

PROJECT STATUS

June 1, 2023

Sent via email

Clinton Haslerig and Susan Burris
clint.haslerig@gmail.com
410 Cedar Road, Bolinas
Bolinas, CA 94924-0067

RE: **Haslerig Coastal Permit (CP)**
410 Cedar Road, Bolinas
Assessor's Parcel 192-092-29
Project ID P4113

Dear applicants,

The Planning Division and reviewing agencies have examined your application and have determined that it is incomplete because additional information is required.

Incompleteness Items

Please carefully review the list of required items below and, unless specified otherwise, submit one full-sized plans, one copy of plans reduced to 11" by 17", and two copies of any required documents within the next 30 days.

Marin County Community Development Agency, Environmental Health Services (Gwen Baert, (415) 473-6912)

1. In conformance with submittal checklist Item No 5, please provide additional information about the septic system. The site map shows a mound septic system that doesn't exist. Our records indicate a septic tank with leach lines that run-in southerly that may be close to proposed ADU. Two mobile homes on site map appear to be placed without benefit of permit, no record with EHS, and Assessor only has a two bedroom home existing on the lot. A class I septic system will be required for the approval of an ADU. Project cannot be approved as shown.

Submittal

Please submit all of the requested information together to the Planning Division at one time. The review of your application may be delayed if you submit information directly to the agency that requested the information. The time period required by State law for us to review the additional information will not commence until all of the required items are submitted to our office. If you require additional time to collect the information listed above, please send me a written request for an extension for a specific period of time. It is important to ask for an extension if you need one because your application will automatically expire unless an extension of time is requested and granted.

Appeal Rights

Pursuant to Marin County Code section 22.114.020 and Government Code section 65943, an applicant may appeal a determination that an application is incomplete. If you disagree with this decision regarding the incompleteness of your application, you may appeal it to the Planning Commission. A Petition for Appeal and the required fee must be submitted in the Community Development Agency, Planning Division, Room 308, Civic Center, San Rafael, no later than 10 business days from the date of this decision.

Questions and Contacts

Please do not hesitate to call me at (415) 4763-2755 or contact me via email at ibereket@marincounty.org as questions arise regarding your application or the development review process. I will return voicemail messages before the end of the next business day. Please do not visit our office expecting to meet with me without an appointment. If you wish to discuss your application in person, please contact me to schedule a time when we can meet. I will try to schedule an appointment within five business days. If you have questions about comments from another agency, please contact the staff from that agency directly. Thank you.

Sincerely,



Immanuel Bereket
Senior Planner

Encl:

1. Department of Public Works, Land Development Division, memorandum dated May 26, 2023.
2. Bolinas Community Public Utility District, e-mail dated May 16, 2023.

PLANNING APPLICATION REVIEW

DEPARTMENT OF PUBLIC WORKS

Inter-office Memorandum - First Transmittal

DATE: 5/26/23

DUE: 5/26/23

TO: Immanuel Bereket

FROM: Maurice Armstrong

APPROVED: 

RE: Haslerig Costal Permit P4113

APN: 192-092-29

ADDRESS: 410 Cedar Rd., Bolinas

TYPE OF DOCUMENT

DESIGN REVIEW

COASTAL PERMIT

LAND DIVISION

VARIANCE

USE PERMIT

ADU PERMIT

ENVIRONMENTAL REV.

OTHER:

Department of Public Works Land Use Division has reviewed this application for content and:

Comments Included (Inc.) or Attached (Att.) from other DPW Divisions:

- Find it **COMPLETE**
- Find it **INCOMPLETE**, please submit items listed below
- Find it **NEEDS SUBSTANTIAL MODIFICATIONS TO CONFORM**

- Traffic
- Flood Control
- Other: _____

Note to Planning

The application includes the minimum information needed for DPW to deem the application complete. The merit comments identify items that need further clarification and dimensioning prior to the issuance of the building permit.

Merit Comments

Prior to Issuance of a Building Permit:

Parking:

1. Per Marin County Code § 24.04.340(a), for detached single-family dwellings and duplexes, two parking spaces per unit are required. For one bedroom dwelling units an additional parking space is required. Demonstrate compliance.
2. Per Marin County Code § 24.04.380(a), head-in parking spaces shall be a minimum eight and one-half feet by eighteen feet. Parallel spaces shall be a minimum eight feet by twenty feet. For constrained locations such as garages serving single-family dwellings, spaces shall be a minimum nine feet by twenty feet. Demonstrate compliance.
3. **Grading & Drainage Plans:** Provide the following information on the drainage and grading plan:
 - a. Plan shall provide existing and proposed topographic contours, or a sufficient number of spot elevations, to describe drainage patterns. The proposed project shall maintain existing drainage patterns.
 - b. Plan shall show and label all existing and proposed drainage features and improvements. Improvements may include down spouts, footing and foundation drains, area drains and catch basins, piping and out fall structures or means of dispersion. Note that 2022 California Plumbing Code (CPC) §1101.12.1 requires

roof areas of buildings to be drained by roof drains and gutters. Note as well that CPC §1101.6.5(2) indicates that the point of discharge shall not be less than 10 feet from the property line.

- c. Per 2022 California Residential Code § R401.3, lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. Where lot lines, walls, slopes, or other physical barriers prohibit 6 inches of fall within 10 feet, drains or swales shall be constructed to ensure drainage away from the structure. Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum 2 percent away from the building. Demonstrate compliance.
 - d. The plan shall also incorporate any recommendations from the Geotechnical Engineer. Provide engineer's soil investigation performed by Agnew Civil engineering on November 1, 2022 referred to on Sheet S-001.
 - e. The plan shall tabulate the existing and proposed areas of impervious surface for the property, and demonstrate that there will be no net increase in runoff from the developed site compared to pre-existing development.
 - f. Indicate surfacing from proposed ADU to dimensioned parking stall or site access.
 - g. Plan shall show and label the limit of disturbance. Provide the total area to be disturbed and the proposed cut and fill earthwork volumes. Indicate to where off haul will be taken.
 - h. Indicate means of restoring all disturbed areas.
 - i. Add a note on the plans indicating that the plan preparer shall certify to the County in writing upon the completion of work that all grading and drainage improvements were installed in accordance with the approved plans and field direction. Be aware that a DPW Engineer will need to inspect and accept work after receipt of certification letter. Certification letters shall reference building permit number or numbers for specific work being certified, the address of the property and the Assessor's Parcel Number (APN), and shall be signed and stamped by the certifying professional.
4. **Geotechnical Review and Acceptance:** The plans must be reviewed and approved by the soils engineer. Certification shall be either by his/her stamp and original signature on the plans or by a stamped and signed letter. Certification shall reference plans reviewed, specifying site, structural, and drainage plans with date of drawings, and verify that plans address any recommendations previously offered.

Best Management Practices:

5. Per Marin County Code § 24.04.625(a)(c)(g)(k), provide a plan indicating construction-phase best management practices (BMPs) include erosion and sediment controls and pollution prevention practices. Erosion control BMPs may include, but are not limited to, scheduling and timing of grading activities, timely re-vegetation of graded areas, the use of hydroseed and hydraulic mulches, and installation of erosion control blankets. Sediment control may include properly sized detention basins, dams, or filters to reduce entry of suspended sediment into the storm drain system and watercourses, and installation of construction entrances to prevent tracking of sediment onto adjacent streets. Pollution prevention practices may include: designated washout areas or facilities, control of trash and recycled materials, covering of materials stored on-site, and proper location of and maintenance of temporary sanitary facilities. The combination of BMPs used, and their execution in the field, must be customized to the site using up-to-date standards and practices. You may refer to the Marin County Stormwater Pollution Prevention Program's website,
https://www.marincounty.org/~media/files/departments/pw/mcstoppp/development/erosion_sediment-control-measures-for-small-construction-projects-2015.pdf?la=en

Bereket, Immanuel

From: Jennifer Blackman <jblackman@bcpud.org>
Sent: Tuesday, May 16, 2023 1:14 AM
To: Bereket, Immanuel; DPWLandDevEngineer
Cc: Armstrong, Maurice; Montano, Honora@Coastal
Subject: RE: Haslerig Coastal Permit (CP)

Hi Manny:

Thanks very much for the coastal permit application documents for the Haslerig project. I am writing to let you know that the first regular BCPUD meeting at which this project can be considered is scheduled for June 21, 2023. (The regular monthly BCPUD meeting for May is this Wednesday, May 17th, but the agenda already is published/finalized). I will notify the applicants that they are required to apply to the BCPUD for a limited water use permit for this project, which also can be considered at the June 21st BCPUD Board meeting. I will then follow-up with you the day after the Board meeting to provide any comments/detail about the project and the limited water use permit. I apologize that it will not be possible for me to complete the BCPUD's review of this project by the May 26th deadline requested in your email.

Please let me know if you have any questions or would like to discuss this.

Best regards,

Jennifer

Jennifer Blackman
General Manager
Bolin Community Public Utility District
270 Elm Road
P.O. Box 390
Bolin, California 94924
(415) 868-1224

From: Bereket, Immanuel [mailto:IBereket@marincounty.org]
Sent: Monday, May 15, 2023 3:10 PM
To: DPWLandDevEngineer <DPWLandDevEngineer@marincounty.org>
Cc: Armstrong, Maurice <marmstrong@marincounty.org>; Montano, Honora@Coastal <Honora.Montano@coastal.ca.gov>; Jennifer Blackman <jblackman@bcpud.org>
Subject: Haslerig Coastal Permit (CP)

Second try with the correct subject heading and attachments.

Please review and provide comments on or before **by Friday, May 26, 2023.**

Thank you

From: Bereket, Immanuel
Sent: Monday, May 15, 2023 3:04 PM

To: DPWLandDevEngineer <DPWLandDevEngineer@marincounty.org>
Cc: Armstrong, Maurice <marmstrong@marincounty.org>; Montano, Honora@Coastal <Honora.Montano@coastal.ca.gov>; Jennifer Blackman <jblackman@bcpud.org>
Subject: RE: BayHillHoldingDR_P4079_North San Rafael

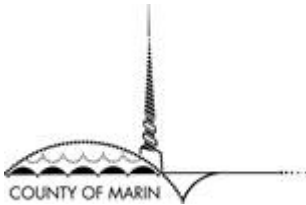
All,

The County has a Coastal Permit application to construct a detached 608 square-foot Accessory Dwelling Unit (ADU) on a developed property in Bolinas. Attached, please find (1) a transmittal coverage and (2) project plans.

Please review and provide comments on or before **by Friday, May 26, 2023**.

Let me know when you intend to make a site visit so I can join you.

Regards,
Manny



Immanuel Bereket | Senior Planner
County of Marin | Community Development Agency
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lbereket@marincounty.org

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