONTACT

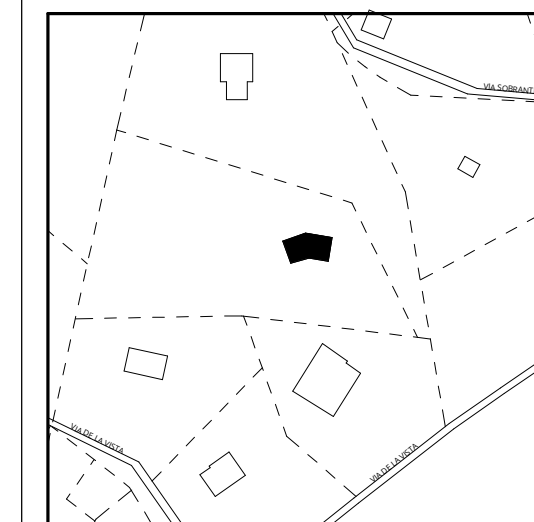
MEDIUM PLENTY
 1729 Telegraph Avenue, Suite A
 Oakland, CA 94612
 info@mediumplenty.com
 P 415 658 5249
 F 415 871 2215

ARCHITECT'S SEAL



PROJECT

Klebahn Residence
 560 Via de la Vista
 Inverness, CA 94937



Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.



REVISION + ISSUES

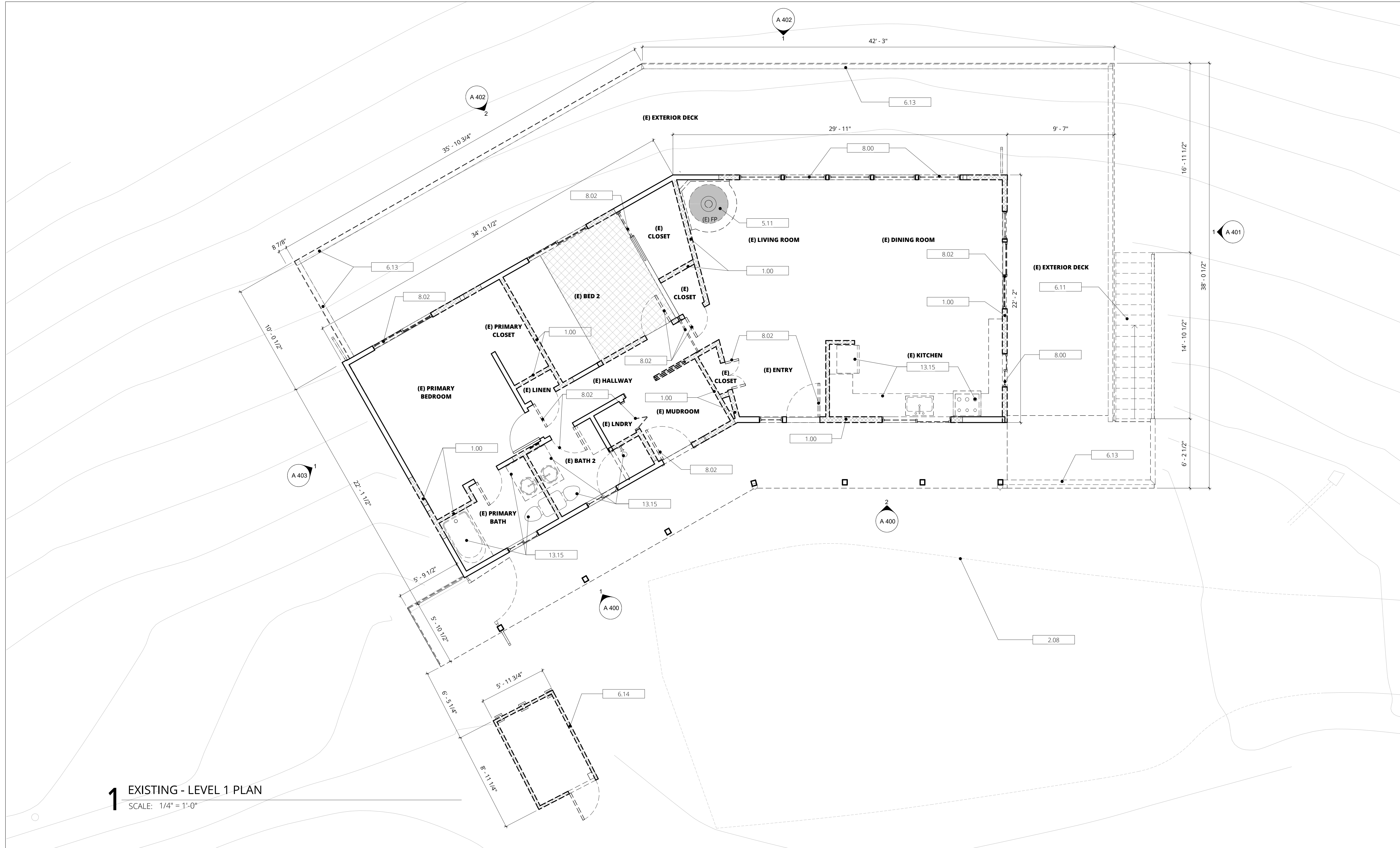
No.	Description	Date
1	Planning Coastal Permit	08.10.23
2	Coastal Permit Rev. 1	11.07.23

EXISTING - LEVEL 1 PLAN

PHASE SCALE: As indicated

A 102

NOT FOR CONSTRUCTION



1 EXISTING - LEVEL 1 PLAN
 SCALE: 1/4" = 1'-0"

KEYNOTES	X.XX
1.00	(E) PORTION OF WALL TO BE REMOVED, TYP.
2.08	DASHED OUTLINE OF (E) PORTION OF GRAVEL DRIVEWAY TO BE REMOVED
5.11	(E) NON-COMPLIANT WOOD STOVE TO BE REPLACED BY EPA PHASE II CERTIFIED WOOD BURNING STOVE PER MARIN COUNTY WOOD SMOKE ORDINANCE 3395
6.11	(E) WOOD STAIR TO BE REMOVED
6.13	(E) DECK AND GUARD TO BE REMOVED
6.14	(E) WOOD SHED TO BE REMOVED
8.00	(E) WINDOWS TO BE REMOVED, TYP.
8.02	(E) DOORS TO BE DEMOLISHED, TYP.
13.15	(E) PLUMBING FIXTURES AND COUNTERTOPS TO BE REMOVED, TYP.

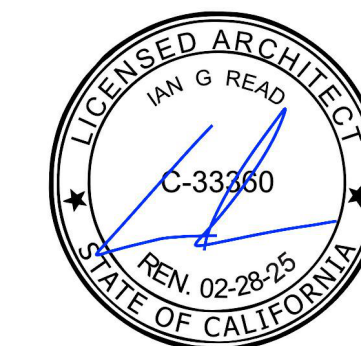
MATERIAL KEY	X.XX
WD-02	6" T&G CEDAR SIDING
WD-03	6" T&G CEDAR SIDING W/ EBONY STAIN
WD-04	CEDAR TRELLIS
MT-01	KYNAR PAINTED FLASHING & FASCIA
MT-02	WOOD CLAD WINDOWS & DOORS W/ PTD ALUM. EXTERIOR BRONZE
MT-03	PREFINISHED STANDING SEAM MTL ROOF IN MIDNIGHT BRONZE
CO-1	8" HORIZONTAL BOARD FORMED CONCRETE W/ NO PIGMENT

LEGEND	DESCRIPTION
---	PROPERTY LINE
---	EXISTING PARTITION TO REMAIN
---	NEW PARTITION TO BE REMOVED.
---	EXISTING ELEMENTS TO BE REMOVED.
#	WINDOW TAG
XXX	DOOR TAG

CONTACT

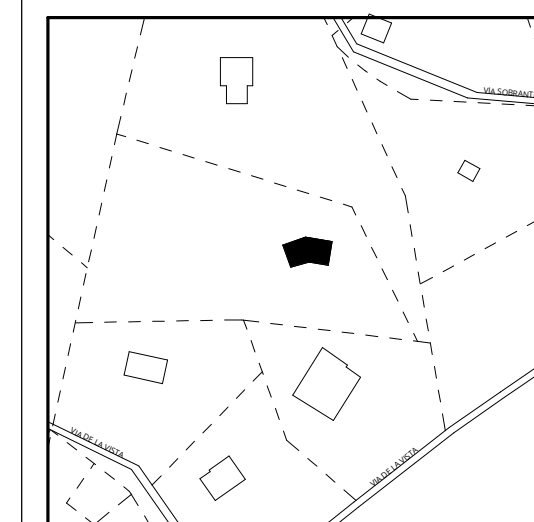
MEDIUM PLENTY
 1729 Telegraph Avenue, Suite A
 Oakland, CA 94612
 info@mediumplenty.com
 P 415 658 5249
 F 415 871 2215

ARCHITECT'S SEAL

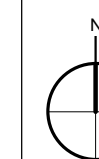


PROJECT

Klebahn Residence
 560 Via de la Vista
 Inverness, CA 94937



Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.



REVISION + ISSUES

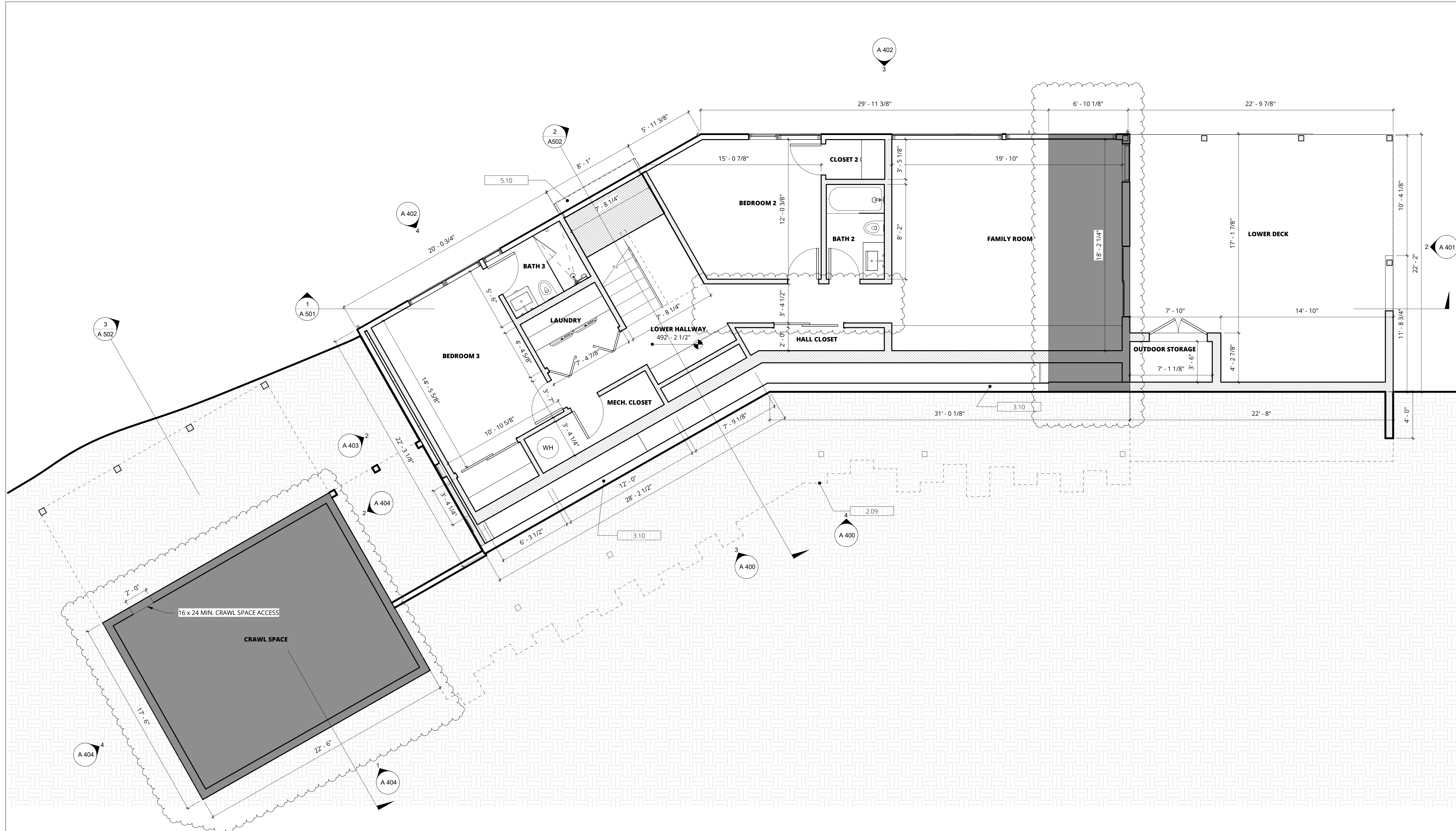
No.	Description	Date
1	Planning Coastal Permit	08.10.23
2	Coastal Permit Rev. 1	11.07.23

PROPOSED - LEVEL 0 PLAN

PHASE SCALE: As indicated

A 103

NOT FOR CONSTRUCTION



1 PROPOSED - LEVEL 0 PLAN
 SCALE: 1/4" = 1'-0"

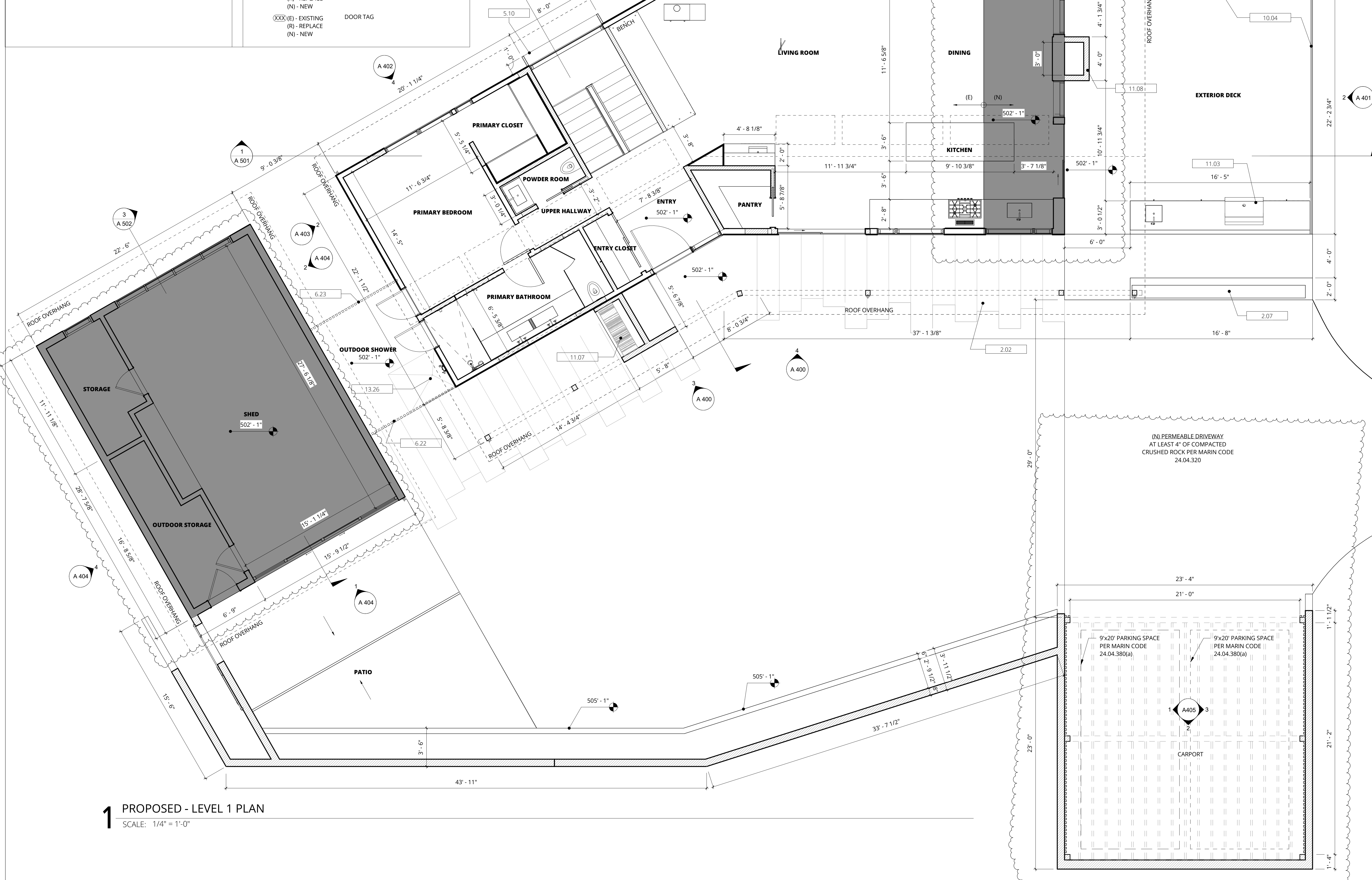
KEYNOTES	X.XX
2.09	DASHED OUTLINE OF (N) PATIO PAVERS ABOVE, TYP.
3.10	(E) CONCRETE RETAINING WALL AND FOOTING TO REMAIN, TYP.
5.10	(N) METAL FIN SURROUND

MATERIAL KEY	X.XX
WD-02	6" T&G CEDAR SIDING
WD-03	6" T&G CEDAR SIDING W/ EBONY STAIN
WD-04	CEDAR TRELLIS
MT-01	KYNAR PAINTED FLASHING & FASCIA
MT-02	WOOD CLAD WINDOWS & DOORS W/ PTD ALUM. EXTERIOR BRONZE
MT-03	PREFINISHED STANDING SEAM MTL ROOF IN MIDNIGHT BRONZE
CO-1	8" HORIZONTAL BOARD FORMED CONCRETE W/ NO PIGMENT

LEGEND	
	PROPERTY LINE
	EXISTING PARTITION TO REMAIN
	NEW EXISTING PARTITION TO BE REMOVED.
	EXISTING ELEMENTS TO BE REMOVED.
	WINDOW TAG
	DOOR TAG

KEYNOTES	X.XX
2.02	(N) LANDSCAPE PAVING, SEE CIVIL DRAWINGS FOR SLOPE AND DRAINAGE, FINISH TBD
2.07	(N) LOW PLANTING AREA
5.10	(N) METAL FIN SURROUND
6.22	WOOD SLAT PRIVACY SCREEN AND SWING GATE
6.23	(N) 5'-0" WOOD SLAT SCREEN
10.04	(N) 42" HIGH TEMPERED GLASS GUARD
11.03	42" PROPANE GAS OUTDOOR GRILL
11.07	(N) BUILT IN FIREWOOD STORAGE
11.08	TWO SIDED PROPANE GAS FIREPLACE
13.26	(N) OUTDOOR SHOWER

LEGEND	
	PROPERTY LINE
	EXISTING PARTITION TO REMAIN
	NEW WALLS
	EXISTING PARTITION TO BE REMOVED.
	EXISTING ELEMENTS TO BE DEMOLISHED.
	WINDOW TAG
	DOOR TAG
# (E) - EXISTING (R) - REPLACE (N) - NEW	
XXX (E) - EXISTING (R) - REPLACE (N) - NEW	

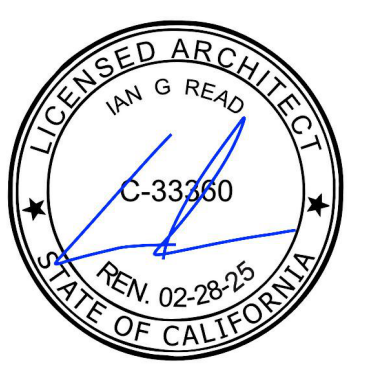


1 PROPOSED - LEVEL 1 PLAN
SCALE: 1/4" = 1'-0"

Medium Plenty

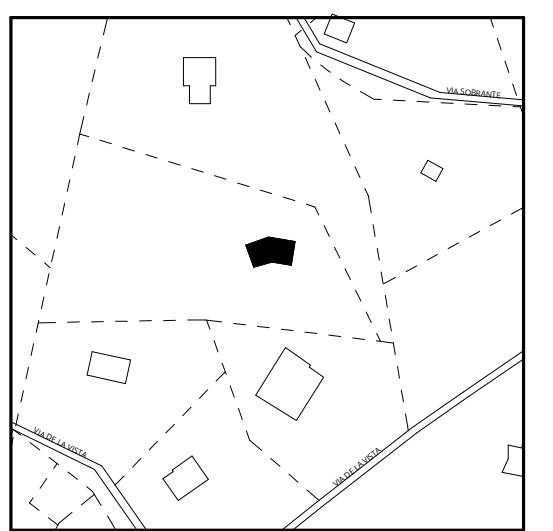
CONTACT
MEDIUM PLENTY
 1729 Telegraph Avenue, Suite A
 Oakland, CA 94612
 info@mediumplenty.com
 P 415 658 5249
 F 415 871 2215

ARCHITECT'S SEAL

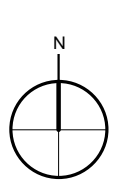


PROJECT

Klebahn Residence
 560 Via de la Vista
 Inverness, CA 94937



Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.



REVISION + ISSUES

No.	Description	Date
1	Planning Coastal Permit	08.10.23
2	Coastal Permit Rev. 1	11.07.23

PROPOSED - LEVEL 1 PLAN

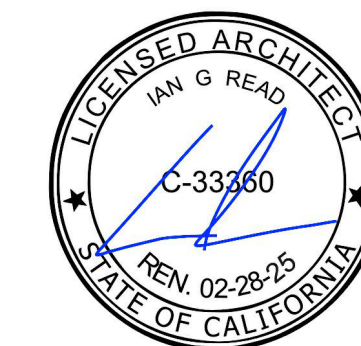
PHASE SCALE As indicated

A 104
 NOT FOR CONSTRUCTION

CONTACT

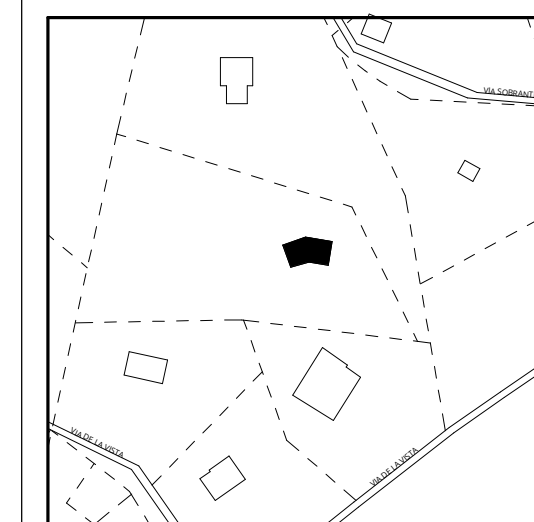
MEDIUM PLENTY
 1729 Telegraph Avenue, Suite A
 Oakland, CA 94612
 info@mediumplenty.com
 P 415 658 5249
 F 415 871 2215

ARCHITECT'S SEAL

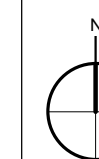


PROJECT

Klebahn Residence
 560 Via de la Vista
 Inverness, CA 94937



Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.



REVISION + ISSUES

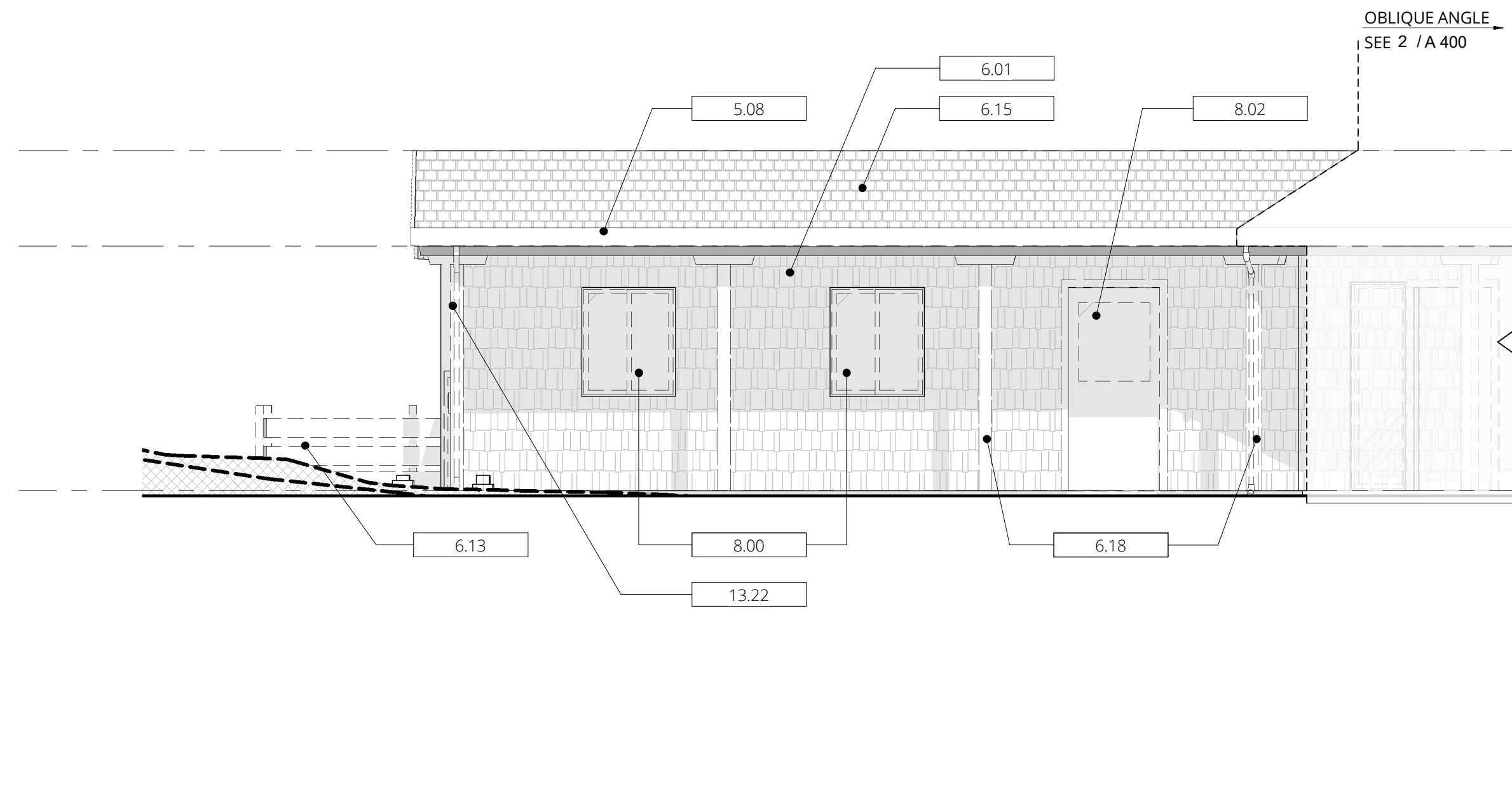
No.	Description	Date
1	Planning Coastal Permit	08.10.23
2	Coastal Permit Rev.1	11.07.23

ELEVATION - EXISTING & PROPOSED - SOUTH

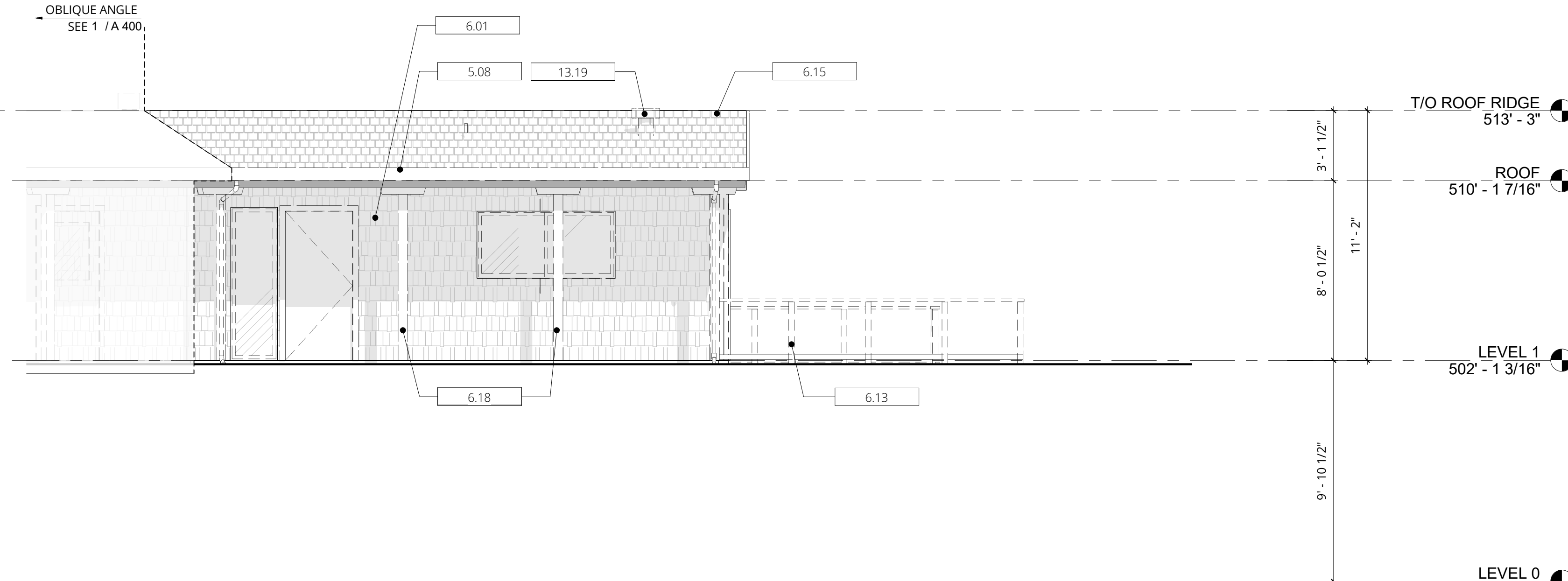
PHASE SCALE As indicated

A 400

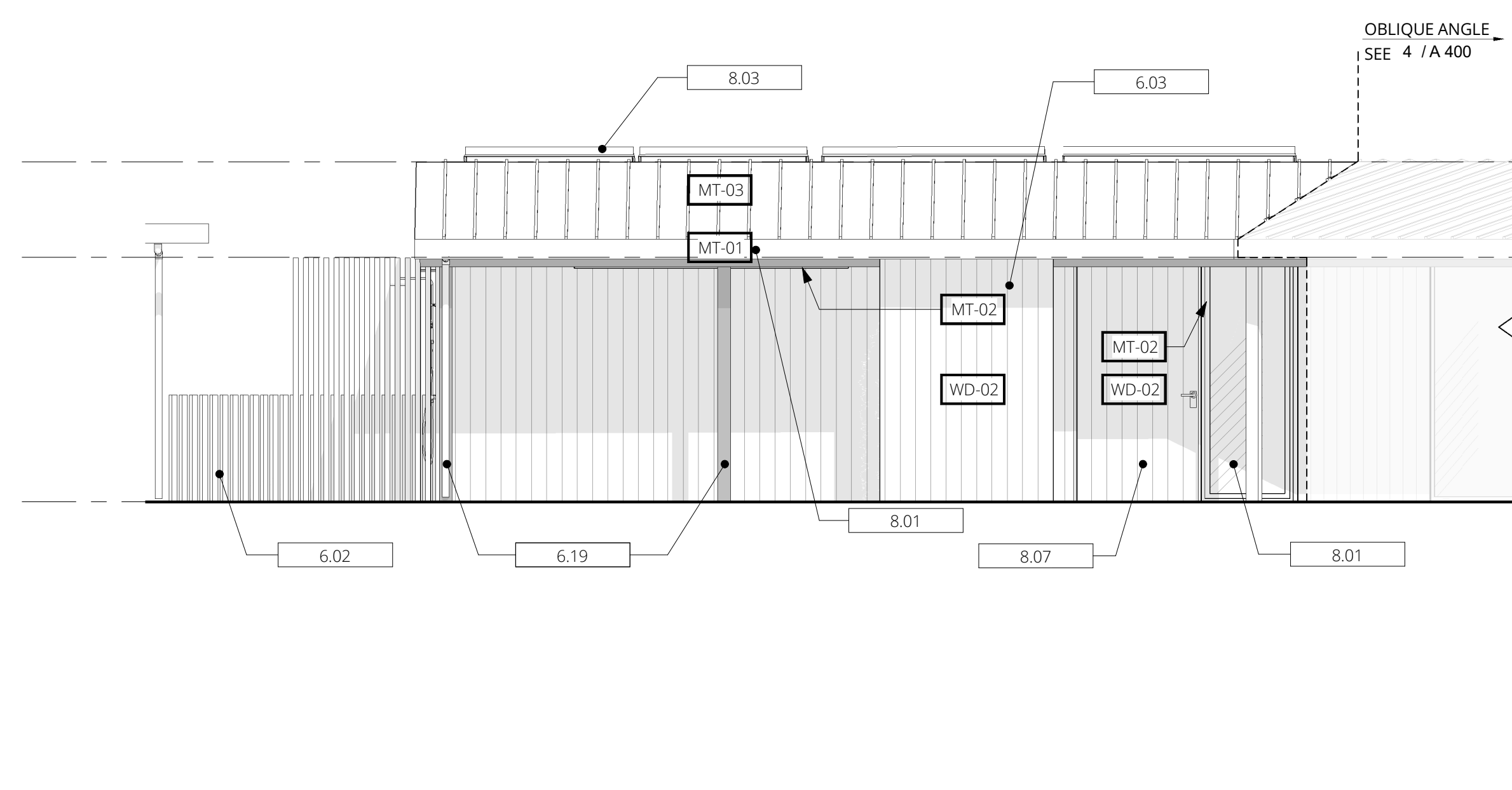
NOT FOR CONSTRUCTION



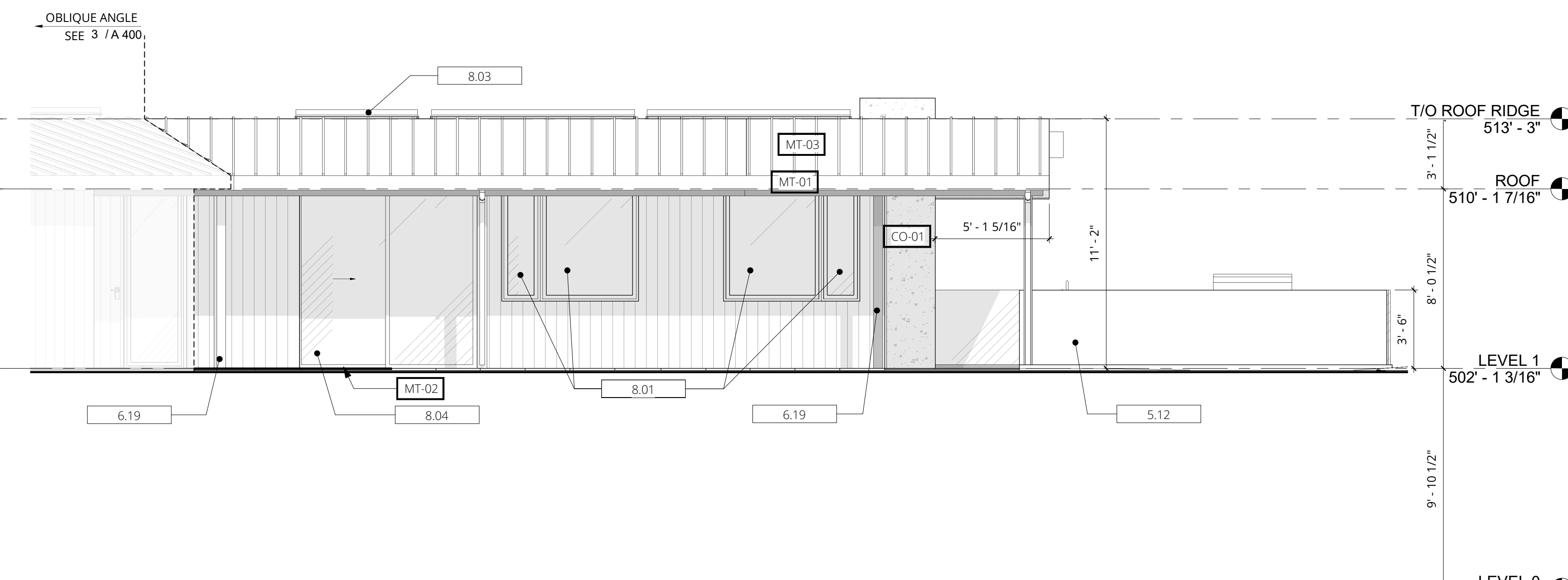
1 EXISTING ELEVATION - SOUTH WEST
 SCALE: 1/4" = 1'-0"



2 EXISTING ELEVATION - SOUTH
 SCALE: 1/4" = 1'-0"



3 PROPOSED ELEVATION - SOUTH WEST
 SCALE: 1/4" = 1'-0"



4 PROPOSED ELEVATION - SOUTH
 SCALE: 1/4" = 1'-0"

KEYNOTES	X.XX
5.08	(E) WOOD FASCIA TO BE REPLACED
5.12	PAINTED METAL PLATE LOW WALL
6.01	(E) PTD. WOOD SHINGLES TO BE REMOVED, TYP.
6.02	(N) VERTICAL WOOD SLAT SCREEN
6.03	(N) VERTICAL T&G EXTERIOR WOOD SIDING
6.13	(E) DECK AND GUARD TO BE REMOVED
6.15	(E) ROOF SHINGLES TO BE REMOVED. ROOF FRAMING TO REMAIN
6.18	(E) WOOD POST TO BE DEMOLISHED, TYP.
6.19	(N) WOOD POST
8.00	(E) WINDOWS TO BE REMOVED, TYP.
8.01	(N) WOOD CLAD WINDOWS, TYP.
8.02	(E) DOORS TO BE DEMOLISHED, TYP.
8.03	(N) INSUL. ALUM. SKYLIGHT
8.04	(N) WOOD CLAD SLIDING DOOR SYSTEM
8.07	(N) SOLID WOOD SWING DOOR
13.19	(E) ROOF EXHAUST TO BE REMOVED

13.22	(E) DOWNSPOUT TO BE REPLACED, TYP.
-------	------------------------------------

--	--

--	--

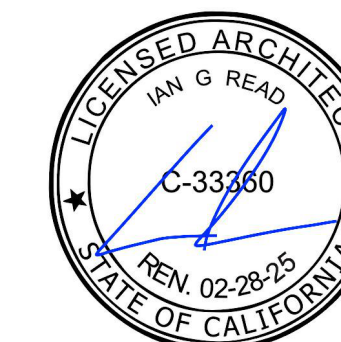
MATERIAL KEY	X.XX
WD-02	6" T&G CEDAR SIDING
WD-03	6" T&G CEDAR SIDING W/ EBONY STAIN
WD-04	CEDAR TRELLIS
MT-01	KYNAR PAINTED FLASHING & FASCIA
MT-02	WOOD CLAD WINDOWS & DOORS W/ PTD ALUM. EXTERIOR
MT-03	PREFINISHED STANDING SEAM MTL ROOF IN MIDNIGHT BRONZE
CO-1	8" HORIZONTAL BOARD FORMED CONCRETE W/ NO PIGMENT

LEGEND	
---	PROPERTY LINE
---	EXISTING PARTITION TO REMAIN
---	NEW EXISTING PARTITION TO BE REMOVED.
---	EXISTING ELEMENTS TO BE REMOVED.
#	WINDOW TAG
XXX	DOOR TAG

CONTACT

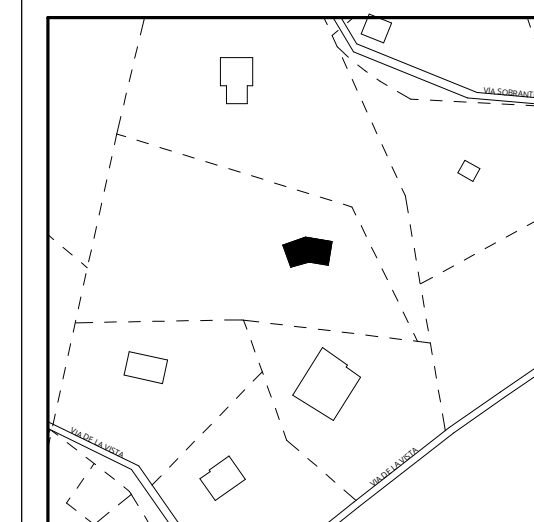
MEDIUM PLENTY
 1729 Telegraph Avenue, Suite A
 Oakland, CA 94612
 info@mediumplenty.com
 P 415 658 5249
 F 415 871 2215

ARCHITECT'S SEAL

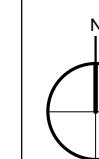


PROJECT

Klebahn Residence
 560 Via de la Vista
 Inverness, CA 94937



Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.



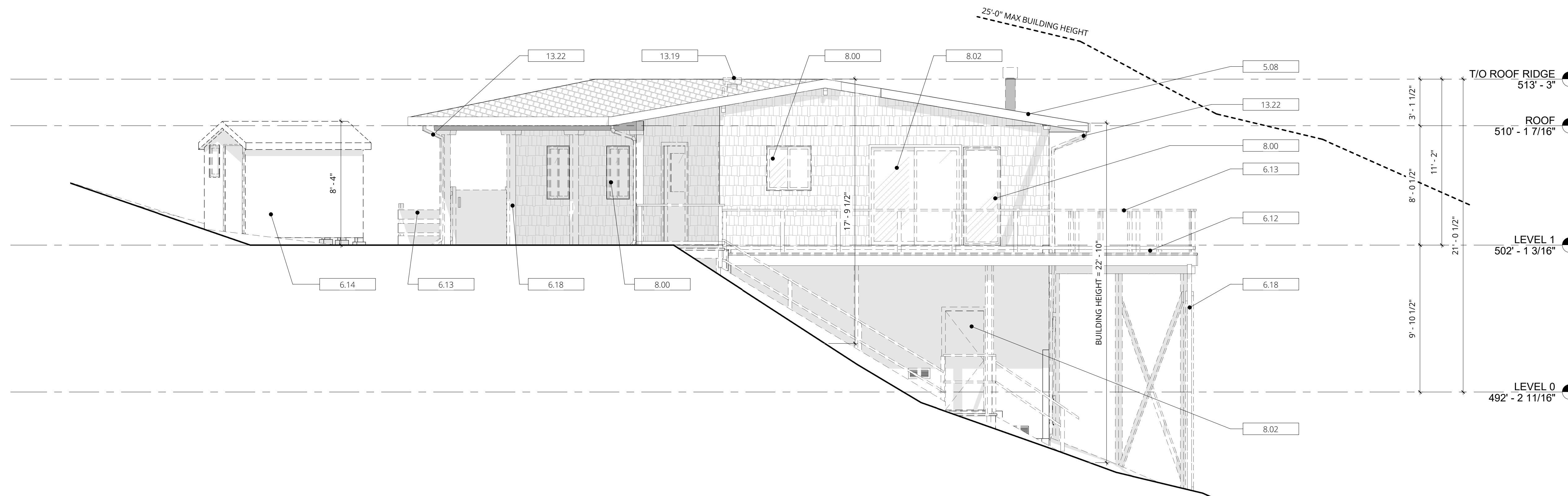
REVISION + ISSUES

No.	Description	Date
1	Planning Coastal Permit	08.10.23
2	Coastal Permit Rev. 1	11.07.23

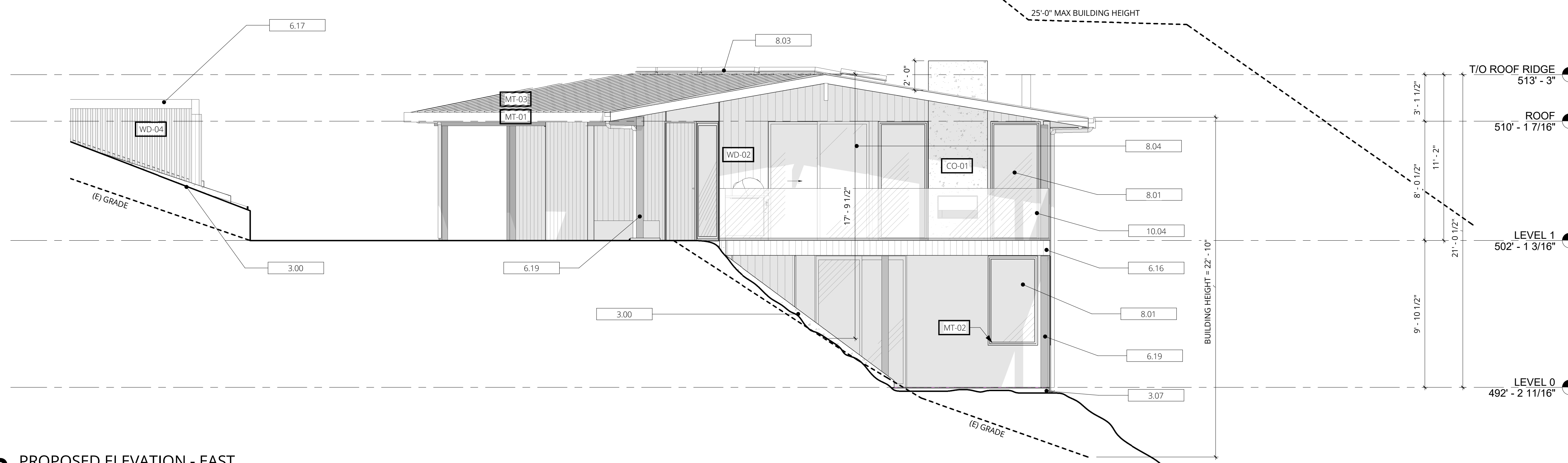
ELEVATION - EXISTING & PROPOSED - EAST

PHASE SCALE: As indicated

A 401
 NOT FOR CONSTRUCTION



1 EXISTING ELEVATION - EAST
 SCALE: 1/4" = 1'-0"



2 PROPOSED ELEVATION - EAST
 SCALE: 1/4" = 1'-0"

KEYNOTES	X.XX		
3.00	CAST-IN-PLACE CONCRETE RETAINING WALL, S.S.D.	10.04	(N) 42" HIGH TEMPERED GLASS GUARD
3.07	(N) CONCRETE PATIO	13.19	(E) ROOF EXHAUST TO BE REMOVED
5.08	(E) WOOD FASCIA TO BE REPLACED	13.22	(E) DOWNSPOUT TO BE REPLACED, TYP.
6.12	(E) WOOD DECK AND FRAMING TO BE REMOVED		
6.13	(E) DECK AND GUARD TO BE REMOVED		
6.14	(E) WOOD SHED TO BE REMOVED		
6.16	(N) WOOD DECK		
6.17	(N) WOOD CARPORT TRELLIS		
6.18	(E) WOOD POST TO BE DEMOLISHED, TYP.		
6.19	(N) WOOD POST		
8.00	(E) WINDOWS TO BE REMOVED, TYP.		
8.01	(N) WOOD CLAD WINDOWS, TYP.		
8.02	(E) DOORS TO BE DEMOLISHED, TYP.		
8.03	(N) INSUL. ALUM. SKYLIGHT		
8.04	(N) WOOD CLAD SLIDING DOOR SYSTEM		

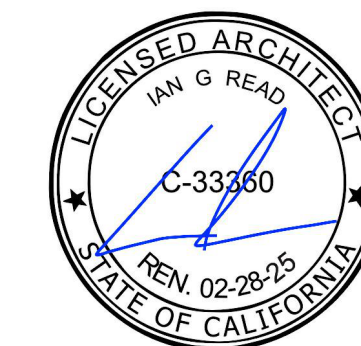
MATERIAL KEY	X.XX		
WD-02	6" T&G CEDAR SIDING		
WD-03	6" T&G CEDAR SIDING W/ EBONY STAIN		
WD-04	CEDAR TRELLIS		
MT-01	KYNAR PAINTED FLASHING & FASCIA		
MT-02	WOOD CLAD WINDOWS & DOORS W/ PTD ALUM. EXTERIOR BRONZE		
MT-03	PREFINISHED STANDING SEAM MTL ROOF IN MIDNIGHT BRONZE		
CO-1	8" HORIZONTAL BOARD FORMED CONCRETE W/ NO PIGMENT		

LEGEND		
---	PROPERTY LINE	
---	EXISTING PARTITION TO REMAIN	
---	NEW EXISTING PARTITION TO BE REMOVED.	
---	EXISTING ELEMENTS TO BE REMOVED.	
#	(E) - EXISTING (R) - REPLACE (N) - NEW	WINDOW TAG
xxx	(E) - EXISTING (R) - REPLACE (N) - NEW	DOOR TAG

CONTACT

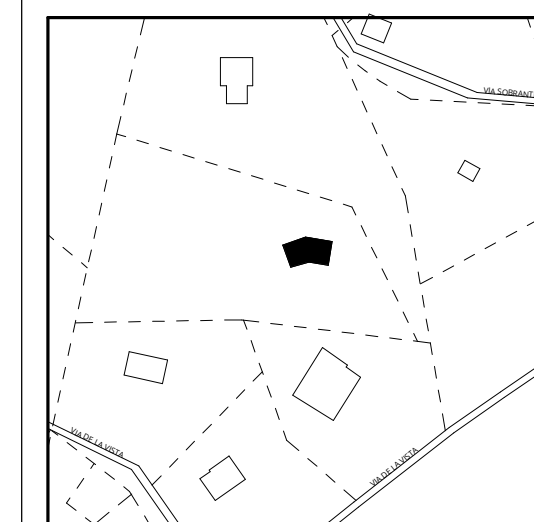
MEDIUM PLENTY
 1729 Telegraph Avenue, Suite A
 Oakland, CA 94612
 info@mediumplenty.com
 P 415 658 5249
 F 415 871 2215

ARCHITECT'S SEAL

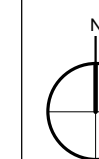


PROJECT

Klebahn Residence
 560 Via de la Vista
 Inverness, CA 94937



Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.



REVISION + ISSUES

No.	Description	Date
1	Planning Coastal Permit	08.10.23
2	Coastal Permit Rev. 1	11.07.23

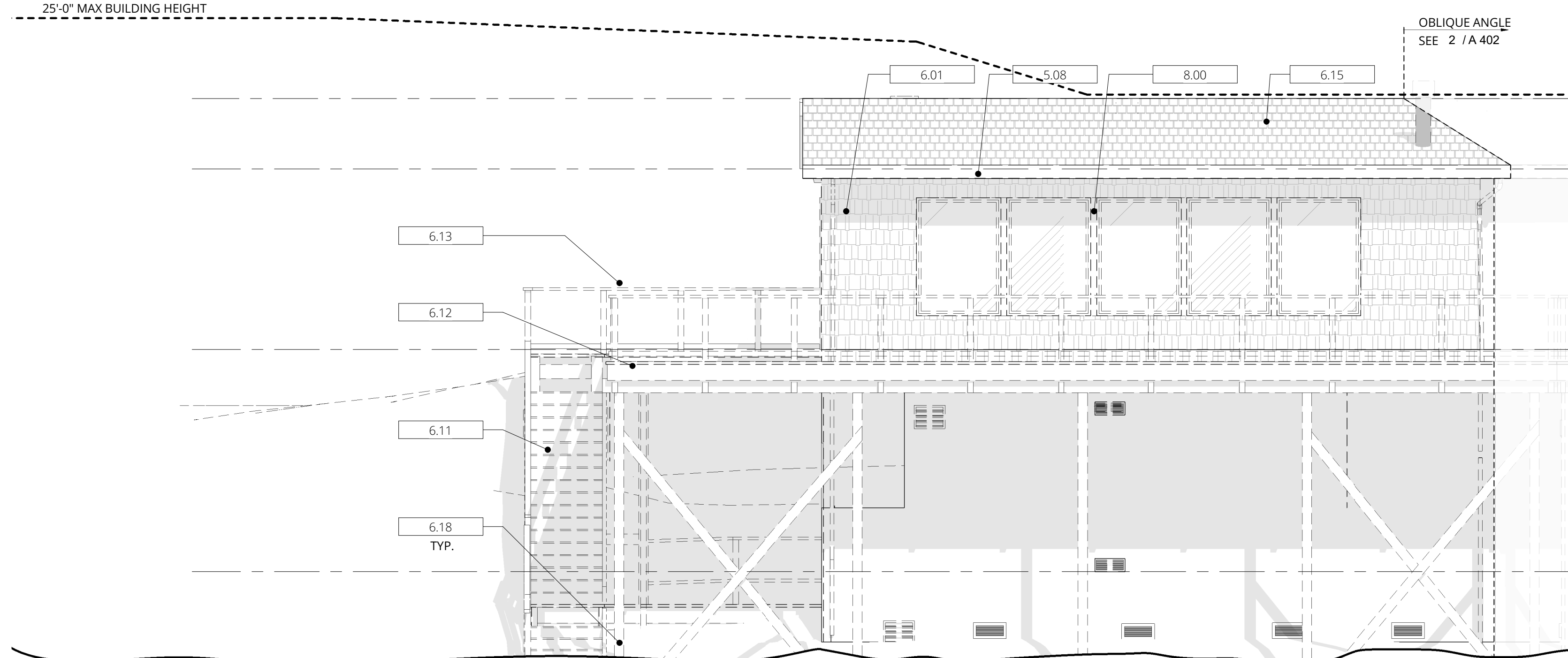
ELEVATION - EXISTING & PROPOSED - NORTH

PHASE SCALE As indicated

A 402

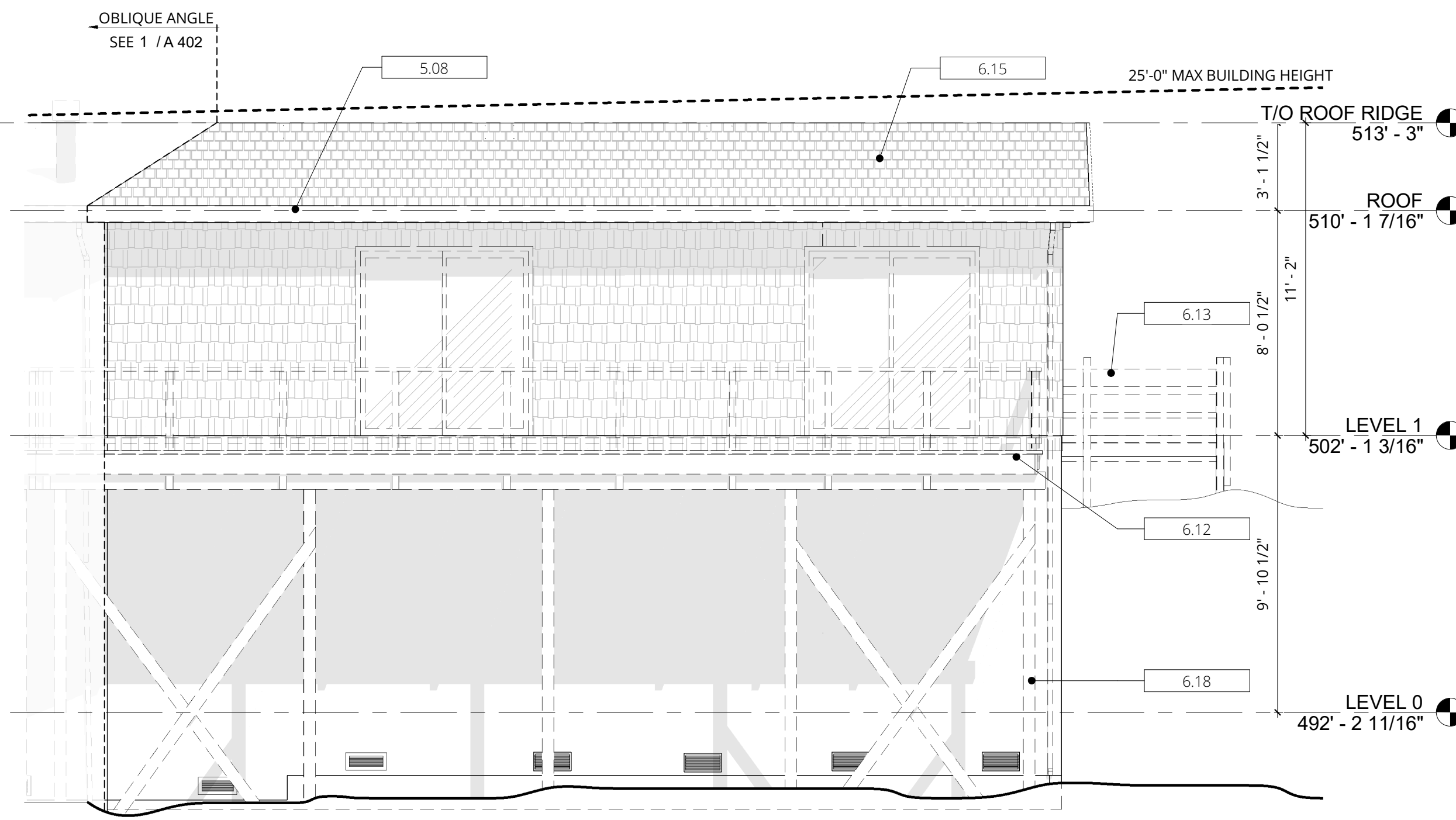
NOT FOR CONSTRUCTION

25'-0" MAX BUILDING HEIGHT



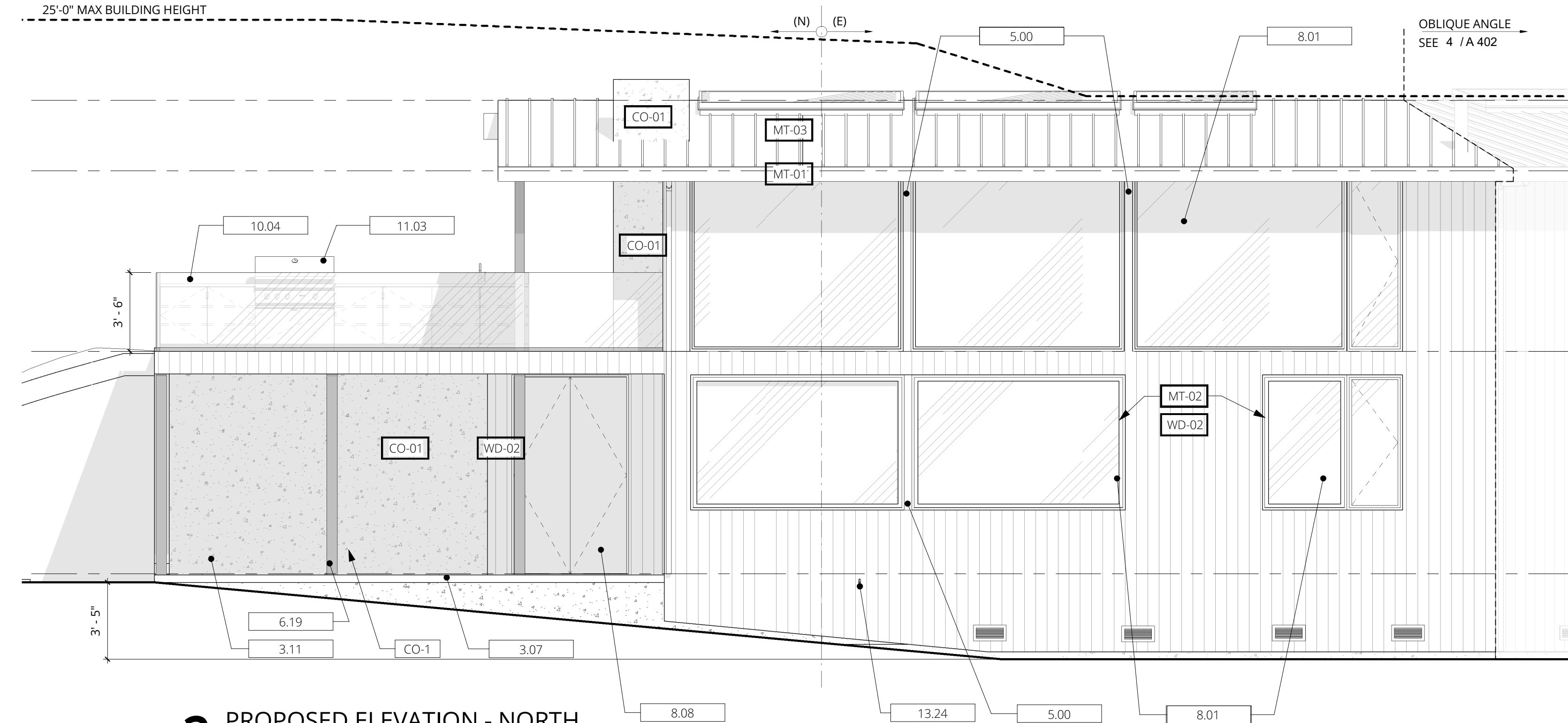
1 EXISTING ELEVATION - NORTH
 SCALE: 1/4" = 1'-0"

OBLIQUE ANGLE SEE 1 / A 402



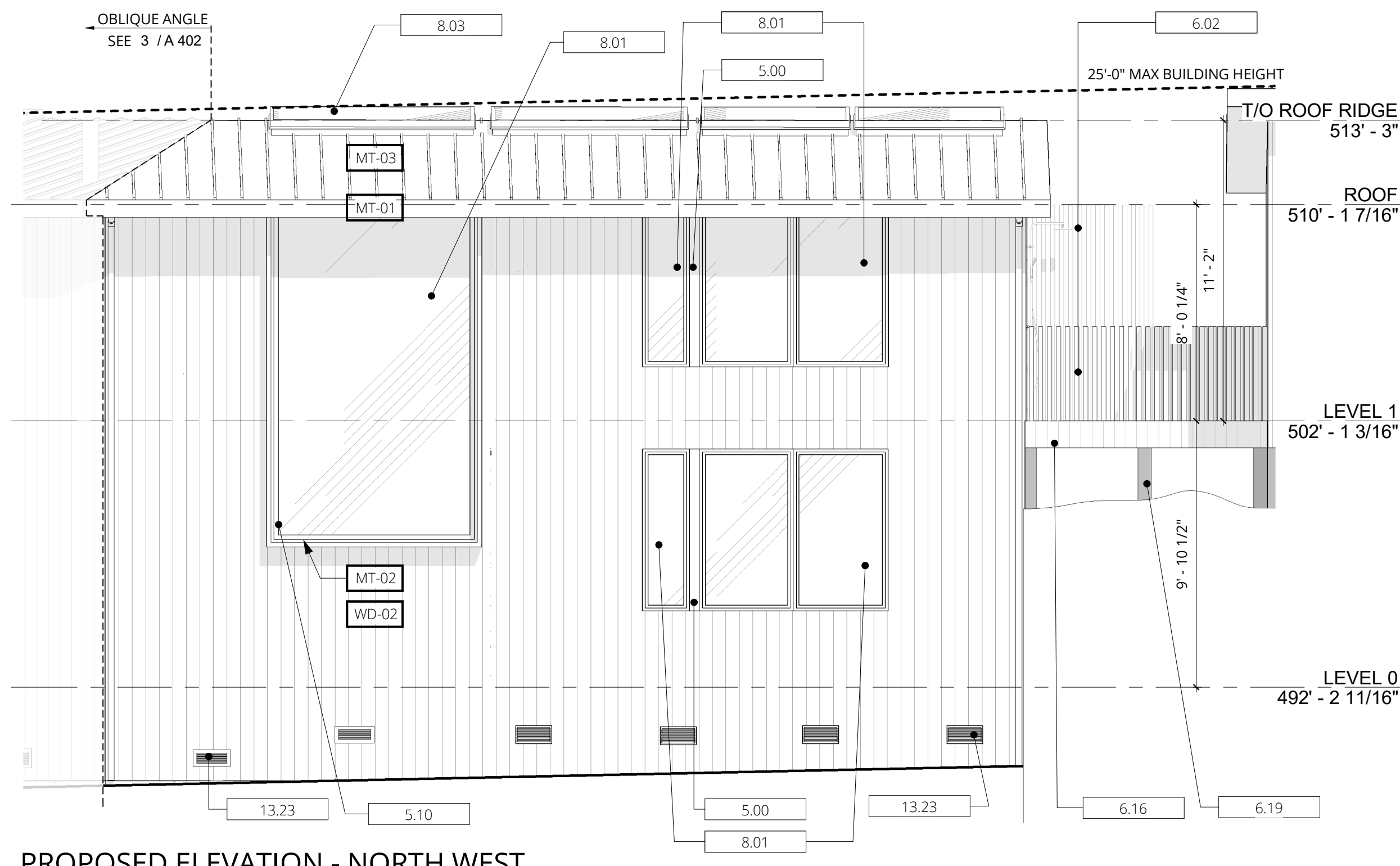
2 EXISTING ELEVATION - NORTH WEST
 SCALE: 1/4" = 1'-0"

25'-0" MAX BUILDING HEIGHT



3 PROPOSED ELEVATION - NORTH
 SCALE: 1/4" = 1'-0"

OBLIQUE ANGLE SEE 3 / A 402



4 PROPOSED ELEVATION - NORTH WEST
 SCALE: 1/4" = 1'-0"

KEYNOTES

Keynote	Description	Keynote	Description
3.07	(N) CONCRETE PATIO	8.01	(N) WOOD CLAD WINDOWS, TYP.
3.11	(N) METAL FIN SURROUND	8.03	(N) INSUL. ALUM. SKYLIGHT
5.00	FLUSH ALUM. BREAKSHAPE TO MATCH WINDOW FRAMES	8.08	(N) T&G WOOD DOOR TO MATCH ADJACENT WALL
5.08	(E) WOOD FASCIA TO BE REPLACED	10.04	(N) 42" HIGH TEMPERED GLASS GUARD
5.10	(N) METAL FIN SURROUND	11.03	42" PROPANE GAS OUTDOOR GRILL
6.01	(E) PTD. WOOD SHINGLES TO BE REMOVED, TYP.	13.23	(E) CRAWLSPACE VENT, REPAIR AND REPLACE AS NEEDED, TYP. VENT MESH TO BE WUI COMPLIANT
6.02	(N) VERTICAL WOOD SLAT SCREEN	13.24	(E) HOSEBIB
6.11	(E) WOOD STAIR TO BE REMOVED		
6.12	(E) WOOD DECK AND FRAMING TO BE REMOVED		
6.13	(E) DECK AND GUARD TO BE REMOVED		
6.15	(E) ROOF SHINGLES TO BE REMOVED. ROOF FRAMING TO REMAIN		
6.16	(N) WOOD DECK		
6.18	(E) WOOD POST TO BE DEMOLISHED, TYP.		
6.19	(N) WOOD POST		
8.00	(E) WINDOWS TO BE REMOVED, TYP.		

MATERIAL KEY

Material Key	Description
WD-02	6" T&G CEDAR SIDING
WD-03	6" T&G CEDAR SIDING W/ EBONY STAIN
WD-04	CEDAR TRELLIS
MT-01	KYNAR PAINTED FLASHING & FASCIA
MT-02	WOOD CLAD WINDOWS & DOORS W/ PTD ALUM. EXTERIOR
MT-03	PREFINISHED STANDING SEAM MTL ROOF IN MIDNIGHT BRONZE
CO-1	8" HORIZONTAL BOARD FORMED CONCRETE W/ NO PIGMENT

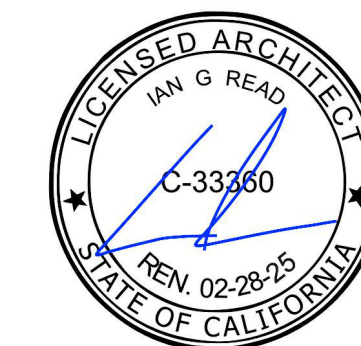
LEGEND

	PROPERTY LINE
	EXISTING PARTITION TO REMAIN
	NEW EXISTING PARTITION TO BE REMOVED.
	EXISTING ELEMENTS TO BE REMOVED.
	WINDOW TAG
	DOOR TAG

CONTACT

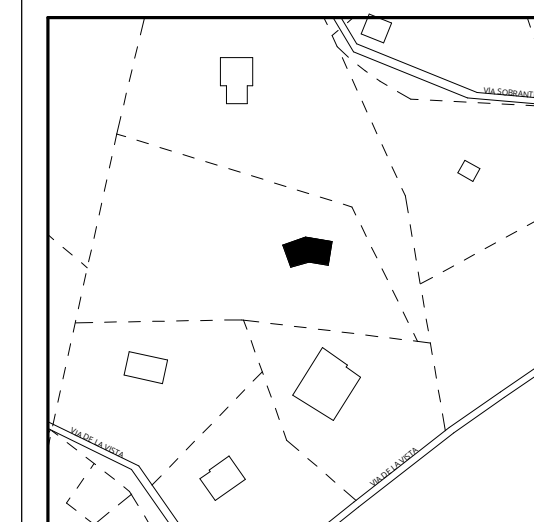
MEDIUM PLENTY
 1729 Telegraph Avenue, Suite A
 Oakland, CA 94612
 info@mediumplenty.com
 P 415 658 5249
 F 415 871 2215

ARCHITECT'S SEAL

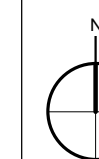


PROJECT

Klebahn Residence
 560 Via de la Vista
 Inverness, CA 94937



Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.



REVISION + ISSUES

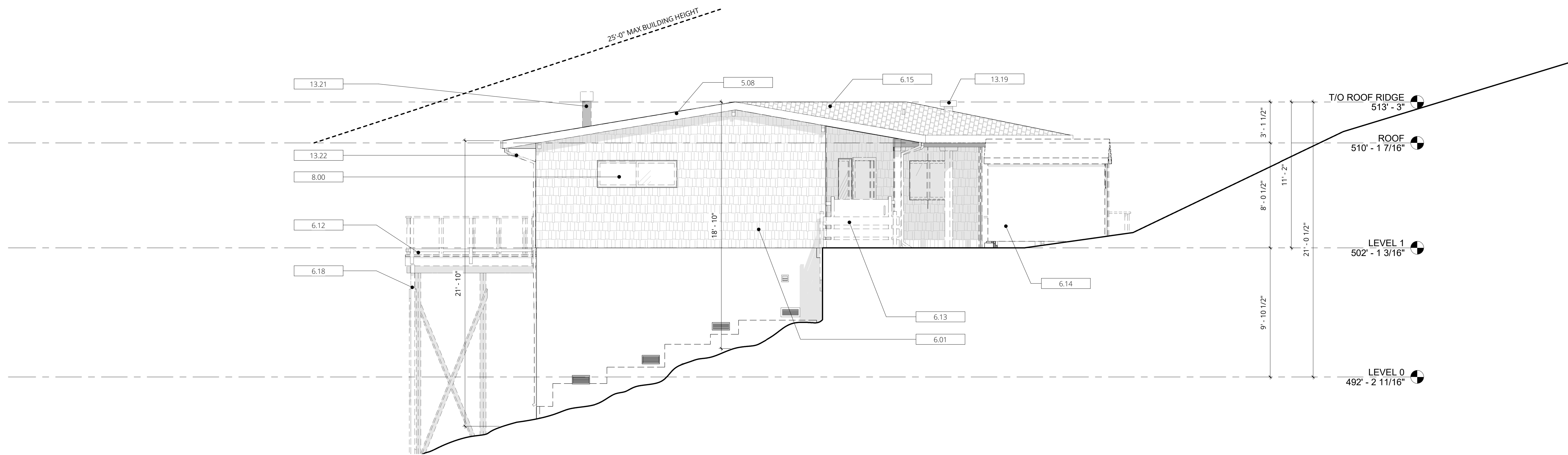
No.	Description	Date
1	Planning Coastal Permit	08.10.23
2	Coastal Permit Rev.1	11.07.23

ELEVATION - EXISTING & PROPOSED - WEST

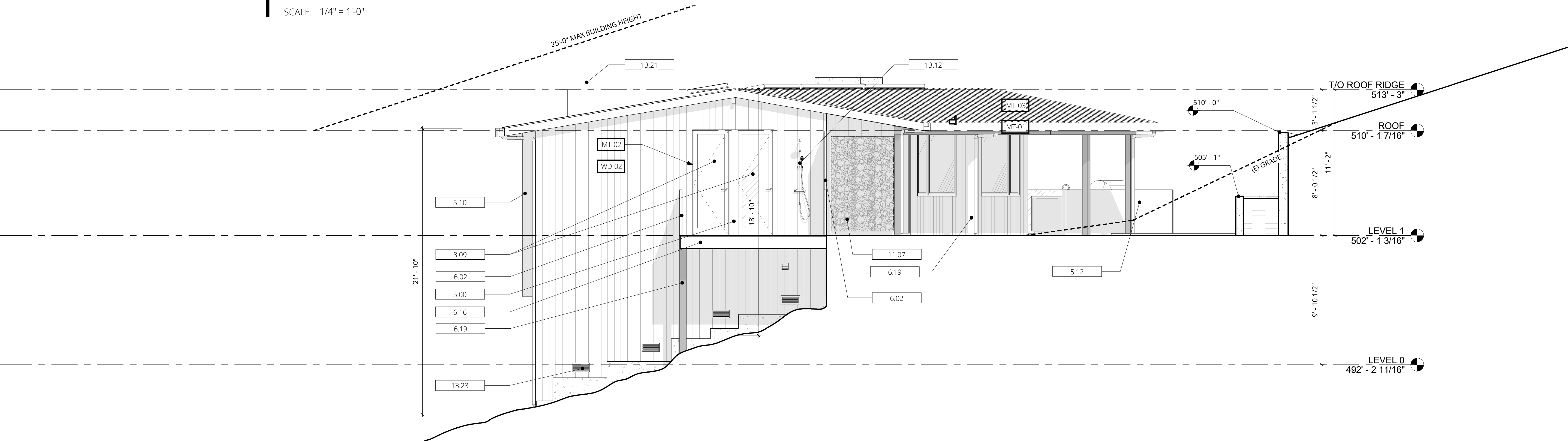
PHASE SCALE As indicated

A 403

NOT FOR CONSTRUCTION



1 EXISTING ELEVATION - WEST
 SCALE: 1/4" = 1'-0"



2 PROPOSED ELEVATION - WEST
 SCALE: 1/4" = 1'-0"

KEYNOTES	X.XX
5.00	FLUSH ALUM. BREAKSHAPE TO MATCH WINDOW FRAMES
5.08	(E) WOOD FASCIA TO BE REPLACED
5.10	(N) METAL FIN SURROUND
5.12	PAINTED METAL PLATE LOW WALL
6.01	(E) PTD. WOOD SHINGLES TO BE REMOVED, TYP.
6.02	(N) VERTICAL WOOD SLAT SCREEN
6.12	(E) WOOD DECK AND FRAMING TO BE REMOVED
6.13	(E) DECK AND GUARD TO BE REMOVED
6.14	(E) WOOD SHED TO BE REMOVED
6.15	(E) ROOF SHINGLES TO BE REMOVED. ROOF FRAMING TO REMAIN
6.16	(N) WOOD DECK
6.18	(E) WOOD POST TO BE DEMOLISHED, TYP.
6.19	(N) WOOD POST

8.00	(E) WINDOWS TO BE REMOVED, TYP.
8.09	(N) WOOD CLAD EXTERIOR SWING DOORS
11.07	(N) BUILT IN FIREWOOD STORAGE
13.12	WALL-MOUNTED SHOWER VALVE, SEE PLUMBING SPECIFICATION
13.19	(E) ROOF EXHAUST TO BE REMOVED
13.21	(E) CHIMNEY TO REMAIN; REPAIR AS NEEDED
13.22	(E) DOWNSPOUT TO BE REPLACED, TYP.
13.23	(E) CRAWLSPACE VENT, REPAIR AND REPLACE AS NEEDED, TYP. VENT MESH TO BE WUI COMPLIANT

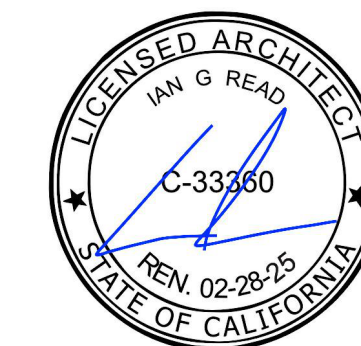
MATERIAL KEY	X.XX
WD-02	6" T&G CEDAR SIDING
WD-03	6" T&G CEDAR SIDING W/ EBONY STAIN
WD-04	CEDAR TRELLIS
MT-01	KYNAR PAINTED FLASHING & FASCIA
MT-02	WOOD CLAD WINDOWS & DOORS W/ PTD ALUM. EXTERIOR
MT-03	PREFINISHED STANDING SEAM MTL ROOF IN MIDNIGHT BRONZE
CO-1	8" HORIZONTAL BOARD FORMED CONCRETE W/ NO PIGMENT

LEGEND	
---	PROPERTY LINE
---	EXISTING PARTITION TO REMAIN
---	NEW PARTITION TO BE REMOVED.
---	EXISTING ELEMENTS TO BE REMOVED.
#	WINDOW TAG
XXX	DOOR TAG
(E) - EXISTING	
(R) - REPLACE	
(N) - NEW	
(E) - EXISTING	
(R) - REPLACE	
(N) - NEW	

CONTACT

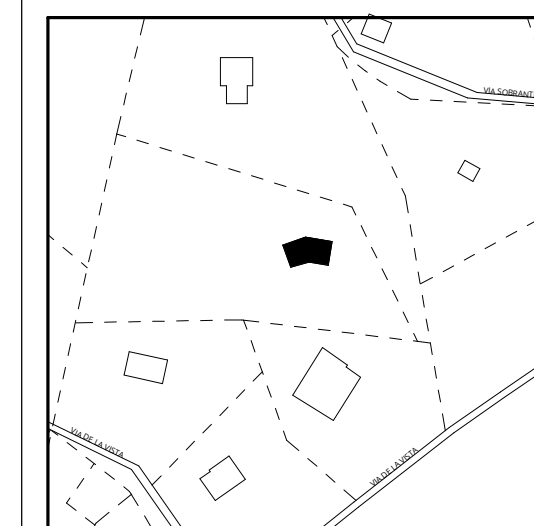
MEDIUM PLENTY
 1729 Telegraph Avenue, Suite A
 Oakland, CA 94612
 info@mediumplenty.com
 P 415 658 5249
 F 415 871 2215

ARCHITECT'S SEAL

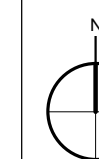


PROJECT

Klebahn Residence
 560 Via de la Vista
 Inverness, CA 94937



Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.



REVISION + ISSUES

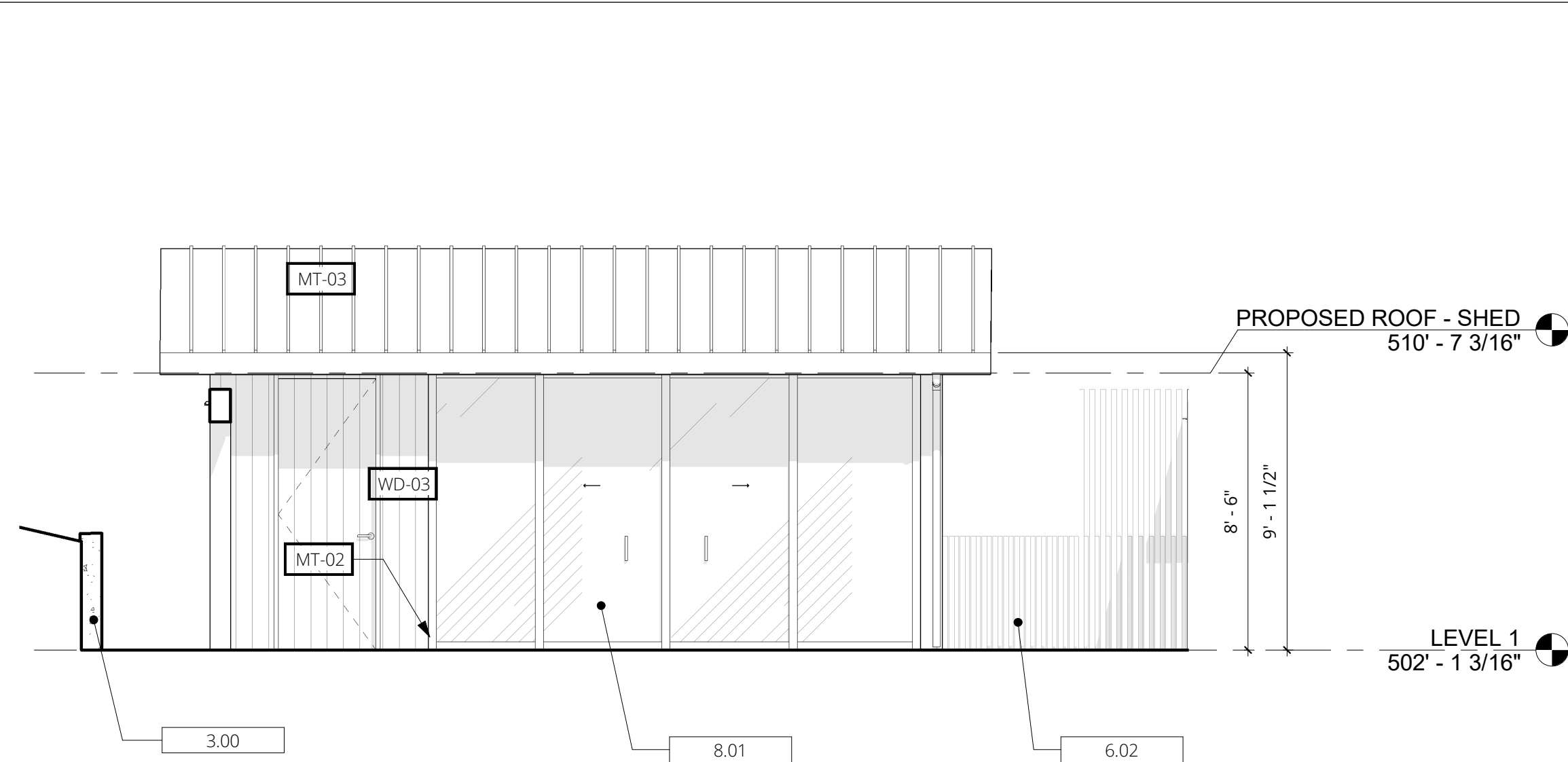
No.	Description	Date
1	Planning Coastal Permit	08.10.23
2	Coastal Permit Rev.1	11.07.23

ELEVATION - PROPOSED SHED

PHASE SCALE As indicated

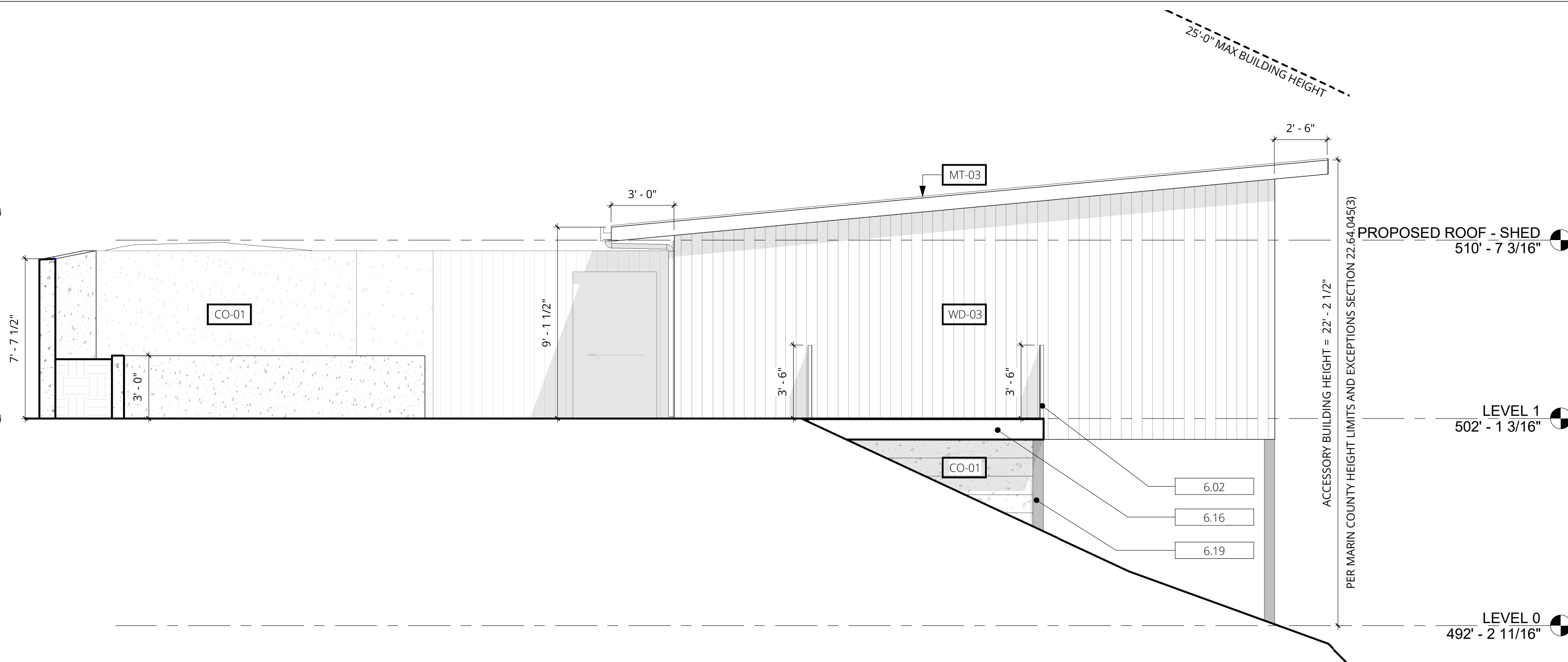
A 404

NOT FOR CONSTRUCTION



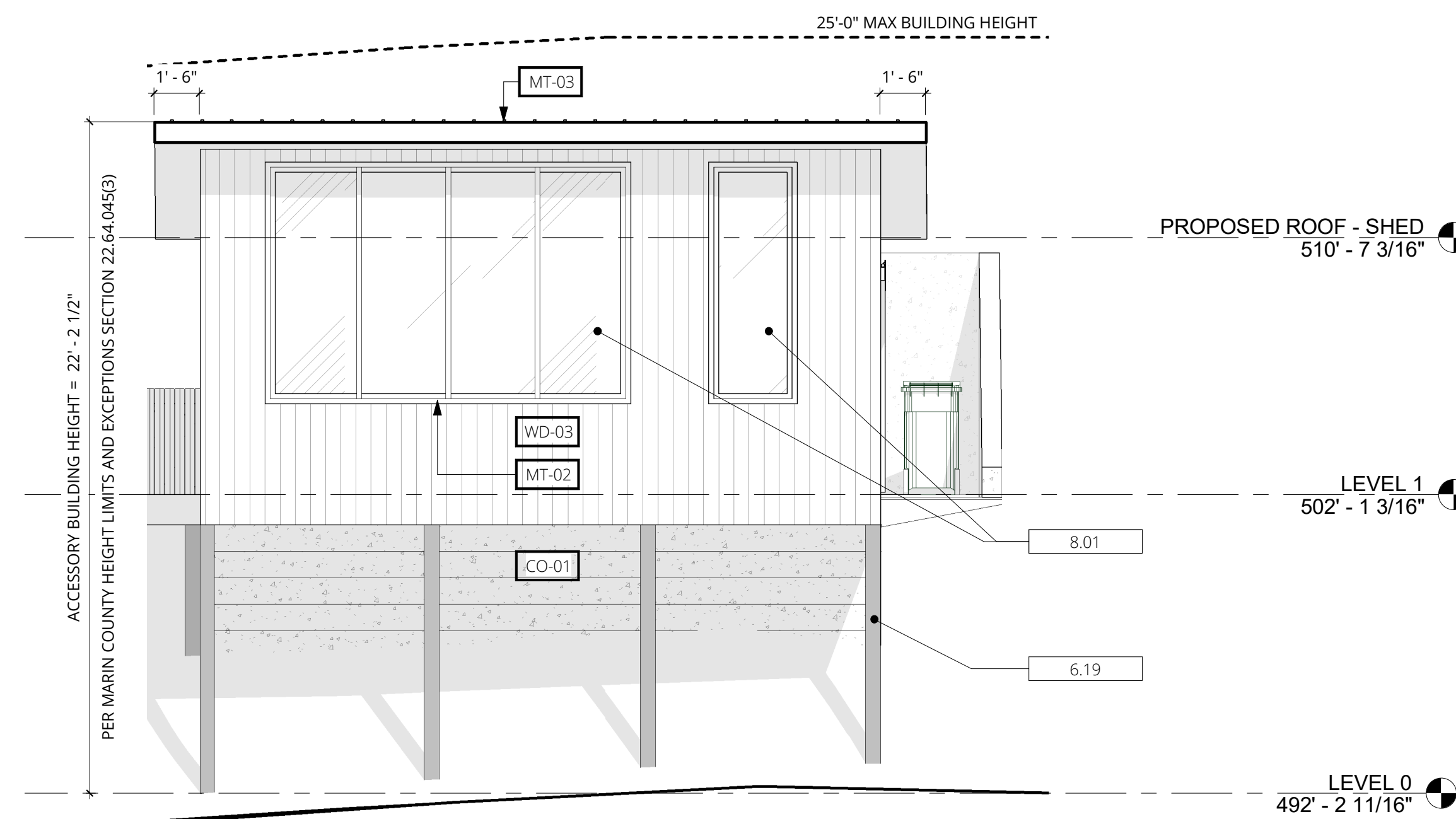
1 SHED PROPOSED ELEVATION - SOUTH

SCALE: 1/4" = 1'-0"



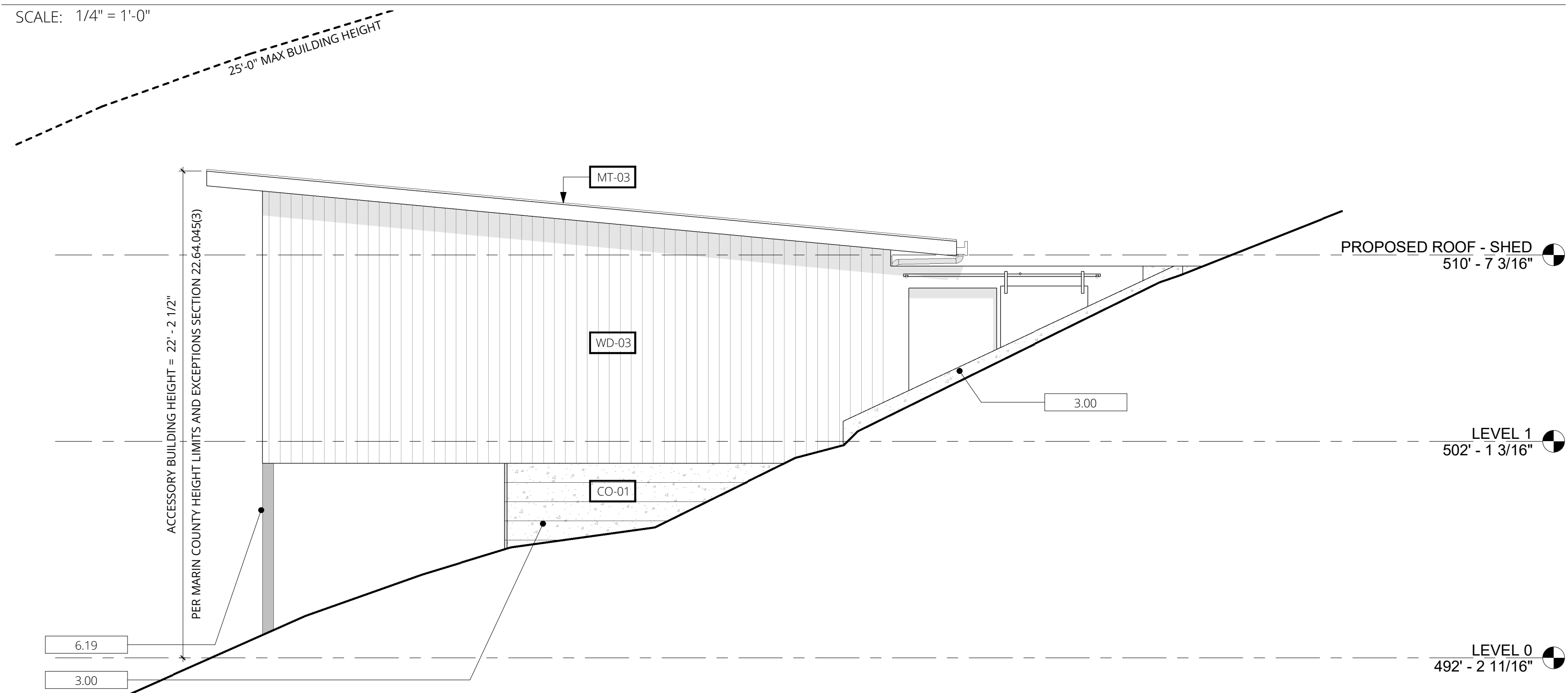
2 SHED PROPOSED ELEVATION - EAST

SCALE: 1/4" = 1'-0"



3 SHED PROPOSED ELEVATION - NORTH

SCALE: 1/4" = 1'-0"



4 SHED PROPOSED ELEVATION - WEST

SCALE: 1/4" = 1'-0"

KEYNOTES	X.XX
3.00	CAST-IN-PLACE CONCRETE RETAINING WALL, S.S.D.
6.02	(N) VERTICAL WOOD SLAT SCREEN
6.16	(N) WOOD DECK
6.19	(N) WOOD POST
8.01	(N) WOOD CLAD WINDOWS, TYP.

MATERIAL KEY	X.XX
WD-02	6" T&G CEDAR SIDING
WD-03	6" T&G CEDAR SIDING W/ EBONY STAIN
WD-04	CEDAR TRELLIS
MT-01	KYNAR PAINTED FLASHING & FASCIA
MT-02	WOOD CLAD WINDOWS & DOORS W/ PTD ALUM. EXTERIOR
MT-03	PREFINISHED STANDING SEAM MTL ROOF IN MIDNIGHT BRONZE
CO-1	8" HORIZONTAL BOARD FORMED CONCRETE W/ NO PIGMENT

LEGEND	
---	PROPERTY LINE
---	EXISTING PARTITION TO REMAIN
---	NEW EXISTING PARTITION TO BE REMOVED.
---	EXISTING ELEMENTS TO BE REMOVED.
#	WINDOW TAG
(E) - EXISTING (R) - REPLACE (N) - NEW	DOOR TAG

CONTACT

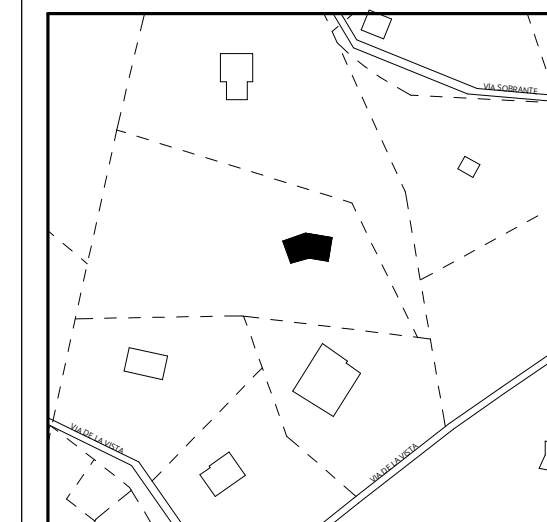
MEDIUM PLENTY
 1729 Telegraph Avenue, Suite A
 Oakland, CA 94612
 info@mediumplenty.com
 P 415 658 5249
 F 415 871 2215

ARCHITECT'S SEAL

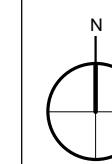


PROJECT

Klebahn Residence
 560 Via de la Vista
 Inverness, CA 94937



Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.



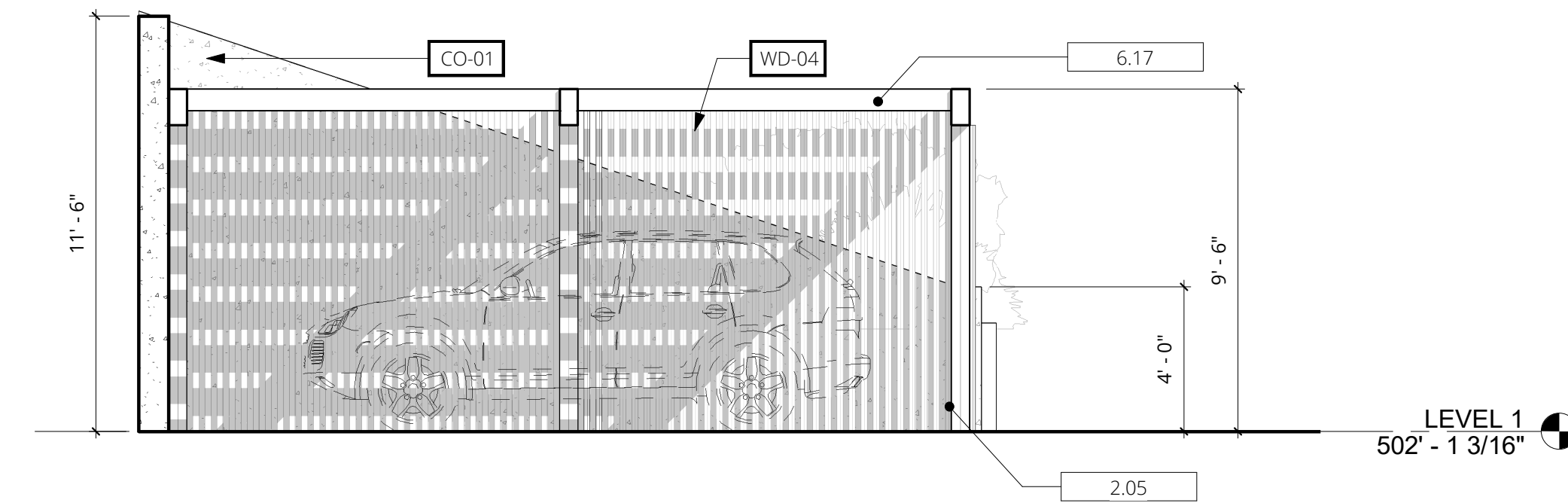
REVISION + ISSUES

No.	Description	Date
1	Planning Coastal Permit	08.10.23
2	Coastal Permit Rev. 1	11.07.23

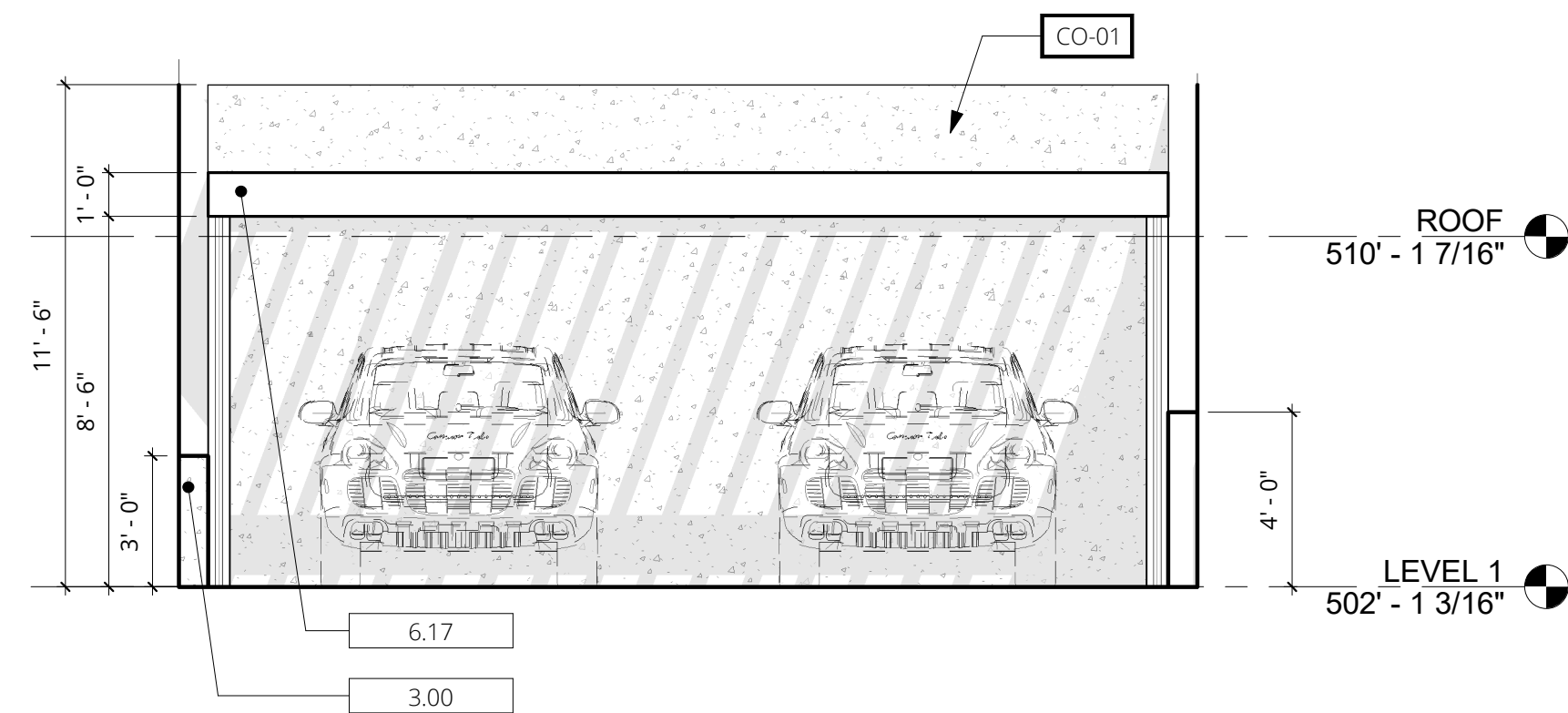
ELEVATION - PROPOSED CARPORT

PHASE SCALE As indicated

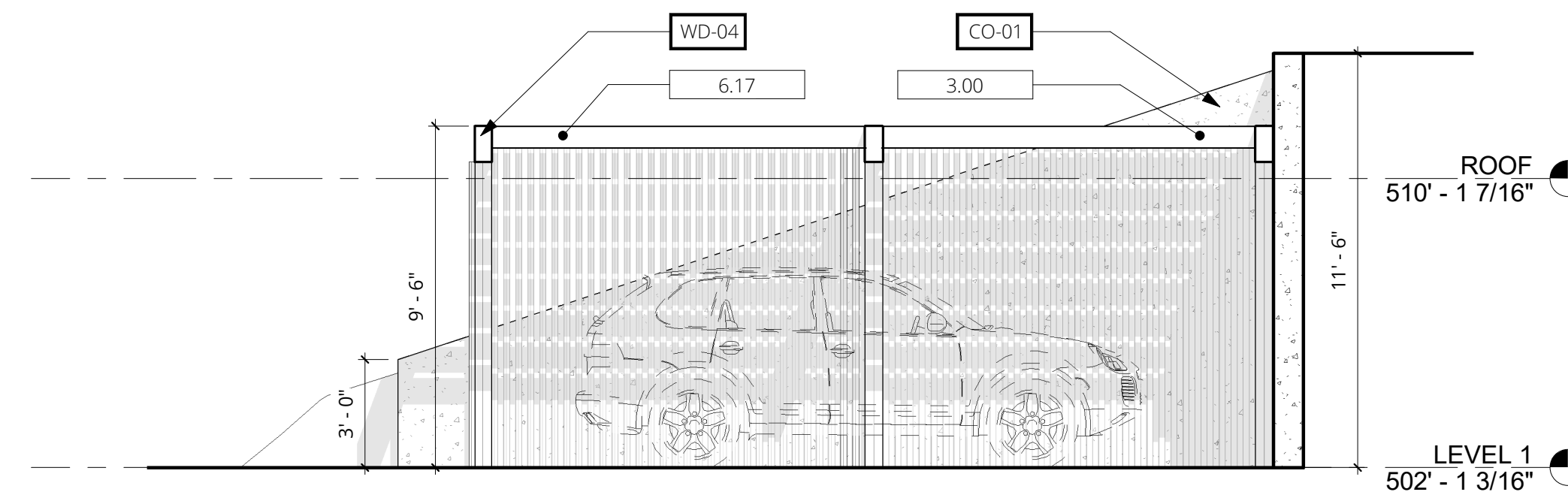
A 405
 NOT FOR CONSTRUCTION



1 CARPORT PROPOSED INTERIOR ELEVATION - EAST
 SCALE: 1/4" = 1'-0"



2 CARPORT PROPOSED INTERIOR ELEVATION - NORTH
 SCALE: 1/4" = 1'-0"



3 CARPORT PROPOSED INTERIOR ELEVATION - WEST
 SCALE: 1/4" = 1'-0"

KEYNOTES	X.XX
2.05	(N) RAISED PLANTER AND BOARD FORMED CONCRETE RETAINING WALL
3.00	CAST-IN-PLACE CONCRETE RETAINING WALL, S.S.D.
6.17	(N) WOOD CARPORT TRELLIS

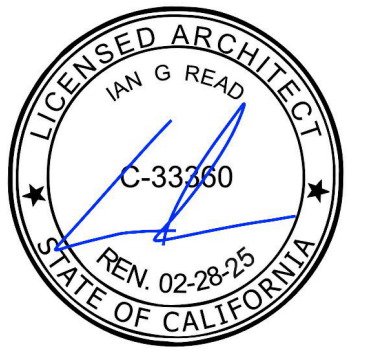
MATERIAL KEY	X.XX
WD-02	6" T&G CEDAR SIDING
WD-03	6" T&G CEDAR SIDING W/ EBONY STAIN
WD-04	CEDAR TRELLIS
MT-01	KYNAR PAINTED FLASHING & FASCIA
MT-02	WOOD CLAD WINDOWS & DOORS W/ PTD ALUM. EXTERIOR
MT-03	PREFINISHED STANDING SEAM MTL ROOF IN MIDNIGHT BRONZE
CO-1	8" HORIZONTAL BOARD FORMED CONCRETE W/ NO PIGMENT

LEGEND	
---	PROPERTY LINE
=====	EXISTING PARTITION TO REMAIN
===== =====	NEW EXISTING PARTITION TO BE REMOVED.
-----	EXISTING ELEMENTS TO BE REMOVED.
#	WINDOW TAG
XXX	DOOR TAG
(E) - EXISTING	
(R) - REPLACE	
(N) - NEW	

CONTACT

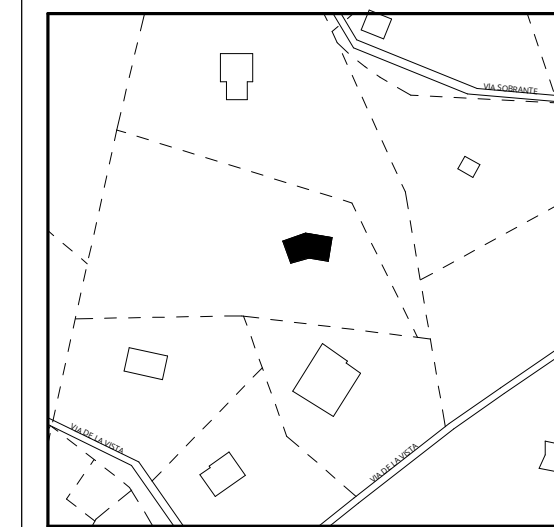
MEDIUM PLENTY
 1729 Telegraph Avenue, Suite A
 Oakland, CA 94612
 info@mediumplenty.com
 P 415 658 5249
 F 415 871 2215

ARCHITECT'S SEAL



PROJECT

Klebahn Residence
 560 Via de la Vista
 Inverness, CA 94937

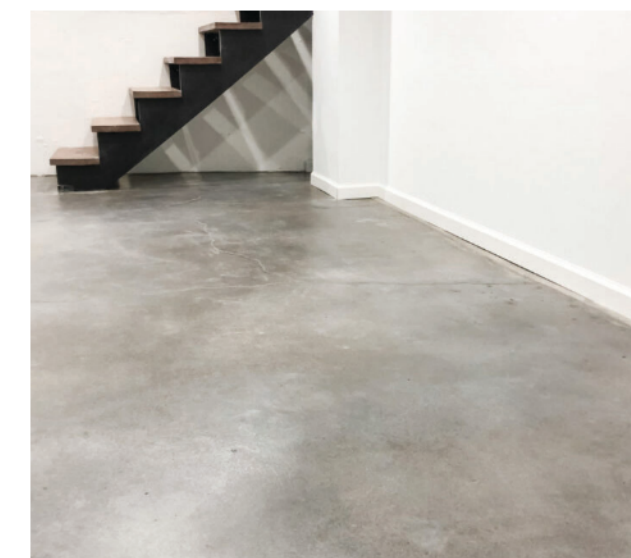


Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.

INTERIOR & EXTERIOR FINISHES



WD-01
 WOOD SOFFIT - T&G
 1X6 CEDAR WITH CLEAR SEAL

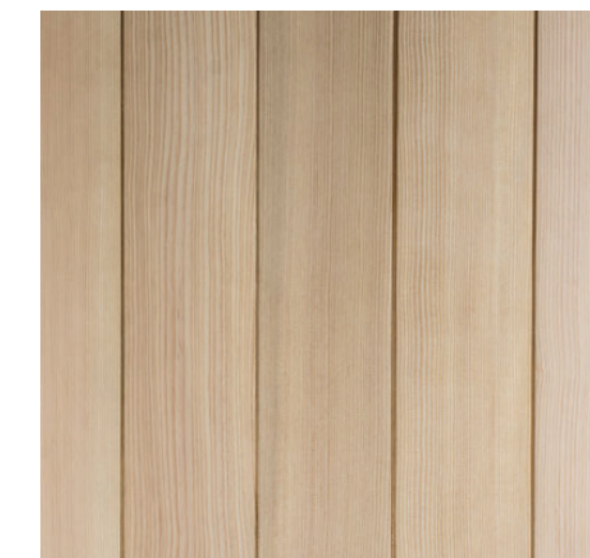


FL-01
 INTERIOR FLOORS -
 SELF LEVELING CONCRETE
 MICROTOPPING

EXTERIOR FINISHES



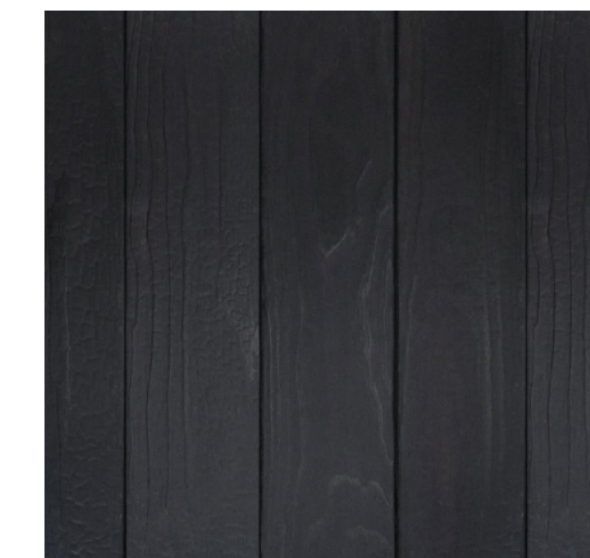
MT-01
 METAL ACCENTS - KYNAR
 PAINTED FLASHING, FASCIA, ETC



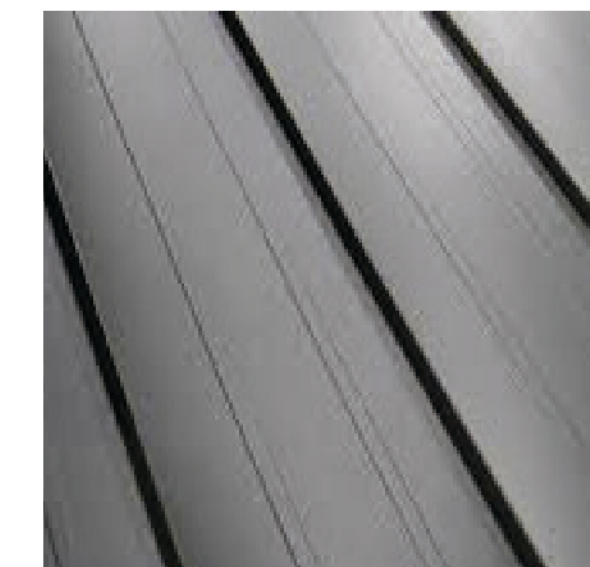
WD-02
 EXTERIOR SIDING 1 -
 T&G 1X6 CEDAR WITH CLEAR
 SEAL



MT-02
 WINDOWS & DOORS -
 INSULATED WOOD CLAD WITH
 PAINTED ALUMINUM EXTERIOR



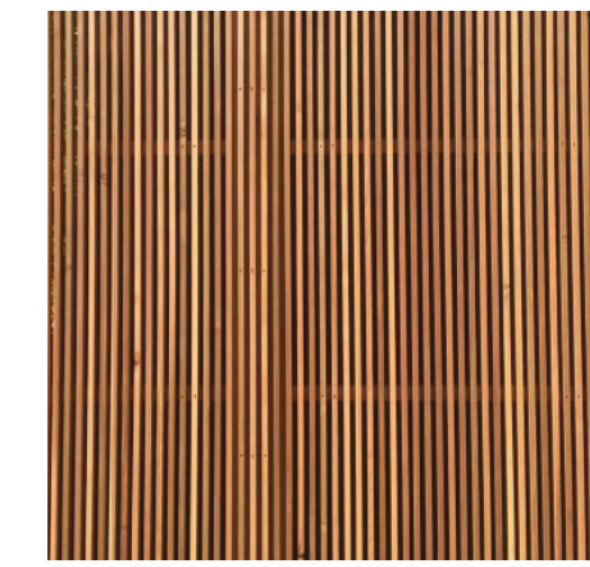
WD-03
 EXTERIOR SIDING 2 -
 T&G 1X6 CEDAR WITH EBONY
 STAIN OR PAINTED



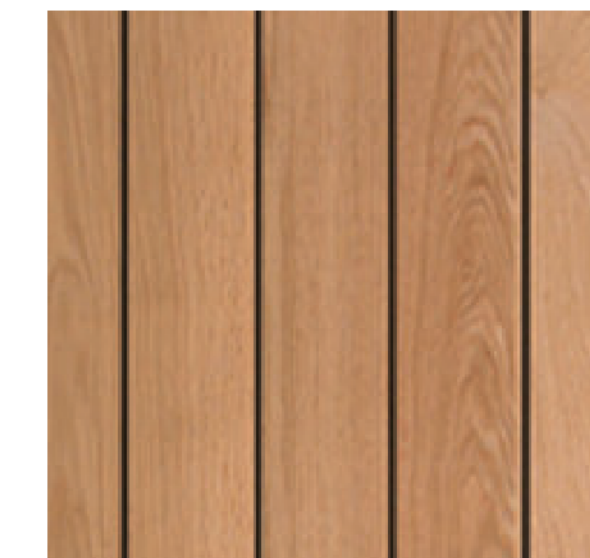
MT-03
 ROOF - PREFINISHED STANDING
 SEAM METAL ROOF IN
 MIDNIGHT BRONZE



CO-1
 RETAINING WALLS -
 1X8 HORIZONTAL BOARD
 FORMED CONCRETE WITH NO
 PIGMENT



WD-04
 CEDAR TRELLIS



FL-02
 EXTERIOR DECK -
 T&G 1X6 CEDAR WITH CLEAR
 SEAL

KLEBAHN RESIDENCE
 560 VIA DE LA VISTA, INVERNESS, CA 94937

MEDIUM PLENTY

EXTERIOR MATERIALS



PROPOSED MATERIAL BOARD

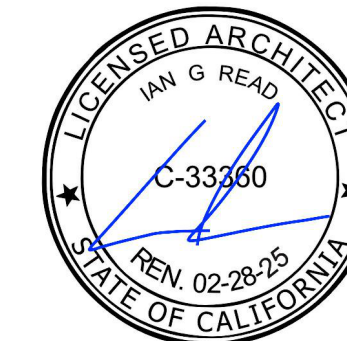
PHASE

A 406
 NOT FOR CONSTRUCTION

CONTACT

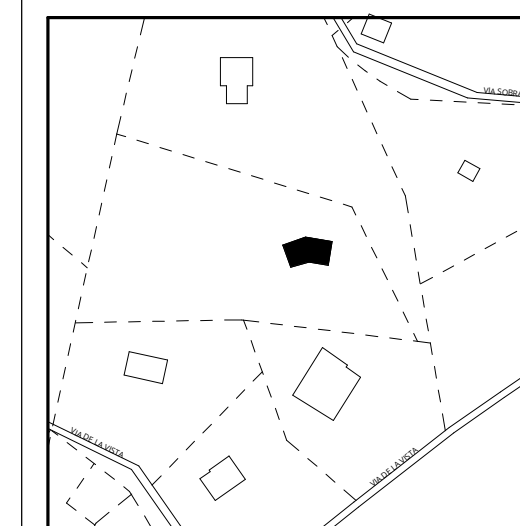
MEDIUM PLENTY
 1729 Telegraph Avenue, Suite A
 Oakland, CA 94612
 info@mediumplenty.com
 P 415 658 5249
 F 415 871 2215

ARCHITECT'S SEAL

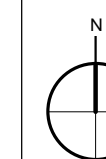


PROJECT

Klebahn Residence
 560 Via de la Vista
 Inverness, CA 94937



Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.



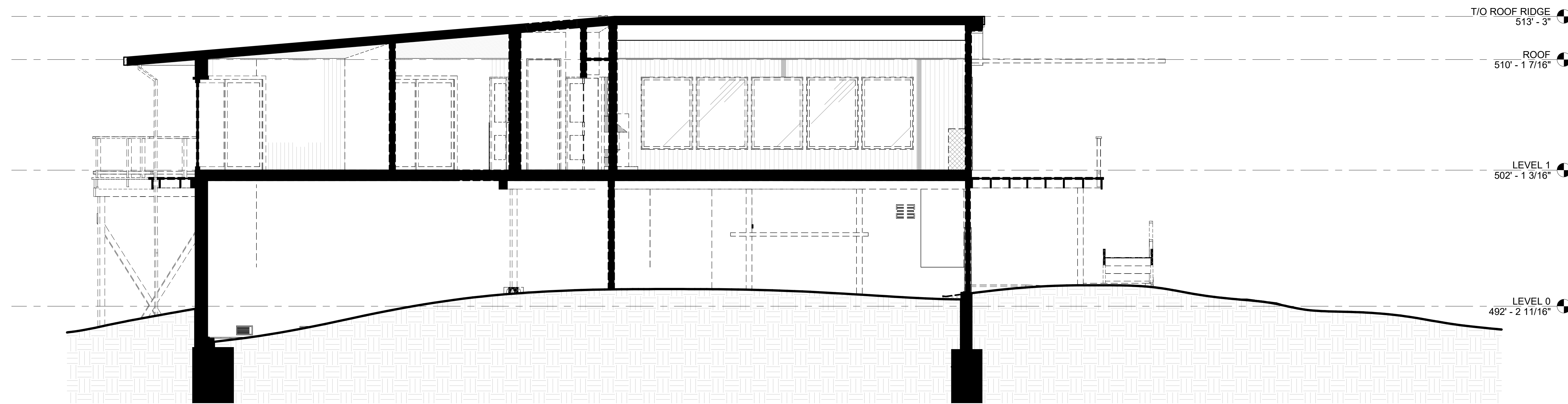
REVISION + ISSUES

No.	Description	Date
1	Planning Coastal Permit	08.10.23
2	Coastal Permit Rev. 1	11.07.23

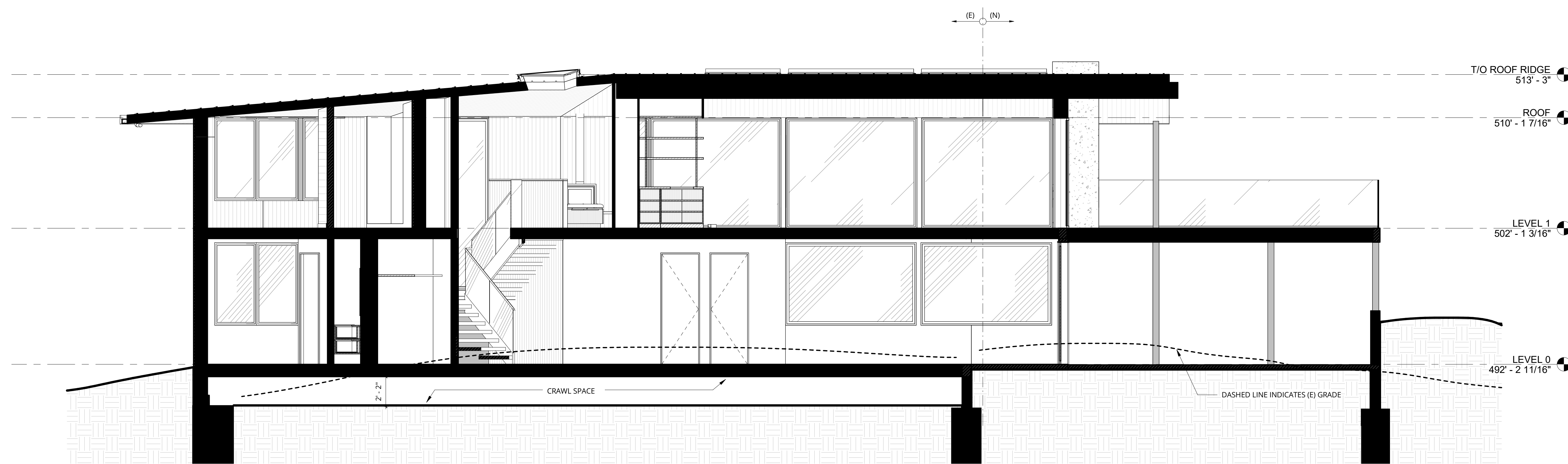
EXISTING & PROPOSED - BUILDING SECTIONS - LONGITUDINAL

PHASE SCALE 1/4" = 1'-0"

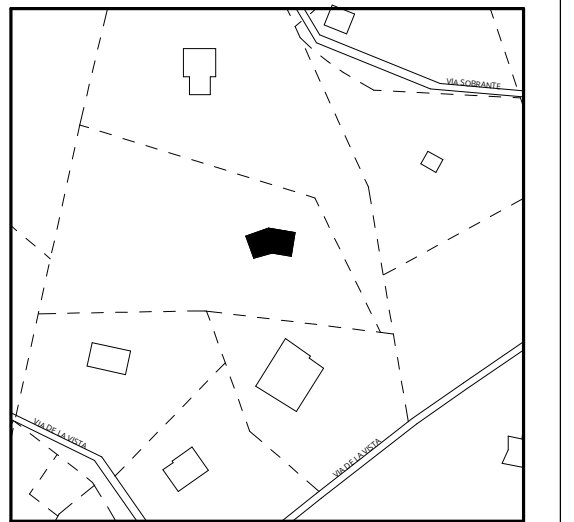
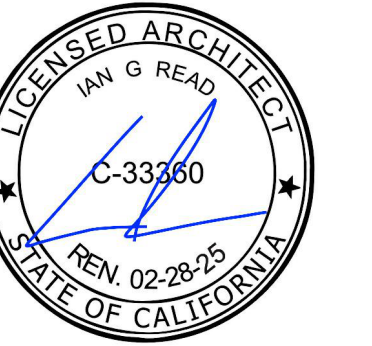
A 501
 NOT FOR CONSTRUCTION



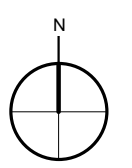
1 EXISTING SECTION - LONGITUDINAL SECTION SOUTH
 SCALE: 1/4" = 1'-0"



2 PROPOSED SECTION - LONGITUDINAL SECTION SOUTH
 SCALE: 1/4" = 1'-0"



Copyright © 2023 Medium Plenty. All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used, disclosed without the written consent of the Architect.

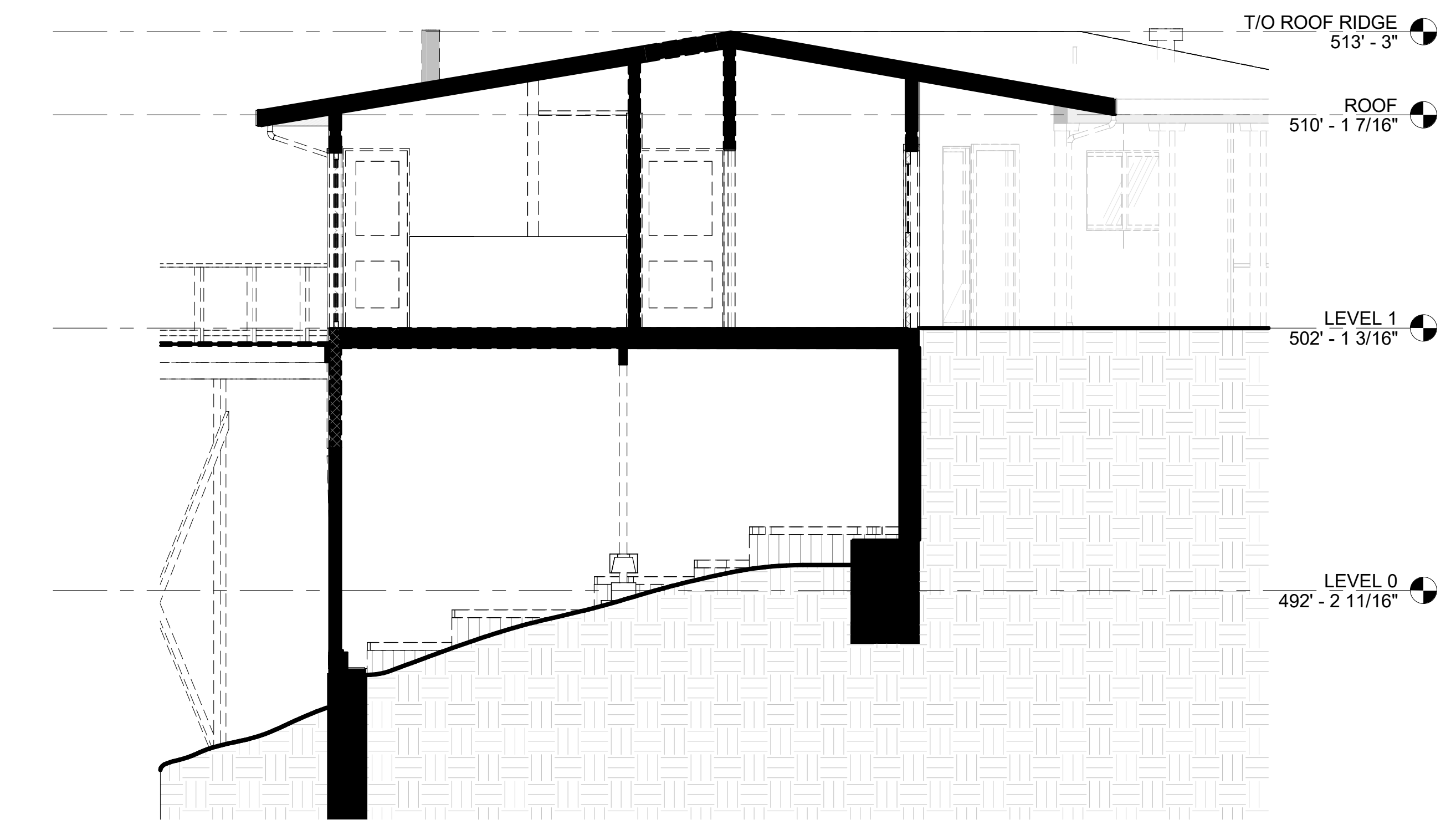


REVISION + ISSUES

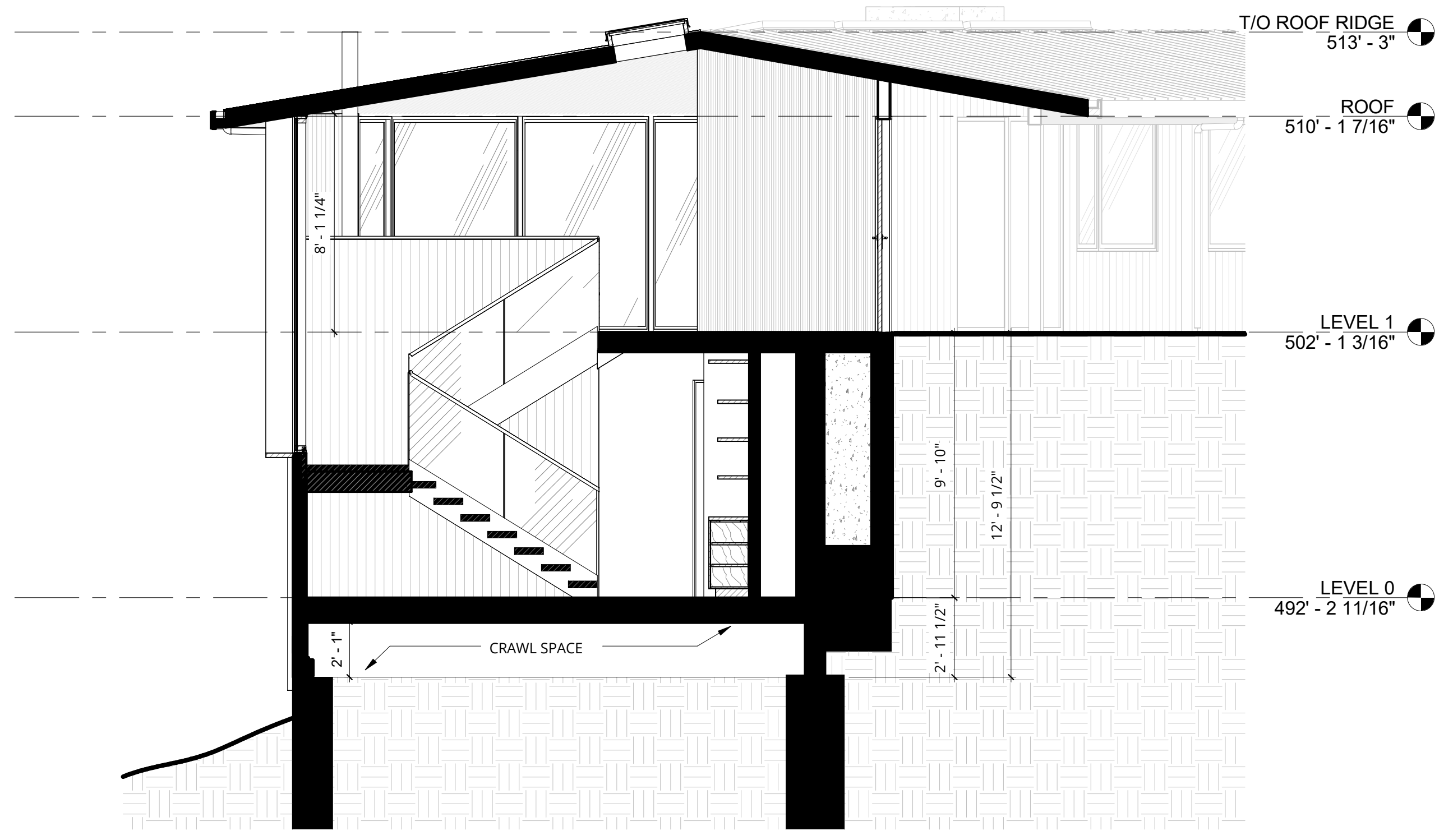
No.	Description	Date
1	Planning Coastal Permit	08.10.23
2	Coastal Permit Rev.1	11.07.23

EXISTING & PROPOSED - BUILDING SECTIONS - LATERAL

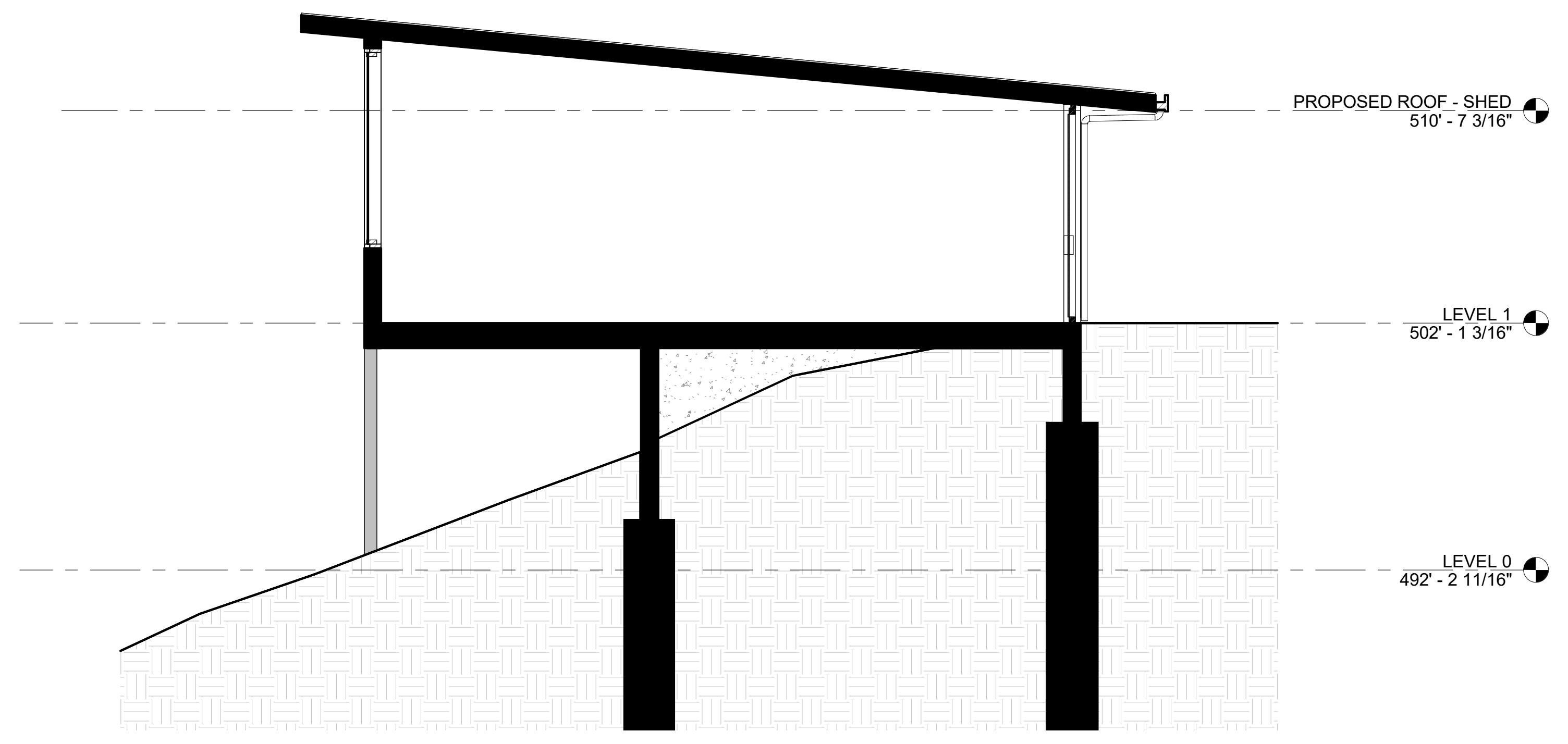
PHASE SCALE 1/4" = 1'-0"



1 EXISTING BUILDING SECTION - LATERAL
 SCALE: 1/4" = 1'-0"



2 PROPOSED BUILDING SECTION - LATERAL
 SCALE: 1/4" = 1'-0"



3 PROPOSED SHED SECTION - LATERAL
 SCALE: 1/4" = 1'-0"

CONCRETE SEPTIC TANK NOTES:

- Seal interior of septic tank with thoroal or equal. Seal all joints with mastic. Seal precast concrete joints with rammed or equal.
- Pipes through holes in the septic tank or riser must be sealed with gas-tight compression connectors or waterproof sealant or precast into septic tank.
- Tank and riser joint shall be sealed and made water tight with non-shrink grout overlaid with xypex or thoroal.
- The septic tank shall be IAPMO listed. Water tightness test may be required by Marin County E.H.S. The water tightness test consists of filling the tank 2 inches into the risers with clear water.
- The tank shall be considered adequately water tight if there is no measurable fall of water in the tank in 1/2 hour.

CONCRETE PUMP SUMP NOTES:

- Seal interior of pump sump with thoroal or equal. Seal all joints with mastic. Seal precast concrete joints with rammed or equal.
- Penetrations in the pump sump or riser must be sealed with gas-tight compression connectors or waterproof sealant or precast into pump sump.
- Tank and riser joint shall be sealed and made water tight with non-shrink grout overlaid with xypex or thoroal.
- The pump sump shall be IAPMO listed. Water tightness test is required by Sonoma County Permit & Resource Management Department. The water tightness test consists of filling the tank full to 2 inches into the risers with clear water.
- The tank shall be considered adequately water tight if there is no measurable drop of water in the tank in 1/2 hour.

ENGINEERING NOTES:

- The designing engineer shall inspect the site and weather conditions prior to construction of the system. He/she must verify dry and acceptable soil and weather conditions for construction and decide if conditions are suitable to begin construction.
- The designing engineer shall verify (with the contractor) the proper staking of the system prior to any construction. The system details, configuration, location, contour, percolation area, expansion area, etc. shall be verified.
- All materials and workmanship shall conform to the requirements of the Marin County Environmental Health Services (E.H.S.). All mechanical, plumbing and electrical work shall conform to the appropriate codes adopted by the County of Marin.
- The contractor shall give the engineer (1-707-541-2300) 48 hours notice of commencement of construction and prior to required inspections. The contractor shall give 48 hours minimum notice to the Marin County E.H.S. prior to commencement of work (1-415-499-6907). These shall include as a minimum:
 - Pre-construction conference
 - Inspection of fill soil.
 - Interim inspection, performed prior to covering any elements of the system. see "construction notes".
 - Final inspection of the completed system and all related items per the construction documents.
- At the pre-construction conference, the following items shall be reviewed. Construction may proceed if the designing engineer notifies the Marin County E.H.S. verbally that all elements appear to conform to the following requirements:
 - Soil moisture at the appropriate depths are not so high as to have the soil smear or compact due to construction activities.
 - Imminent weather conditions appear that they will not create unsuitable soil moisture conditions during the course of construction.
 - The source of the soil cover material shall be designated, and a sample shall be made available and approved by the design consultant prior to placement.
- At the interim inspection, the following elements, (when required), shall be verified.
 - Inspect fill soil for quality and proper placement.
 - Layout and staking of the primary leach field area and the expansion reserve boundaries substantially conform to the approved construction documents has been accomplished.
- At the interim inspection, the following elements, (when required), shall be verified by the designing engineer and the Marin County E.H.S. by visual inspection and operation of the system. When all required items are completed and approved, the disposal field, trenches and tanks may be covered or backfilled.
 - Line and grade of all excavations and fills as applicable.
 - Function and setting of the control devices, including but not limited to valves, switches, and alarms.
 - Hydraulic testing of any pump and distribution system to assure that the pump is adequate for design flow.
 - All the remaining elements required to complete the system shall be on site at the time for verification and approval by the designer for conformance with the plans and specifications.
- At the final inspection, the designing engineer shall verify that all construction is in general conformance with the approved plans and specifications. The septic tank shall be IAPMO approved. The septic tank and pump sump may be subjected to a water tightness test by the Marin County E.H.S. The water test shall be performed by the contractor and consists of filling the tanks 2" into the risers with clear water. The tanks may be tested separately and shall be considered adequately water tight if no measurable drop of water in 1/2 hour.
- A final letter from the designing engineer to the Permit & Resource Management Department shall state that all construction has been completed, approved, and is in conformance with all specifications.
- The Marin County E.H.S. specialist will perform a final inspection of the system following receipt of the designing engineer's approval letter. E.H.S. Will not sign off the permit or job card until the house or structure is ready for occupancy. At this time the operational permit will be issued and the anniversary date established.
- At the start-up of the system, the installer, engineer, service provider, and Marin County E.H.S. staff shall be present to verify proper operation and settings of all controls. A copy of the contract with the service provider shall be given to the County at this time.

PRESSURE DISTRIBUTION NOTES:

- Contractor to give Adobe Associates, Inc. And Marin County E.H.S. 48 hours notice for inspection.
- Leave ends of leach lines exposed for inspection, and open inspection points at 50' maximum intervals. The Marin County E.H.S. and engineer inspectors may request visual inspection of any point in trench, at their option.
- Smear or compacted trench sides shall be scarified to a depth of one inch, and the loose material removed before placing the drain rock in the trench.
- Watertight cap or seal to be placed at the end of each leach line.
- The IAPMO approved concrete septic tank and IAPMO listed concrete pump sump shall be set level in the excavation with a minimum recommended earth cover of 12 inches, and a maximum recommended earth cover of 48 inches.
- The leach line trench bottom and total length of the leach line shall be level and placed with the aid of transit or level.
- Secure an electrical permit from the Marin County Building Department for sump pump installations.
- The connection between the septic tank and the first distribution box shall be of schedule 40 abs, cast iron pipe or any other material approved for a house sewer connection.
- Contractor shall be responsible for discovery and avoidance of all underground utilities.
- Any alteration to the approved plans must be approved by the engineer prior to construction.
- Trench shoring and ground water control may be required during the rainy season. Obtain engineer's prior approval for rainy season construction.
- Engineer is to be notified immediately of any adverse conditions discovered during the construction such as impermeable soil layer, springs, ground water, etc.
- Distribution boxes shall be built on a level prepared surface in natural or compacted soil.
- All materials and workmanship shall conform with County of Marin Standards and Requirements, including building, plumbing and electrical codes.
- This sewage disposal system has been designed to accommodate a peak daily flow of 120 gallons per bedroom, and a long term average daily flow of 60 gallons per bedroom. Water conservation measures will be necessary to maintain these water usage limits.
- Minimum clearance from any existing or proposed structure to any septic tank shall be 5' unless greater clearance is required by others.
- Minimum clearance from any roadway or parking area to any septic tank shall be 5' unless greater clearance is required by others.
- Gravel is to be 3/4" to 1 1/2" double washed, double run gravel from a Marin County E.H.S. approved quarry.
- At the time of inspection of the disposal field the contractor shall perform a hydraulic (squirt) pump test. The test shall be performed with the distribution lines set with the orifice's in an upward position (laterals shall not be glued at this time) and all sump pump and pump sump equipment installed per plan. Minimum acceptable head in all lines, as measured by height of the water column above the pipe, shall be 60 inches. Once hydraulic test is approved leave the holes pointing up and install orifice shields on all holes and then glued water tight per Marin County Requirements.

GENERAL NOTES:

- Low flow toilets (1.6 gal. Max.) are required in all bathrooms and lavatories.
- Water service lines to observe all setbacks required by the Marin County Environmental Health Services.
- Contours shown are based on field work performed by Adobe Associates, Inc. On March 23 and June 22, 2022. Contour interval is two (2) foot, datum assumed.
- No foundation and/or driveway cuts, and no surface or sub-surface drains are to be located within 50 feet downstage or laterally of the primary or expansion/repair area of any leachfield. Direct downspouts away from leach field.
- The boundary information shown is per record information and is not the result of a survey by Adobe Associates, Inc.
- Any proposed change to house design or location is to be approved by Adobe Associates, Inc. And the Marin County E.H.S. Specialist for compatibility with the septic system.
- Removal of trees within any proposed fill area is required. Trees allowed to remain in the fill area may be damaged or destroyed by the deleterious effects of the fill soil.

STANDARD TYPE DOMESTIC WASTEWATER SYSTEM

Lands of Klebahn
560 Via De La Vista
Inverness, California

APN 115-050-22



LOCATION MAP

NTS

SHEET INDEX

- COVER SHEET
- SEPTIC SYSTEM PLAN
- DETAIL SHEET

OWNER INFO

ANNE & PERRY KLEBAHN
560 VIA DE LA VISTA
INVERNESS, CA 94937

Tank Size	1500GAL
Leach Trench	
Length	240'
Width	24"
Depth	60"
Rock	30"

NOTES:

A MANUAL SWITCH FOR THE PUMP SHALL BE LOCATED WITHIN 25' AND IN CLEAR VIEW OF THE SUMP. MOUNT CONTROL PANEL ON HOUSE OR ON A POST WITHIN 25' OF THE SUMP AND IN CLEAR VIEW OF THE SUMP. IF CONTROL PANEL IS MORE THAN 75' FROM HOUSE, PROVIDE A REMOTE ALARM WITH AN ADDITIONAL LIGHT AND HORN AT THE HOUSE.

CONTROL/ALARM BOX - NEMA TYPE 4X WITH FUSED DISCONNECT & MOTOR, PROTECTION SWITCH, HOA SWITCH, ALARM, ALARM ON/OFF TEST SWITCH, DISPLAY LIGHT, NON-RETRACTABLE DOSE COUNTER, AND MARIN COUNTY APPROVED PLEXIGLASS SHIELD.

PROVIDE SEPARATE ELEC. CIRCUITS FOR PUMP AND ALARM.

ALL HIGH VOLTAGE WIRES SHOULD BE IN A SEPARATE CONDUIT FROM LOW VOLTAGE WIRES.

IF THE CONTROL PANEL IS LOWER IN ELEVATION THAN THE POWER SUPPLY, A CONDUIT SEAL SHALL BE INSTALLED ON THE CONDUIT TO PROTECT THE CONTROL PANEL FROM CONDENSATION.

SEPTIC ELECTRICAL (#189) TO BE INSPECTED UNDER SEPARATE BLD PERMIT.

ALARM BOX TO BE POSTED WITH THE FOLLOWING

- *CAUTION ELECTRICAL HAZARD* ON THE EXTERIOR
- *FLOAT SWITCH SETTINGS & DOSE VOLUME ON THE INTERIOR

SCH. 80 PVC ELECTRICAL CONDUIT w/ PLASTIC 1/2" NPT GAS-TIGHT COMPRESSION FITTINGS (LOCATED ON EITHER END OF CONDUITS EXITING THE SUMP CHAMBER).

24" MIN. LOCKING GAS & WATERTIGHT LID, 4" ABOVE FINISHED GRADE. SEAL w/ NON-PERMANENT SEALANT.

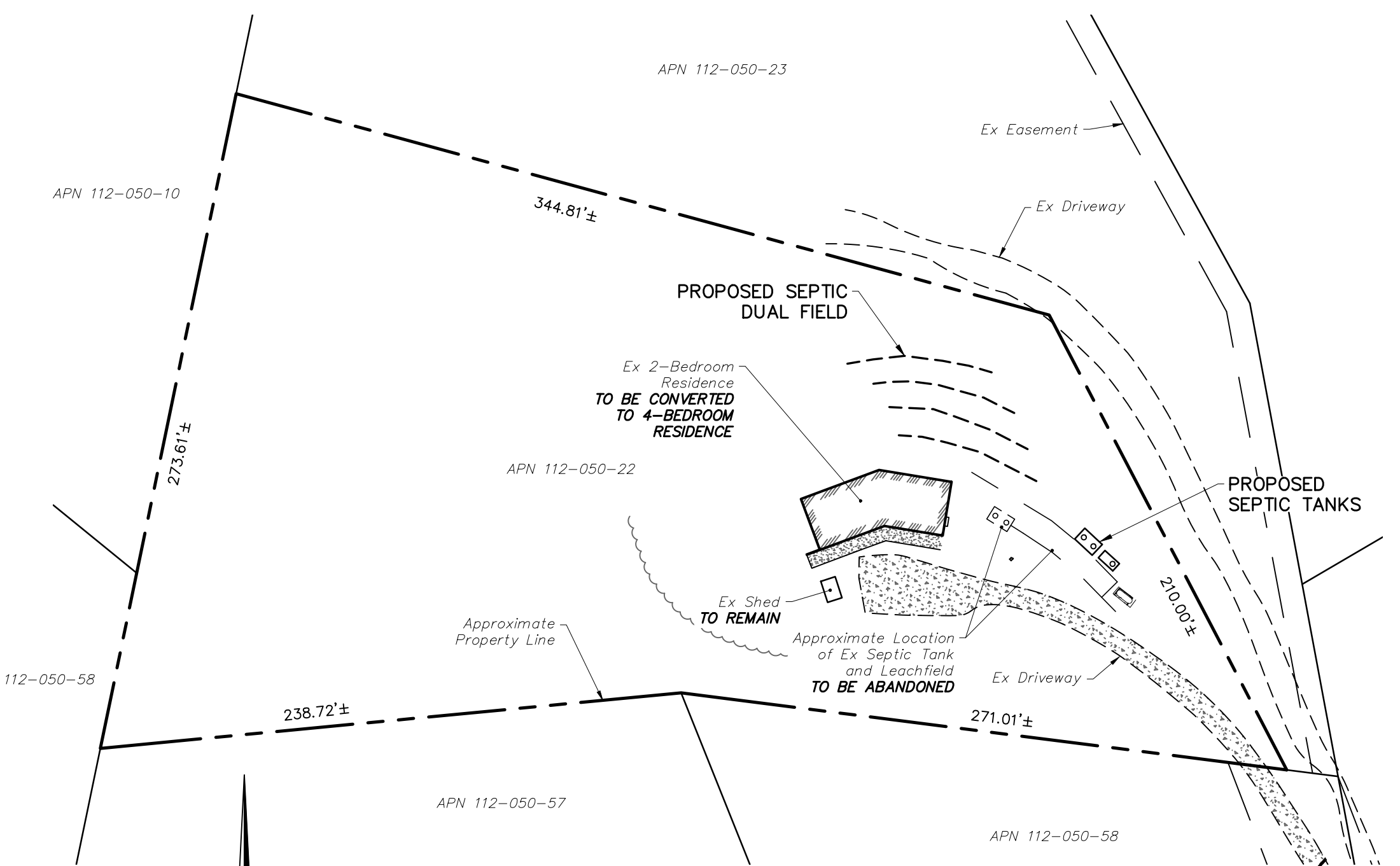
2" PVC TRUE UNION
2" PVC GATE/BALL VALVE
TRUE UNION
PVC CAP
STAINLESS STEEL SCREW

2" SCH. 40 PVC TO DISTRIBUTION FIELD
2" SCH. 40 PVC CLOSE NIPPLES
3/8" NYLON ROPE TIED TO PUMP
2" CHECK VALVE
1/8" ANTI-SIPHON/VENT HOLE DIRECTED DOWN INTO SUMP

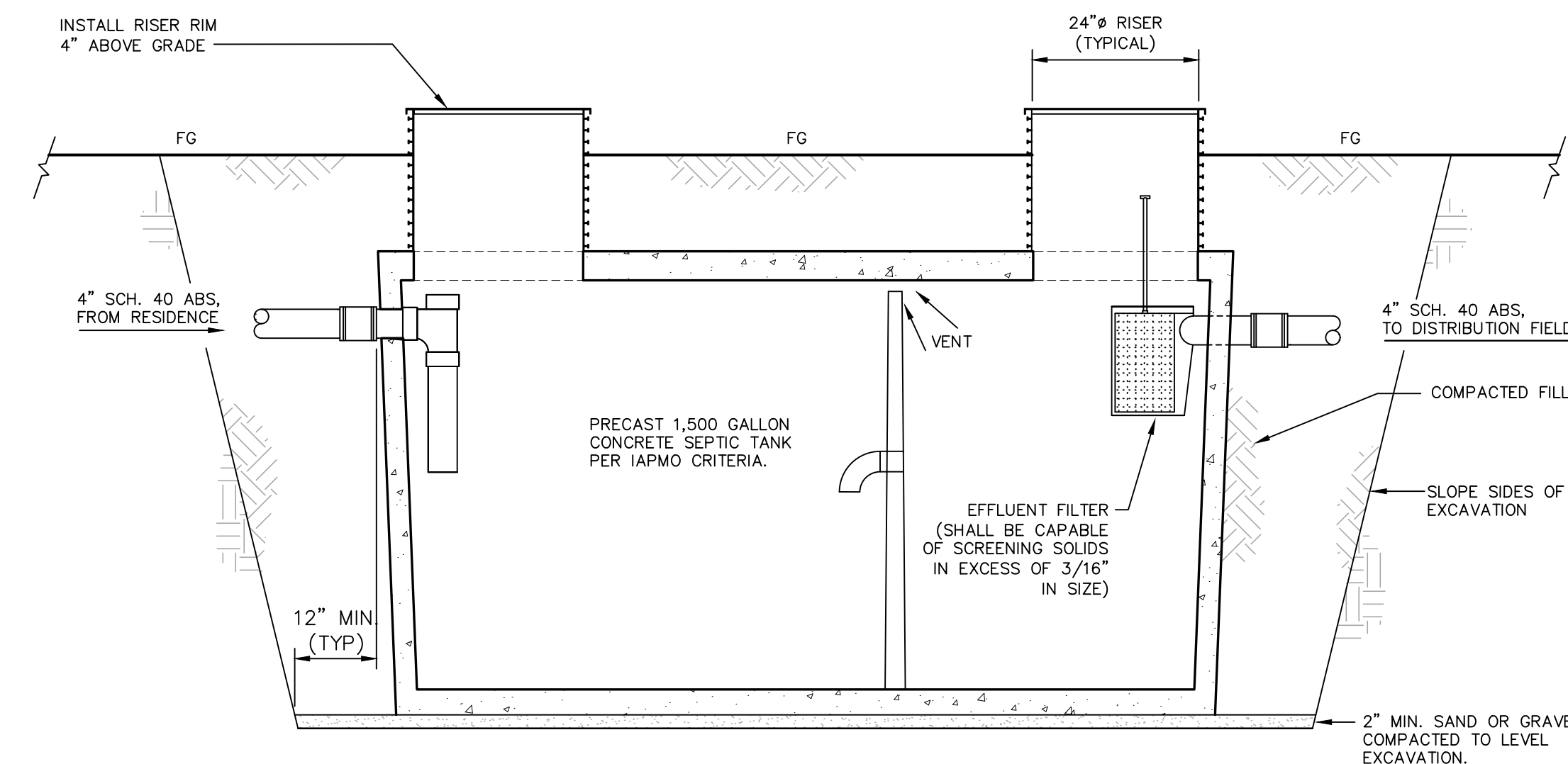
HIGH WATER ALARM, PIPE MOUNTED WIDE ANGLED MECHANICAL LEVEL.
CONTROL FLOAT (ON POSITION), PIPE MOUNTED WIDE ANGLED MECHANICAL LEVEL.

CONTROL FLOAT (OFF POSITION), PIPE MOUNTED WIDE ANGLED MECHANICAL LEVEL.
CONCRETE BLOCK 4" x 10" DIAM. MIN.

COMPACT BEDDING
REMOVABLE CORROSION RESISTANT POLE, FASTEN TO RISER WITH REMOVABLE NON-CORROSIVE STRAP OR ACCEPTABLE EQUIVALENT

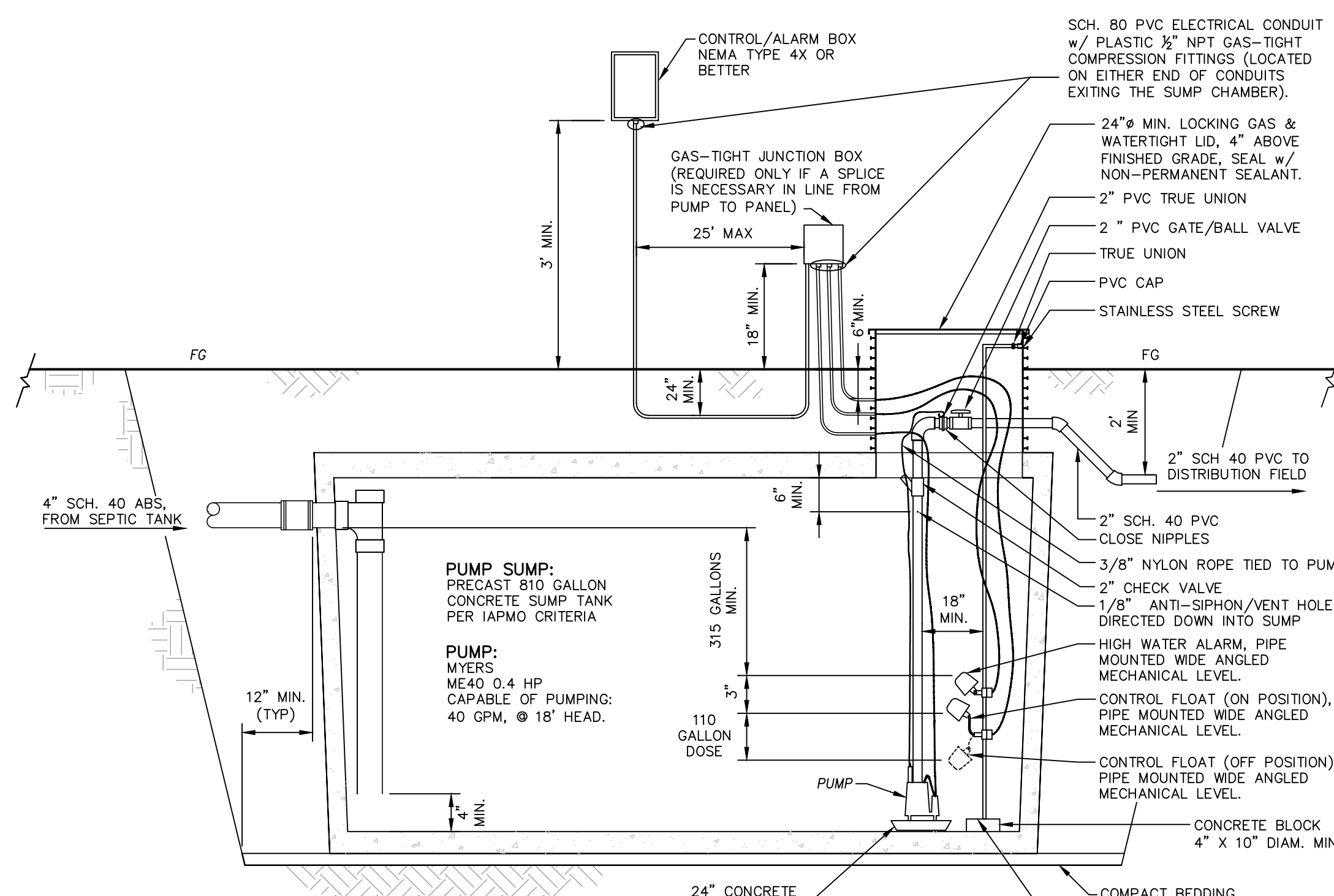


OVERALL SITE PLAN



1,500 GALLON CONCRETE SEPTIC TANK

NTS



810 GALLON PUMP SUMP DETAIL

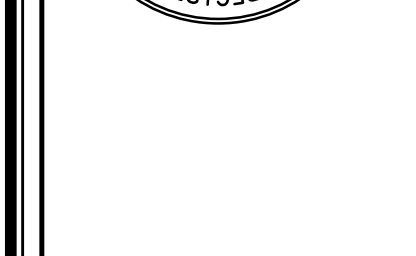
NTS

No.	Date	Description	Approved

adobe associates, inc.
civil engineering | land surveying | wastewater
1220 N. Dutton Ave., Santa Rosa, CA 95401
P. (707) 541-2300 F. (707) 541-2301
Website: www.adobeinc.com
A Service You Can Count On!

Signature

Steven R. Brown, RCE 43825
My License Expires 6/30/2023



STANDARD TYPE PRIVATE
SEWAGE DISPOSAL SYSTEM
COVER SHEET
560 Via De La Vista
Inverness, California
APN 115-050-22

Scale:	AS SHOWN
Date:	November 30, 2022
Design by:	SFG
Drawn by:	SFG
Checked by:	SRB

Sheet
W1
of 3 Sheets
Job No. 22061

DESIGN CRITERIA

DESIGN PURPOSE
 THE PURPOSE OF THIS PROJECT IS TO PROVIDE SEPTIC DISPOSAL CAPACITY FOR A POTENTIAL 4-BEDROOM RESIDENCE ON THE PARCEL LOCATED AT 506 VIA DE LA VISTA (APN 112-050-22). THE PROPOSED DESIGN IS A STANDARD SYSTEM WITH EQUAL PRESSURE DOSED TRENCHES (EPDT). THE PROPOSED DESIGN MEETS ALL CURRENT SONOMA COUNTY OWTS STANDARDS.

SITE REVIEW:
 A SITE REVIEW WAS CONDUCTED BY A REPRESENTATIVE FROM THE MARIN COUNTY ENVIRONMENTAL HEALTH SERVICES ON MAY 17, 2022 (P1694).

PERCOLATION TEST:
 PERCOLATION TESTING WAS CONDUCTED BY A REPRESENTATIVE FROM ADOBE ASSOCIATES INC. ON JUNE 21, 2022.

AVERAGE PERCOLATION RATE: 9 MINUTES PER INCH AT A DEPTH OF 36", 48", AND 60"
 CORRESPONDING SOIL LOADING RATE: 0.820 GAL/SF/DAY

AVERAGE GROUND SLOPE = 45%

4 BEDROOM RESIDENCE

SYSTEM DESIGN FLOWS:
 (120 GAL/BR/DAY)/(0.82 GAL/SF/DAY) = 146 SF/BR
 146 SF/5 SF/LF = 29 LF OF TRENCH REQUIRED PER BEDROOM
 29 LF/BR X 4 BR = 116 LF REQUIRED PER 100% DISPOSAL FIELD

PRIMARY DESIGN: DUAL 100% PRIMARY FIELDS INSTALLED
 232 LINEAL FEET LEACHLINE TRENCH (200% CAPACITY) REQUIRED
 240 LINEAL FEET LEACHLINE TRENCH SHOWN.
 (TO BE CONSTRUCTED)

RESERVE DESIGN: TO BE CONSTRUCTED (SEE ABOVE)

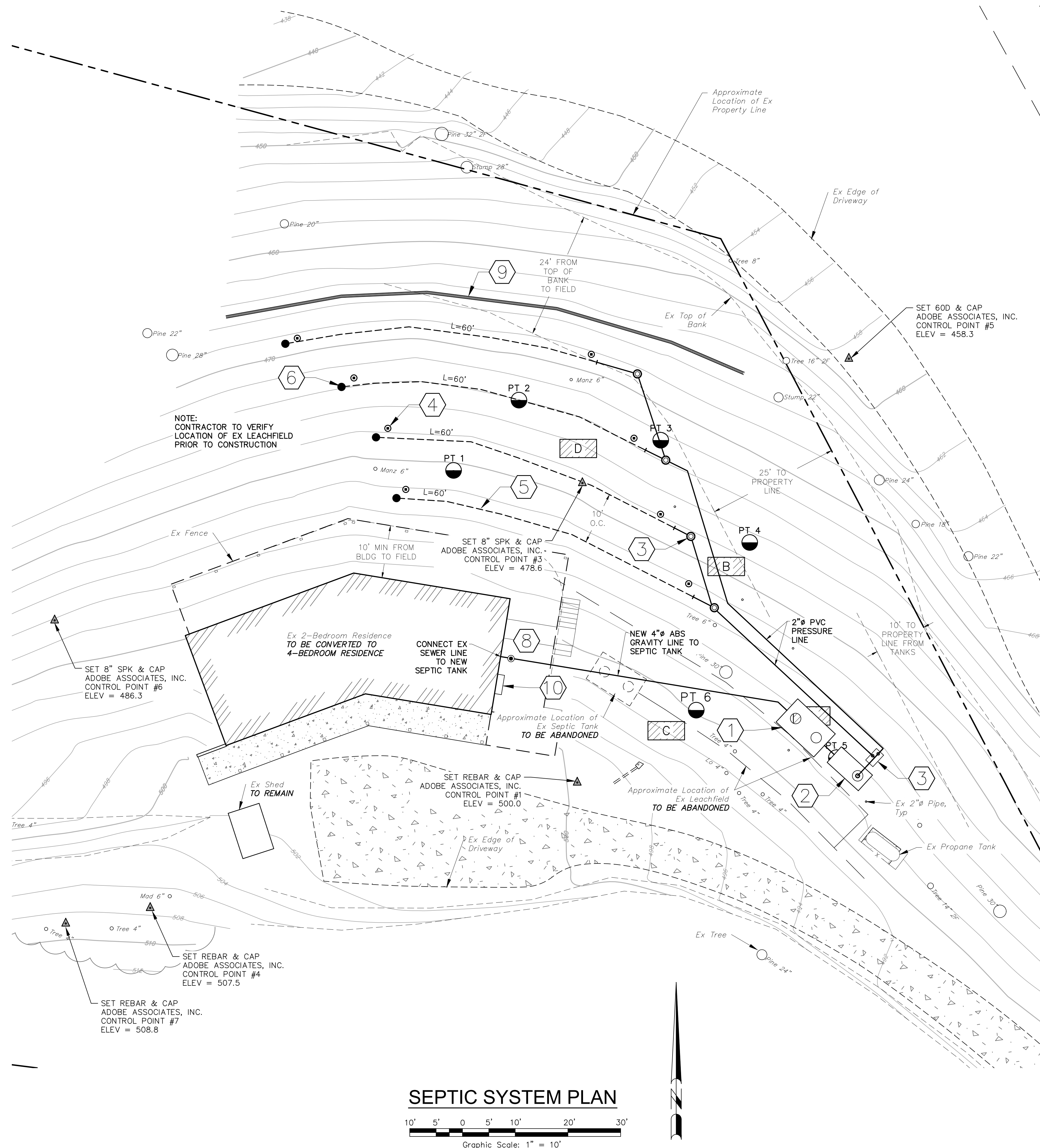
DISPOSAL FIELD TRENCH DESIGN:
 60" DEEP X 24" WIDE, WITH 30" GRAVEL BELOW LEACHLINE LATERAL, SPACED 10' O.C.
 (5 SQ FT/LF TRENCH SIDEWALL)

LEGEND

- ① 1,500 GALLON (IAPMO APPROVED) CONCRETE SEPTIC TANK WITH 24" RISERS OVER BOTH PORTS; INSTALL EFFLUENT FILTER AT OUTLET (SEE DETAIL, SHEET W1)
- ② 810 GALLON (IAPMO LISTED) CONCRETE PUMP SUMP AND SUMP PUMP WITH 24" RISER OVER SUMP PUMP PORT (SEE DETAIL, SHEET W1)
- ③ DIVERSION VALVE, TO BE SWITCHED ANNUALLY (SEE DETAIL, SHEET W3)
- ④ DISTRIBUTION MANIFOLD IN CHRISTY BOX (OR EQUAL) (SEE DETAIL, SHEET W3)
- ⑤ DUAL 100% PRIMARY DISPOSAL FIELDS, TO BE SWITCHED ANNUALLY, CONTAINING 120 LINEAR FEET OF 1-1/4" DISTRIBUTION LATERALS WITH (40) 3/16" HOLES 36 INCHES ON CENTER, AND 120 LINEAR FEET OF 1-1/4" DISTRIBUTION LATERALS WITH (40) 3-16" HOLES 36 INCHES ON CENTER (SEE TRENCH DETAIL, SHEET W3)
- ⑥ PURGE VALVE IN CHRISTY BOX (OR EQUAL) (SEE DETAIL, SHEET W3)
- ⑦ INSPECTION WELL IN VALVE BOX, TYP (12 MINIMUM) (SEE DETAIL, SHEET W3)
- ⑧ TWO-WAY GRAVITY TYPE SANITARY SEWER CLEANOUT; INSTALL 2' FROM BUILDING EXTERIOR WALL (SEE DETAIL, SHEET W3)
- ⑨ STRAW WATTLE CHECK DAM (SEE DETAIL, SHEET W3)
- ⑩ CONTROL PANEL WITHIN 25' OF THE SUMP; INSTALL REMOTE ALARM IF THE PANEL IS MORE THAN 75' AWAY FROM THE HOUSE (SEE DETAIL, SHEET 1)
- ▨ SOIL PROFILE HOLE
- PERCOLATION TEST
- △ SURVEY CONTROL POINT

NOTES

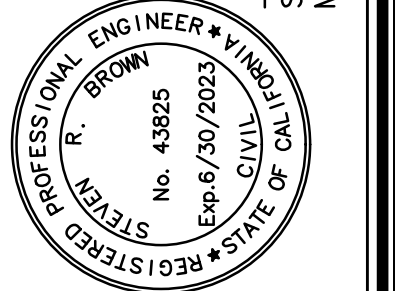
1. NO FOUNDATION AND/OR DRIVEWAY CUTS, AND NO SURFACE OR SUB-SURFACE DRAINS ARE TO BE LOCATED WITHIN 50 FEET DOWNSLOPE OR Laterally OF THE PRIMARY OR EXPANSION/REPAIR AREA OF ANY LEACH FIELD. DIRECT DOWNSPOUTS AWAY FROM LEACH FIELD.
2. ALL UNDERGROUND BOXES REQUIRE INSTALLATION OF GOPHER-RESISTANT BARRIERS.



No.	Date	Description	Approved

adobe associates, inc.
 civil engineering | land surveying | wastewater
 1220 N. Dutton Ave., Santa Rosa, CA 95401
 P. (707) 541-2300 F. (707) 541-2301
 Website: www.adobeinc.com
 A Service You Can Count On!

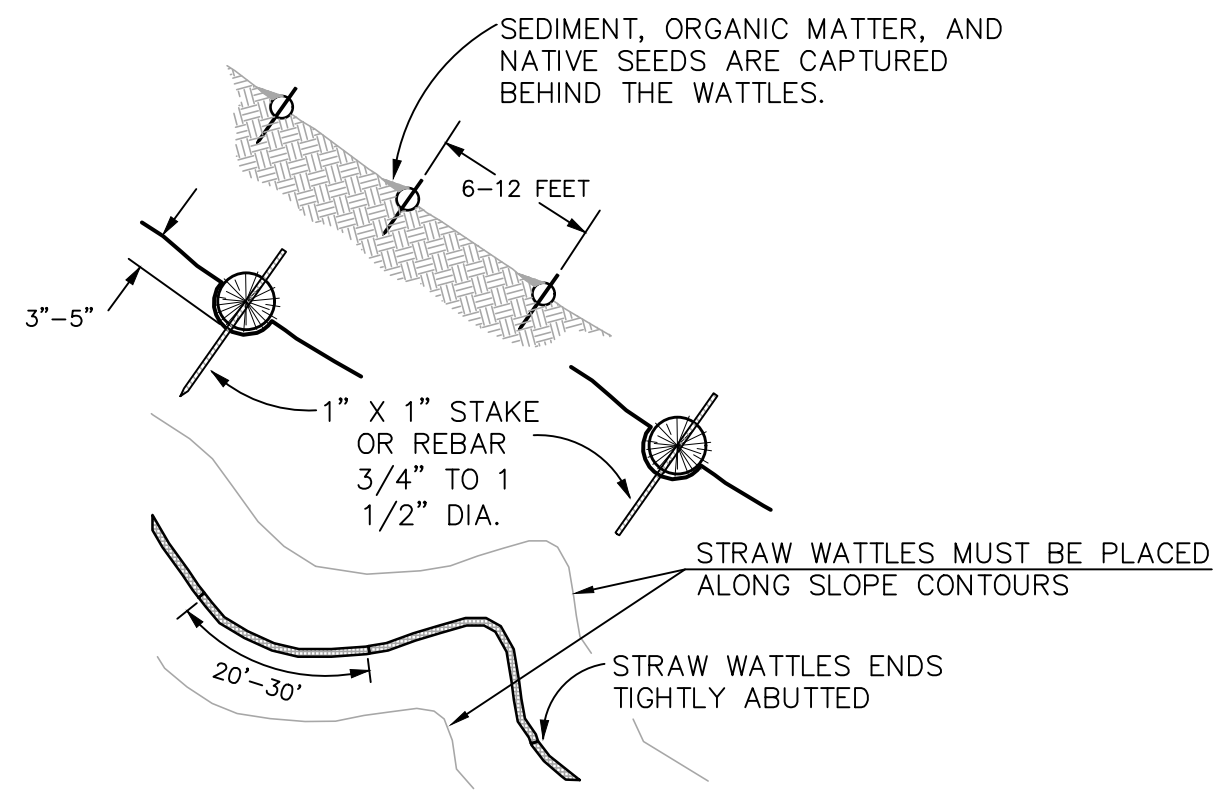
Signature



STANDARD TYPE PRIVATE SEWAGE DISPOSAL SYSTEM SEPTIC SYSTEM PLAN SHEET
 506 Via De La Vista
 Inverness, California
 APN 112-050-22

Scale:	AS SHOWN
Date:	November 30, 2022
Design by:	SFG
Drawn by:	SFG
Checked by:	SRB

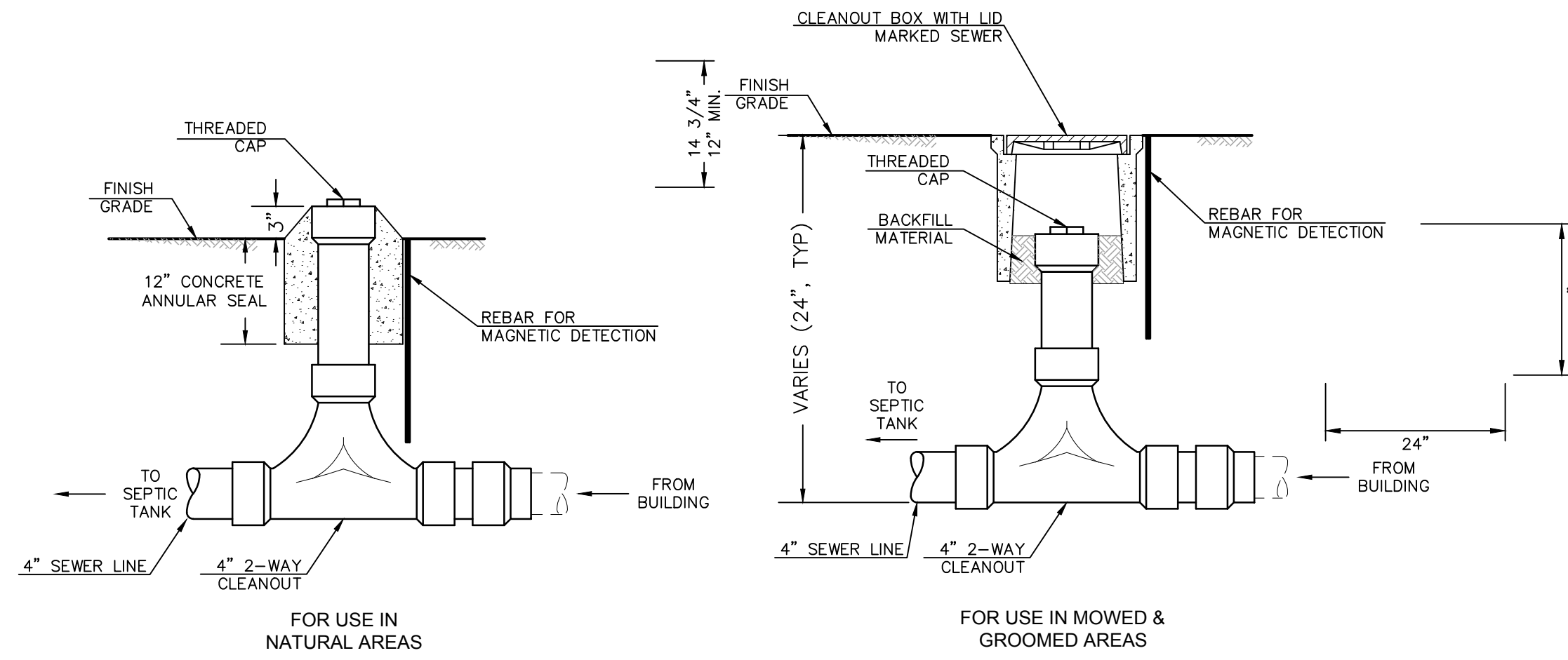
Sheet
W2
 of 3 Sheets
 Job No. 22061



- NOTES:
1. STRAW WATTLES ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING. THEY ARE APPROX. 8" DIA. AND 20 - 30 FT. LONG.
 2. STRAW WATTLES TRAP SEDIMENT AND REDUCE SHEET & RILL EROSION BY REDUCING SLOPE GRADIENT, INCREASING INFILTRATION RATES AND BY PRODUCING A FAVORABLE ENVIRONMENT FOR PLANT ESTABLISHMENT.
 3. STRAW WATTLE INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE WATTLE IN A TRENCH, 3" - 5" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND WATTLE.

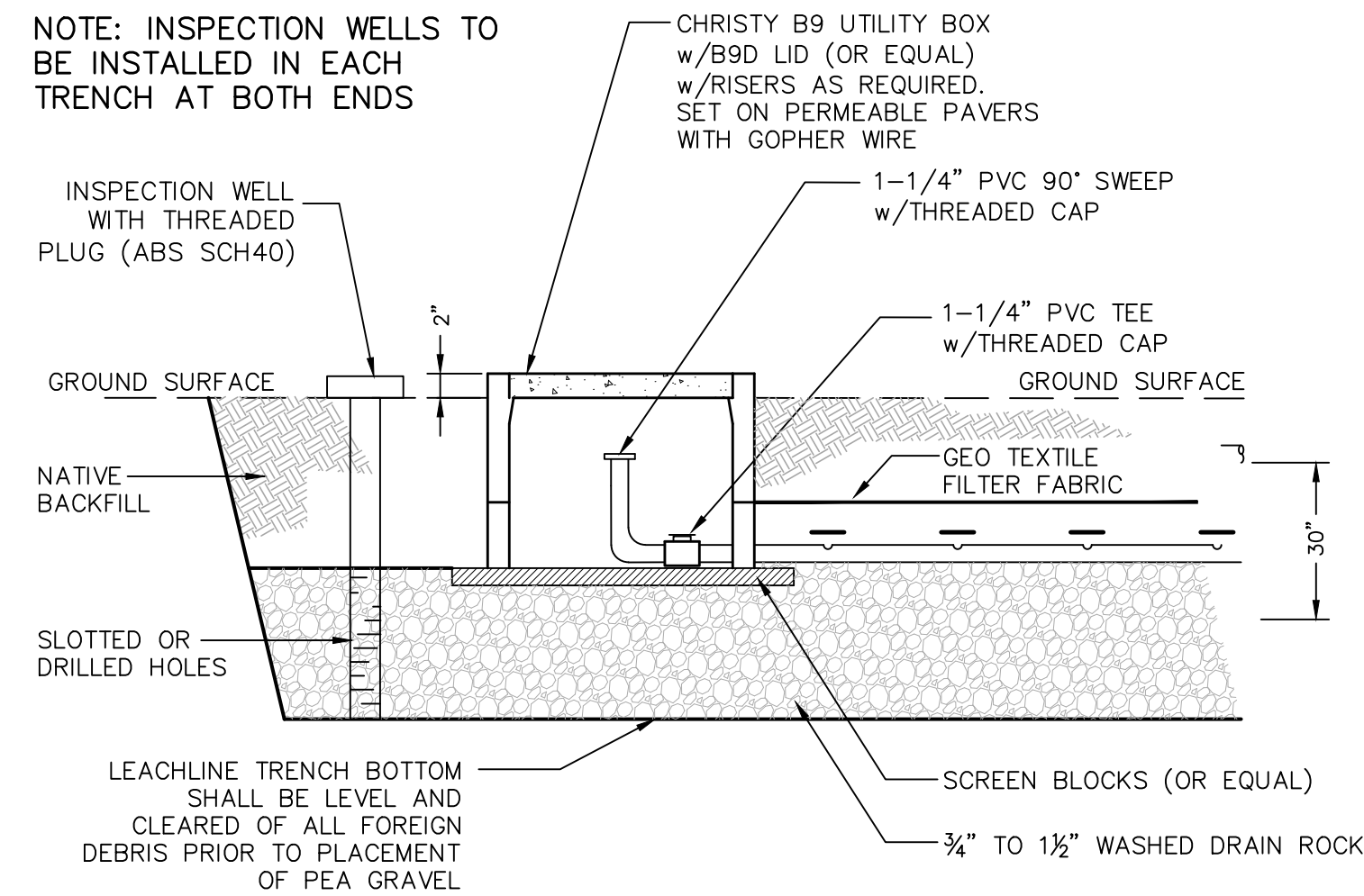
STRAW WATTLE CHECK DAM

NTS



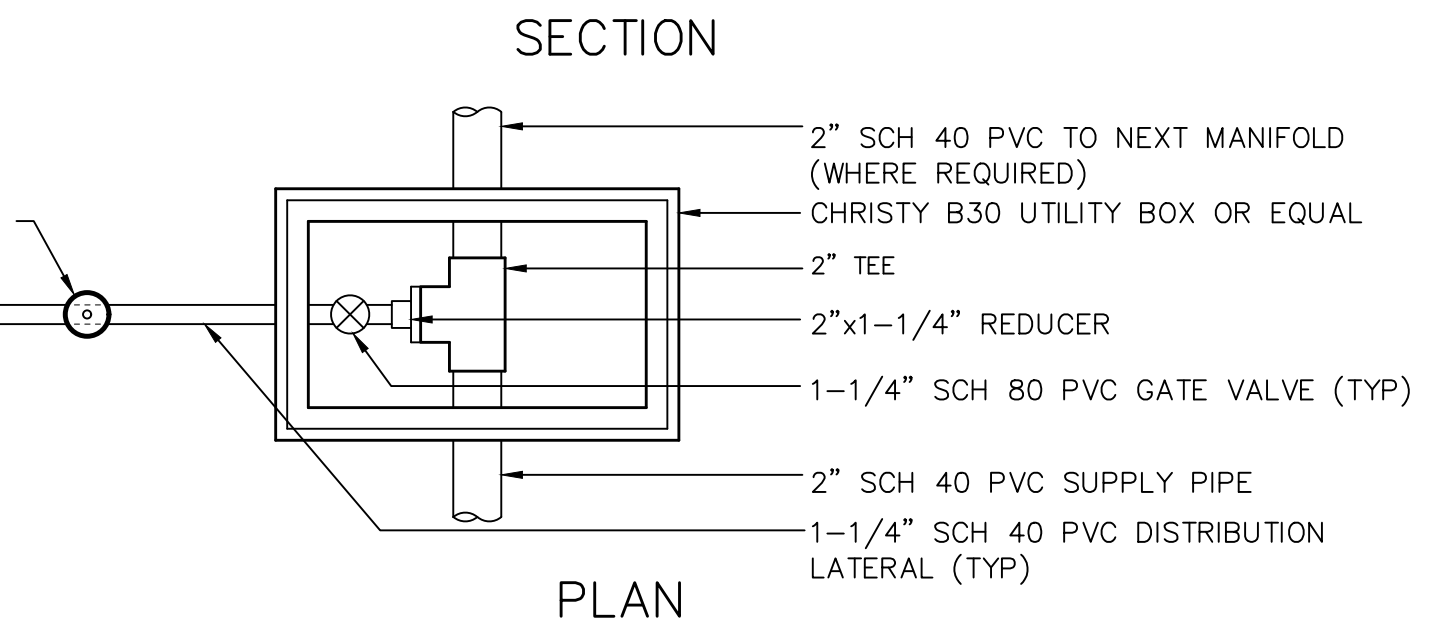
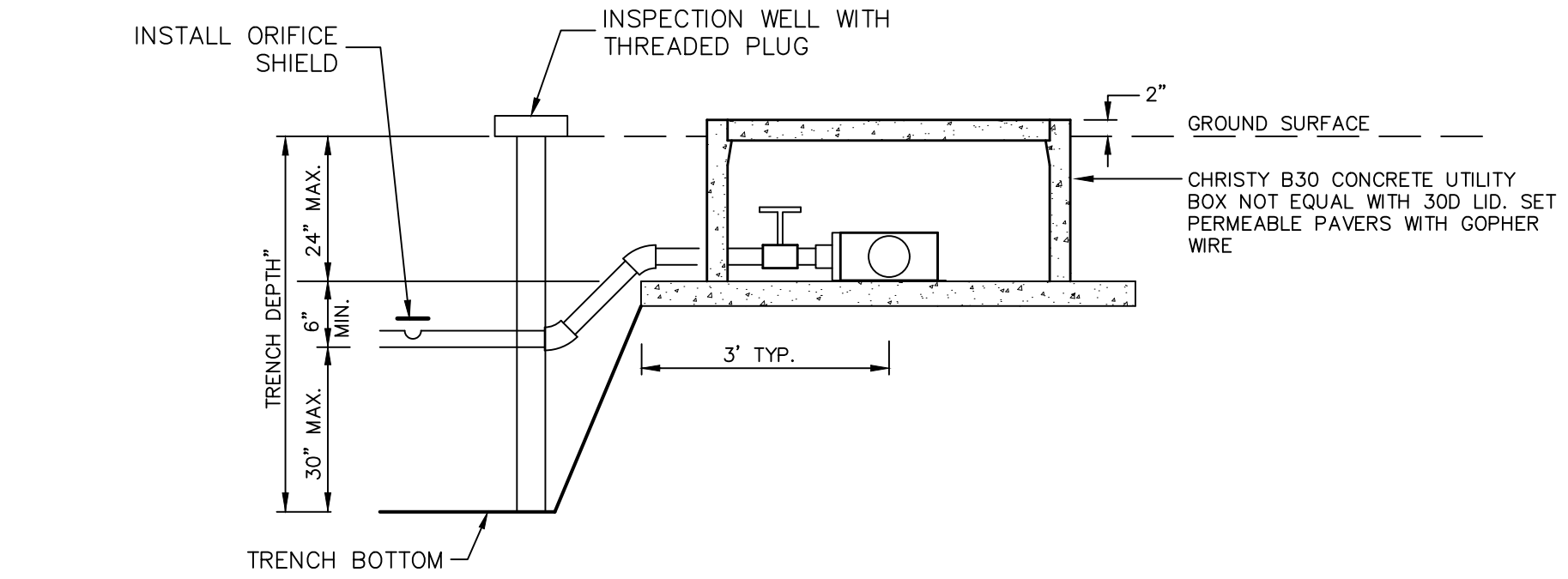
TWO-WAY GRAVITY CLEANOUT DETAIL

NTS



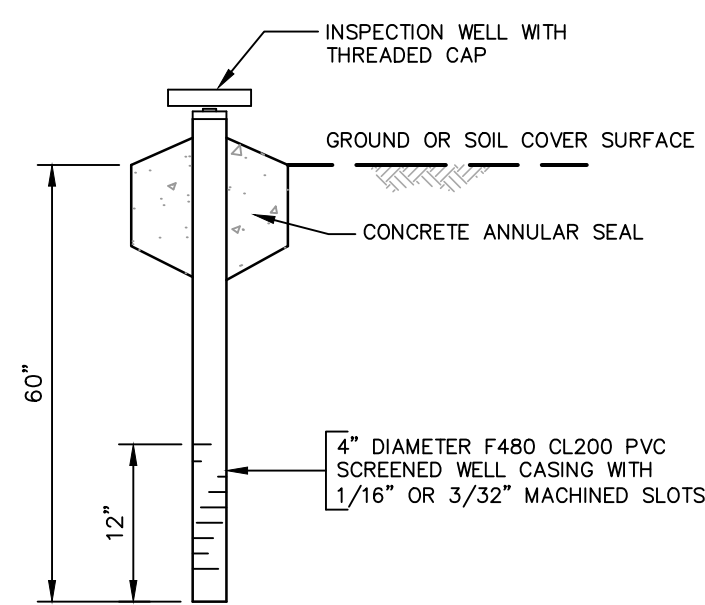
PURGE VALVE DETAIL

NTS



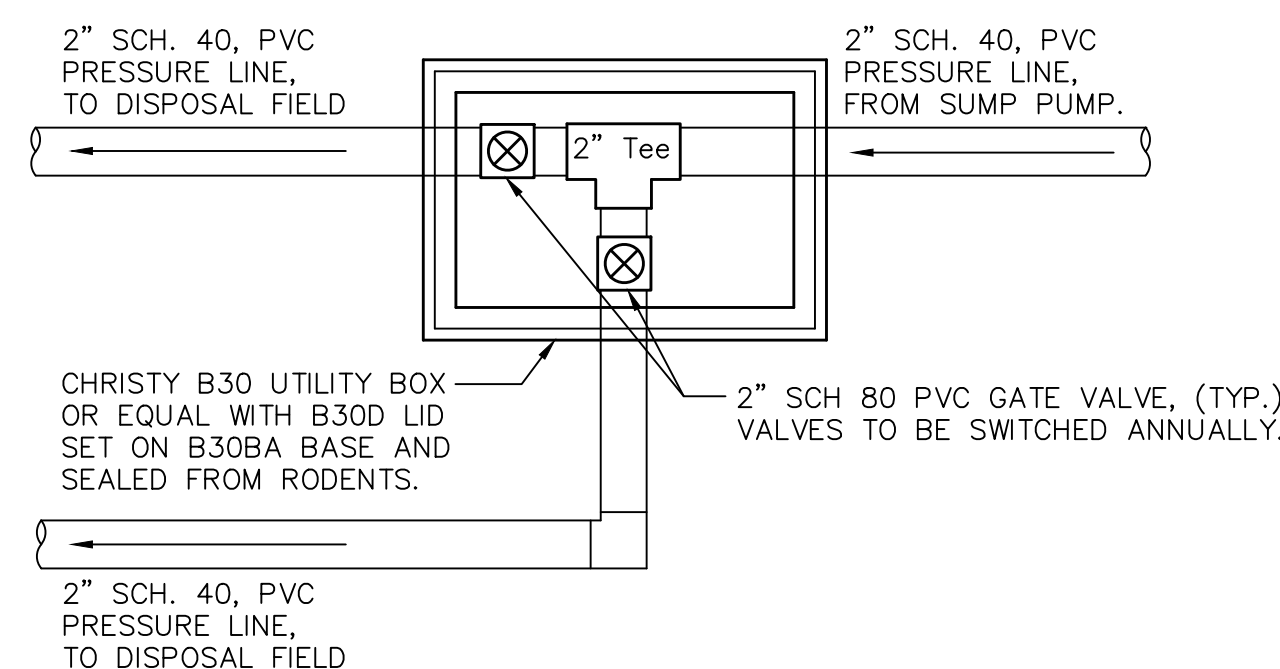
DISTRIBUTION MANIFOLD DETAIL

NTS



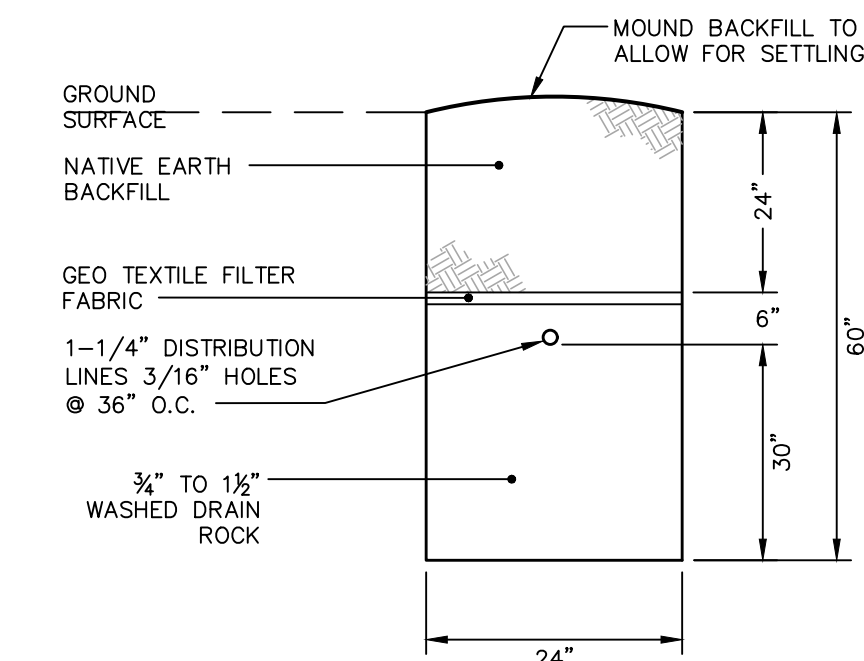
INSPECTION WELL

NTS



DIVERSION VALVE DETAIL

NTS



TRENCH SECTION

NTS

No.	Date	Description	Approved

adobe associates, inc.
 civil engineering / land surveying / wastewater
 1220 N. Dutton Ave., Santa Rosa, CA 95401
 P. (707) 541-2300 F. (707) 541-2301
 Website: www.adobeinc.com
 "A Service You Can Count On!"

Signature
 Steven R. Brown, RCE 43825
 My License Expires 6/30/2023

STANDARD TYPE PRIVATE SEWAGE DISPOSAL SYSTEM DETAIL SHEET
 560 Via De La Vista
 Inverness, California
 APN 115-050-22

Scale: AS SHOWN
 Date: November 30, 2022
 Design by: SFG
 Drawn by: SFG
 Checked by: SRB

Sheet
W3
 of 3 Sheets
 Job No. 22061