

# EXTERIOR REMODEL

111 OAK AVE  
KENTFIELD  
CA 94904

## PROJECT DATA

PROJECT ADDRESS	111 OAK AVE, KENTFIELD, CA 94904
APN	07115215
TYPE OF CONSTRUCTION	V-B
OCCUPANCY GROUP	R-3
FLOOD ZONE DESIGNATION	NO
ZONING	R-1
FIRE SPRINKLERS	NO
BUILDING HEIGHT FROM GRADE	(N) 9'-3"
EASEMENTS	NO RECORDS OF EASEMENTS

## CONTACT TABLE

CLIENT: GOTTESMAN REVOCABLE TRUST,  
GOTTESMANG@GMAIL.COM, (415) 271-2320.  
DESIGNER: CONSTRUCTO INC. NICK ROMANENKO,  
(408)490-3333 X107, NICK@CONSTRUCTO.ONLINE  
51 E CAMPBELL AVE., STE. 100-B, CAMPBELL, CA 95008  
PROFESSIONAL ENGINEER: LEI ZHENG, (510) 909-1933,  
ENGINEER.LEI@GMAIL.COM

## PROJECT ANALYSIS

LOT SIZE	10,000 SQ FT
GROSS FLOOR AREA (E)	4,109 SQ FT
GROSS FLOOR AREA (N)	NO CHANGE
FAR (E)	41%
FAR (N)	NO CHANGE
LOT COVERAGE (E)	6.295 SQ FT
LOT COVERAGE (N)	7.585 SQ FT
PARKING (E)	3 SPACES
PARKING (N)	NO CHANGE
LIMIT OF DISTURBANCE	2,622 SQ FT
GRADING CALCULATION	
CUT	75 CUBIC YARDS
FILL	50 CUBIC YARDS
OFF-HAUL	25 CUBIC YARDS

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C-4	EROSION CONTROL PLAN		AS NOTED
C-5	POOL BMP		AS NOTED
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S2	ROOF TOP FRAMING PLAN		AS NOTED
S3	PERGOLA FRAMING PLAN		AS NOTED
SD1	STRUCTURAL DETAILS		AS NOTED

## SCOPE OF WORK

- (N) PREFABRICATED POOL WITH BAJA SHELF 152 SQ FT
- (N) SHADE PERGOLA 478 SQ FT
- (N) FIREPLACE WALL OVER EXISTING DETACHED GARAGE
- (N) RETAINING WALL IN POOL AREA
- (N) SYNTHETIC TURF
- (N) CONCRETE STEPPERS
- (N) SAWING
- (N) PLANTING AREA
- (N) WINE FRIDGE AND STORAGE
- (N) RAISED PLANTER



VICINITY MAP  
NO SCALE

FOR ANY WORK PROPOSED IN THE RIGHT OF WAY THE SELECTED CONTRACTOR SHALL APPLY FOR AND OBTAIN AN ENCROACHMENT PERMIT PRIOR TO STARTING THAT WORK.

NOTE:  
DESIGN ENGINEER/ARCHITECT SHALL CERTIFY TO THE COUNTY IN WRITING UPON THE COMPLETION OF WORK THAT ALL GRADING AND DRAINAGE IMPROVEMENTS WERE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND FIELD DIRECTION. BE AWARE THAT A DPW ENGINEER WILL NEED TO INSPECT AND ACCEPT WORK AFTER RECEIPT OF CERTIFICATION LETTER. CERTIFICATION LETTERS SHALL REFERENCE BUILDING PERMIT NUMBER OR NUMBERS FOR SPECIFIC WORK BEING CERTIFIED. THE ADDRESS OF THE PROPERTY AND THE ASSESSOR'S PARCEL NUMBER (APN) AND SHALL BE SIGNED AND STAMPED BY THE CERTIFYING PROFESSIONAL.

DESIGN ENGINEER SHALL INSPECT AND CERTIFY IN WRITING TO DPW THAT EACH RETAINING WALL WAS CONSTRUCTED PER APPROVED PLAN AND FIELD DIRECTION. CERTIFICATION LETTERS SHALL REFERENCE BUILDING PERMIT NUMBER OR NUMBERS FOR SPECIFIC WORK BEING CERTIFIED. THE ADDRESS AND THE ASSESSOR'S PARCEL NUMBER (APN) FOR THE PROJECT, AND SHALL BE SIGNED AND STAMPED BY THE CERTIFYING PROFESSIONAL.



LOT AND LANDSCAPE PLAN  
AS-BUILT/EXISTING, SCALE 1/16" = 1'

REVISION TABLE		
NUMBER	DATE	REVISED BY
	07.03.2023	NR

**PROJECT**  
EXTERIOR  
REMODEL

**ADDRESS**  
111 OAK AVE  
KENTFIELD  
CA 94904

**CLIENT**  
GOTTESMAN  
REVOCABLE TRUST

**TITLE**  
SITE PLAN

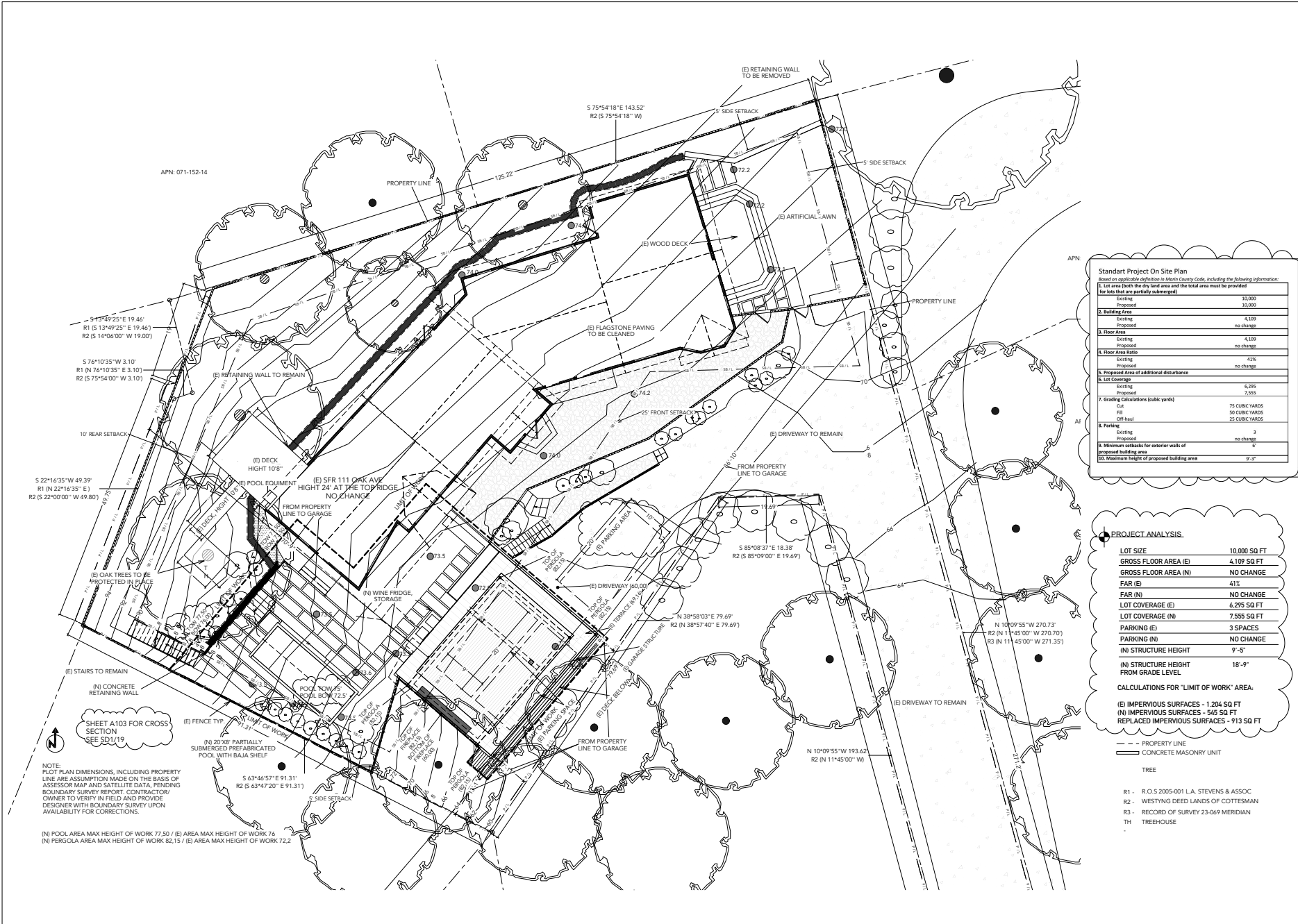
**PROPOSED**

**DATE**  
7/21/23

**SCALE**  
1/8" = 1'

REVISION TABLE		
NUMBER	DATE	REVISED BY
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**A101**



**Standart Project On Site Plan**  
Based on applicable definition in Marin County Code, including the following information:  
(E) Lot area both the dry land area and the total area must be provided  
(for lots that are partially submerged)

1. Lot Area	Existing	10,000
	Proposed	10,000
2. Building Area	Existing	4,109
	Proposed	no change
3. Floor Area	Existing	4,109
	Proposed	no change
4. Floor Area Ratio	Existing	41%
	Proposed	no change
5. Proposed Area of additional Disturbance	Existing	6,295
	Proposed	7,555
7. Grading Calculations (cubic yards)	Cut	75 CUBIC YARDS
	Fill	50 CUBIC YARDS
	Off-haul	25 CUBIC YARDS
8. Parking	Existing	3
	Proposed	no change
9. Minimum setbacks for exterior walls of proposed building area	Existing	6'
	Proposed	9'-3"

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GROSS FLOOR AREA (N)	NO CHANGE
FAR (E)	41%
FAR (N)	NO CHANGE
LOT COVERAGE (E)	6,295 SQ FT
LOT COVERAGE (N)	7,555 SQ FT
PARKING (E)	3 SPACES
PARKING (N)	NO CHANGE
(N) STRUCTURE HEIGHT	9'-5"
(N) STRUCTURE HEIGHT FROM GRADE LEVEL	18'-9"

**CALCULATIONS FOR "LIMIT OF WORK" AREA:**

(E) IMPERVIOUS SURFACES -	1,204 SQ FT
(N) IMPERVIOUS SURFACES -	545 SQ FT
REPLACED IMPERVIOUS SURFACES -	913 SQ FT

- PROPERTY LINE
  - CONCRETE MASONRY UNIT
  - TREE
- R1 - R.O.S 2005-001 L.A. STEVENS & ASSOC  
R2 - WESTYNG DEED LANDS OF GOTTESMAN  
R3 - RECORD OF SURVEY 23-069 MERIDIAN  
TH - TREEHOUSE

**PROJECT**

EXTERIOR  
REMODEL

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111 OAK AVE  
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**CLIENT**

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REVOCABLE TRUST

**TITLE**

LAYOUT  
ENLARGEMENT  
PLAN POOL AND  
PATIO

**PROPOSED**

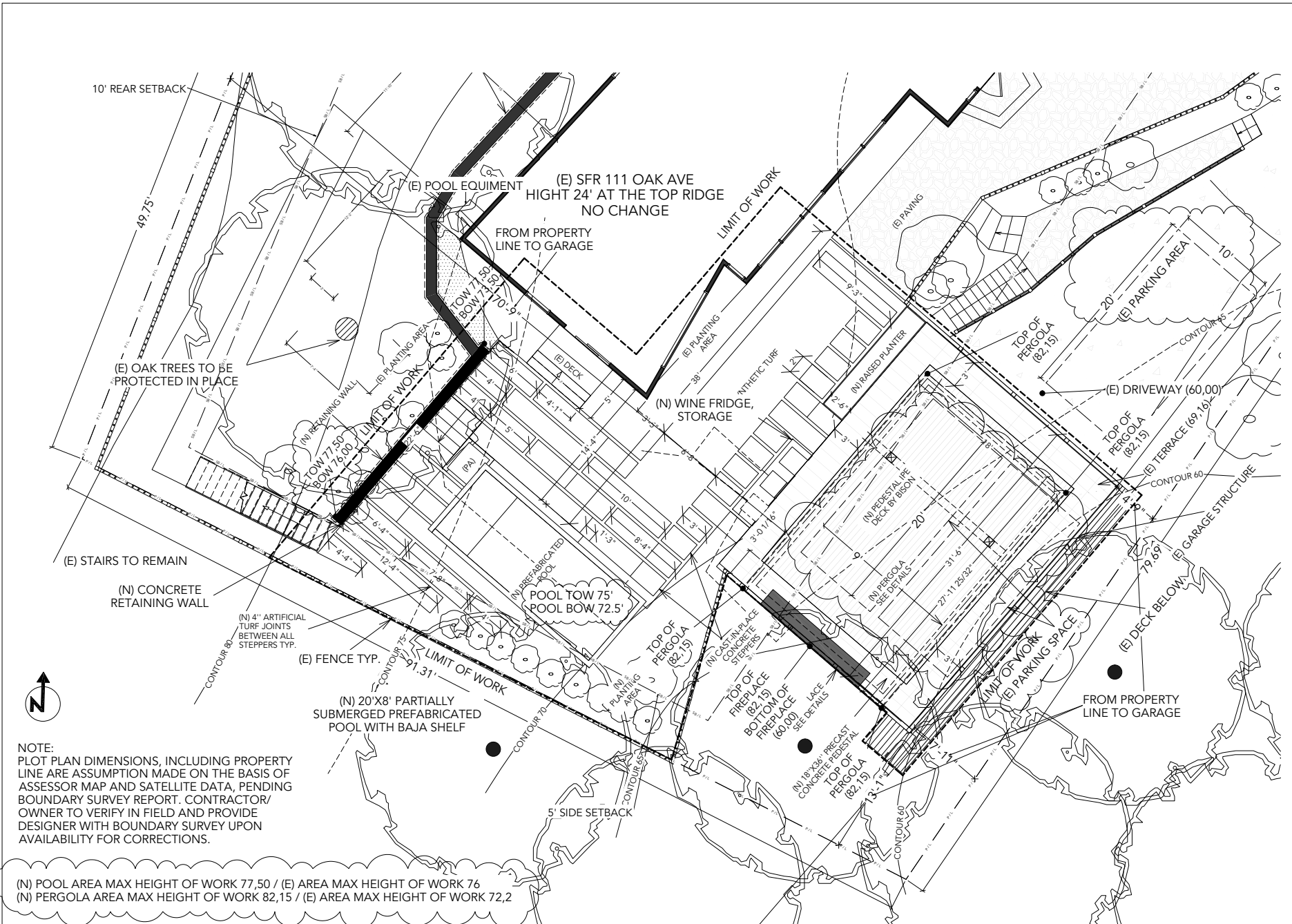
**DATE**

7/21/23

**SCALE**

1/4" = 1'

REVISION TABLE		
NUMBER	DATE	REVISED BY
1	07.03.2023	NR



NOTE:  
PLOT PLAN DIMENSIONS, INCLUDING PROPERTY LINE ARE ASSUMPTION MADE ON THE BASIS OF ASSESSOR MAP AND SATELLITE DATA, PENDING BOUNDARY SURVEY REPORT. CONTRACTOR/ OWNER TO VERIFY IN FIELD AND PROVIDE DESIGNER WITH BOUNDARY SURVEY UPON AVAILABILITY FOR CORRECTIONS.

(N) POOL AREA MAX HEIGHT OF WORK 77.50 / (E) AREA MAX HEIGHT OF WORK 76  
(N) PERGOLA AREA MAX HEIGHT OF WORK 82.15 / (E) AREA MAX HEIGHT OF WORK 72.2

**PROJECT**

**EXTERIOR  
REMODEL**

**ADDRESS**

111 OAK AVE  
KENTFIELD  
CA 94904

**CLIENT**

GOTTESMAN  
REVOCABLE TRUST

**TITLE**

**SECTIONS**

**PROPOSED**

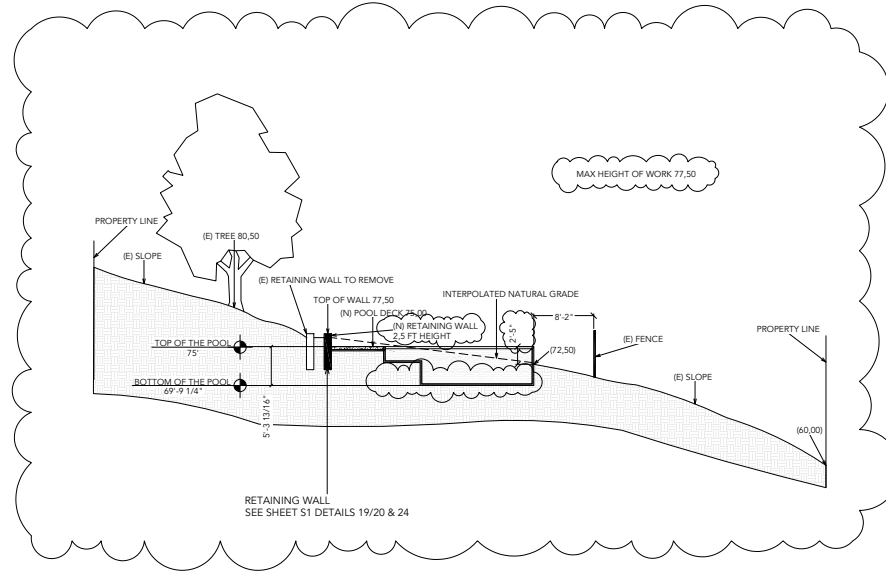
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7/21/23

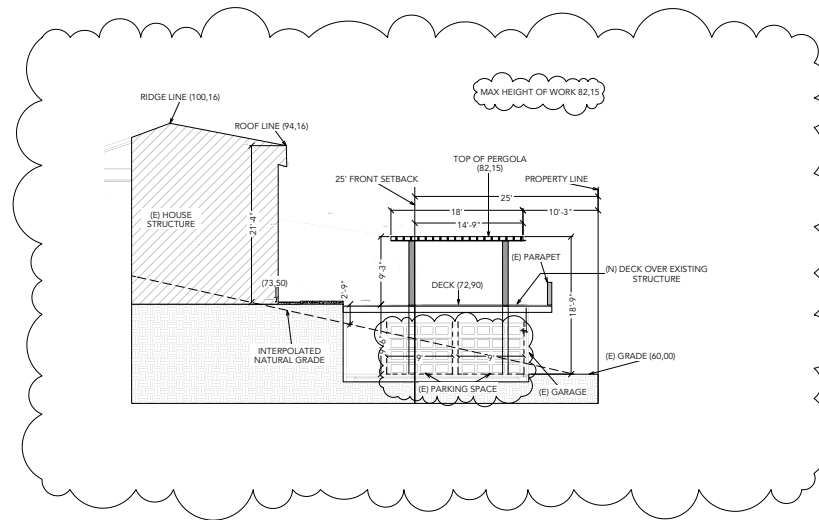
**SCALE**

1/8" = 1'

REVISION TABLE		
NUMBER	DATE	REVISOR
1	07.03.2023	NR



SECTION 02 RETAINING WALL AND POOL SECTION  
SOUTH



SECTION 01 PERGOLA AND EXISTING HOUSE  
SOUTH

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REMODEL

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111 OAK AVE  
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CA 94904

**CLIENT**  
GOTTESMAN  
REVOCABLE TRUST

**TITLE**  
ELEVATION  
PERGOLA

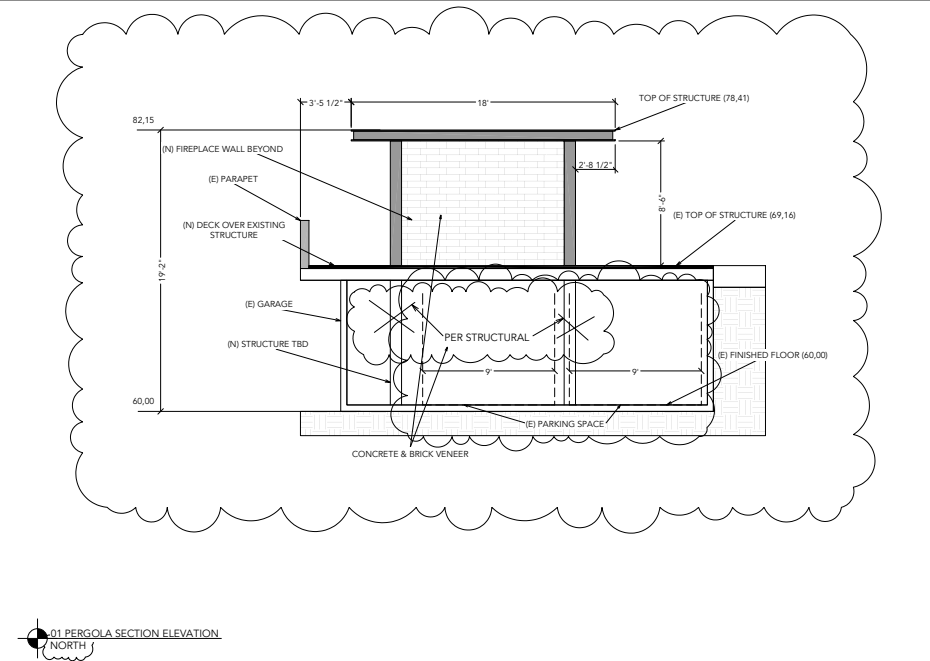
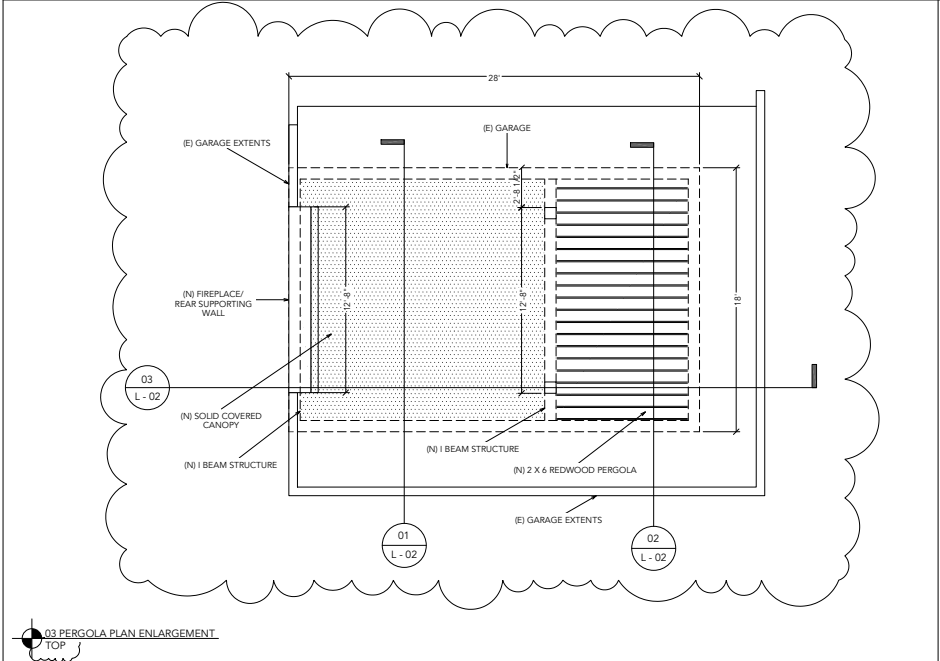
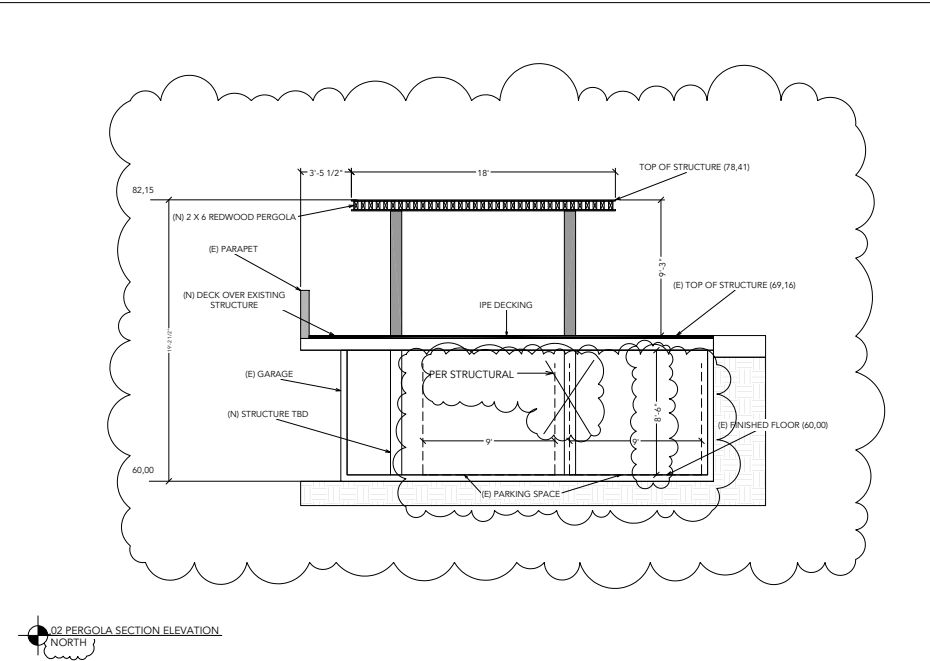
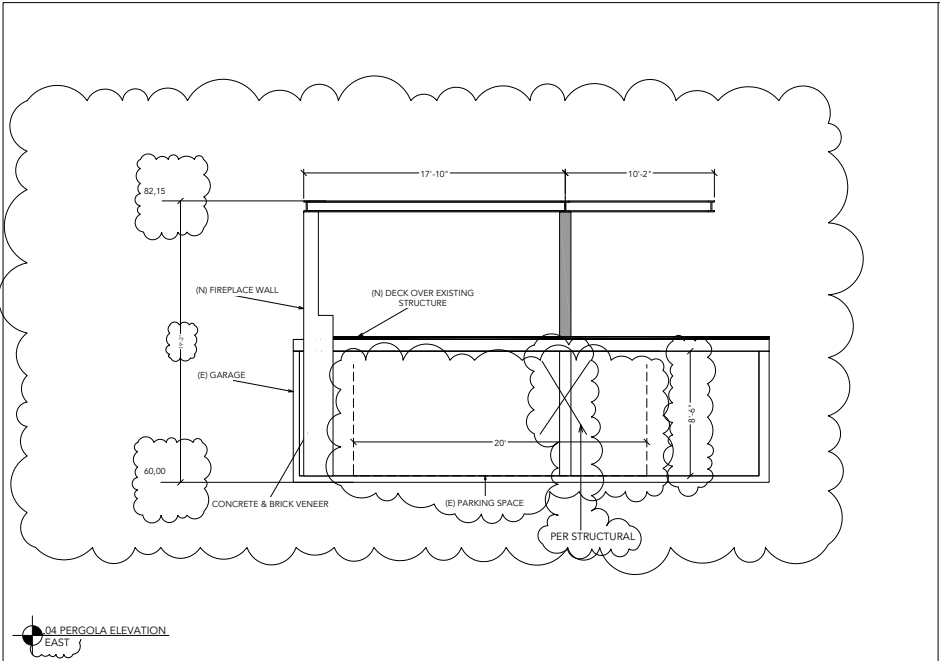
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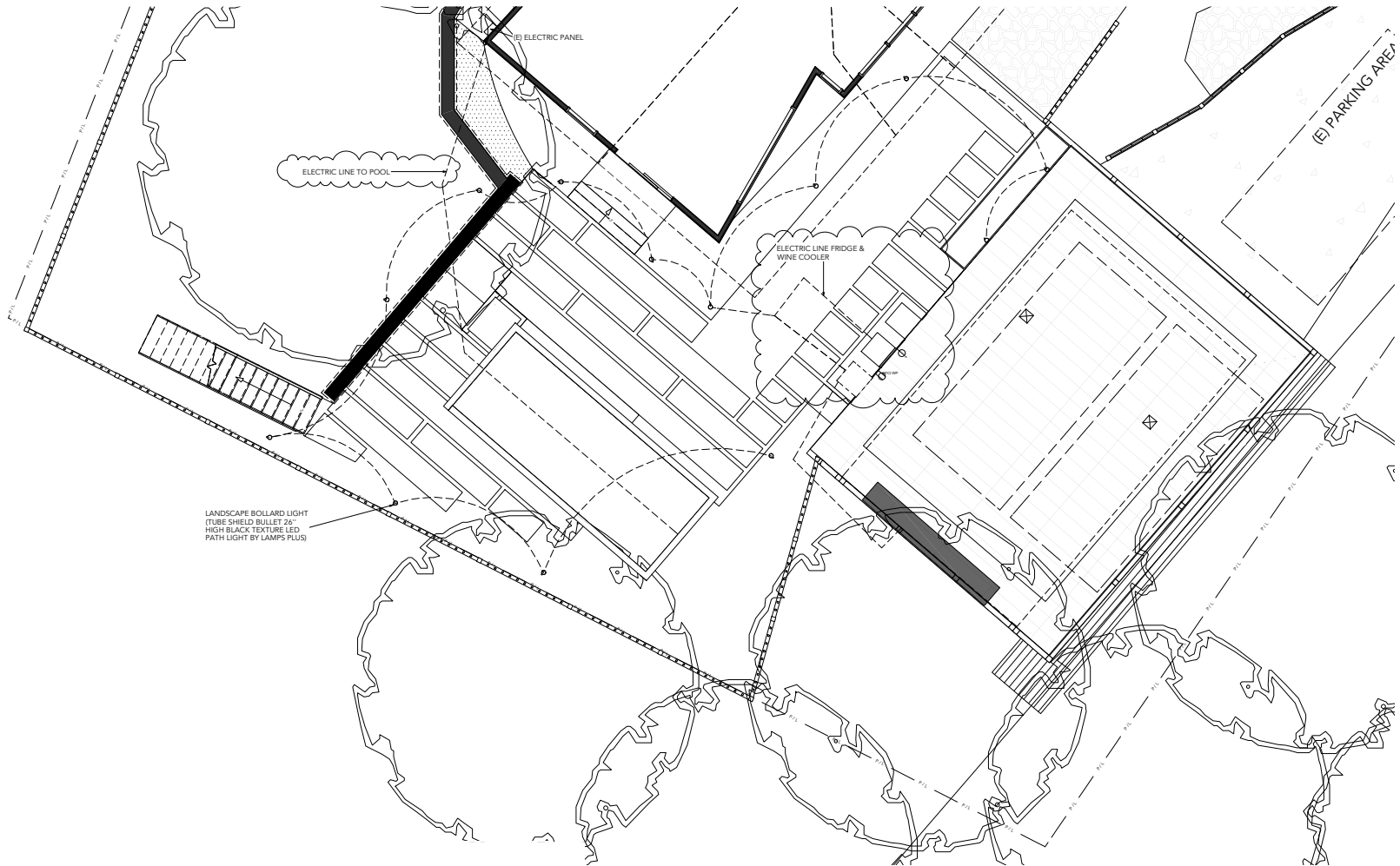
**DATE**  
7/21/23

**SCALE**  
1/4" = 1'

REVISION TABLE		
NUMBER	DATE	REVISION BY
07	03, 2023	NR

**A104**





PROJECT

EXTERIOR  
REMODEL

ADDRESS

111 OAK AVE  
KENTFIELD  
CA 94904

CLIENT

GOTTESMAN  
REVOCABLE TRUST

TITLE

MEP

PROPOSED

DATE

7/21/23

SCALE

1/4" = 1'

**PROJECT**

EXTERIOR  
REMODEL

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111 OAK AVE  
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CA 94904

**CLIENT**

GOTTESMAN  
REVOCABLE TRUST

**TITLE**

GAS LINE  
DIAGRAM

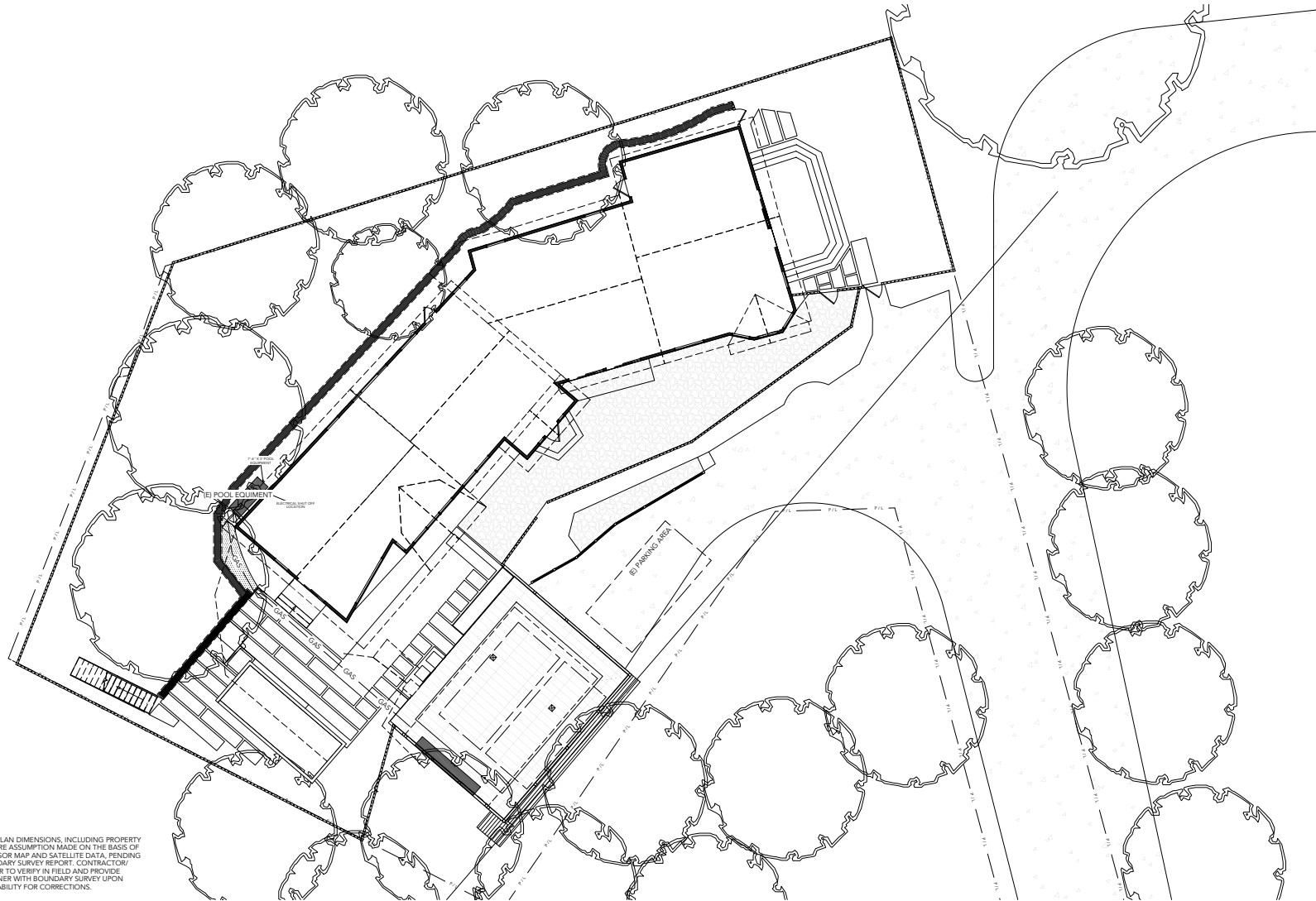
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**DATE**

7/21/23

**SCALE**

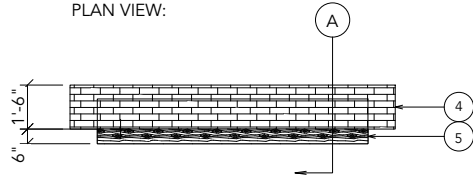
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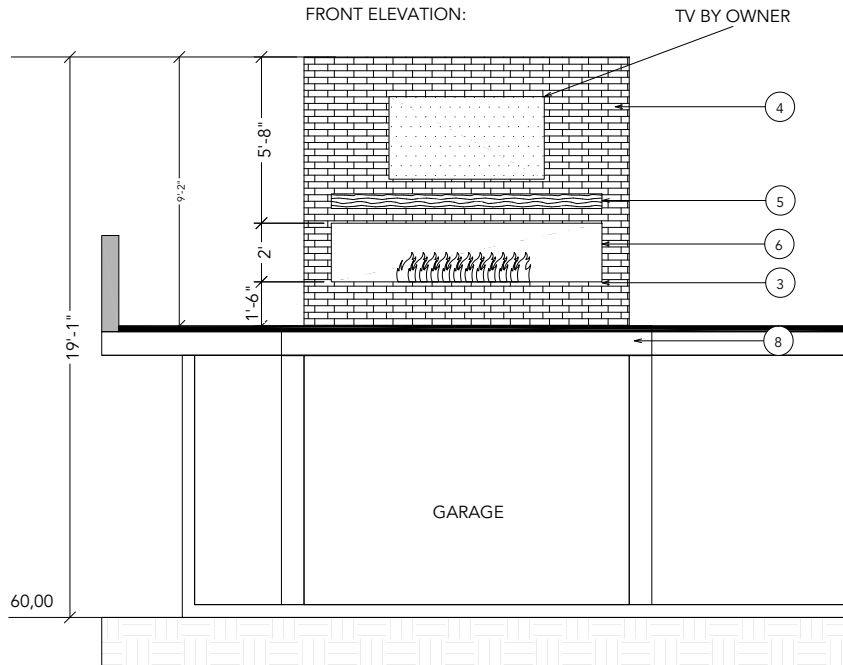
NOTE:  
PLOT PLAN DIMENSIONS, INCLUDING PROPERTY  
LINE ARE ASSUMPTION MADE ON THE BASIS OF  
ASSESSOR MAP AND SATELLITE DATA, PENDING  
BOUNDARY SURVEY REPORT. CONTRACTOR/  
OWNER TO VERIFY IN FIELD AND PROVIDE  
DESIGNER WITH BOUNDARY SURVEY UPON  
AVAILABILITY FOR CORRECTIONS.

- LEGEND:  
 1 - CUSTOM STAINLESS STEEL MANIFOLD KIT PER CONSTRUCTOR  
 2 - GAS SERVICE LINE WITH TIMER - INSTALL GAS TIMER FLUSH  
 3 - FIRE GLASS - DEPTH TO BE 2" MIN. ABOVE MANIFOLD  
 4 - POURED IN PLACE CONCRETE WALL PER STRUCTURAL WITH BLACK TILE VENEER  
 5 - WHITE OAK MANTLE  
 6 - INSET CORTEX PANEL - ANCHORED TO POURED IN PLACE CONCRETE HEARTH PER CONSTRUCTOR  
 7 - DRAIN - CONNECTION INTO SUB - SURFACE DRAINAGE SYSTEM BY OTHERS  
 8 - ADJACENT DECK OVER EXISTING STRUCTURE  
 9 - CONCRETE FOOTING - SIZE, DEPTH, AND REINFORCING PER ENG.

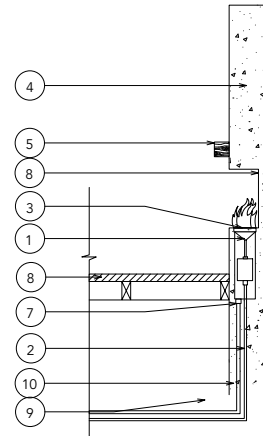
PLAN VIEW:



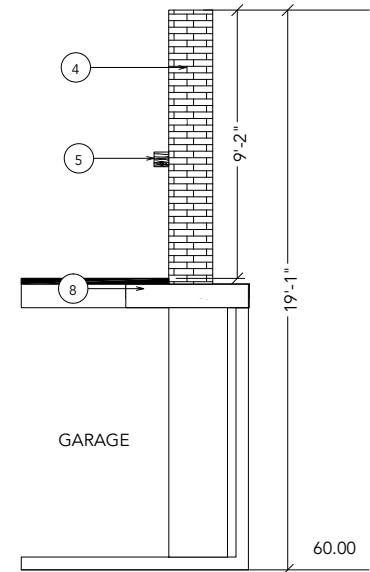
FRONT ELEVATION:



SECTION A:



SIDE ELEVATION:



**PROJECT**

EXTERIOR  
REMODEL

**ADDRESS**

111 OAK AVE  
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CA 94904

**CLIENT**

GOTTESMAN  
REVOCABLE TRUST

**TITLE**

FIREPLACE  
DETAILS

**DATE**

7/21/23

**SCALE**

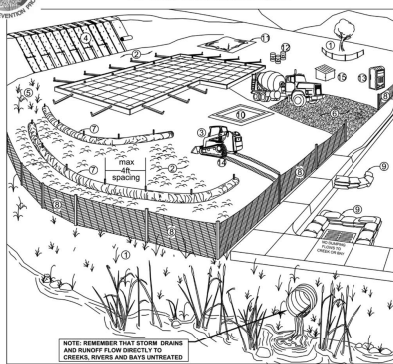
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REVISION TABLE		
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**Marin County Stormwater Pollution Prevention Program**  
Minimum Control Measures  
For Small Construction Projects

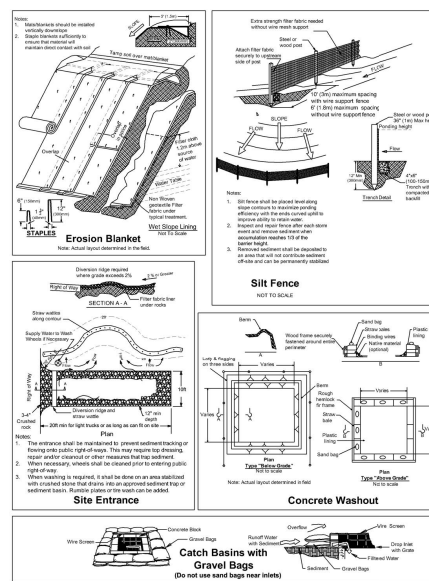


Erosion Controls	Sediment Controls	Good Housekeeping
NS - Scheduling	6 - Tracking Controls	10 - Concrete Washout
1 - Preserve Vegetation & Creek Set Backs	7 - Fiber Rolls	11 - Storm Drain Management
2 - Soil Cover	8 - Silt Fence	12 - Hazardous Material Management
3 - Soil Preparation/Roughening	9 - Drain Inlet Protection	13 - Sanitary Waste Management
4 - Erosion Control Blankets	NS - Trench Dewatering	14 - Equipment and Vehicle Maintenance
5 - Revegetation	15 - Litter and Waste Management	

Note: Select an effective combination of control measures from each category: Erosion Control, Sediment Control, and Good Housekeeping. Control measures shall be continually implemented and maintained throughout the project until activities are complete, disturbed areas are stabilized with permanent erosion controls, and the local agency has signed off on permits that may have been required for the project. Inspect and maintain the control measures before and after rain events, and as required by the local agency or state permit.  
More detailed information on the BMPs can be found in the related California Stormwater Quality Association (CASQA) and California Department of Transportation (Caltrans) BMP Factheets. CASQA factheets are available by subscription in the California Best Management Practices Handbook Portal. Construction at <https://www.casqa.org>. California factheets are available in the Construction Site BMP Manual at <https://dot.ca.gov/programs/construction/storm-water-and-water-pollution-control/measures-and-handbooks>. Visit [www.mcstopp.org](http://www.mcstopp.org) for more information on construction site management and Erosion and Sediment Control Plans.

If you require materials in alternative formats, please contact:  
415-473-4381 voice/TTY or [disabilityaccess@co.marin.ca.us](mailto:disabilityaccess@co.marin.ca.us)

Control Measure	General Description
<b>Minimum Control Measures</b>	<b>General Description</b>
N/A Scheduling	Plan the project and develop a schedule showing each phase of construction. Schedule construction activities to reduce erosion potential, such as scheduling ground disturbing activities during the overflow and planting projects to minimize the amount of area disturbed. For more info see the following factheets: CASQA: EC-1; or Caltrans: SC-7.
1 Preserve Existing Vegetation and Creek Setbacks	Preserve existing vegetation to the extent possible, especially along creek buffers. Show creek buffers on maps and identify areas to be preserved in the field with temporary fencing. Check with the local Planning and Public Works Departments for specific creek set back requirements. For more info see the following factheets: CASQA: EC-2; or Caltrans: SC-2.
2 Soil Cover	Cover exposed soil with straw mulch and lattice (or equivalent). For more info see the following factheets: CASQA: EC-3; EC-4; EC-4A; EC-4B; EC-4C; EC-4D; EC-4E; or Caltrans: SC-3, SC-4, SC-5, SC-6, SC-7, SC-8.
3 Soil Preparation/Roughening	Soil preparation is essential to vegetation establishment and BMP installation. It includes soil testing and amendments to promote vegetation growth as well as modifying surface soils by mechanical methods (decompacting, scarifying, air shearing, etc.). For more info see the following factheets: CASQA: EC-15; or Caltrans: SC-9.
4 Erosion Control Blankets	Install erosion control blankets (or equivalent) on disturbed sites with 3:1 slopes or steeper. Use wildlife-friendly blankets made of biodegradable natural materials. Avoid using blankets made with plastic netting or their open weave setting. See: <a href="http://www.calstate.ca.gov/Wildlife-Friendly_Products.pdf">http://www.calstate.ca.gov/Wildlife-Friendly_Products.pdf</a> . For more info see the following factheets: CASQA: EC-7; or Caltrans: SC-7.
5 Revegetation	Re-vegetate areas of disturbed soil or vegetation as soon as practical. For more info see the following factheets: CASQA: EC-4; or Caltrans: SC-4.
<b>Sediment Control Best Management Practices</b>	
6 Tracking Controls	Stabilize site entrance to prevent tracking soil offsite. Inspect streets daily and sweep street as needed. Require vehicles and workers to use established entrance. Place crushed rock, 12 inches deep and a perimeter, using angular rock between 4 and 6-in. Make the entrance as long as can be accommodated on the site, ideally long enough for 2 revolutions of the maximum tire (19-20 feet long for most light trucks). Make the entrance wide enough to accommodate the largest vehicle that will access the site, ideally 10 feet wide with sufficient pads for turning in and out of the site. Run the pads or curbside rocks be used in lieu of or in conjunction with rock entrances. Wheel washes may be needed where space is limited or where the site entrance and sweeping is not effective. For more info see the following factheets: CASQA: TC-1; TC-2; or Caltrans: TC-1; TC-3.
7 Fiber Rolls	Use fiber rolls as a perimeter control measure, along contours of slopes, and around soil stockpiles. On slopes space rolls 10 to 20 feet apart using closer spacing on steeper slopes. Install parallel to contour. If more than one roll is used in a row overlap roll do not abut. Check end of roll catches. Install rolls per either Type 1 (straw rolls into shallow trenches) or Type 2 (straw in front and behind roll and each with rope). Use wildlife-friendly fiber rolls made of biodegradable natural materials. Avoid using fiber rolls made with plastic netting or heavy aperure netting. See: <a href="http://www.calstate.ca.gov/Wildlife-Friendly_Products.pdf">http://www.calstate.ca.gov/Wildlife-Friendly_Products.pdf</a> . Manufactured linear treatment control or compost rocks can be used in lieu of fiber rolls. For more info see the following factheets: CASQA: SE-6 (Type 1), SE-12, SE-13; or Caltrans: SC-5 (Type 1 and Type 2).
8 Silt Fence	Use silt fence as a perimeter control measure, and around soil stockpiles. Install silt fence along contours. Key silt fence into the soil and grade. Do not use silt fence for concentrated water flows. Install fence at least 3 feet back from the slope to allow for sediment storage. Wire backed fence can be used for extra strength. Avoid installing silt fence on slopes because they are hard to maintain. Manufactured linear sediment control can be used in lieu of silt fences. For more info see the following factheets: CASQA: SE-1; SE-12; or Caltrans: SC-1.
9 Drain Inlet Protection	Use grate traps (or similar products) around storm drains located both on-site and in-pipe as a first line of defense. Bags should be made of a woven fabric resistant to photo-degradation. Bags with 0.5 in washed washed rock. Do not use straw bags or silt fence fabric for drain inlet protection. For more info see the following factheets: CASQA: SE-10; or Caltrans: SC-10.
N/A Trench Dewatering	Follow MCH/OPPP BMPs for trench dewatering: <a href="http://www.marincounty.org/files/marincounty/bmp%20handbook%20revision%20final%20document%20%28%2005%29%20developed%20trench%20dewatering%20factsheet%20%28%2005%29.pdf">http://www.marincounty.org/files/marincounty/bmp%20handbook%20revision%20final%20document%20%28%2005%29%20developed%20trench%20dewatering%20factsheet%20%28%2005%29.pdf</a> . For more info see the following factheets: CASQA: NS-2; or Caltrans: NS-2.
<b>Good Housekeeping Best Management Practices</b>	
10 Concrete Washout	Construct a lined concrete washout site away from storm drains, waterbodies, or other drainages. Ideally, silt trap adjacent to stabilized entrance. Clean as needed and remove at end of project. For more info see the following factheets: CASQA: WM-8; or Caltrans: WM-8.
11 Stockpile Management	Cover all stockpiles and landscape material and barem property with fiber rolls or straw bags. Keep behind the site perimeter control and away from waterbodies. For more info see the following factheets: CASQA: WM-3 or Caltrans: WM-3.
12 Hazardous Material Management	Hazardous materials must be kept in closed containers that are covered and within secondary containment, and not placed containers directly on soil. For more info see the following factheets: CASQA: WM-6; or Caltrans: WM-6.
13 Sanitary Waste Management	Place portable toilets near stabilized site entrance, behind the curb and away from gutters, storm drain inlets, and waterbodies. Tie or stake portable toilets to prevent tipping and equip units with overflow pantry (most vendors provide these). For more info see the following factheets: CASQA: WM-8; or Caltrans: WM-8.
14 Equipment and Vehicle Maintenance	Prevent equipment fluid leaks onto ground by placing drip pans or plastic bags under equipment. Immediately clean up any spills or drips. For more info see the following factheets: CASQA: NS-8, NS-9; or Caltrans: NS-8, NS-9 and NS-10.
15 Litter and Waste Management	Designate waste collection areas on site. Use weatherlight dumpsters and trash cans, inspect for leaks. Cover at the end of each work day and when it is raining or windy. Arrange for regular waste collection. Pick up site litter only. For more info see the following factheets: CASQA: WM-8; or Caltrans: WM-8.



111 OAK AVE  
KENTFIELD  
CA 94904

GOTTESMAN  
REVOCABLE TRUST

BEST  
MANAGEMENT  
PRACTICES  
PLAN

7/21/23

NO SCALE

**PROJECT**

**EXTERIOR  
REMODEL**

**ADDRESS**

111 OAK AVE  
KENTFIELD  
CA 94904

**CLIENT**

GOTTESMAN  
REVOCABLE TRUST

**TITLE**

**UTILITY PLAN**

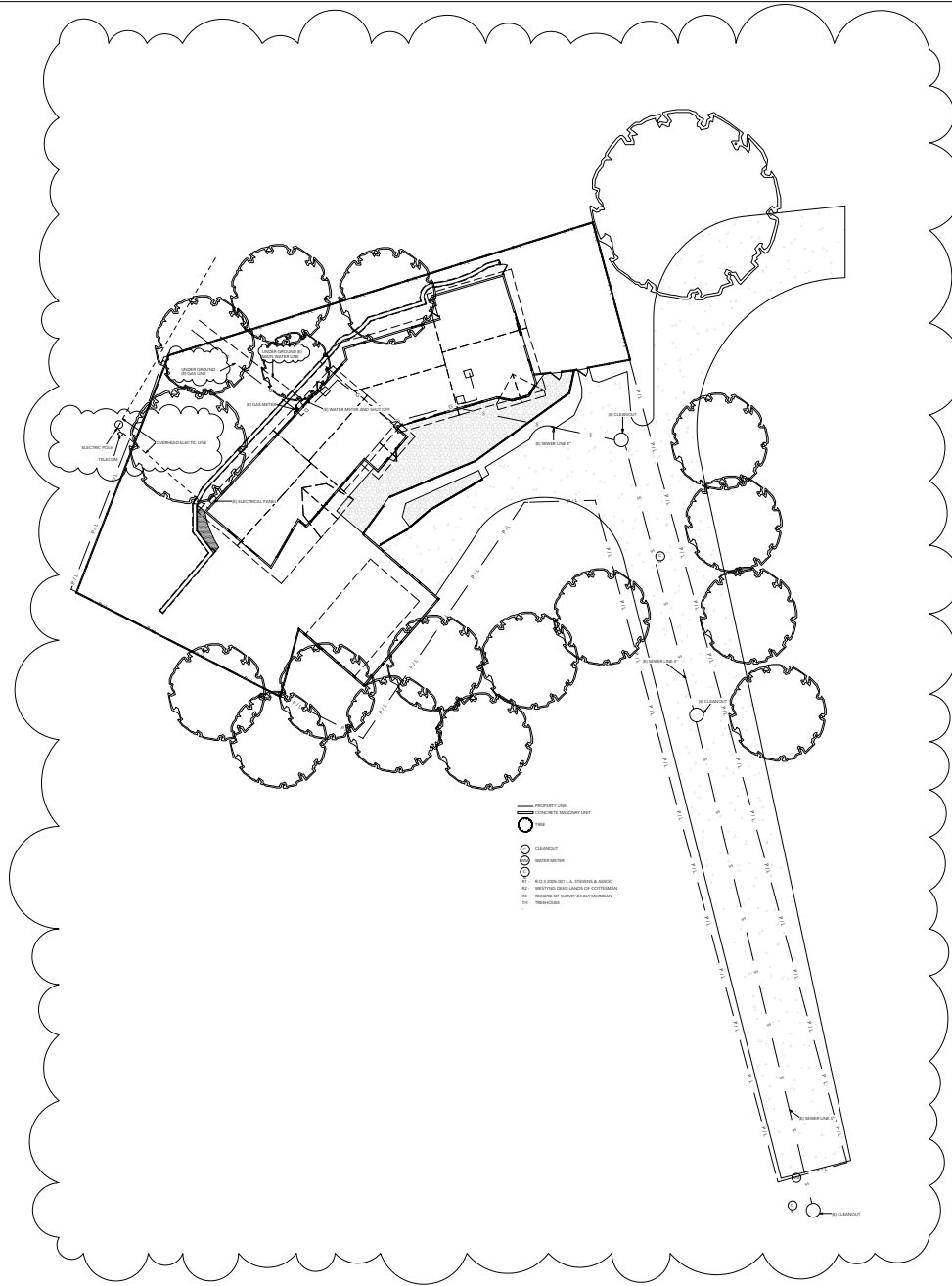
**DATE**

7/21/23

**SCALE**

1/16"=1'

REVISION TABLE		
NUMBER	DATE	REVISED BY
1	07.03.2023	NR

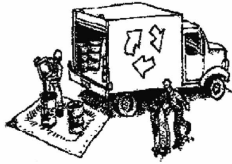


- PROPERTY LINE
- EASEMENT OR EASEMENT LIFT
- TREE
- CLEARCUT
- UTILITY MARKER
- 1. ALL DIMENSIONS IN FEET AND INCHES
- 2. EXISTING DIMENSIONS OF UTILITIES
- 3. RECORD OF SURVEY TO OAK TERRACE
- 4. PROPERTY

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berri and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gypsum board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application

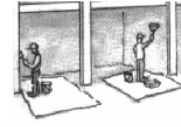
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

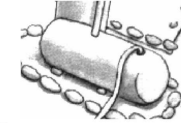
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

PROJECT

EXTERIOR  
REMODEL

ADDRESS

111 OAK AVE  
KENTFIELD  
CA 94904

CLIENT

GOTTESMAN  
REVOCABLE TRUST

TITLE

BMP

DATE

7/21/23

SCALE

NO SCALE

REVISION TABLE		
NUMBER	DATE	REVISED BY
1	07.03.2023	NR

**PROJECT**  
EXTERIOR  
REMODEL

**ADDRESS**  
111 OAK AVE  
KENTFIELD  
CA 94904

**CLIENT**  
GOTTESMAN  
REVOCABLE TRUST

**TITLE**  
ELEVATIONS

PROPOSED

**DATE**  
7/21/23

**SCALE**  
1/8" = 1'

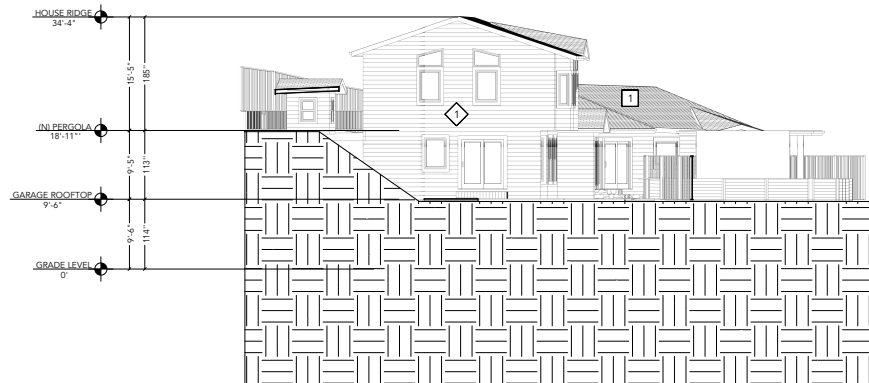
REVISION TABLE		
NUMBER	DATE	REVISION
1	07.03.2023	NR

**A112**



- 1 (E) SIDING - GRAY
- 1 (E) ASPHALT SHINGLES - BLACK

ELEVATION 1  
EAST



- 1 (E) SIDING - GRAY
- 1 (E) ASPHALT SHINGLES - BLACK

ELEVATION 2  
SOUTH

**PROJECT**

**EXTERIOR  
REMODEL**

**ADDRESS**

111 OAK AVE  
KENTFIELD  
CA 94904

**CLIENT**

GOTTESMAN  
REVOCABLE TRUST

**TITLE**

**ELEVATIONS**

PROPOSED

**DATE**

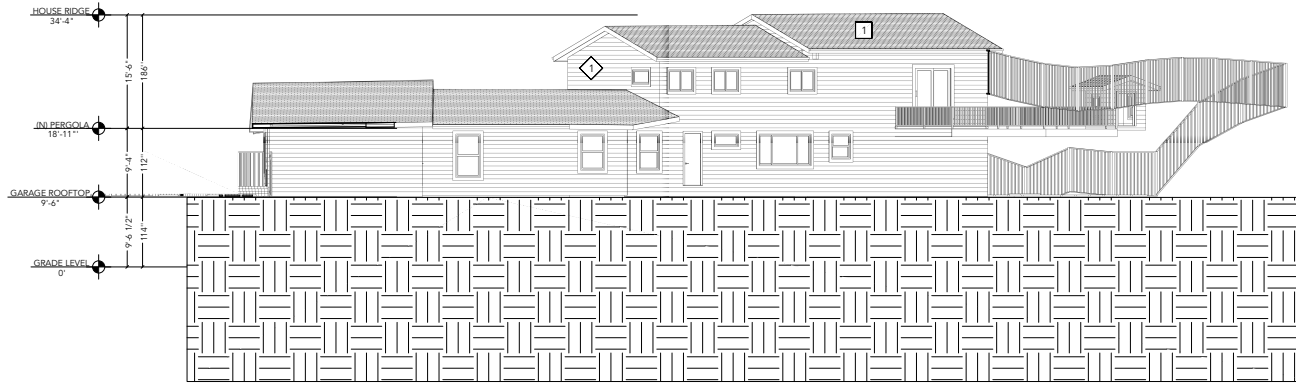
7/21/23

**SCALE**

1/8" = 1'

REVISION TABLE		
NUMBER	DATE	REVISED BY
	07.03.2023	NR

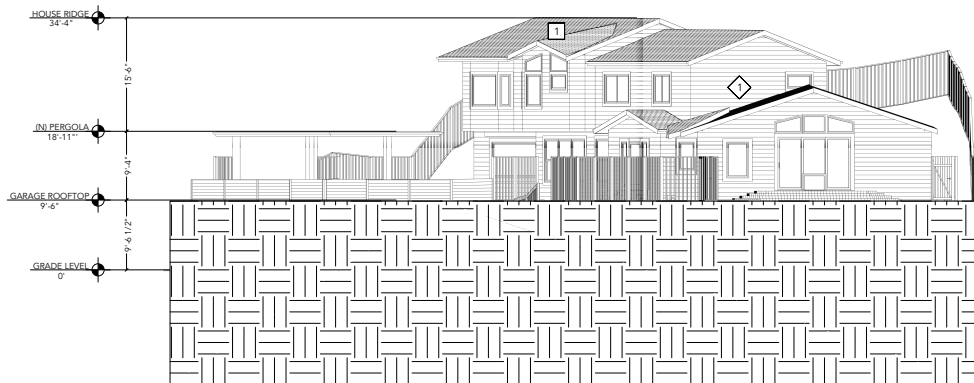
**A113**



1 (E) SIDING - GRAY

1 (E) ASPHALT SHINGLES - BLACK

ELEVATION 3  
WEST



1 (E) SIDING - GRAY

1 (E) ASPHALT SHINGLES - BLACK

ELEVATION 4  
NORTH

**PROJECT**

EXTERIOR  
REMODEL

**ADDRESS**

111 OAK AVE  
KENTFIELD  
CA 94904

**CLIENT**

GOTTESMAN  
REVOCABLE TRUST

**TITLE**

POOL PLAN

PROPOSED

**DATE**

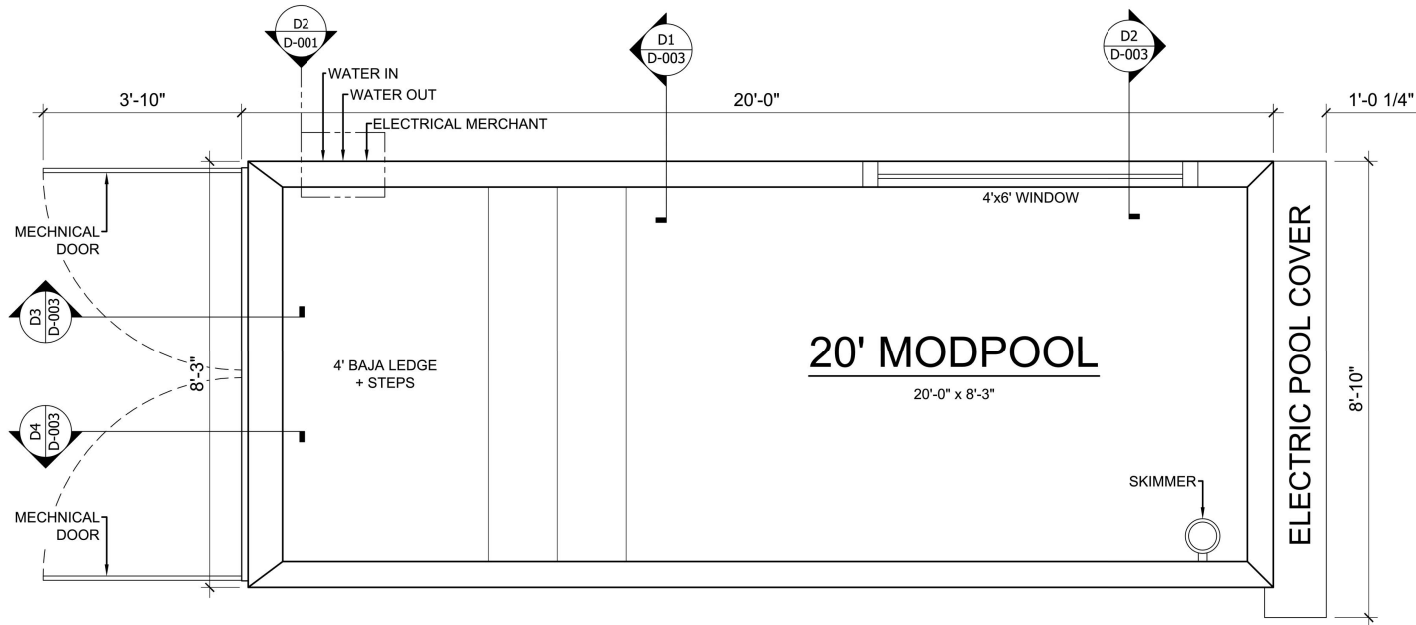
7/21/23

**SCALE**

AS NOTED

REVISION TABLE	
NUMBER	DATE
1	07.03.2023 NR

**A114**



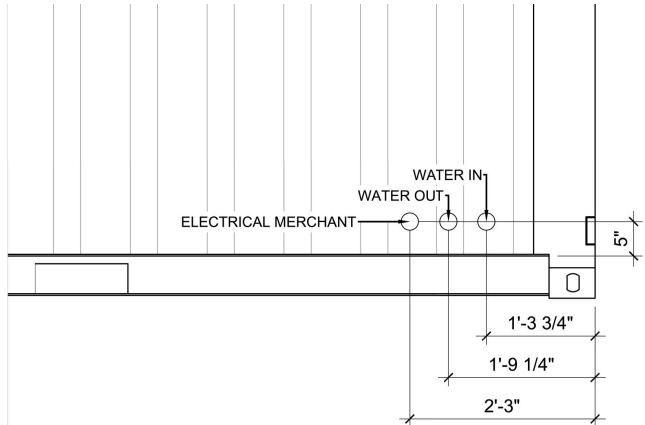
**D1** PLAN VIEW  
5/16" = 1'-0"

**GENERAL SPECIFICATIONS**

- ▶ 20' MODPOOL
- ▶ FOOTING- 8"+ COMPACTED GRAVEL (3/4" MINUS)
- ▶ WINDOW- 4'x6' RIGHT WALL  
\*\*\* AS FAR TO THE END \*\*\*
- ▶ ENTRY- 4' BAJA LEDGE + STEPS CONFIG.
- ▶ HEATER- JANDY 400K BTU (NAT GAS)
- ▶ COVER- LHM ELECTRIC (BLACK)
- ▶ WIFI KIT
- ▶ LED LIGHT
- ▶ INSTALLATION- PARTIAL IN-GROUND
- ▶ EXTERIOR COLOR- BLACK
- ▶ INTERIOR LINER COLOR- LIGHT GREY

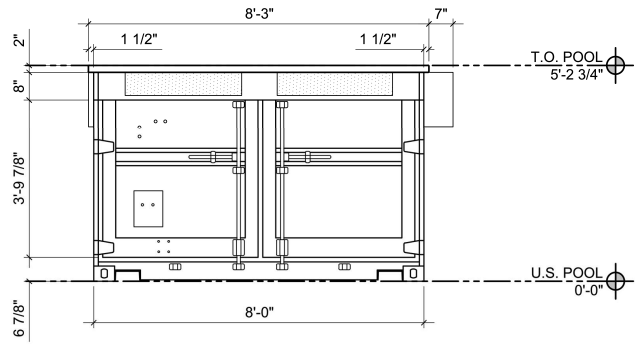
**ADDITIONAL SPECIFICATIONS**

- ▶ ULTRA UV2 WATER SANITATION SYSTEM
- ▶ TRUGUARD MINERAL
- \*\*\* EQUIPMENT EXTERNAL \*\*\*

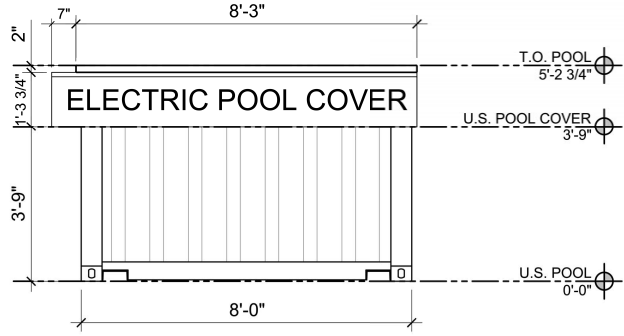


**D2** MERCHANT DETAIL  
1/2" = 1'-0"

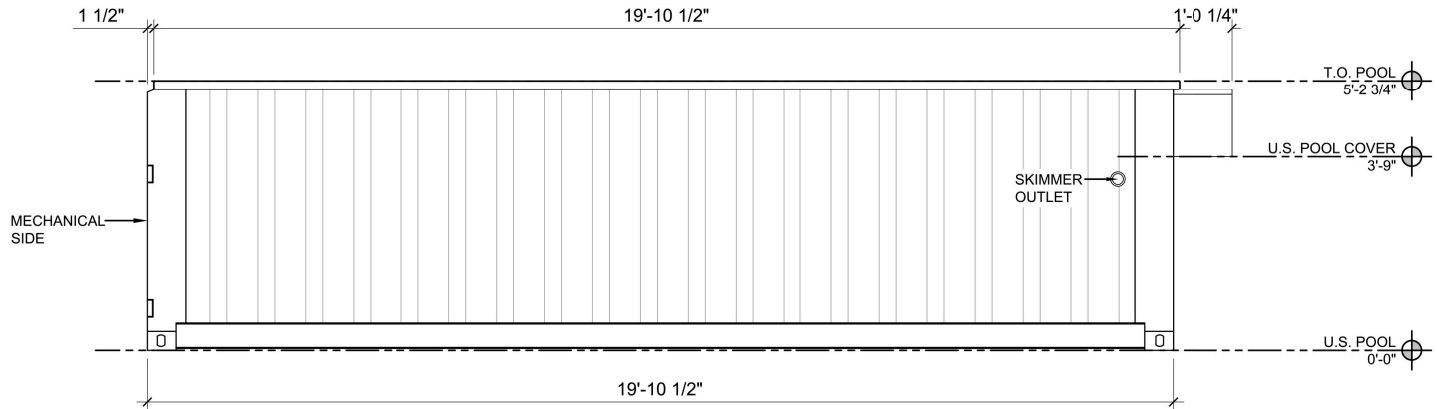
**NOTES:**  
1. HOOK UNDER ANGLE WHEN MEASURING



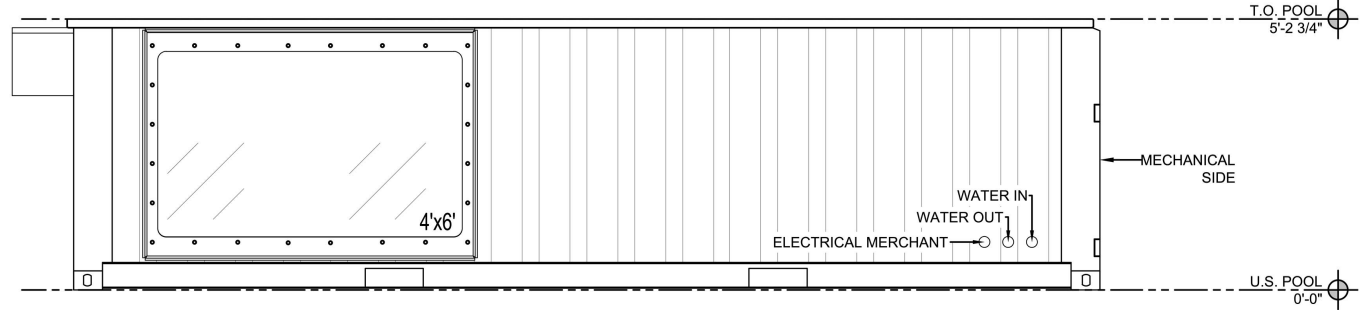
**D1 FRONT ELEVATION**  
1/4" = 1'-0"



**D2 BACK ELEVATION**  
1/4" = 1'-0"



**D3 RIGHT ELEVATION**  
5/16" = 1'-0"



**D4 LEFT ELEVATION**  
5/16" = 1'-0"

PROJECT

EXTERIOR  
REMODEL

ADDRESS

111 OAK AVE  
KENTFIELD  
CA 94904

CLIENT

GOTTESMAN  
REVOCABLE TRUST

TITLE

POOL  
ELEVATIONS

PROPOSED

DATE

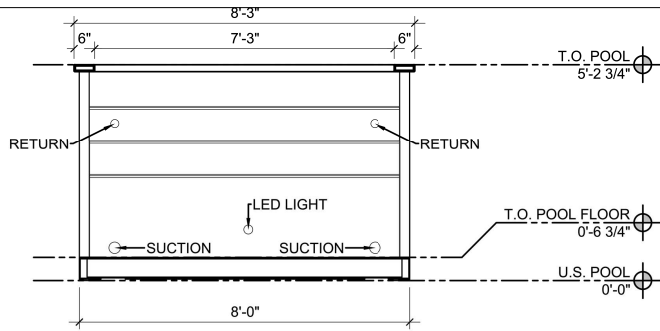
7/21/23

SCALE

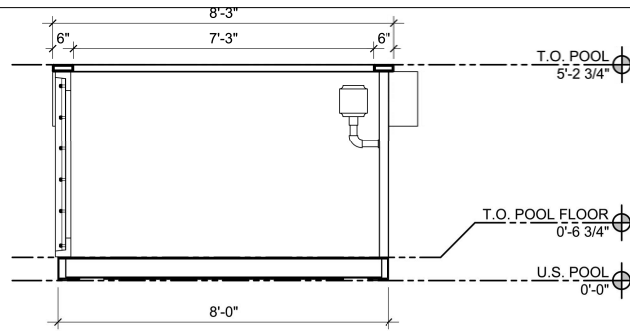
AS NOTED

REVISION TABLE		
NUMBER	DATE	REVISED BY
1	07.03.2023	NR

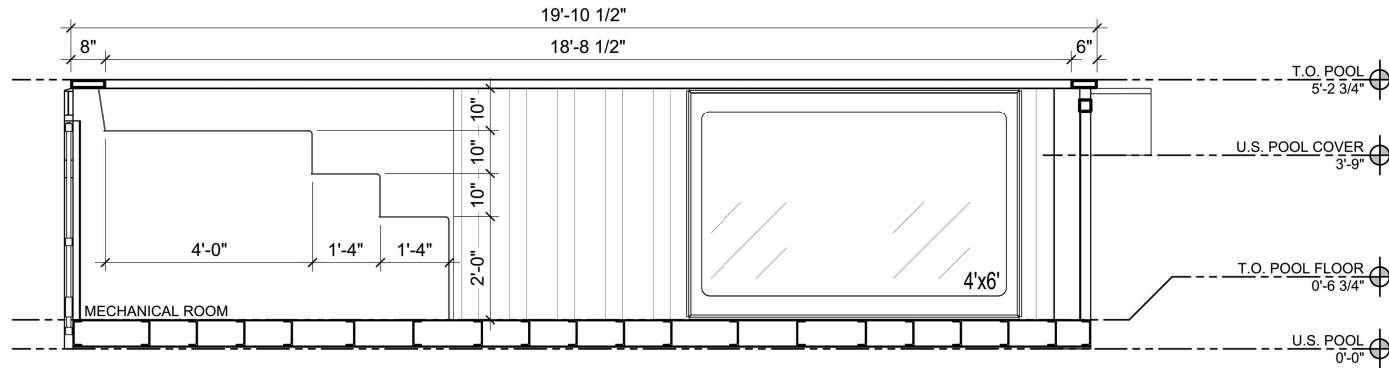
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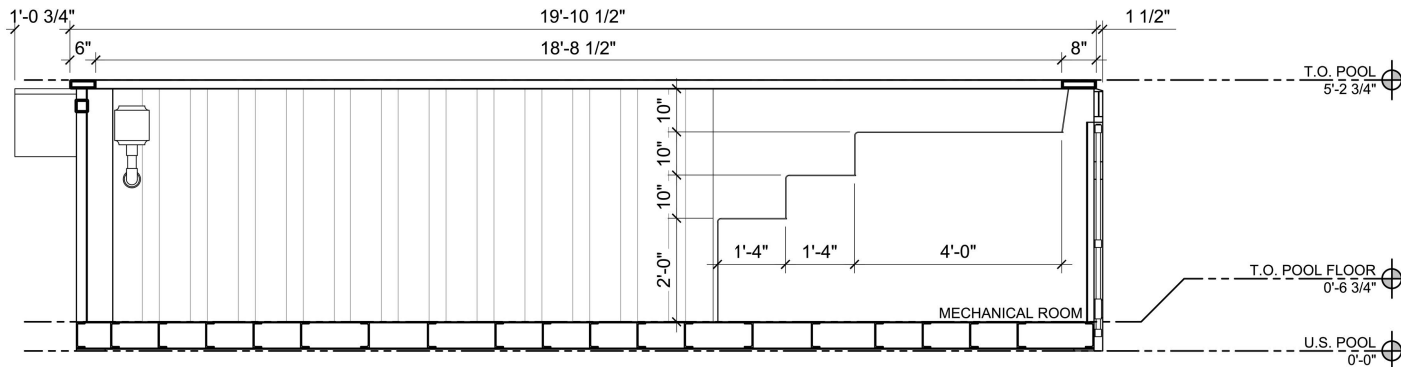
**D1** SHORT SECTION #1  
1/4" = 1'-0"



**D2** SHORT SECTION #2  
1/4" = 1'-0"



**D3** LONG SECTION #1  
5/16" = 1'-0"



**D4** LONG SECTION #2  
5/16" = 1'-0"

PROJECT

EXTERIOR  
REMODEL

ADDRESS

111 OAK AVE  
KENTFIELD  
CA 94904

CLIENT

GOTTESMAN  
REVOCABLE TRUST

TITLE

POOL CROSS  
SECTIONS

PROPOSED

DATE

7/21/23

SCALE

AS NOTED

REVISION TABLE		
NUMBER	DATE	REVISED BY
1	07.03.2023	NR



**PROPERTY LEGAL DESCRIPTION**

THE LAND REFERRED TO IS SITUATED IN THE UNINCORPORATED AREA OF THE COUNTY OF MARIN, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
 PARCEL ONE:

BEGINNING ON THE EASTERLY LINE OF THE PARCEL GRANTED TO FRED A. DUSEL BY DEED RECORDED JUNE 24, 1938 IN BOOK 366 OF OFFICIAL RECORDS, AT PAGE 114, DISTANT NORTH 10° 32' EAST 138.50 FEET AND NORTH 38° 57' 40" EAST 23.77 FEET FROM THE SOUTHEASTERLY CORNER THEREOF ON THE NORTHERLY LINE OF OAK AVENUE, SAID POINT BEING ALSO THE NORTHEASTERLY CORNER OF THE PARCEL GRANTED TO WILLARD F. HINKLEY, ET UX, BY DEED RECORDED FEBRUARY 26, 1941 IN BOOK 410 OF OFFICIAL RECORDS, AT PAGE 95, THENCE ALONG THE BOUNDARY OF SAID PARCEL, NORTH 38° 57' 40" EAST 79.69 FEET AND NORTH 10° 07' EAST 74 FEET TO THE NORTHEASTERLY CORNER OF SAID PARCEL; THENCE ALONG THE NORTHERLY LINE OF THE PARCEL, SOUTH 75° 54' WEST 123.236 FEET, THENCE LEAVING THE LINE, SOUTH 14° 06' WEST 19 FEET, SOUTH 75° 54' WEST 3.102 FEET AND SOUTH 22° WEST 49.802 FEET TO THE MOST NORTHERLY CORNER OF THE LOT GRANTED TO WILLARD F. HINKLEY, ET UX, BY DEED RECORDED DECEMBER 8, 1949 IN BOOK 635 OF OFFICIAL RECORDS, AT PAGE 121, THENCE ALONG THE NORTHEASTERLY LINE OF SAID LOT, SOUTH 63° 47' 20" EAST 91.31 FEET TO THE POINT OF BEGINNING.

PARCEL TWO:  
 BEGINNING ON THE NORTHERLY LINE OF OAK AVENUE, DISTANT NORTH 75° 54' EAST 38 FEET FROM THE SOUTHWEST CORNER OF LOT 32, THENCE NORTH 75° 54' EAST 20 FEET TO THE SOUTHWEST CORNER OF THE PARCEL GRANTED TO ROBERT W. HOBART BY DEED RECORDED FEBRUARY 27, 1941 IN BOOK 408 OF OFFICIAL RECORDS, AT PAGE 442, THENCE ALONG THE WESTERLY LINE OF SAID PARCEL, NORTH 11° 45' WEST 270.7 FEET TO THE NORTHERLY LINE OF LOT 32, THENCE ALONG SAID LINE, SOUTH 74° 06' WEST 20 FEET TO A POINT THAT BEARS NORTH 11° 45' WEST FROM THE POINT OF BEGINNING, THENCE SOUTH 11° 45' WEST 270 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.  
 BEING A PORTION OF LOT 32, MAP OF THE MONTE VISTA TRACT, FILED ON OCTOBER 31, 1906 IN VOLUME 2 OF MAPS, AT PAGE 72, MARIN COUNTY RECORDS.

**GENERAL NOTES**

1. SURVEYOR DID NOT ABSTRACT PROPERTY.
2. NOTHING IN THIS SURVEY IS INTENDED TO EXPRESS AN OPINION REGARDING OWNERSHIP OR TITLE.
3. THE PREPARER DID NOT PERFORM NOR HAS THE PREPARER ACCEPTED ANY RESPONSIBILITY TO PERFORM ADDITIONAL RECORDS RESEARCH.
4. VISIBLE ABOVE GROUND UTILITIES ARE SHOWN HEREON. UNDERGROUND LOCATES WERE NOT PERFORMED AS PART OF THE SCOPE OF THIS SURVEY.
5. ASSESSORS PARCEL INFORMATION HEREON IS PER THE COUNTY PARCEL VIEWER.
6. THIS IS NOT A "BOUNDARY SURVEY," NO MONUMENTS WILL BE SET.
7. LIMITS OF LIABILITY ARE NOT TO EXCEED THE LUMP SUM BID OF THIS SURVEY.
8. THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY.
9. THE PURPOSE OF THIS SURVEY IS FOR LANDSCAPING REHABILITATION, NO ADDITION TO THE EXISTING SINGLE FAMILY RESIDENCE.
10. NARRATIVE:  
 THE CURRENT VESTING DEED DOES NOT MATHEMATICALLY CLOSE. ADJACENT DEEDS ALSO HAVE ERRORS. BEST AVAILABLE RESOLUTION WITHOUT A CHAIN OF TITLE SEARCH, ETC WAS TO HOLD THE SURVEYS TO THE NORTH (RECORD OF SURVEY 2005-001 LA STEVENS & ASSOCIATES) AND EAST (RECORD OF SURVEY 23-069 MERIDIAN CONSULTING ENGINEERS) WHICH ACT AS OUR ALIGNMENT AND PLACEMENT FOR THE MINIMALLY USABLE VESTING DEED LEGAL DESCRIPTIONS, BEARINGS, AND DISTANCES THEREON IN RELATION TO THE BASIS OF BEARINGS AS SHOWN HEREON. TO FURTHER ELABORATE, THE ORIGINALLY RECORDED "MONTE VISTA TRACT" DOES NOT MATHEMATICALLY CLOSE. MULTIPLE ADDITIONAL DISTANCE AND BEARING CORRECTIONS WERE COMPLETED AS THIS BLUEPRINT PLAN WAS MODIFIED OVER THE YEARS AS SHOWN ON THE ANNE T. KENT, MARIN COUNTY CALIFORNIA ROOM CUSTODIANSHIP DATABASE. NONE OF THESE MODIFICATIONS APPEAR TO CLOSE MATHEMATICALLY. IT APPEARS THE CURRENT VESTING DEED OF THE SUBJECT PARCEL AND SEVERAL ADJACENT VESTING DEED LEGAL DESCRIPTIONS MAY HAVE BEEN WRITTEN BASED ON SOME OF THE ERRONEOUS "MONTE VISTA TRACT BLUEPRINT" AS RECORDED, OR OTHER BLUEPRINT MODIFICATIONS OF MONTE VISTA TRACT CREATED IN THE EARLY TO MID 1900's. MATTERS DISCUSSED HEREON ARE OUT OF THE CONTROL OF VERTICOM LAND SURVEYING. THE BOUNDARY SHOWN HEREON COULD POSSIBLY SHIFT AFTER COMPLETION OF A CHAIN OF TITLE SEARCH, AND BOUNDARY SURVEY.

**TOPOGRAPHIC SURVEY**  
**111 OAK AVENUE, KENTFIELD, CA 94904**  
**ASSESSORS PARCEL NUMBER 071-152-66**  
**MARCH, 2023**  
**PROJECT NO. 23-015**

**TITLE REPORT SCHEDULE BII ITEMS:**

THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS OR OTHER SCHEDULE BII ITEMS MAY NOT BE SHOWN.

**BASIS OF BEARING AND COORDINATES**

THE BASIS OF BEARINGS IS BASED UPON TIED CITY MONUMENTS IN HAND HOLES ALONG LAUREL GROVE AVENUE IN RELATION TO RECORD OF SURVEY 2005-001 COMPLETED BY L.A. STEVENS & ASSOCIATES AS SHOWN HEREON.

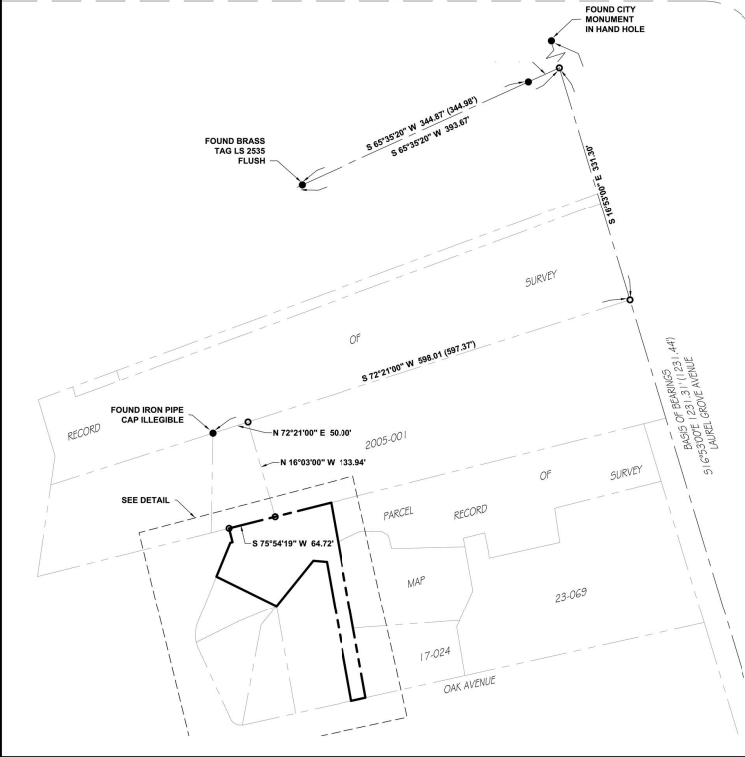
**BENCH MARK**

ELEVATIONS HEREON ARE DERIVED FROM GNSS STATIC OBSERVATION. RINEX DATA PROCESSED THROUGH THE NATIONAL GEODETIC SURVEY "OPUS" AND COMPUTATIONS UTILIZING GEOID 18. ELEVATIONS ARE REFERENCED TO NAVD88.

**LEGEND**

- CENTERLINE
- PROPERTY LINE
- FENCE
- CONCRETE MASONRY UNIT
- FOUND MONUMENT LS87B YELLOW PLASTIC CAP OR AS NOTED
- WATER METER
- FINISH FLOOR ELEVATION
- TREE
- BASKETBALL HOOP
- CLEANOUT
- CATCH BASIN
- TREEHOUSE
- BASKETBALL COURT
- OVERHANG
- GARAGE OVERHANG
- FINISH FLOOR
- DRIVEWAY
- R.O.S 2005-001 LA STEVENS & ASSOC. VESTING DEED LANDS OF GOTTESMAN RECORD OF SURVEY 23-069 MERIDIAN
- TH BBALL
- O.H
- G.O.H
- FF
- D/W
- R1
- R2
- R3

**BOUNDARY DETAIL 1"=80'**



**CERTIFICATION**

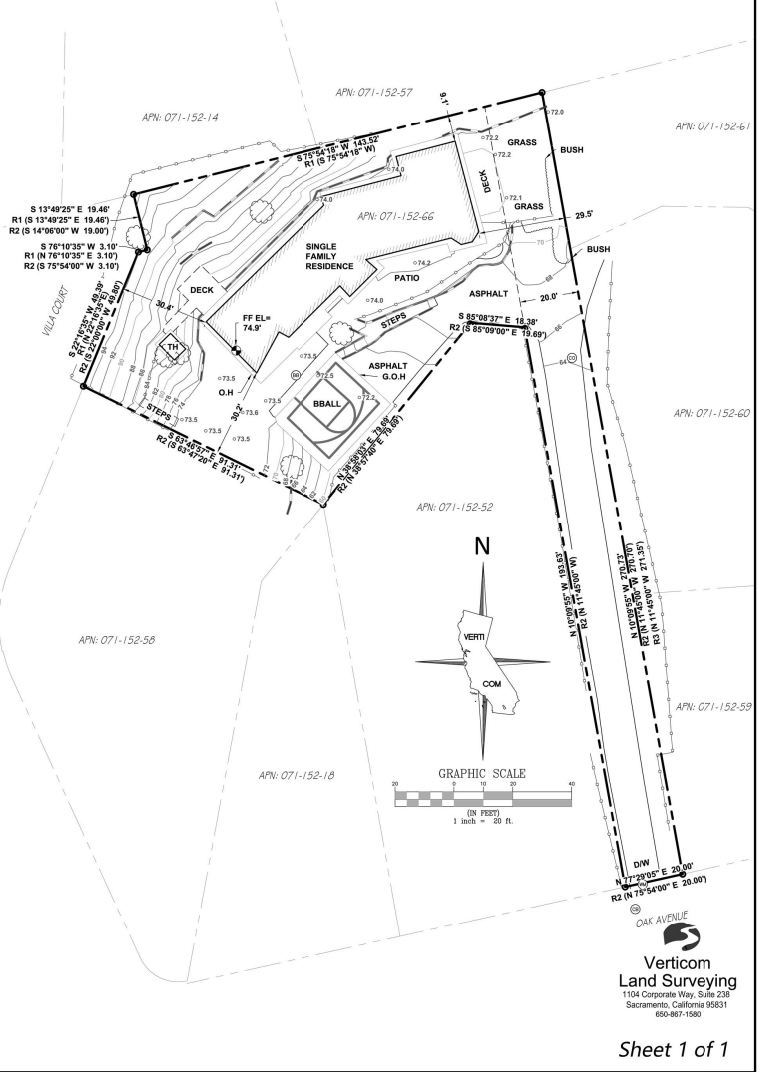
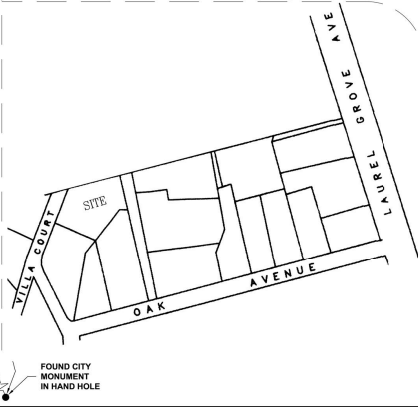
THIS IS TO CERTIFY THAT THIS MAP CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING THE MONTH OF MARCH, 2023 AND THAT THE SURVEY IS CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

REGISTERED SURVEYOR: JEFFERY W. GARCIA  
 PROFESSIONAL LAND SURVEYOR NO. 8521  
 STATE OF CALIFORNIA

DATE 03/23/2023



**VICINITY MAP (N.T.S)**



# PRECISE GRADING PLAN FOR SINGLE-FAMILY RESIDENCE

111 OAK AVE, KENTFIELD, CA 94904

## GENERAL NOTES

- EXCEPT AS HEREIN MODIFIED, ALL GRADING SHALL CONFORM TO THE REQUIREMENTS OF CHAPTER 23.08 EXCAVATING, GRADING AND FILLING, OF THE MARRI COUNTY CODE AND ALL TERMS AND WORDS USED HEREIN ARE AS DEFINED IN CHAPTER 23.08 AND CHAPTER 23.19 FOR PUBLIC WORKS CONSTRUCTION.
- GRADING SHALL BE HELD TO A MINIMUM. GRADING SHALL BE PERMITTED ONLY WHERE THE DEVELOPER CLEARLY DEMONSTRATES EVERY REASONABLE EFFORT HAS BEEN MADE TO RETAIN THE NATURAL FEATURES OF THE LAND TO THE MAXIMUM EXTENT POSSIBLE, E.G. SKYLINE AND RIDGE TOPS, ROLLING LAND FORMS, KNOLLS, SIGNIFICANT NATIVE VEGETATION, TREES, ROCK OUTCROPPINGS, STREAMBEDS AND WATERCOURSES.
- DEPENDING ON THE NATURE AND EXTENT OF THE PROPOSED GRADING, THE AGENCY MAY REQUIRE PLANS, SPECIFICATIONS, SURFACE AND/OR SUBSURFACE EXPLORATION, GEOTECHNICAL REPORTS, MATERIAL TESTING AND ANY OTHER INFORMATION DEEMED NECESSARY BY THE AGENCY FOR THE PROPER EVALUATION OF THE PROPOSED GRADING. SUCH PLANS AND SPECIFICATIONS, ETC., SHALL BE PREPARED BY REGISTERED PROFESSIONALS AS REQUIRED BY THE AGENCY.

## EROSION AND SEDIMENT CONTROL

- ALL DISTURBED SURFACES, INCLUDING, BUT NOT LIMITED TO, CUT AND FILL SLOPES, BUILDING PADS, DRIVEWAYS AND AREAS CLEARED OF VEGETATION, SHALL BE PROTECTED AGAINST EROSION AND SEDIMENT DISCHARGES BY MEASURES THAT THE AGENCY DETERMINES TO BE APPROPRIATE TO THE SITE, PHASE OF CONSTRUCTION AND TIME OF YEAR.
- WHEN REQUIRED BY THE PHASE II STORMWATER PERMIT OR BY THE AGENCY, A PROJECT SHALL HAVE AN EROSION AND SEDIMENT CONTROL PLAN (ESCP) WHICH ADDRESSES EROSION AND SEDIMENT CONTROL AND POLLUTION PREVENTION DURING THE CONSTRUCTION PHASE, AS WELL AS FINAL STABILIZATION CONTROL MEASURES. THE ESCP AND THE SPECIFIC CONTROL MEASURES TO BE UTILIZED SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE AGENCY. THE ESCP SHALL BE IMPLEMENTED YEAR ROUND AND SHALL BE REVISED TO REFLECT CHANGING CONDITIONS ON THE PROJECT SITE. THE AGENCY SHALL REQUIRE MODIFICATIONS OF AN APPROVED ESCP IF, DURING THE COURSE OF CONSTRUCTION AT A SITE, UNANTICIPATED CONDITIONS OCCUR OR THE PLANS PROVE INADEQUATE FOR THE INTENDED PURPOSE. REVISIONS OF THE APPROVED ESCP SHALL BE SUBMITTED TO THE AGENCY FOR REVIEW AND APPROVAL. AN EROSION AND SEDIMENT CONTROL PLAN (ESCP) SHALL BE REQUIRED FOR ANY PROJECT.
- SUBJECT TO A GRADING PERMIT UNDER CHAPTER 23.08 EXCAVATING, GRADING AND FILLING.
- SUBJECT TO A BUILDING PERMIT UNDER CHAPTER 23.08 EXCAVATING, GRADING AND FILLING, WHERE THE PROJECT HAS THE POTENTIAL FOR SIGNIFICANT EROSION AND/OR SIGNIFICANT NON-STORMWATER DISCHARGES OF SEDIMENT AND/OR CONSTRUCTION SITE WASTE.
- WHERE THE GRADED PORTION OF THE SITE INCLUDES MORE THAN TEN THOUSAND SQUARE FEET OF AREA HAVING A SLOPE GREATER THAN FIFTY PERCENT.
- WHERE GRADING WILL OCCUR FIFTY FEET FROM THE TOP OF BANK OF ANY WATERCOURSE AT LOCATIONS WITHIN THE "CITY-CENTERED CORRIDOR" OR ONE HUNDRED FEET FROM THE TOP OF BANK OF ANY WATERCOURSE AT LOCATIONS WITHIN THE "INLAND RURAL CORRIDOR" AS IDENTIFIED WITHIN THE MARRI COUNTY WIDE PLAN.
- THE AGENCY HAS THE AUTHORITY TO REVIEW DESIGNS AND PROPOSALS FOR CONSTRUCTION ACTIVITIES TO DETERMINE WHETHER ADEQUATE BMPs WILL BE INSTALLED, IMPLEMENTED, AND MAINTAINED DURING CONSTRUCTION AND AFTER FINAL SITE STABILIZATION.
- GRADING OPERATIONS SHALL NOT BE CONDUCTED DURING THE RAINY SEASON (OCTOBER 15 THROUGH APRIL 15) WITHOUT PRIOR APPROVAL FROM THE AGENCY. SUCH APPROVAL SHALL ONLY BE GIVEN UPON CLEAR DEMONSTRATION, TO THE SATISFACTION OF THE AGENCY, THAT NO STAGE OF THE WORK WILL THERE BE ANY SUBSTANTIAL RISK OF INCREASED SEDIMENT DISCHARGE FROM THE SITE. WHEN GRADING OPERATIONS ARE PERMITTED DURING THE RAINY SEASON, A PHASING PLAN AND WORK SCHEDULE SHALL BE REQUIRED TO ENSURE THAT THE SMALLEST PRACTICABLE AREA OF ERODIBLE LAND IS EXPOSED AT ANY ONE TIME AND THE TIME OF EXPOSURE IS MINIMIZED. THE PHASING PLAN AND WORK SCHEDULE MUST BE APPROVED BY THE AGENCY AS PART OF THE ESCP PRIOR TO THE START OF GRADING OR PRIOR TO OCTOBER 15 AT THE DISCRETION OF THE AGENCY.
- THE ESCP SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE AGENCY AND SHALL INCLUDE INFORMATION REQUIRED IN THE MOST RECENT VERSION OF THE MCDIFFORD ESOP STANDARD TEMPLATE, AT A MINIMUM, AN ESOP SHALL INCLUDE:
  - DESCRIPTION OF THE PROPOSED PROJECT AND SOIL DISTURBING ACTIVITY.
  - SITE SPECIFIC CONSTRUCTION PHASE BEST MANAGEMENT PRACTICES (BMPs).
  - RATIONALE FOR SELECTING THE BMPs.
  - LIST OF APPLICABLE OUTSIDE AGENCY PERMITS ASSOCIATED WITH THE SOIL DISTURBING ACTIVITY, SUCH AS CONSTRUCTION GENERAL PERMIT (CGP), CLEAN WATER ACT SECTION 404 PERMIT, CLEAN WATER ACT SECTION 401 WATER QUALITY CERTIFICATION, STREAM/DELAKE ALTERATION AGREEMENT (660 AGREEMENTS).
  - FOR ANY PROJECT REQUIRED TO HAVE AN ESOP, PROOF SHALL BE SUBMITTED TO THE AGENCY THAT THE APPLICANT HAS OBTAINED THE APPLICABLE OUTSIDE AGENCY PERMITS ASSOCIATED WITH THE SOIL DISTURBING ACTIVITY PRIOR TO THE ISSUANCE OF A PERMIT.
  - CONSTRUCTION PHASE BMPs INCLUDE EROSION AND SEDIMENT CONTROL AND POLLUTION PREVENTION PRACTICES. EROSION CONTROL CONSTRUCTION PHASE BMPs INCLUDE EROSION AND SEDIMENT CONTROL AND POLLUTION PREVENTION PRACTICES. THESE TYPES OF GRADING AREAS, BMPs MAY INCLUDE, BUT ARE NOT LIMITED TO, SCHEDULING AND TIMING OF GRADING ACTIVITIES, TIMELY REVEGETATION OF GRADED AREAS, THE USE OF HYDROSEED AND HYDROEULM MULCHES, AND INSTALLATION OF EROSION CONTROL, BLANKETS, SEDIMENT CONTROL, MAY INCLUDE PROTECTIVE SEED DETENTION BASINS, DAMS, OR FILTERS TO REDUCE ENTRY OF SUSPENDED SEDIMENT INTO THE STORM DRAIN SYSTEM AND WATERCOURSES, AND INSTALLATION OF CONSTRUCTION ENTRANCES TO PREVENT TRACKING OF SEDIMENT ONTO ADJACENT STREETS. POLLUTION PREVENTION PRACTICES MAY INCLUDE: DESIGNATED WALKWAYS OR FACILITIES, CONTROL OF TRASH AND RECYCLED MATERIALS, COVERING OF MATERIALS STORED ON-SITE, AND PROPER LOCATION OF AND MAINTENANCE OF TEMPORARY SANITARY FACILITIES. THE COMBINATION OF BMPs USED, AND THEIR EXECUTION IN THE FIELD, MUST BE CUSTOMIZED TO THE SITE USING UP-TO-DATE STANDARDS AND PRACTICES. THE AGENCY WILL PROVIDE REFERENCES TO CURRENT GUIDANCE MANUALS AND BMP INFORMATION ON REQUEST.
  - IN ADDITION TO THE AGENCY REQUIREMENTS, A PROJECT MAY REQUIRE COVERAGE UNDER THE GENERAL CONSTRUCTION ACTIVITY STORMWATER PERMIT ISSUED BY THE STATE WATER RESOURCES CONTROL BOARD (SWRCB). IF REQUIRED, THEN PERMIT REGISTRATION DOCUMENTS MUST BE FILED WITH THE SHEETS FOR 840 COVERAGE AND A COPY OF THE WASTE DISCHARGE IDENTIFICATION NUMBER MUST BE SUBMITTED TO THE AGENCY PRIOR TO ISSUANCE OF AN AGENCY PERMIT FOR CONSTRUCTION. THE APPLICANT MAY SUBMIT THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REQUIRED BY THE GENERAL CONSTRUCTION ACTIVITY STORMWATER PERMIT IN LIEU OF THE ESOP PROVIDED IT MEETS THE REQUIREMENTS OF THE ESOP.
  - FINANCIAL SECURITY MAY BE REQUIRED TO ENSURE THAT TEMPORARY MEASURES TO CONTROL STORMWATER POLLUTION ARE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION AND AFTER CONSTRUCTION FOR A PERIOD DETERMINED BY THE AGENCY. FINANCIAL SECURITY AND MAINTAINED DURING CONSTRUCTION AND AFTER CONSTRUCTION FOR A PERIOD DETERMINED BY THE AGENCY. FINANCIAL SECURITY AND MAINTAINED DURING CONSTRUCTION AND AFTER CONSTRUCTION FOR A PERIOD DETERMINED BY THE AGENCY. FINANCIAL SECURITY AND MAINTAINED DURING CONSTRUCTION AND AFTER CONSTRUCTION FOR A PERIOD DETERMINED BY THE AGENCY. FINANCIAL SECURITY AND MAINTAINED DURING CONSTRUCTION AND AFTER CONSTRUCTION FOR A PERIOD DETERMINED BY THE AGENCY. FINANCIAL SECURITY AND MAINTAINED DURING CONSTRUCTION AND AFTER CONSTRUCTION FOR A PERIOD DETERMINED BY THE AGENCY. FINANCIAL SECURITY AND MAINTAINED DURING CONSTRUCTION AND AFTER CONSTRUCTION FOR A PERIOD DETERMINED BY THE AGENCY. FINANCIAL SECURITY AND MAINTAINED DURING CONSTRUCTION AND AFTER CONSTRUCTION FOR A PERIOD DETERMINED BY THE AGENCY.
  - WHEN ANY WORK IS BEING DONE CONTRARY TO THE PROVISIONS OF THIS ARTICLE, THE AGENCY MAY ORDER THE WORK STOPPED BY NOTICE IN WRITING SERVED ON THE OWNERS OR PERSONS CAUSING THE WORK TO BE DONE, SUCH WORK SHALL STOP UNTIL THE AGENCY AUTHORIZES THE WORK TO PROCEED. THIS REMEDY IS IN ADDITION TO AND DOES NOT SUPERSEDE, OR LIMIT ANY AND ALL OTHER REMEDIES, BOTH CIVIL AND CRIMINAL, PROVIDED BY THE MARRI MUNICIPAL CODE.
  - ALL CONSTRUCTION PLANS AND ANY OTHER INFORMATION SUBMITTED TO THE COUNTY SHALL CONSIDER THE POTENTIAL FOR EROSION AND SEDIMENTATION AND THE DISCHARGE OF CONSTRUCTION WASTES AND CONTAMINANTS FROM CONSTRUCTION MATERIALS, TOOLS AND EQUIPMENT AT THE CONSTRUCTION SITE AND SHALL INCLUDE APPROPRIATE EROSION AND SEDIMENTATION CONTROLS.
  - IMPLEMENTATION OF AN APPROVED ESOP SHALL BE A CONDITION OF THE ISSUANCE OF A BUILDING PERMIT, A GRADING PERMIT, OR OTHER PERMIT ISSUED BY THE AGENCY FOR A PROJECT SUBJECT TO THIS SECTION.

## POOL NOTES

- SALT WATER POOLS CANNOT BE DISCHARGED TO A SANITARY SEWER SYSTEM OR A STORM DRAIN.
- THE REFERRED METHOD IS TO DISCHARGE POOL, SPA, OR FOUNTAIN WATER (OTHER THAN SALT WATER) ONTO LAND SURFACES PROVIDED THE WATER IS DISCHARGED INTO GREEN SPACE AND IS. AND THE LAND AREA IS SUFFICIENT TO PREVENT EROSION AND RUNOFF INTO A DITCH, CREEK, OR OTHER STORMWATER CONVEYANCE.
- IF LANDSCAPING IS NOT A VIABLE OPTION, THE NEXT BEST CHOICE TO DISCHARGE POOL, SPA, OR FOUNTAIN WATER TO THE SANITARY SYSTEM CONTACT YOUR LOCAL SANITARY SEWER AGENCY TO MAKE SURE THE DISCHARGE WILL NOT CREATE A PROBLEM IN THE SEWER SYSTEM OR WASTEWATER TREATMENT PLANT DOWNSSTREAM OF YOUR PROPERTY.
- AS A LAST RESORT, DISCHARGE TO STREET DRAINAGE ONLY IF:
  - NO OTHER DISPOSAL METHODS (E.G. SANITARY SEWER, LANDSCAPING) ARE POSSIBLE.
  - THE POOL, SPA, OR FOUNTAIN WATER IS COMPLETELY DECHLORINATED/DECHLORAMINATED.
  - THE PH IS BETWEEN 6 AND 8.5.
  - THE WATER IS FREE OF ANY UNSOLID, COLORATION, DIRT, SLUDS, OR ALGAE.
  - THERE IS NO DISCHARGE OF FILTER MEDIA.
  - THERE IS NO DISCHARGE OF ACID CLEANING WASTES.
  - THE WATER IS AT AMBIENT TEMPERATURE.
  - HEATED WATER SHOULD BE ALLOWED TO COOL.

## RETAINING WALLS

- RETAINING WALLS MAY BE REQUIRED WHEREVER TOPOGRAPHIC CONDITIONS WARRANT OR WHERE NECESSARY TO RETAIN CUT OR FILL SLOPES WITHIN RIGHTS-OF-WAY, SLOPE EASEMENTS OR PROPERTY LINES.
- FOR RETAINING WALLS RELATED TO PUBLIC AND PRIVATE ROADS SEE SECTION 24.04.100 AND FOR DRIVEWAYS SEE SECTION 24.04.205.
- IN NON-ROADWAY AREAS UTILIZED BY THE PUBLIC SUCH AS PARKING LOTS OR WALKWAYS, PRESSURE TREATED TIMBER MAY BE USED FOR WALL HEIGHTS NOT EXCEEDING THREE FEET MEASURED FROM THE FINAL GROUND SURFACE.
- WALLS IN NON-ROADWAY AREAS SERVING PRIVATE RESIDENTIAL USES ONLY MAY BE PRESSURE TREATED TIMBER, REINFORCED CONCRETE, REINFORCED CONCRETE BLOCK OR OTHER MATERIALS SUBJECT TO THE REVIEW AND APPROVAL OF THE AGENCY.
- IF THE USE OF PRESSURE TREATED TIMBER WALLS IS ALLOWED, THE PRESSURE TREATMENT SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS OF THE CITY AND COUNTY OF MARRI.
- NOTWITHSTANDING THE CRITERIA CONTAINED HEREIN REGARDING THE USE OF TIMBER WALLS, THE AGENCY MAY DISALLOW SUCH USE WHERE IT DETERMINES THAT THE DESIGNATED LOCATION FOR A PROPOSED TIMBER WALL PRESENTS IMMEDIATELY OFF-CRITICAL PROBLEMS FOR FUTURE REPAIR OR REPLACEMENT.
- WALLS THAT ARE VISIBLE FROM BEYOND THE PROPERTY LINES OR FROM PUBLIC AREAS SHALL HAVE THE VISUAL IMPACT MITIGATED AS REQUIRED BY THE AGENCY AND/OR THE COMMUNITY DEVELOPMENT AGENCY INCLUDING, BUT NOT LIMITED TO, SURFACE TEXTURING, COLORING AND LANDSCAPING.

## GRADING FILL/CUTS

- CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN IS SAFE FOR THE SUBJECT MATERIAL OR NECESSARY FOR THE INTENDED USE AND IN NO CASE STEEPER THAN TWO TO ONE WITHOUT PRIOR WRITTEN APPROVAL FROM THE AGENCY. SUCH APPROVAL SHALL BE CONSIDERED ONLY WHEN SUPPORTED BY APPROPRIATE DOCUMENTATION PREPARED BY A REGISTERED CIVIL ENGINEER EXPERIENCED IN GEOTECHNICAL ENGINEERING OR A REGISTERED ENGINEERING GEOLOGIST.
- FILL SLOPES SHALL NOT BE CONSTRUCTED ON NATURAL SLOPES STEEPER THAN TWO TO ONE OR WHERE THE FILL SLOPE TOES OUT WITHIN TEN FEET HORIZONTALITY OF THE TOP OF EXISTING GR-PLANNED CUT SLOPES.
- NO BUILDING OR CONSTRUCTION ON FILLED LAND SHALL BE COMMENCED UNTIL EVIDENCE, SATISFACTORY TO THE AGENCY, HAS BEEN SUBMITTED THAT THE REQUIRED ELEVATION HAS BEEN OBTAINED AND THAT THE FILL WILL PROVIDE A STABLE BASE FOR THE CONSTRUCTION PROPOSED.

## PERMANENT STORMWATER CONTROLS FOR NEW AND REDEVELOPMENT.

THE AGENCY MAY REQUIRE, AS A CONDITION OF PROJECT APPROVAL, PERMANENT CONTROLS DESIGNED TO REMOVE SEDIMENT AND OTHER POLLUTANTS AND TO MIMIC THE PRE-PROJECT SITE HYDROLOGY BY CONTROLLING THE FLOW RATES AND/OR THE VOLUME OF STORMWATER RUNOFF FROM THE PROJECTS' EXPOSED AND/OR IMPERVIOUS SURFACES. THESE CONTROLS MAY INCLUDE, BUT NOT BE LIMITED TO, THE SELECTION AND DESIGN OF SUCH CONTROLS SHALL BE IN GENERAL ACCORDANCE WITH CRITERIA ESTABLISHED OR RECOMMENDED BY FEDERAL, STATE, AND LOCAL AGENCIES, AND WHERE REQUIRED BY THE AGENCY, THE BASMAA POST CONSTRUCTION MANUAL, WHERE PHYSICAL AND SAFETY CONDITIONS ALLOW. THE REFERRED CONTROL MEASURE IS TO RETAIN DRAINAGE WAYS ABOVE GROUND AND IN A NATURAL STATE AS POSSIBLE OR OTHER BIOLOGICAL METHODS SUCH AS BIOTRENTATION AREAS, WHERE REQUIRED BY THE PHASE II STORMWATER PERMIT PROVISIONS E.12, OR WHERE REQUIRED BY THE NATURE AND EXTENT OF A PROPOSED PROJECT AND WHERE DEEMED APPROPRIATE BY THE AGENCY. EVERY APPLICANT SHALL DEVELOP, SUBMIT AND IMPLEMENT A STORMWATER CONTROL PLAN (SCP) AS DESCRIBED BELOW.

### STORMWATER CONTROL PLAN (SCP) REQUIREMENTS:

- THE SCP SHALL FOLLOW THE APPROPRIATE SCP TEMPLATE, BASED ON PROJECT TYPE, IN THE MOST RECENT VERSION OF THE BASMAA POST CONSTRUCTION MANUAL.
- THE SPECIFIC PRACTICES PROPOSED IN THE SCP SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE AGENCY AND SHALL BE IN GENERAL ACCORDANCE WITH THE BASMAA POST CONSTRUCTION MANUAL, AND THE PHASE II STORMWATER PERMIT.
- THE SCP IS SEPARATE AND DISTINCT FROM THE ESOP REQUIREMENTS DESCRIBED IN SECTION 24.04.605.
- ALL STORMWATER MANAGEMENT FACILITIES SHALL BE DESIGNED IN A MANNER TO MINIMIZE THE NEED FOR MAINTENANCE AND REDUCE THE CHANCES OF FAILURE. DESIGN GUIDELINES FOR BIOTRENTATION FACILITIES ARE OUTLINED IN THE BASMAA POST CONSTRUCTION MANUAL.
- WHERE REQUIRED BY THE AGENCY, AS A CONDITION PRECEDENT TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL SUBMIT A PRELIMINARY STORMWATER FACILITIES OPERATION AND MAINTENANCE PLAN (OM PLAN). THE APPROVAL OF THE OM PLAN BY THE AGENCY IS REQUIRED PRIOR TO FINAL INSPECTION AND APPROVAL OF BUILDING PERMIT CLOSURE.
- ALL STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED ACCORDING TO THE APPROVED OM PLAN. THE PERSON(S) OR ORGANIZATION(S) RESPONSIBLE FOR MAINTENANCE SHALL BE DESIGNATED IN THE PLAN. THE PLAN SHALL REQUIRE THAT STORMWATER MANAGEMENT FACILITIES BE INSPECTED BY THOSE RESPONSIBLE FOR MAINTENANCE AT LEAST ANNUALLY. THE OM PLAN SHALL ALSO DESCRIBE HOW THE MAINTENANCE WILL BE FUNDED, UPON THE FAILURE OF A RESPONSIBLE PERSON TO MAINTAIN THE STORMWATER MANAGEMENT FACILITIES IN ACCORDANCE WITH THE OM PLAN, THE COUNTY MAY PERFORM THE MAINTENANCE AND RECOVER ITS COSTS FROM THE RESPONSIBLE PERSON AS PROVIDED IN SECTION 23.15.145.
- WHERE DEEMED APPROPRIATE BY THE AGENCY, ACCESS BY THE COUNTY TO STORMWATER MANAGEMENT FACILITIES FOR INSPECTIONS, AS PROVIDED IN SECTION 23.15.120, AND THROUGH SUCH MEANS AS MAY BE APPROPRIATE, INCLUDING, BUT NOT LIMITED TO, LEGAL AGREEMENTS, RECORDED COVENANTS OR EASEMENTS, SHALL BE PROVIDED BY THE PROPERTY OWNER.
- ALL PROJECT PROPONENTS AND THEIR SUCCESSORS, OR SUCCESSORS IN FEE TITLE, IN CONTROL OF A PROJECT THAT IS LOCATED WITHIN A COUNTY UNBRANDED AREA AND THAT IS DEFINED AS A REGULATED PROJECT IN SECTION E.12.C. OF THE PHASE II STORMWATER PERMIT SHALL SUBMIT FOR APPROVAL, ONE OF THE FOLLOWING AS A CONDITION PRIOR TO FINAL INSPECTION AND APPROVAL OF BUILDING PERMIT CLOSURE:
  - THE PROJECT PROPONENT'S BONDED STATEMENT ACCEPTING RESPONSIBILITY FOR THE OPERATION AND MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES UNTIL SUCH RESPONSIBILITY IS LEGALLY TRANSFERRED TO ANOTHER ENTITY.
  - WRITTEN CONDITIONS IN THE SALES OR LEASE AGREEMENTS OR DEED FOR THE PROJECT THAT REQUIRES THE BUYER OR LESSEE TO ASSUME RESPONSIBILITY FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES UNTIL SUCH RESPONSIBILITY IS LEGALLY TRANSFERRED TO ANOTHER ENTITY.
  - WRITTEN TEXT IN PROJECT DEEDS, COVENANTS AND RESTRICTIONS FOR MULTIFAMILY RESIDENTIAL PROJECTS THAT REQUIRE THE HOMEOWNERS ASSOCIATION OR, IF THERE IS NO ASSOCIATION, EACH INDIVIDUAL OWNER TO ASSUME RESPONSIBILITY FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES UNTIL SUCH RESPONSIBILITY IS LEGALLY TRANSFERRED TO ANOTHER ENTITY.
  - ANY OTHER LEGALLY ENFORCEABLE AGREEMENT OR MECHANISM, SUCH AS RECOGNITION IN THE PROPERTY DEED THAT ASSIGNS THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES TO THE PROJECT'S OWNERS OR THE PERMITTEE.
- FINANCIAL SECURITY MAY BE REQUIRED TO ENSURE THAT STORMWATER MANAGEMENT FACILITIES OPERATE AND ARE MAINTAINED FOLLOWING CONSTRUCTION FOR A PERIOD WHICH MAY BE DETERMINED BY THE AGENCY. FINANCIAL SECURITY SHALL CONSIST OF AN IRREVOCABLE LETTER OF CREDIT, CASH DEPOSIT, OR PERFORMANCE BOND AS DETERMINED BY THE AGENCY.

## DRAINAGE AND TERRACING

UNLESS OTHERWISE INDICATED ON THE APPROVED GRADING PLANS, DRAINAGE FACILITIES AND TERRACING SHALL CONFORM TO THE FOLLOWING PROVISIONS:

- TERRACES AT LEAST SIX FEET IN WIDTH SHALL BE ESTABLISHED AT NOT MORE THAN THIRTY-FOOT VERTICAL INTERVALS TO CONTROL SURFACE DRAINAGE AND SEEPS SHALL BE PROVIDED TO PROMOTE CLEANING AND MAINTENANCE.
- DRAINAGE DITCHES ON TERRACES SHALL HAVE A MINIMUM GRADIENT OF FIVE PERCENT AND MUST BE PAVED WITH REINFORCED CONCRETE OR SURFAGED WITH AN APPROVED MATERIAL TO PREVENT EROSION OF THE DITCH.
- DRAINAGE DITCHES ON TERRACES SHALL DISCHARGE INTO A DRAINWAY OR OTHER ARE AS PRACTICAL. THE FLOW IN ANY SECTION OF DITCH, WHERE PRACTICABLE, SHOULD NOT EXCEED ONE C.F.S. FOR A ONE HUNDRED-YEAR STORM.
- DRAINAGE COLLECTION SYSTEMS SHALL DISCHARGE WATER IN AN AREA OF STABLE SOIL, AN IMPROVED ROADSIDE DITCH, OR A NATURAL OR MANMADE DRAINAGE COLLECTION SYSTEM.

## SHEET INDEX

TITLE SHEET	C-1
PRECISE GRADING & DRAINAGE PLAN	C-2
SECTIONS & DETAILS	C-3
EROSION CONTROL PLAN	C-4

## EARTH WORK QUANTITY

CUT	75	C.Y.
FILL	50	C.Y.
IMPORT	0	C.Y.
EXPORT	25	C.Y.

LOT SIZE	10000	SQ-FT
TOTAL IMPERVIOUS AREA	4909	SQ-FT

NOTES:  
QUANTITIES SHOWN HERE ON ARE FOR PERMIT AND/OR BIDDING PURPOSE ONLY.

## OWNER

YUR GALEV  
ADDRESS: 111 OAK AVE, KENTFIELD, CA 94904  
PHONE: (408) 859-1210  
EMAIL: yur@cecliahome.com

## ARCHITECTURAL DESIGNER

CONSTRUCTO, INC.  
ADDRESS: 910 CAMPBELL WAY, STE 2C, CAMPBELL, CA 95008  
PHONE: (800) 975-1796  
EMAIL: welcome@constructo.online

## STRUCTURAL ENGINEERING

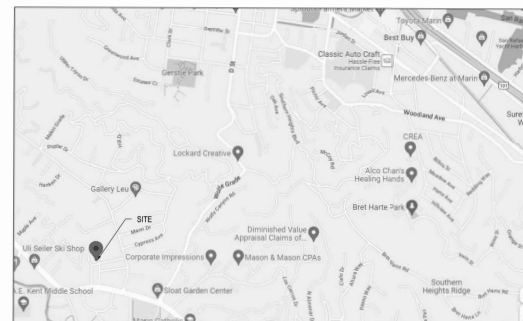
MMW ASSOCIATES  
ADDRESS: 3800 Commerce Blvd. Suite 105, Robert Park, CA 94928  
PHONE: (071) 578-8185  
WEBSITE: www.mkwassociates.com

## PROFESSIONAL ENGINEER

NAME: LED ZHENG  
PHONE: (510) 909-1933  
EMAIL: engineer.lez@gmail.com

## SURVEYOR

VERTICOM LAND SURVEYING  
ADDRESS: 1014 CORPORATE WAY, SUITE 238, SACRAMENTO, CA 95811  
PHONE: 916-461-1506



VICINITY MAP  
NOT TO SCALE

WWW.CECILIA111.COM  
CHIEF ENGINEER LED ZHENG (MASON)  
PHONE: (510) 909-1933  
EMAIL: ENGINEER.LEZ@GMAIL.COM

**DURING CONSTRUCTION IF ANY DIFFICULTY OCCUR, PLEASE CONTACT ENGINEER IMMEDIATELY. IF CONTRACTOR DEVIATE FROM THE DRAWING WITHOUT PRIOR APPROVAL FROM ENGINEER, THE CONTRACTOR WILL TAKE ALL THE LIABILITY DUE TO DEVIATION.**

**111 Oak Ave, Kentfield, CA 94904**

REV.	DESCRIPTION	DATE
0	APPLY FOR PERMITS	04/12/2023
1	1ST PLAN CHECK	07/11/2023

Jurisdiction:

Licenser:

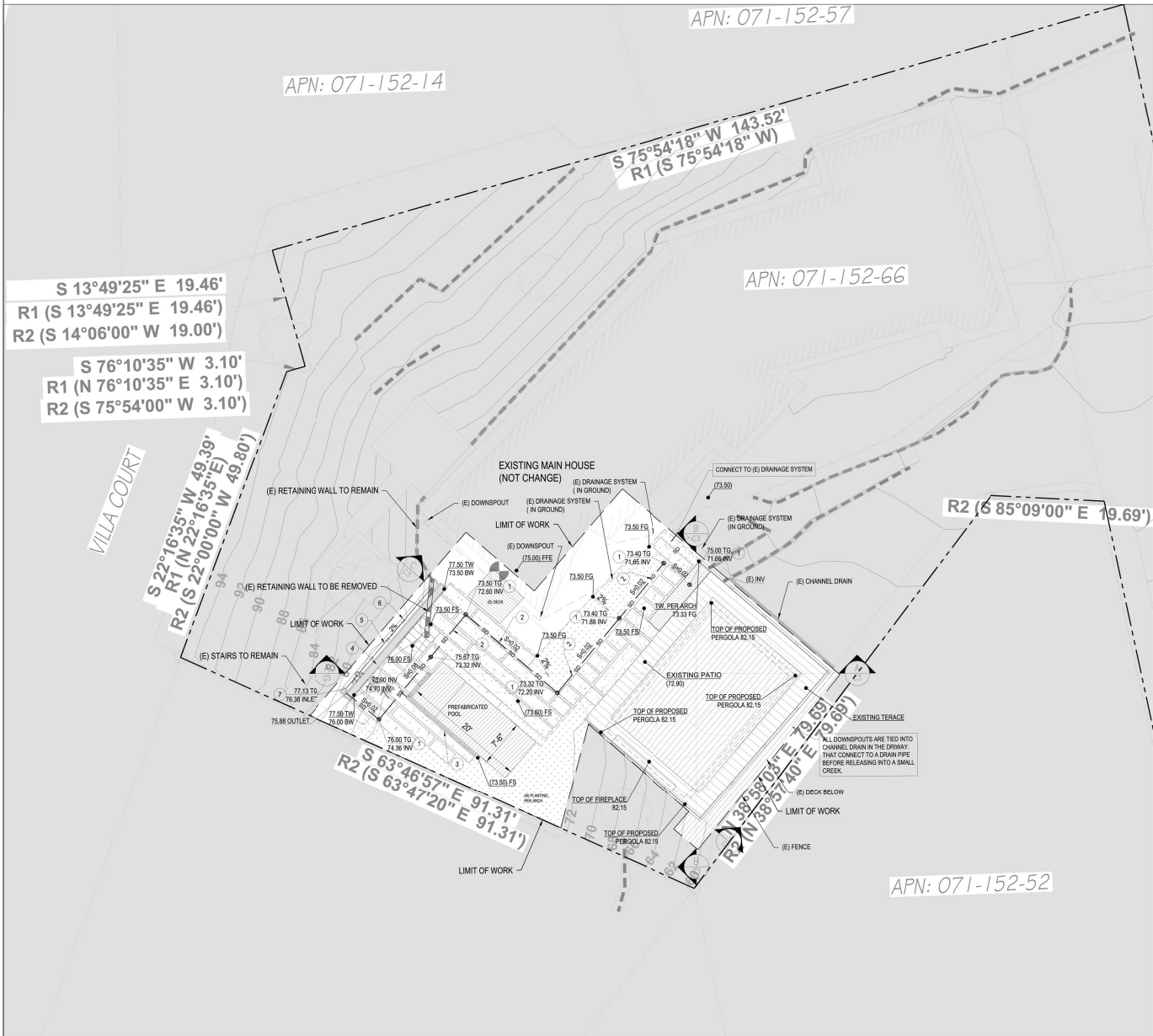


SHEET TITLE:

**TITLE SHEET**

SHEET NUMBER:

**C-1**



**PRECISE GRADING PLAN**  
SCALE 1"=8'

LIMIT OF WORK	2,825 SF
EXISTING IMPERVIOUS SURFACE AREA	1,768 SF
PROPOSED IMPERVIOUS SURFACE AREA	1,981 SF

**CONSTRUCTION NOTE**

1. INSTALL 6" DIA. DRAIN NDS 40 WRISER AND ADAPTOR OR EQUAL.
2. INSTALL 4" DIA. PVC SCHEDULE 40 OR SDR 35 PIPE DRAIN SYSTEM.
3. INSTALL CHANNEL DRAIN SEE DETAIL 41C-3
4. NEW RETAINING WALL
5. INSTALL SUBDRAIN SYSTEM
6. INSTALL SWALE DRAIN SYSTEM SEE DETAIL 51C-3
7. INSTALL NDS 9" SQUARE CATCH BASIN (TYP)

**NOTE**

- SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY.
- ALL DRAINAGE SHALL BE DIRECTED TOWARD THE STREET, APPROVED DRAINAGE SYSTEM, OR NATURAL WATERCOURSE.
- PER 2022 C.C.C. 1804.4 THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 30 UNITS HORIZONTAL (2%) FOR A MINIMUM DISTANCE OF 10 FEET (3048 MM) MEASURED PERPENDICULAR TO THE FACE OF THE WALL. CONTRACTOR TO PROVIDE LANDSCAPING ON SLOPE AREA AT THE REAR OF THE PROPERTY FOR EROSION CONTROL PURPOSES.
- SEE ARCHITECTURAL PLANS FOR SITE DEMOLITION INFORMATION.
- ALL WALLS UNDER SEPARATE PERMIT.
- TOTAL FOOTING DEPTH = DESIGNED FOOTING DEPTH (DF) + MINIMUM FOOTING EMBEDEDMENT.
- ALL DRAINAGE PIPE WILL BE 1% SLOPE UNLESS NOTE OTHERWISE.

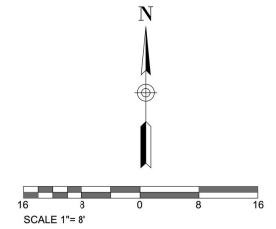
**POOL NOTES**

- POOL WATER WILL COMPLY WITH THE REQUIREMENTS OUTLINED IN NOTE 4 - POOL NOTES - SHEET C-1 (BASED ON MARIN COUNTY STORM WATER POLLUTION PREVENTION PROGRAM - SHEET C5).

**LEGEND**

- 100 EXISTING CONTOUR
- 100FS SPOT ELEVATION
- PROPOSED CONCRETE AREA
- PROPOSED RETAINING WALL
- PROPOSED PLANTER
- EXISTING LAWN
- PROPOSED STORM DRAIN
- PERFORATED PVC PIPE
- LIMIT OF WORK
- XXXX SURFACE SLOPE
- 5:XX STORM DRAIN SLOPE
- FS PROPOSED FINISHED SURFACE
- FG PROPOSED FINISHED GROUND
- FF PROPOSED FINISHED FLOOR
- INV INVERT OF PIPE
- TG TOP OF GRATE
- TW TOP OF WALL
- BW BOT OF WALL
- FFE FINISH FLOOR EXISTING
- (E) EXISTING

ALL DOWNSPOUTS ARE TIED INTO CHANNEL DRAIN IN THE DRIVEWAY THAT CONNECT TO A DRAIN PIPE BEFORE RELEASING INTO A SMALL CREEK.



**CECILIA HOME**  
WWW.CECILIA123.COM  
CHIEF ENGINEER: LEI ZHENG (MASON)  
PHONE: (510) 930-1933  
EMAIL: ENGINEER.LEI@GMAIL.COM

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**111 Oak Ave, Kentfield,  
CA 94904**

REV.	DESCRIPTION	DATE
0	APPLY FOR PERMITS	04/12/2023
1	1ST PLAN CHECK	07/11/2023

Jurisdiction:

Licensor:

SHEET TITLE:  
**PRECISE GRADING  
& DRAINAGE PLAN**

SHEET NUMBER:  
**C-2**

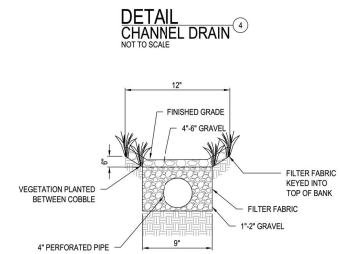
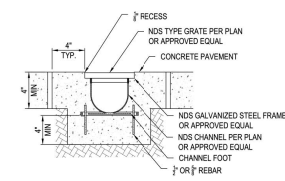
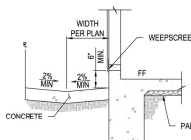
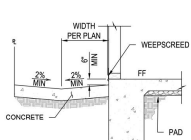
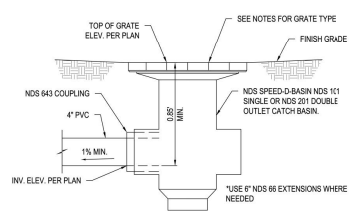
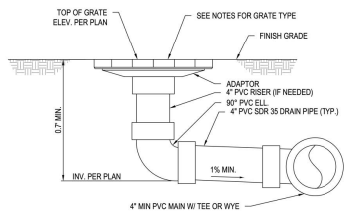
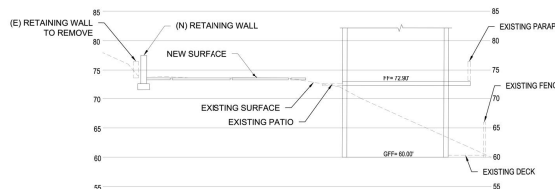
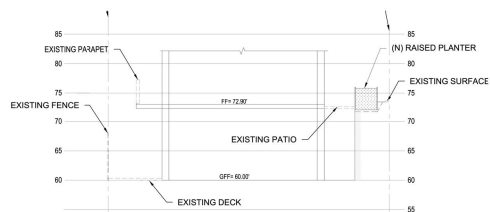
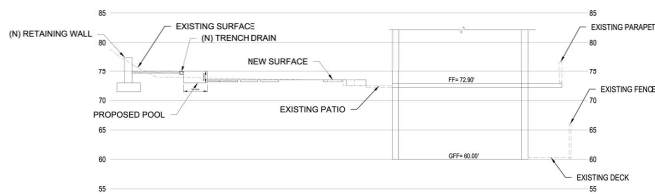


**CECILIA HOME**

WWW.CECILIA123.COM  
 CHIEF ENGINEER LEI ZHENG (MASON)  
 PHONE: (510) 938-1933  
 EMAIL: ENGINEER.LEI@GMAIL.COM

DURING CONSTRUCTION IF ANY DIFFICULTY OCCUR, PLEASE CONTACT ENGINEER IMMEDIATELY. IF CONTRACTOR DEVIATE FROM THE DRAWING WITHOUT PRIOR APPROVAL FROM ENGINEER, THE CONTRACTOR WILL TAKE ALL THE LIABILITY DUE TO DEVIATION.

111 Oak Ave, Kentfield,  
 CA 94904



- NOTE:
1. ALL FITTINGS BY: NDS, INC. (OR EQUAL) PHONE: 1-800-726-1994
  2. REFER TO GRADING PLAN FOR FINISH GRADING.
  3. DO NOT GLUE GRATE OR RISER TO PIPE.
  4. GLUE "1" P.S. WELD ON" #773 SOLVENT (MEDIUM BODIED) TAPS SETS FOR PIPE THRU 4" Ø.
  5. ALL PIPES TO BE 4" Ø PVC SDR 35 OR SCHEDULE 40.

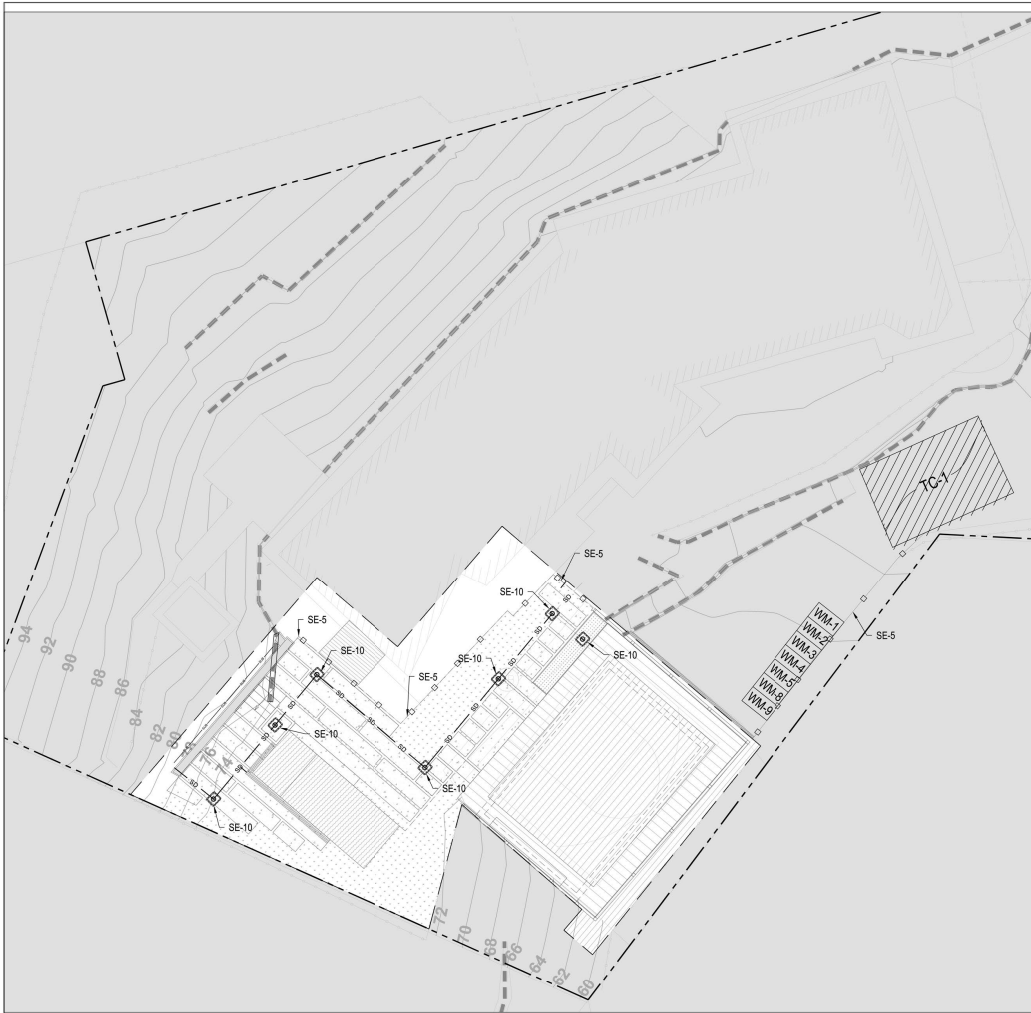
REV.	DESCRIPTION	DATE
0	APPLY FOR PERMITS	04/12/2023
1	1ST PLAN CHECK	07/11/2023

Jurisdiction:

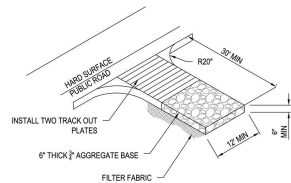


SHEET TITLE:  
**SECTIONS AND DETAILS**

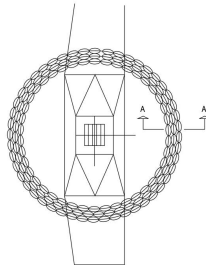
SHEET NUMBER:  
**C-3**



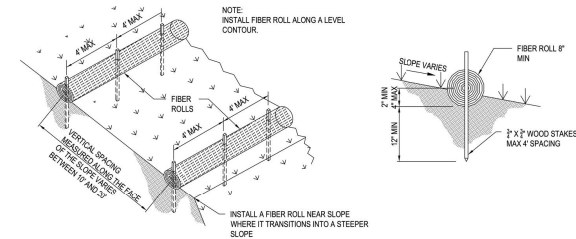
**EROSION CONTROL PLAN**  
SCALE 1"=8'



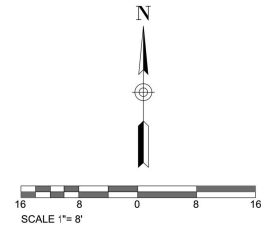
**DETAIL STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**DETAIL GRAVEL BAG FOR INLETS**  
NOT TO SCALE



**DETAIL FIBER ROLLS**  
NOT TO SCALE



EROSION CONTROL BMPs	
EC-1 SCHEDULING	SCHEDULE PREPARED BY CONTRACTOR SHALL BE ON-SITE DURING CONSTRUCTION.
TEMPORARY SEDIMENT CONTROL	
SE-5 FIBER ROLLS	INSTALL WHERE SHOWN ON PLAN.
SE-7 STREET SWEEPING AND VACUUMING	STREET SHALL BE SWEEPED, SEDIMENT COLLECTED, AND DISPOSED OF OFF-SITE ON A DAILY BASIS.
SE-10 STORM WATER INLET PROTECTION	ONCE INLET RISERS ARE CONSTRUCTED, SURROUND RISERS WITH GRAVEL BAGS OR CAP THE RISER TO REDUCE SEDIMENT INTRODUCTION TO THE AREA DRAIN SYSTEM.
WIND EROSION CONTROL BMPs	
WE-1 WIND EROSION CONTROL	WATER OR COVER MATERIAL SHALL BE USED TO ALLEVIATE DUST NUISANCE ON THE ROUGH GRADED PADS AND ANY STOCKPILE AREAS.
TRACKING CONTROL	
TC-1 STABILIZED CONSTRUCTION EXIT	RUMBLE RACK SHALL BE PLACED ON THE DRIVEWAY TO ENSURE THAT ALL VEHICLES LEAVING THE SITE PASS OVER THE DEVICES BEFORE ENTERING THE PUBLIC STREET.
NON-STORMWATER MANAGEMENT	
NS-1 WATER CONSERVATION PRACTICES	MAINTAIN WATER EQUIPMENT TO PREVENT NON-STORMWATER DISCHARGES.
NS-3 PAVING AND GRADING OPERATIONS	APPLY PARAMETER CONTROLS AND VACUUMING TO PREVENT NON-STORMWATER DISCHARGE.
NS-6 ILLICIT CONNECTION / ILLEGAL DISCHARGE	CONTRACTOR SHALL REPORT ILLICIT CONNECTIONS OR ILLEGALLY DUMPED MATERIALS ON SITE TO THE RESIDENT ENGINEER IMMEDIATELY AND CONTRACTOR SHALL TAKE NO FURTHER ACTION UNTIL THE RESIDENT ENGINEER PROVIDE A RESPONSE.
NS-7 POTABLE WATER / IRRIGATION	EXERCISE CARE DURING CONSTRUCTION TO PREVENT NON-STORMWATER DISCHARGES.
NS-8 VEHICLE AND EQUIPMENT CLEANING	ALL VEHICLES AND EQUIPMENT WILL BE CLEANED OFF-SITE.
NS-9 VEHICLE AND EQUIPMENT FUELING	ALL VEHICLES AND EQUIPMENT WILL BE FUELED OFF-SITE.
NS-10 VEHICLE AND EQUIPMENT MAINTENANCE	ALL VEHICLES AND EQUIPMENT WILL BE MAINTAINED OFF-SITE.
NS-12 CONCRETE CURING	APPLIES TO ALL CONCRETE CONSTRUCTION.
NS-13 CONCRETE FINISHING	APPLIES TO ALL CONCRETE CONSTRUCTION.
WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL	
WM-1 MATERIAL DELIVERY AND STORAGE	MATERIALS SHALL BE STORED ON-SITE IN ORIGINAL MARKED CONTAINERS AND COVERED FROM RAIN AND WIND. MATERIAL INVENTORY SHALL CONSIST OF SUPPLY REQUIRED FOR A FEW DAYS.
WM-2 MATERIAL USE	MATERIALS FOR CONSTRUCTION SHALL BE USED IN ACCORDANCE WITH PRODUCT DIRECTION.
WM-3 STOCKPILE MANAGEMENT	MATERIALS STOCKPILES SHALL BE SURROUNDED BY A TEMPORARY SEDIMENT BARRIER AND COVERED TO MAINTAIN DUST CONTROL.
WM-4 SPILL PREVENTION AND CONTROL	AMPLE CLEAN-UP SUPPLIES FOR STORED MATERIALS SHALL BE KEPT ON-SITE. EMPLOYEE SHALL BE EDUCATED ON THE CLASSIFICATION OF SPILLS AND APPROPRIATE RESPONSES.
WM-5 SOLID WASTE MANAGEMENT	SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE STORED IN APPROPRIATE CONTAINERS. FULL CONTAINERS SHALL BE DISPOSED OF PROPERLY.
WM-8 CONCRETE WASTE MANAGEMENT	AN ON-SITE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED, USED, AND DISPOSED OF IN A MANNER WHICH MEETS THE REQUIREMENT OF THE CITY.
WM-9 SANITARY / SEPTIC WASTE MANAGEMENT	ON-SITE FACILITY SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.

**CECILIA HOME**  
WWW.CECILIA123.COM  
CHIEF ENGINEER LEI ZHENG (MASON)  
PHONE: (510) 930-1933  
EMAIL: ENGINEER.LEI@GMAIL.COM

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CA 94904

REV.	DESCRIPTION	DATE
0	APPLY FOR PERMITS	04/12/2023
1	1ST PLAN CHECK	07/11/2023

Jurisdiction:

Licenser:

SHEET TITLE:  
**EROSION CONTROL PLAN**

SHEET NUMBER:  
**C-4**

# Best Management Practices

Follow the maintenance practices listed below to help keep pollutants out of our waterways, protect water in our creeks and comply with local, state, and federal laws.

**Note: For information on commercial swimming pool facilities, contact the Marin County Department of Environmental Health Services at 415-473-6907.**

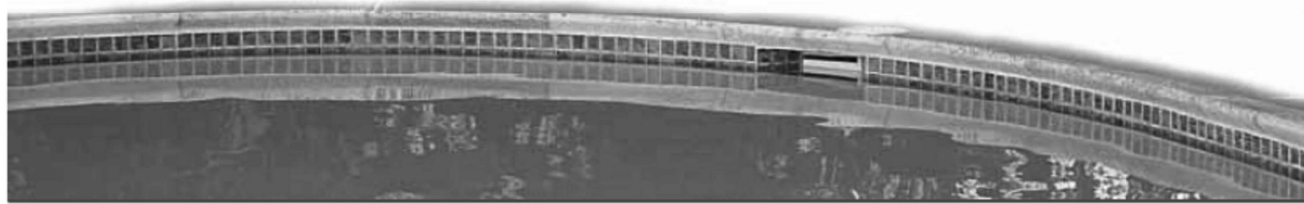
## Disposing of Swimming Pool, Spa, or Fountain Water

- Saltwater pools cannot be discharged to a sanitary sewer system or a storm drain!
- The preferred method is to discharge pool, spa, or fountain water (other than salt water) onto land surfaces provided the water is dechlorinated/debrominated, the pH is between 6.5 and 8.5, and the land area is sufficient to prevent erosion and runoff into a ditch, creek, or other stormwater conveyance.
- If landscaping is not a viable option, the next best choice is to discharge pool, spa, or fountain water to the sanitary system. Contact your local sanitary sewer agency to make sure the discharge will not create a problem in the sewer system or wastewater treatment plant downstream of your property.

As a last resort, discharge to a storm drain only if:

- no other disposal methods (e.g. sanitary sewer, landscaping) are possible.
- the pool, spa, or fountain water is completely dechlorinated/debrominated.
- concentrations of copper and silver are not harmful to fish or other aquatic life.
- the pH is between 6.5 and 8.5.
- the water is free of any unusual coloration, dirt, suds, or algae.
- there is no discharge of filter media.
- there is no discharge of acid cleaning wastes.
- the water is at ambient temperature. (Heated water should be allowed to cool.)

***It is illegal to discharge water from pools, spas and fountains - including filter rinsewater and backwash - to streets, storm drains or creeks!***



## Disposing of Filter Rinsewater and Backwash

- Rinse cartridge filters onto a dirt area and spade the filter residue into the soil.
- Backwash sand and diatomaceous earth filters onto a dirt or rocky area.
- Keep backwash discharges out of the street and storm drain. Temporary wash areas must be adequate to contain all washwaters. The temporary wash area is inadequate if washwater reaches creeks, gutters, or storm drains.
- If you do not have a suitable dirt area, contact your wastewater treatment authority listed on the back of this brochure for instructions on discharging to the sanitary sewer. Pretreatment may be required to remove the diatomaceous earth from the backwash water and prevent blockages to your sewer line.

## General Maintenance Tips

- Clean your pool, fountain, or spa regularly, maintain proper chlorine levels, water filtration and circulation. If you do so, you will not have to drain your pool so often.
  - Manage pH and water hardness to reduce copper pipe corrosion that can stain your pool and end up in our creeks.
  - Avoid using copper algacides. Ask your pool maintenance service or store for help resolving persistent algae problems without using copper algacides.
  - Make sure your pool maintenance service follows all discharge requirements.
  - Dispose of unwanted pool chemicals properly. Many are hazardous wastes when discarded. Household hazardous wastes may be legally disposed of at a Hazardous Waste Collection Facility for free. In Novato, call 892-7344. Other areas of Marin call 485-6806.
- Commercial operations, including maintenance companies, may dispose of hazardous pool chemicals for a fee through the Conditionally Exempt Small Quantity Generator Program. For an appointment, call the Hazardous Waste Collection Facility at 892-6395 (Novato only) or 485-5648 (for other areas of Marin).



**CECILIA HOME**

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CA 94904

REV.	DESCRIPTION	DATE
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1	1ST PLAN CHECK	07/11/2023

Jurisdiction:



SHEET TITLE:  
**BEST MANAGEMENT PRACTICES**

SHEET NUMBER:  
**C-5**









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- ROOF FRAMING NOTES**
1. See "SD" sheet(s) for structural details and "SN" sheet(s) for structural notes.
  2. Structural sheathed walls are designated per SD/BOLLS LEGEND on sheet SN1 and are below the level of framing shown unless otherwise noted. See "Structural Wall Sheathing Schedule" on sheet SD1 for specific and general requirements.
  3. Sheathe all exterior walls per "Structural Wall Sheathing Schedule" type "TS" unless otherwise noted. Sheathe all specified interior walls per plans and "Structural Wall Sheathing Schedule" on sheet SD1.
  4. Roof to be sheathed with APA rated sheathing, 32/16, Exposure 1, 15/32" minimum thickness. Install sheets with face grain perpendicular to supports. Stagger sheets and nail with 8d at 6" o.c. edges and at 12" o.c. field, typical, unless otherwise noted. Provide sheets not less than 4'-0" x 8'-0" except at lap/joints and changes in framing. Minimum sheet size to be 24" x 24" unless all edges of undersized sheets are supported by and fastened to framing members or blocking.
  5. Building has been designed for roofing with a max weight of 10 psf.
  6. See WALL LEGEND for wall types.
  7. See detail 17/SD1 for framing of headers and required number of king studs at openings. See detail 6/SD1 for typical header size unless otherwise noted.
- 22014453 5060 08/04/20

**MKM Associates**  
 Structural Engineering  
 588 Commerce Blvd, Suite 102  
 Rosemead, CA 91096  
 Phone: (714) 578-8185  
 Fax: (714) 578-1133  
 www.mkmassociates.com



7/17/2023  
 This drawing is a revision of sheet SN1. The user is responsible for all dimensions, notes, and details. All dimensions are in feet and inches unless otherwise noted. Drawing scales as indicated are for reference only and are not intended to accurately represent actual or proposed conditions. Verify dimensions and quantities.  
 PROJECT MANAGER  
 Cody Cruz  
**STRUCTURAL OBSERVATION REQUIRED**  
 FOR "STRUCTURAL OBSERVATION" NOTES ON SHEET SN1

**OAK AVENUE RESIDENCE**  
 111 OAK AVENUE  
 KENTFIELD, CALIFORNIA 94940

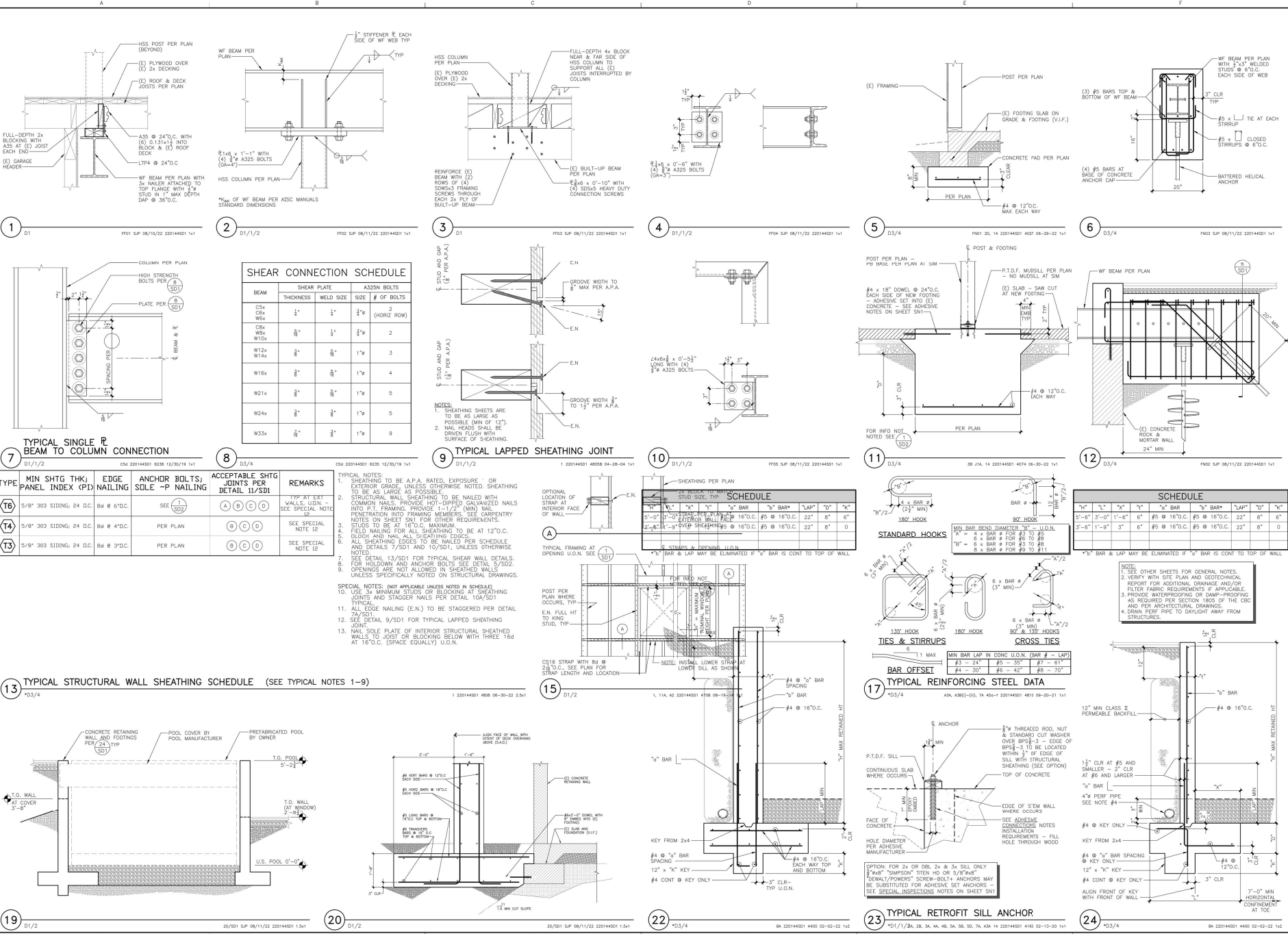
NO.	DESCRIPTION	DATE

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 PIA  
 REVIEW

**ISSUE INFORMATION**

Designer: \_\_\_\_\_  
 PE: BR SRJ: ---  
 Job: 220144  
 Checked by: ---  
 Plot Date: 7/17/2023  
 Sheet Title:  
 PERGOLA FRAMING PLAN  
 Sheet **53**

MAIL TO CONTRACTOR PRIOR TO ANY WORK BEING PERFORMED. PLEASE VERIFY WITH MKM & ASSOCIATES THAT THE CONSTRUCTION DOCUMENTS BEING USED ARE THE CURRENT APPROVED PLANS.



### SHEAR CONNECTION SCHEDULE

BEAM	SHEAR PLATE THICKNESS	WELD SIZE	SIZE	# OF BOLTS
C24	1"	1"	1/2"	2
C24	1"	1"	1/2"	2
W8x	3/8"	1"	1/2"	2
W12x	3/8"	1"	1/2"	2
W14x	3/8"	1"	1/2"	2
W16x	3/8"	1"	1/2"	2
W21x	3/8"	1"	1/2"	2
W24x	3/8"	1"	1/2"	2
W33x	3/8"	1"	1/2"	2

**1** D1 11/1/22 220144501 1:1  
**2** D1/1/2 11/1/22 220144501 1:1  
**3** D1 11/1/22 220144501 1:1  
**4** D1/1/2 11/1/22 220144501 1:1  
**5** D3/4 11/1/22 220144501 1:1  
**6** D3/4 11/1/22 220144501 1:1  
**7** D1/1/2 11/1/22 220144501 1:1  
**8** D3/4 11/1/22 220144501 1:1  
**9** D1/1/2 11/1/22 220144501 1:1  
**10** D1/1/2 11/1/22 220144501 1:1  
**11** D3/4 11/1/22 220144501 1:1  
**12** D3/4 11/1/22 220144501 1:1  
**13** D3/4 11/1/22 220144501 1:1  
**14** D1/2 11/1/22 220144501 1:1  
**15** D1/2 11/1/22 220144501 1:1  
**16** D1/2 11/1/22 220144501 1:1  
**17** D3/4 11/1/22 220144501 1:1  
**18** D3/4 11/1/22 220144501 1:1  
**19** D1/2 11/1/22 220144501 1:1  
**20** D1/2 11/1/22 220144501 1:1  
**21** D3/4 11/1/22 220144501 1:1  
**22** D3/4 11/1/22 220144501 1:1  
**23** D1/1/2, 2A, 2B, 3A, 4A, 4B, 5A, 5B, 5C, 7A, 8A, 11A, 12A, 12B, 12C, 12D, 12E, 12F, 12G, 12H, 12I, 12J, 12K, 12L, 12M, 12N, 12O, 12P, 12Q, 12R, 12S, 12T, 12U, 12V, 12W, 12X, 12Y, 12Z 11/1/22 220144501 1:1  
**24** D3/4 11/1/22 220144501 1:1

### SCHEDULE

1"	1 1/2"	2"	2 1/2"	3"	3 1/2"	4"	4 1/2"	5"	5 1/2"	6"	6 1/2"	7"	7 1/2"	8"	8 1/2"	9"
1"	1 1/2"	2"	2 1/2"	3"	3 1/2"	4"	4 1/2"	5"	5 1/2"	6"	6 1/2"	7"	7 1/2"	8"	8 1/2"	9"

**TYPICAL SINGLE BEAM TO COLUMN CONNECTION**  
**TYPICAL LAPPED SHEATHING JOINT**  
**TYPICAL STRUCTURAL WALL SHEATHING SCHEDULE** (SEE TYPICAL NOTES 1-9)  
**TYPICAL RETROFIT SILL ANCHOR**  
**TYPICAL REINFORCING STEEL DATA**

### SCHEDULE

1"	1 1/2"	2"	2 1/2"	3"	3 1/2"	4"	4 1/2"	5"	5 1/2"	6"	6 1/2"	7"	7 1/2"	8"	8 1/2"	9"
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**TYPICAL RETROFIT SILL ANCHOR**  
**TYPICAL REINFORCING STEEL DATA**

### SCHEDULE

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**TYPICAL RETROFIT SILL ANCHOR**  
**TYPICAL REINFORCING STEEL DATA**

### SCHEDULE

1"	1 1/2"	2"	2 1/2"	3"	3 1/2"	4"	4 1/2"	5"	5 1/2"	6"	6 1/2"	7"	7 1/2"	8"	8 1/2"	9"
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**TYPICAL RETROFIT SILL ANCHOR**  
**TYPICAL REINFORCING STEEL DATA**

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 5800 Commers Blvd, Suite 105  
 Rosemead, CA 91768  
 Phone: (714) 578-5185  
 Fax: (714) 578-1153  
 Internet: www.mkmassociates.com

11/17/2023

PROJECT MANAGER  
 Cody Cruz

**STRUCTURAL REQUIRED**  
 OBSERVATION NOTES ON SHEET 211

**OAK AVENUE RESIDENCE**  
 111 OAK AVENUE  
 KENTFIELD, CALIFORNIA 94940

02-17-23 00:00  
 REVISION

ISSUE INFORMATION  
 Designer:  
 PE: BR SRJ: ---  
 Job: 220144  
 Checked by:  
 Print Date: 7/17/2023

Sheet Title:  
**STRUCTURAL DETAILS**  
 SD1