

# EXTERIOR REMODEL

111 OAK AVE  
KENTFIELD  
CA 94904

### PROJECT DATA

PROJECT ADDRESS	111 OAK AVE, KENTFIELD, CA 94904
APN	07115215
TYPE OF CONSTRUCTION	V-B
OCCUPANCY GROUP	R-3
FLOOD ZONE DESIGNATION	NO
ZONING	R-1
FIRE SPRINKLERS	NO
BUILDING HEIGHT FROM GRADE	(N) 9'-3"
EASEMENTS	NO RECORDS OF EASEMENTS

### CONTACT TABLE

CLIENT: GOTTESMAN REVOCABLE TRUST,  
GOTTESMANG@GMAIL.COM, (415) 271-2320.  
DESIGNER: CONSTRUCTO INC. NICK ROMANENKO,  
(408)490-3333 X107, NICK@CONSTRUCTO.ONLINE  
51 E CAMPBELL AVE., STE. 100-B, CAMPBELL, CA 95008  
PROFESSIONAL ENGINEER: LEI ZHENG, (510) 909-1933,  
ENGINEER.LEI@GMAIL.COM

### PROJECT ANALYSIS

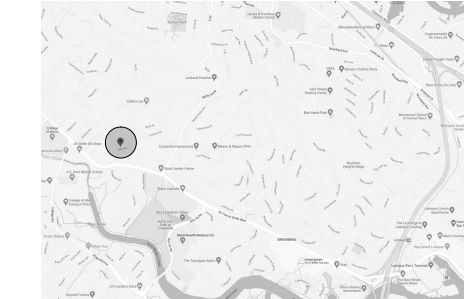
LOT SIZE	10,000 SQ FT
GROSS FLOOR AREA (E)	4,109 SQ FT
GROSS FLOOR AREA (N)	NO CHANGE
FAR (E)	41%
FAR (N)	NO CHANGE
LOT COVERAGE (E)	6.295 SQ FT
LOT COVERAGE (N)	7.585 SQ FT
PARKING (E)	3 SPACES
PARKING (N)	NO CHANGE
LIMIT OF DISTURBANCE	2,622 SQ FT
GRADING CALCULATION	
CUT	75 CUBIC YARDS
FILL	50 CUBIC YARDS
OFF-HAUL	25 CUBIC YARDS

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A103	SECTIONS	PROPOSED	1/8" = 1'
A104	ELEVATION PERGOLA	PROPOSED	1/4" = 1'
A105	MEP	PROPOSED	1/4" = 1'
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A107	FIREPLACE DETAILS	PROPOSED	1/8" = 1'
A108	BEST MANAGEMENT PRACTICES PLAN		NO SCALE
A110	UTILITY PLAN		1/16" = 1'
A111	BMP		NO SCALE
A112	ELEVATIONS	PROPOSED	1/8" = 1'
A113	ELEVATIONS	PROPOSED	1/8" = 1'
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A115	POOL ELEVATIONS	PROPOSED	AS NOTED
A115	POOL CROSS SECTIONS	PROPOSED	AS NOTED
T1	TOPOGRAPHIC SURVEY		AS NOTED
C-1	PRECISE GRADING PLAN	TITLE SHEET	AS NOTED
C-2	PRECISE GRADING DRAINAGE PLAN		AS NOTED
C-3	SECTIONS AND DETAILS		AS NOTED
C-4	EROSION CONTROL PLAN		AS NOTED
C-5	POOL BMP		AS NOTED
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S1	FOUNDATION PLAN		AS NOTED
S2	ROOF TOP FRAMING PLAN		AS NOTED
S3	PERGOLA FRAMING PLAN		AS NOTED
SD1	STRUCTURAL DETAILS		AS NOTED

### SCOPE OF WORK

- (N) PREFABRICATED POOL WITH BAJA SHELF 152 SQ FT
- (N) SHADE PERGOLA 478 SQ FT
- (N) FIREPLACE WALL OVER EXISTING DETACHED GARAGE
- (N) RETAINING WALL IN POOL AREA
- (N) SYNTHETIC TURF
- (N) CONCRETE STEPPERS
- (N) SAWING
- (N) PLANTING AREA
- (N) WINE FRIDGE AND STORAGE
- (N) RAISED PLANTER



VICINITY MAP  
NO SCALE

FOR ANY WORK PROPOSED IN THE RIGHT OF WAY THE SELECTED CONTRACTOR SHALL APPLY FOR AND OBTAIN AN ENCROACHMENT PERMIT PRIOR TO STARTING THAT WORK.

NOTE:  
DESIGN ENGINEER/ARCHITECT SHALL CERTIFY TO THE COUNTY IN WRITING UPON THE COMPLETION OF WORK THAT ALL GRADING AND DRAINAGE IMPROVEMENTS WERE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND FIELD DIRECTION. BE AWARE THAT A DPW ENGINEER WILL NEED TO INSPECT AND ACCEPT WORK AFTER RECEIPT OF CERTIFICATION LETTER. CERTIFICATION LETTERS SHALL REFERENCE BUILDING PERMIT NUMBER OR NUMBERS FOR SPECIFIC WORK BEING CERTIFIED. THE ADDRESS OF THE PROPERTY AND THE ASSESSOR'S PARCEL NUMBER (APN) AND SHALL BE SIGNED AND STAMPED BY THE CERTIFYING PROFESSIONAL.

DESIGN ENGINEER SHALL INSPECT AND CERTIFY IN WRITING TO DPW THAT EACH RETAINING WALL WAS CONSTRUCTED PER APPROVED PLAN AND FIELD DIRECTION. CERTIFICATION LETTERS SHALL REFERENCE BUILDING PERMIT NUMBER OR NUMBERS FOR SPECIFIC WORK BEING CERTIFIED. THE ADDRESS AND THE ASSESSOR'S PARCEL NUMBER (APN) FOR THE PROJECT, AND SHALL BE SIGNED AND STAMPED BY THE CERTIFYING PROFESSIONAL.



LOT AND LANDSCAPE PLAN  
AS-BUILT/EXISTING, SCALE 1/16" = 1'

PROJECT  
EXTERIOR  
REMODEL

ADDRESS  
111 OAK AVE  
KENTFIELD  
CA 94904

CLIENT  
GOTTESMAN  
REVOCABLE TRUST

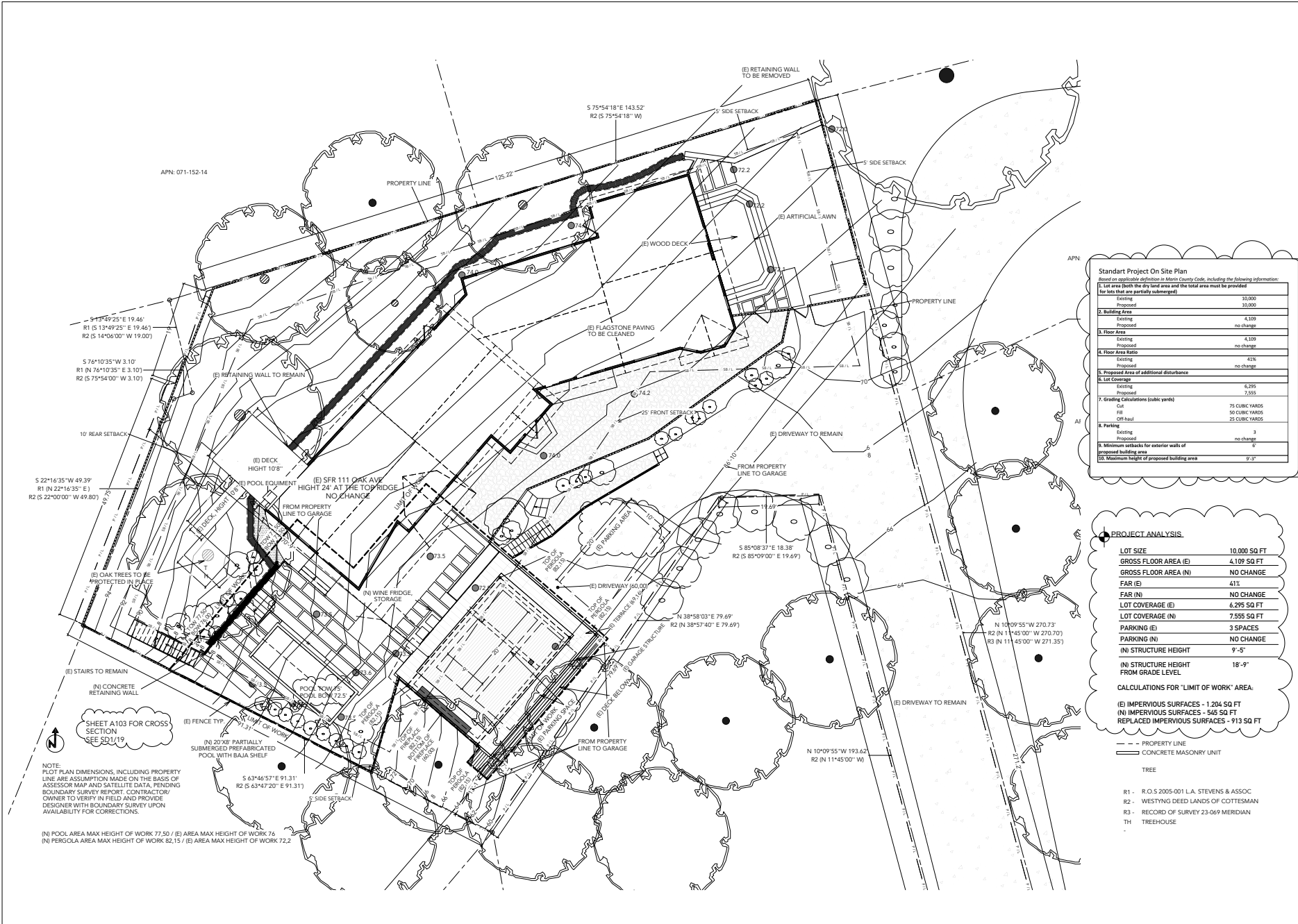
TITLE  
PROJECT  
OVERVIEW

DATE  
7/21/23  
SCALE

REVISION TABLE		
NUMBER	DATE	REVISED BY
07	03.2023	NR

A100

REVISION TABLE		
NUMBER	DATE	REVISED BY
	07.03.2023	NR



**Standart Project On Site Plan**  
Based on applicable definition in Marin County Code, including the following information:  
(E) Lot area (both the dry land area and the total area must be provided for lots that are partially submerged)

1. Lot Area	Existing: 10,000	Proposed: 10,000
2. Building Area	Existing: 4,109	Proposed: no change
3. Floor Area	Existing: 4,109	Proposed: no change
4. Floor Area Ratio	Existing: 41%	Proposed: no change
5. Proposed Area of additional Disturbance	Existing: 6,295	Proposed: 7,555
6. Lot Coverage	Existing: 41%	Proposed: 75.55%
7. Grading Calculations (cubic yards)	Existing: 75 CUBIC YARDS	Proposed: 50 CUBIC YARDS
8. Parking	Existing: 3	Proposed: no change
9. Minimum setbacks for exterior walls of proposed building area	Existing: 6'	Proposed: 6'
10. Maximum height of proposed building area	Existing: 9'-3"	Proposed: 9'-3"

**PROJECT ANALYSIS**

LOT SIZE	10,000 SQ FT
GROSS FLOOR AREA (E)	4,109 SQ FT
GROSS FLOOR AREA (N)	NO CHANGE
FAR (E)	41%
FAR (N)	NO CHANGE
LOT COVERAGE (E)	6,295 SQ FT
LOT COVERAGE (N)	7,555 SQ FT
PARKING (E)	3 SPACES
PARKING (N)	NO CHANGE
(N) STRUCTURE HEIGHT	9'-5"
(N) STRUCTURE HEIGHT FROM GRADE LEVEL	18'-9"

**CALCULATIONS FOR "LIMIT OF WORK" AREA:**

(E) IMPERVIOUS SURFACES - 1,204 SQ FT
(N) IMPERVIOUS SURFACES - 545 SQ FT
REPLACED IMPERVIOUS SURFACES - 913 SQ FT

- PROPERTY LINE
  - CONCRETE MASONRY UNIT
  - TREE
- R1 - R.O.S 2005-001 L.A. STEVENS & ASSOC  
R2 - WESTYNG DEED LANDS OF GOTTESMAN  
R3 - RECORD OF SURVEY 23-069 MERIDIAN  
TH - TREEHOUSE

**PROJECT**

EXTERIOR  
REMODEL

**ADDRESS**

111 OAK AVE  
KENTFIELD  
CA 94904

**CLIENT**

GOTTESMAN  
REVOCABLE TRUST

**TITLE**

LAYOUT  
ENLARGEMENT  
PLAN POOL AND  
PATIO

**PROPOSED**

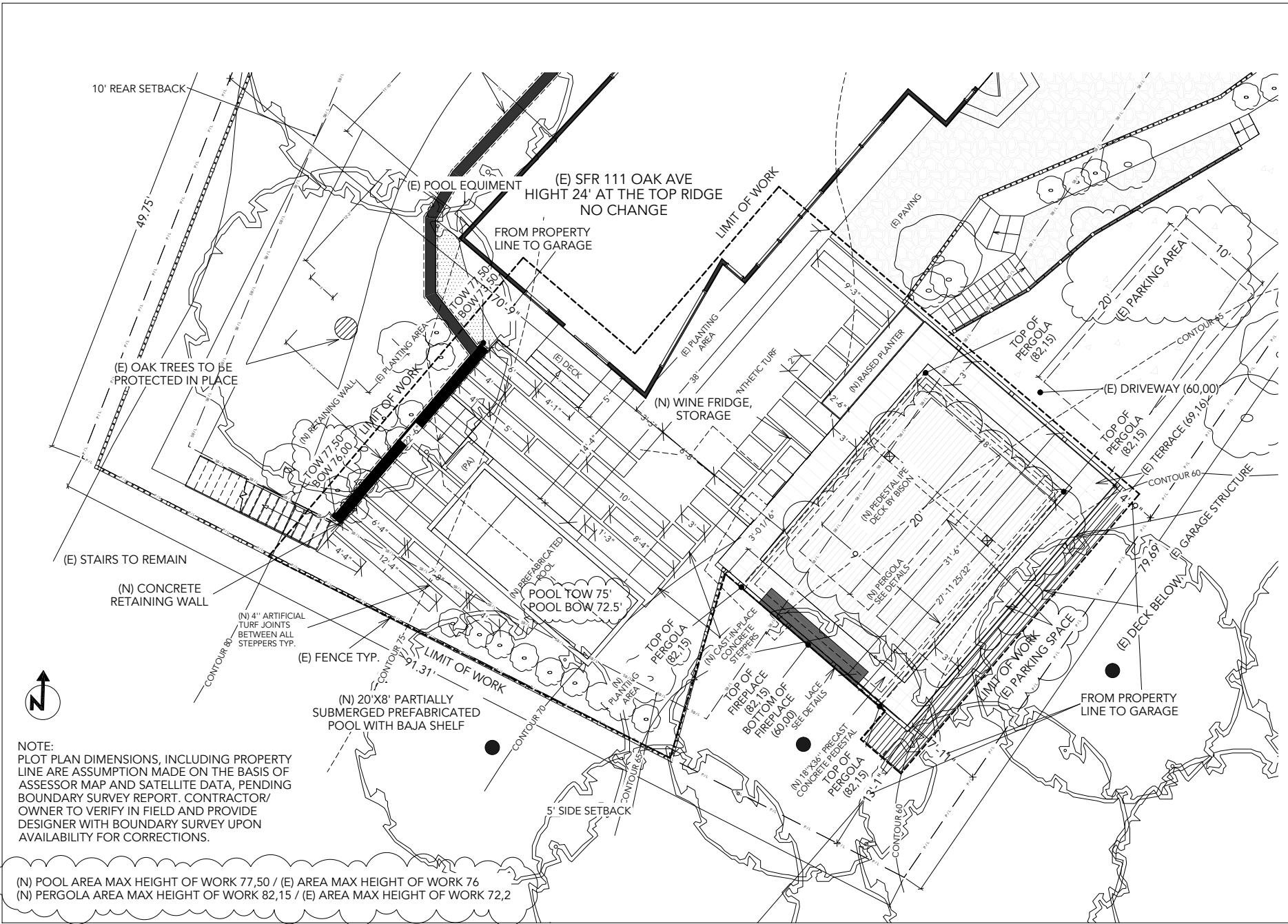
**DATE**

7/21/23

**SCALE**

1/4" = 1'

REVISION TABLE		
NUMBER	DATE	REVISED BY
1	07.03.2023	NR



NOTE:  
PLOT PLAN DIMENSIONS, INCLUDING PROPERTY LINE ARE ASSUMPTION MADE ON THE BASIS OF ASSESSOR MAP AND SATELLITE DATA, PENDING BOUNDARY SURVEY REPORT. CONTRACTOR/ OWNER TO VERIFY IN FIELD AND PROVIDE DESIGNER WITH BOUNDARY SURVEY UPON AVAILABILITY FOR CORRECTIONS.

(N) POOL AREA MAX HEIGHT OF WORK 77.50 / (E) AREA MAX HEIGHT OF WORK 76  
(N) PERGOLA AREA MAX HEIGHT OF WORK 82.15 / (E) AREA MAX HEIGHT OF WORK 72.2

**PROJECT**

**EXTERIOR  
REMODEL**

**ADDRESS**

111 OAK AVE  
KENTFIELD  
CA 94904

**CLIENT**

GOTTESMAN  
REVOCABLE TRUST

**TITLE**

**SECTIONS**

**PROPOSED**

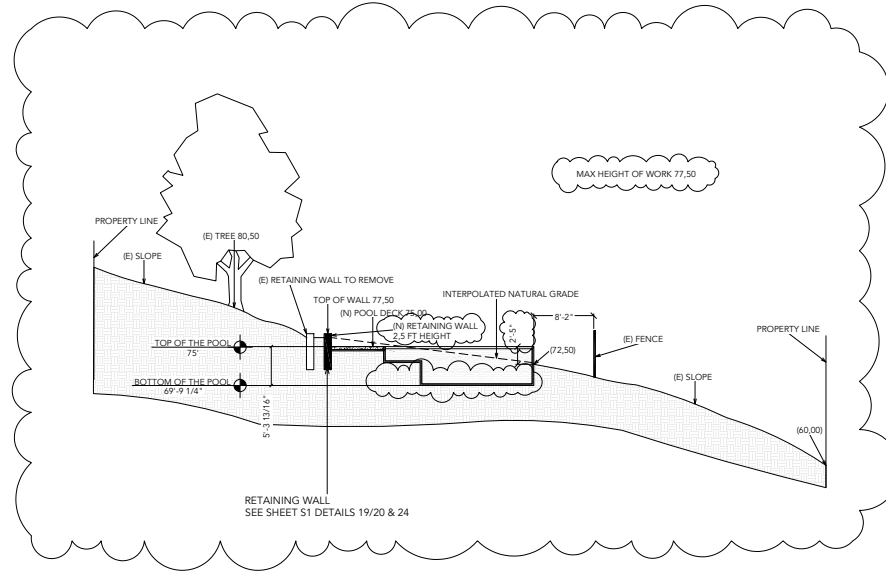
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7/21/23

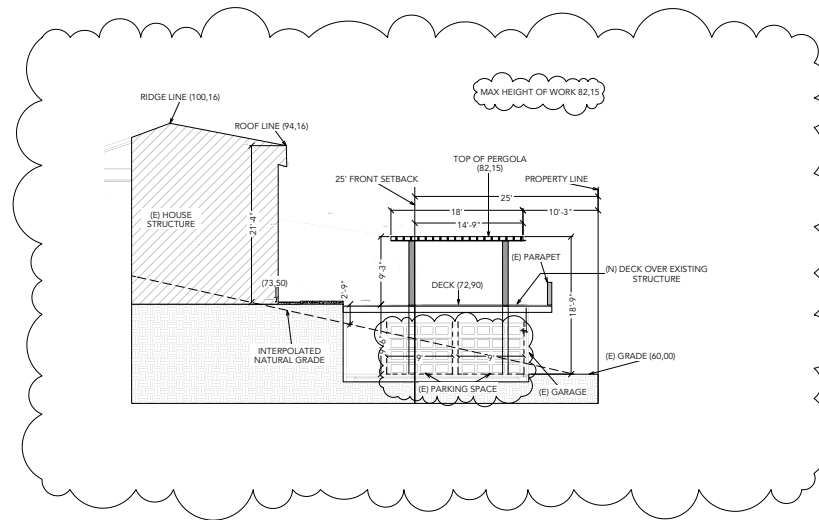
**SCALE**

1/8" = 1'

REVISION TABLE		
NUMBER	DATE	REVISOR
1	07.03.2023	NR



SECTION 02 RETAINING WALL AND POOL SECTION  
SOUTH



SECTION 01 PERGOLA AND EXISTING HOUSE  
SOUTH

**PROJECT**  
EXTERIOR  
REMODEL

**ADDRESS**  
111 OAK AVE  
KENTFIELD  
CA 94904

**CLIENT**  
GOTTESMAN  
REVOCABLE TRUST

**TITLE**  
ELEVATION  
PERGOLA

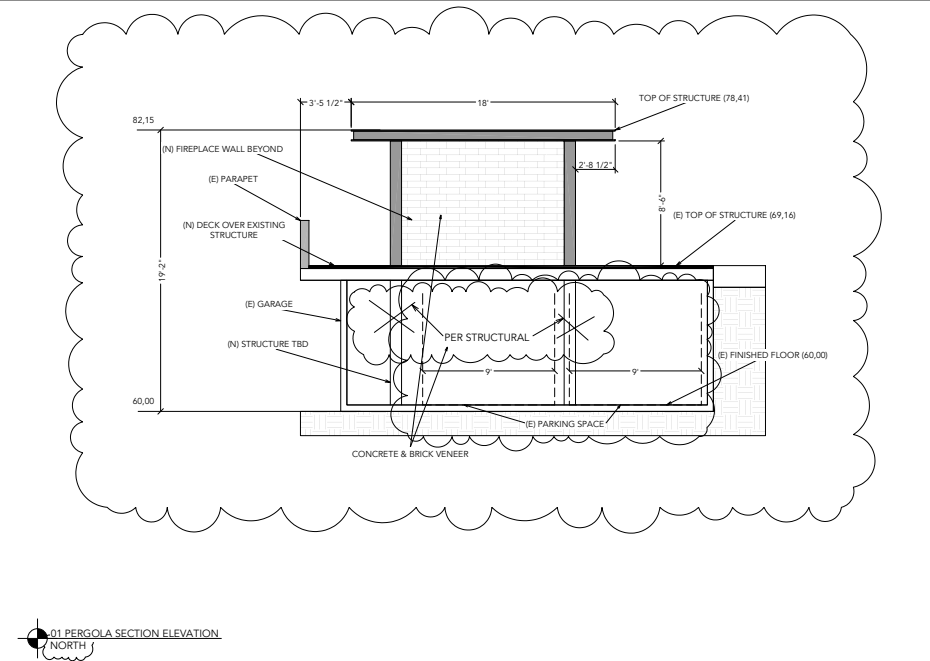
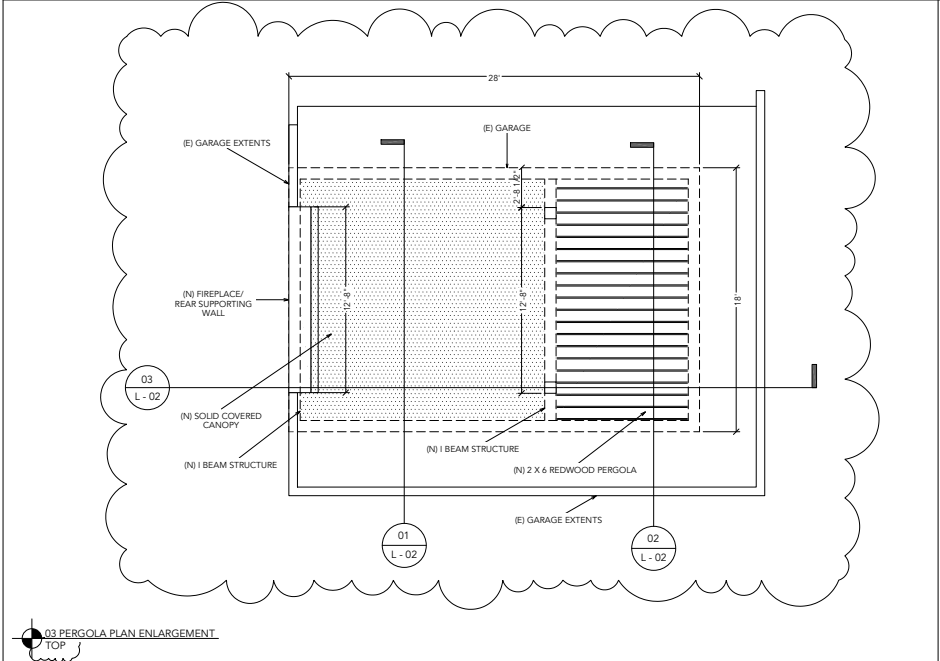
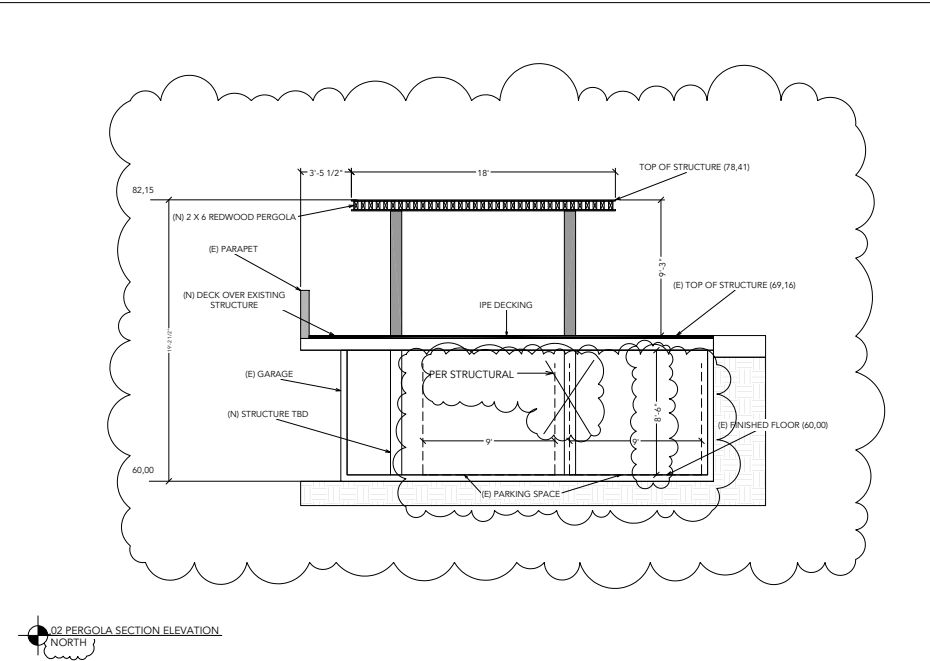
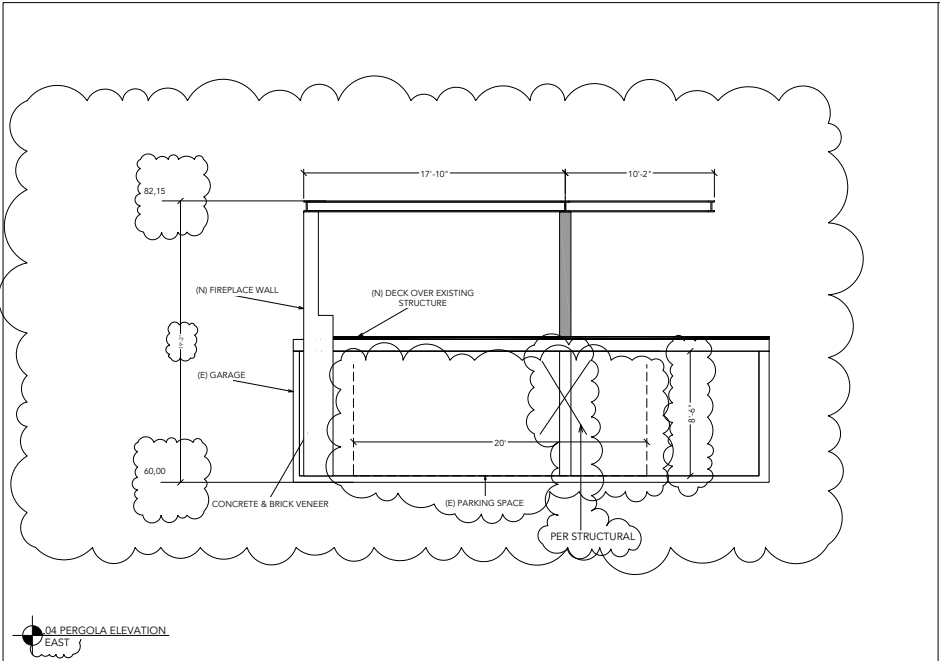
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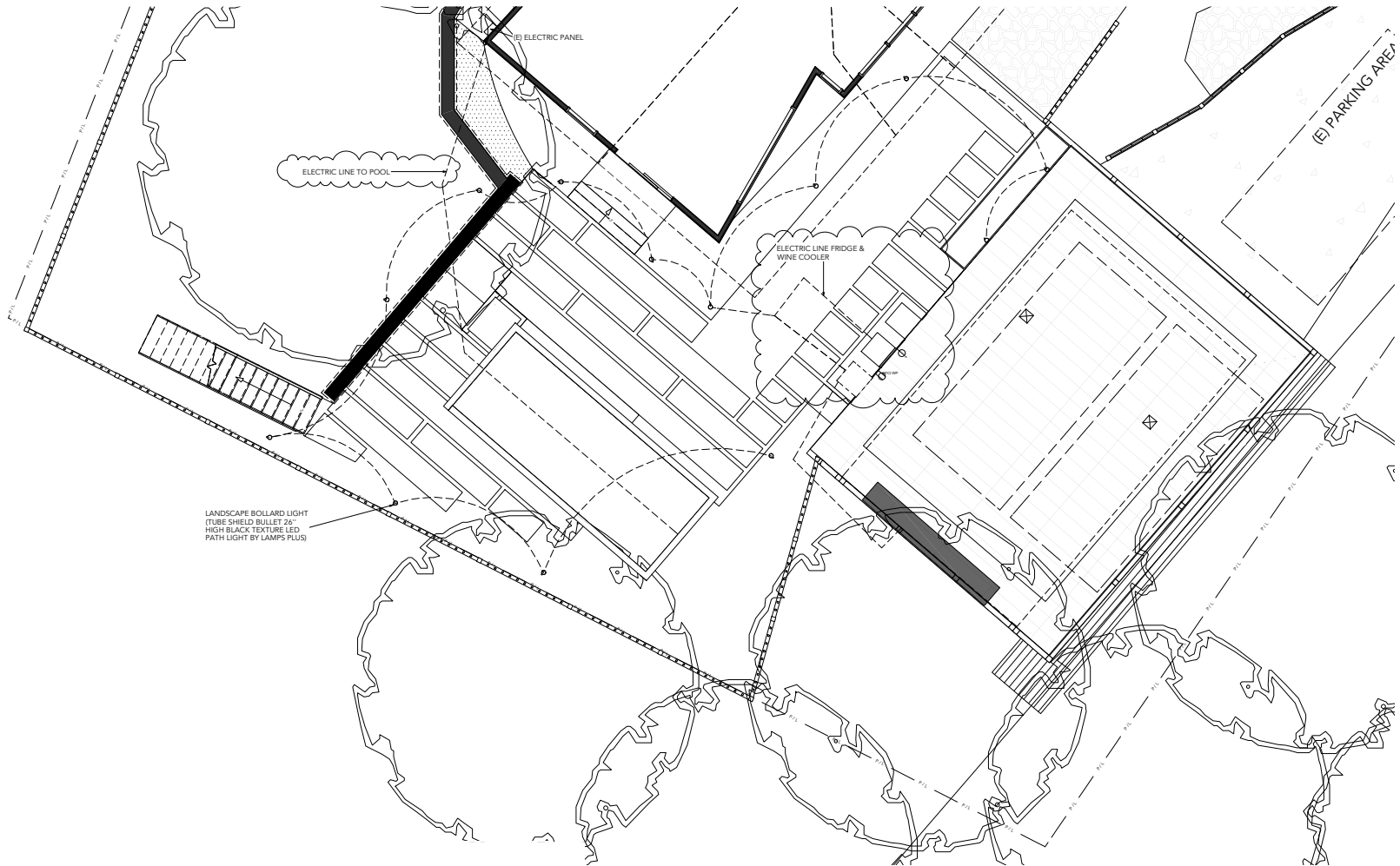
**DATE**  
7/21/23

**SCALE**  
1/4" = 1'

REVISION TABLE		
NUMBER	DATE	REVISION BY
07	03, 2023	NR

**A104**





PROJECT

EXTERIOR  
REMODEL

ADDRESS

111 OAK AVE  
KENTFIELD  
CA 94904

CLIENT

GOTTESMAN  
REVOCABLE TRUST

TITLE

MEP

PROPOSED

DATE

7/21/23

SCALE

1/4" = 1'

**PROJECT**

**EXTERIOR  
REMODEL**

**ADDRESS**

111 OAK AVE  
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CA 94904

**CLIENT**

GOTTESMAN  
REVOCABLE TRUST

**TITLE**

**GAS LINE  
DIAGRAM**

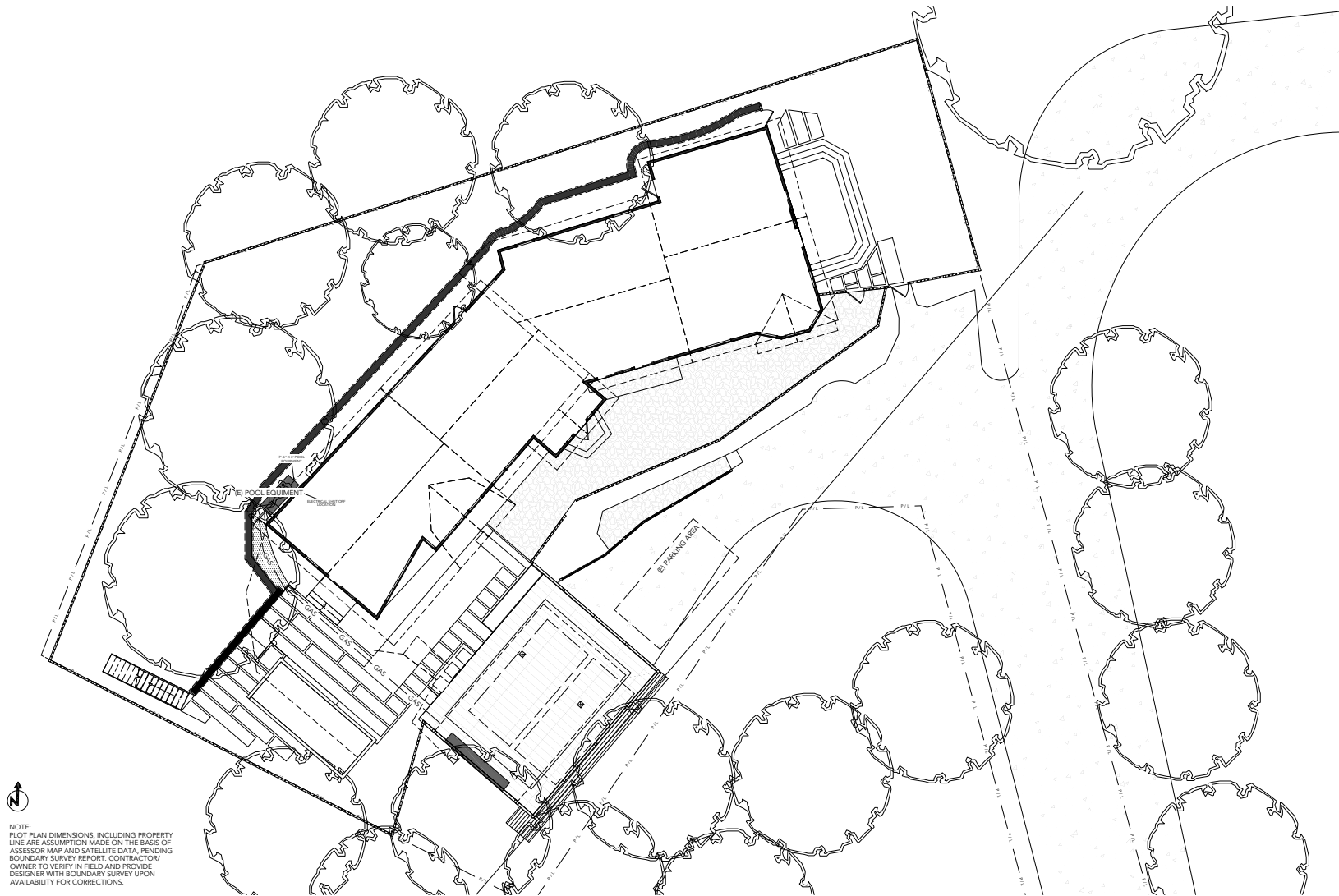
**PROPOSED**

**DATE**

7/21/23

**SCALE**

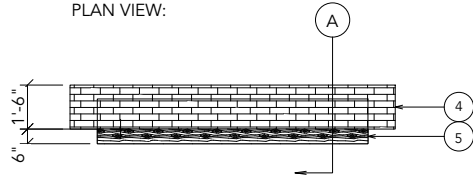
1/8" = 1'



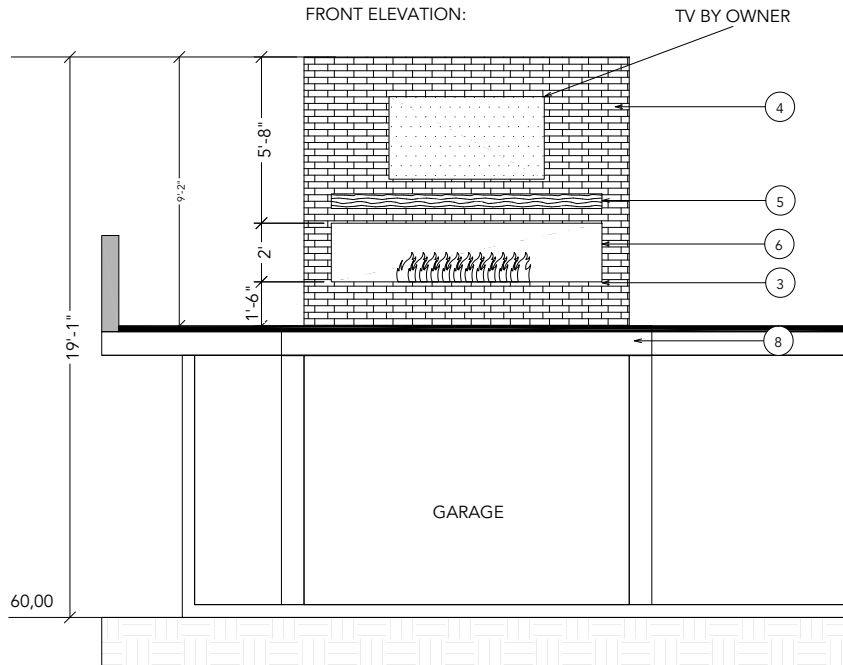
NOTE:  
PLOT PLAN DIMENSIONS, INCLUDING PROPERTY  
LINE ARE ASSUMPTION MADE ON THE BASIS OF  
ASSESSOR MAP AND SATELLITE DATA, PENDING  
BOUNDARY SURVEY REPORT. CONTRACTOR/  
OWNER TO VERIFY IN FIELD AND PROVIDE  
DESIGNER WITH BOUNDARY SURVEY UPON  
AVAILABILITY FOR CORRECTIONS.

- LEGEND:  
 1 - CUSTOM STAINLESS STEEL MANIFOLD KIT PER CONSTRUCTOR  
 2 - GAS SERVICE LINE WITH TIMER - INSTALL GAS TIMER FLUSH  
 3 - FIRE GLASS - DEPTH TO BE 2" MIN. ABOVE MANIFOLD  
 4 - POURED IN PLACE CONCRETE WALL PER STRUCTURAL WITH BLACK TILE VENEER  
 5 - WHITE OAK MANTLE  
 6 - INSET CORTEX PANEL - ANCHORED TO POURED IN PLACE CONCRETE HEARTH PER CONSTRUCTOR  
 7 - DRAIN - CONNECTION INTO SUB - SURFACE DRAINAGE SYSTEM BY OTHERS  
 8 - ADJACENT DECK OVER EXISTING STRUCTURE  
 9 - CONCRETE FOOTING - SIZE, DEPTH, AND REINFORCING PER ENG.

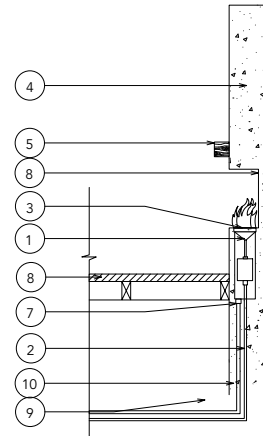
PLAN VIEW:



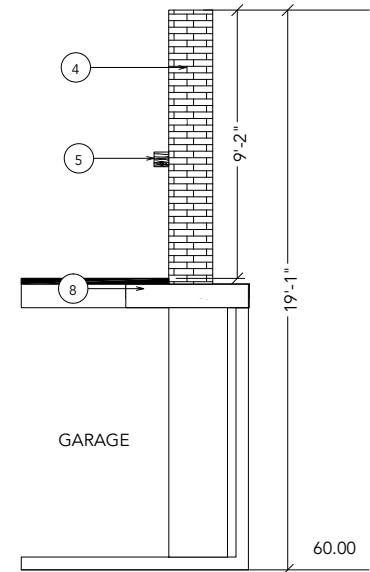
FRONT ELEVATION:



SECTION A:



SIDE ELEVATION:



PROJECT

EXTERIOR  
REMODEL

ADDRESS

111 OAK AVE  
KENTFIELD  
CA 94904

CLIENT

GOTTESMAN  
REVOCABLE TRUST

TITLE

FIREPLACE  
DETAILS

DATE

7/21/23

SCALE

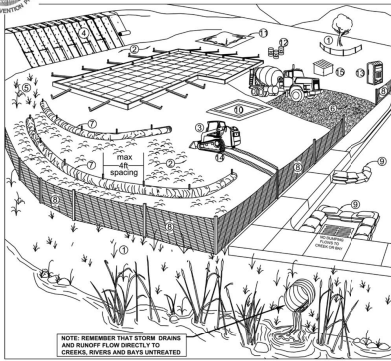
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REVISION TABLE		
NUMBER	DATE	REVISED BY
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**Marin County Stormwater Pollution Prevention Program**  
**Minimum Control Measures**  
**For Small Construction Projects**



Erosion Controls	Sediment Controls	Good Housekeeping
NS Scheduling	6 Tracking Controls	10 Concrete Washout
1 Preserve Existing Vegetation and Creek Set Backs	7 Fiber Rolls	11 Stormwater Management
2 Soil Cover	8 Silt Fence	12 Hazardous Material Management
3 Soil Preparation/Roughening	9 Drain Inlet Protection	13 Sanitary Waste Management
4 Erosion Control Blankets	NS Trench Dewatering	14 Equipment and Vehicle Maintenance
5 Revegetation	15 Litter and Waste Management	

**Note:** Select an effective combination of control measures from each category: Erosion Control, Sediment Control, and Good Housekeeping. Control measures shall be continually implemented and maintained throughout the project until activities are complete, disturbed areas are stabilized with permanent erosion controls, and the local agency has signed off on permits that may have been required for the project. Inspect and maintain the control measures before and after rain events, and as required by the local agency or state permit.  
More detailed information on the BMPs can be found in the related California Stormwater Quality Association (CSQA) and California Department of Transportation (Caltrans) BMP Factheets. CSQA factheets are available by subscription in the California Best Management Practices Handbook Portal. Construction at <http://www.csqa.org>. Caltrans factheets are available in the Construction Site BMP Manual at <https://dot.ca.gov/programs/construction/storm-water-and-water-pollution-control/manuals-and-handbooks>.  
Visit [www.mcstopp.org](http://www.mcstopp.org) for more information on construction site management and Erosion and Sediment Control Plans.

If you require materials in alternative formats, please contact:  
415-473-4381 voice/TTY or [disabilityaccess@co.marin.ca.us](mailto:disabilityaccess@co.marin.ca.us)

Control Measure	General Description
<b>Erosion Control Best Management Practices</b>	
N/A Scheduling	Plan the project and develop a schedule showing each phase of construction. Schedule construction activities to reduce erosion potential, such as scheduling ground disturbing activities during the summer and planting projects to minimize the amount of area disturbed. For more info see the following factheets: CASQA EC-1 or Caltrans SC-1.
1 Preserve Existing Vegetation and Creek Setbacks	Preserve existing vegetation to the extent possible, especially along creek buffers. Show creek buffers on maps and identify areas to be preserved in the field with temporary fencing. Check with the local Planning and Public Works Departments for specific creek set back requirements. For more info see the following factheets: CASQA EC-2 or Caltrans SC-2.
2 Soil Cover	Cover exposed soil with straw mulch and lattice (or equivalent). For more info see the following factheets: CASQA EC-3, EC-4, EC-5, EC-7, EC-8, EC-9, EC-10 or Caltrans SC-3, SC-4, SC-5, SC-6, SC-7, SC-8.
3 Soil Preparation/Roughening	Soil preparation is essential to vegetation establishment and BMP installation. It includes soil testing and amendments to promote vegetation growth as well as roughening surface soils by mechanical methods (compacting, scarifying, laser leveling, etc.). For more info see the following factheets: CASQA EC-15.
4 Erosion Control Blankets	Install erosion control blankets (or equivalent) on disturbed sites with 3:1 slopes or steeper. Use widely-trenched blankets made of biodegradable natural materials. Avoid using blankets made with plastic netting or their open-weave netting. See: <a href="http://www.constructo.com/Products/Website-Friendly_Products.pdf">http://www.constructo.com/Products/Website-Friendly_Products.pdf</a> . For more info see the following factheets: CASQA EC-7 or Caltrans SC-7.
5 Revegetation	Re-vegetate areas of disturbed soil or vegetation as soon as practical. For more info see the following factheets: CASQA EC-4 or Caltrans SC-4.
<b>Sediment Control Best Management Practices</b>	
6 Tracking Controls	Stabilize site entrance to prevent tracking soil offsite. Inspect streets daily and sweep street as needed. Require vehicles and workers to use stabilized entrances. Place crushed rock 12 inches deep and 6 inches wide using angular rock between 4 and 6-in. Make the entrance as long as can be accommodated on the site, ideally long enough for 2 revolutions of the maximum tire size (20 feet long for most light trucks). Make the entrance wide enough to accommodate the largest vehicle that will access the site, ideally 10 feet wide with sufficient gaps for turning in and out of the site. Run the ends or outside ends be used in lieu of or in conjunction with rock entrances. Wheel washes may be needed where space is limited or where the site entrance and sweeping is not effective. For more info see the following factheets: CASQA TC-1, TC-3 or Caltrans TC-1, TC-3.
7 Fiber Rolls	Use fiber rolls as a perimeter control measure along contours of slopes and around soil stockpiles. On slopes space rolls 10 to 20 feet apart using closer spacing on steeper slopes. Install parallel to contour. If more than one roll is used in a row overlap roll do not abut. Check end of roll contact. Install rolls per either Type 1 (stake rolls into surface trenches) or Type 2 (stake in front and behind roll and latch with rope). Use widely-trenched fiber rolls made of biodegradable natural materials. Avoid using fiber rolls made with plastic netting or head shelter netting. See: <a href="http://www.constructo.com/Products/Website-Friendly_Products.pdf">http://www.constructo.com/Products/Website-Friendly_Products.pdf</a> . Manufactured linear treatment control or compost socks can be used in lieu of fiber rolls. For more info see the following factheets: CASQA SE-6 (Type 1), SE-12, SE-13 or Caltrans SC-6 (Type 1 and Type 2).
8 Silt Fence	Use silt fence as a perimeter control measure and around soil stockpiles. Install all fence along contours. Key all fence into the soil and stakes. Do not use silt fence for concentrated water flows. Install fence at least 3 feet back from the slope to allow for sediment storage. Wire backed fence can be used for extra strength. Avoid installing silt fence on slopes because they are hard to maintain. Manufactured linear sediment control can be used in lieu of silt fence. For more info see the following factheets: CASQA SE-1, SE-12 or Caltrans SC-1.
9 Drain Inlet Protection	Use grate traps (or similar products) around storm drains located both inside and in place as a last line of defense. Bags should be made of a woven fabric resistant to photo-degradation. Bags with 0.5 in washed washed rock. Do not use straw bags or silt fence fabric for drain inlet protection. For more info see the following factheets: CASQA SE-10 or Caltrans SC-10.
N/A Trench Dewatering	Follow MCI/TOPPP BMPs for trench dewatering. <a href="http://www.marincounty.org/files/2010/08/080910mci_toppp_bmps.pdf">http://www.marincounty.org/files/2010/08/080910mci_toppp_bmps.pdf</a> . <a href="http://www.marincounty.org/files/2010/08/080910mci_toppp_bmps.pdf">http://www.marincounty.org/files/2010/08/080910mci_toppp_bmps.pdf</a> . For more info see the following factheets: CASQA NS-2 or Caltrans NS-2.
<b>Good Housekeeping Best Management Practices</b>	
10 Concrete Washout	Construct a lined concrete washout site away from storm drains, waterbodies, or other drainages. Ideally, show adjacent to stabilized entrance. Clean as needed and remove at end of project. For more info see the following factheets: CASQA WM-8 or Caltrans WM-8.
11 Stockpile Management	Cover all stockpiles and landscape material and keep properly with fiber rolls or sand bags. Keep behind the site perimeter control and away from waterbodies. For more info see the following factheets: CASQA WM-3 or Caltrans WM-3.
12 Hazardous Material Management	Hazardous materials must be kept in closed containers that are covered and within secondary containment, and not placed open-ended directly on soil. For more info see the following factheets: CASQA WM-6 or Caltrans WM-6.
13 Sanitary Waste Management	Place portable toilets near stabilized site entrance, behind the curb and away from gutters, storm drain inlets, and waterbodies. Tie or stake portable toilets to prevent tipping and equip units with overflow sanitary inlets (most vendors provide these). For more info see the following factheets: CASQA WM-8 or Caltrans WM-8.
14 Equipment and Vehicle Maintenance	Prevent equipment fluid leaks onto ground by placing drip pans or plastic bags under equipment. Immediately clean up any spills or leaks. For more info see the following factheets: CASQA NS-8, NS-9 and NS-10.
15 Litter and Waste Management	Designate waste collection areas on site. Use weathering dumpsters and trash cans, inspect for leaks. Cover at the end of each work day and when it is raining or windy. Arrange for regular waste collection. Pick up site litter only. For more info see the following factheets: CASQA WM-8 or Caltrans WM-8.

PROJECT  
EXTERIOR  
REMODEL

ADDRESS  
111 OAK AVE  
KENTFIELD  
CA 94904

CLIENT  
GOTTESMAN  
REVOCABLE TRUST

TITLE  
BEST  
MANAGEMENT  
PRACTICES  
PLAN

DATE  
7/21/23  
SCALE  
NO SCALE

A108

**PROJECT**

**EXTERIOR  
REMODEL**

**ADDRESS**

111 OAK AVE  
KENTFIELD  
CA 94904

**CLIENT**

GOTTESMAN  
REVOCABLE TRUST

**TITLE**

**UTILITY PLAN**

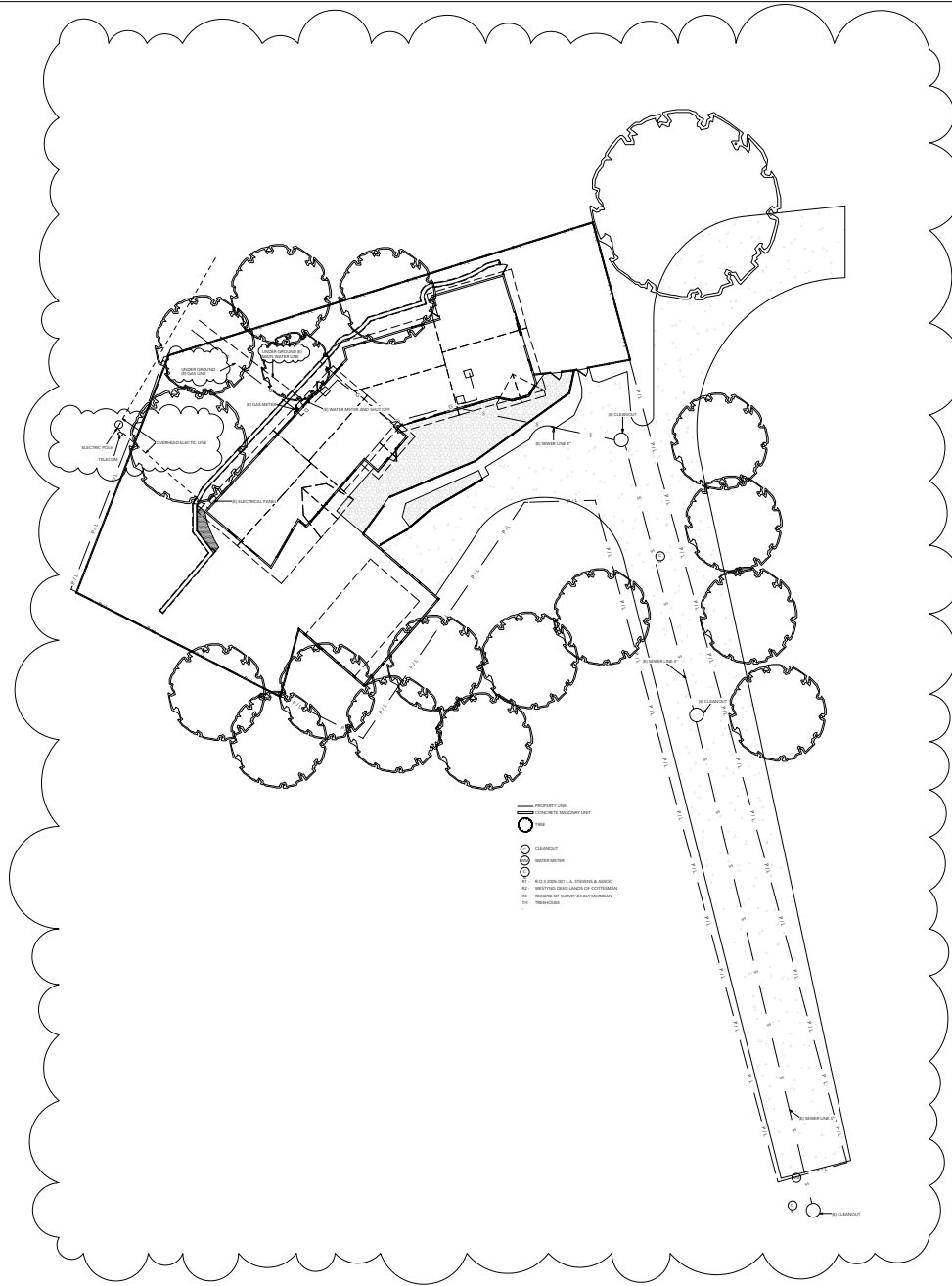
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7/21/23

**SCALE**

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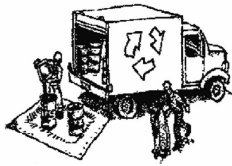
REVISION TABLE		
NUMBER	DATE	REVISED BY
1	07.03.2023	NR



# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berri and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application

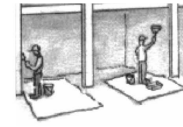
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

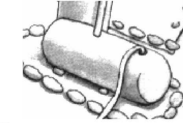
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

PROJECT

EXTERIOR  
REMODEL

ADDRESS

111 OAK AVE  
KENTFIELD  
CA 94904

CLIENT

GOTTESMAN  
REVOCABLE TRUST

TITLE

BMP

DATE

7/21/23

SCALE

NO SCALE

REVISION TABLE		
NUMBER	DATE	REVISED BY
1	07.03.2023	NR

A111

**PROJECT**  
EXTERIOR  
REMODEL

**ADDRESS**  
111 OAK AVE  
KENTFIELD  
CA 94904

**CLIENT**  
GOTTESMAN  
REVOCABLE TRUST

**TITLE**  
ELEVATIONS

PROPOSED

**DATE**  
7/21/23

**SCALE**  
1/8" = 1'

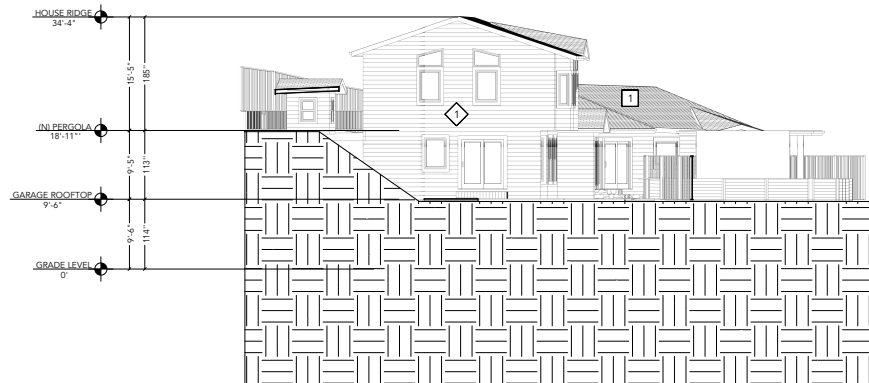
REVISION TABLE		
NUMBER	DATE	REVISION
1	07.03.2023	NR

**A112**



- 1  (E) SIDING - GRAY
- 1  (E) ASPHALT SHINGLES - BLACK

ELEVATION 1  
EAST



- 1  (E) SIDING - GRAY
- 1  (E) ASPHALT SHINGLES - BLACK

ELEVATION 2  
SOUTH

**PROJECT**

**EXTERIOR  
REMODEL**

**ADDRESS**

111 OAK AVE  
KENTFIELD  
CA 94904

**CLIENT**

GOTTESMAN  
REVOCABLE TRUST

**TITLE**

**ELEVATIONS**

PROPOSED

**DATE**

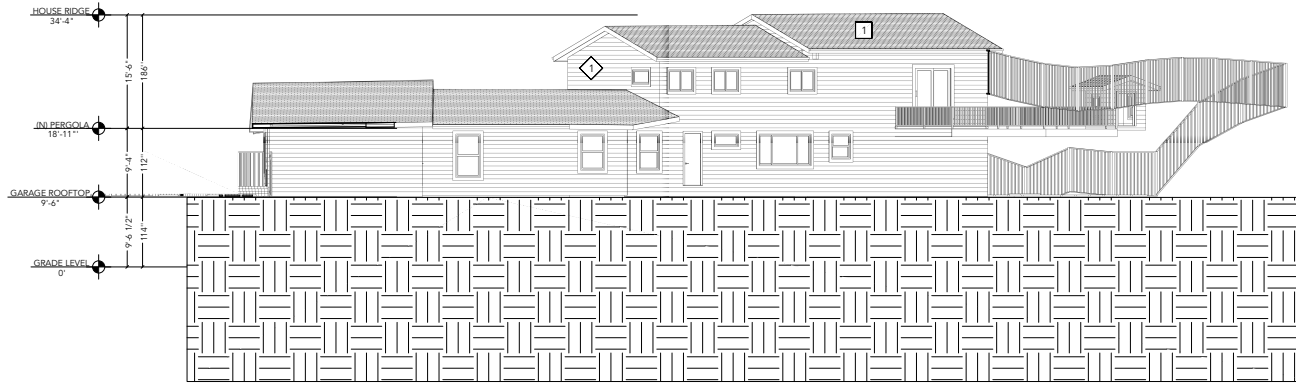
7/21/23

**SCALE**

1/8" = 1'

REVISION TABLE		
NUMBER	DATE	REVISED BY
	07.03.2023	NR

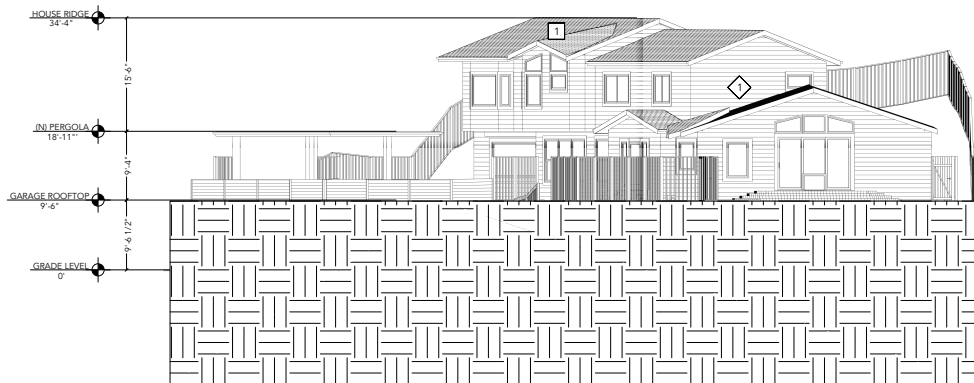
**A113**



1 (E) SIDING - GRAY

1 (E) ASPHALT SHINGLES - BLACK

ELEVATION 3  
WEST



1 (E) SIDING - GRAY

1 (E) ASPHALT SHINGLES - BLACK

ELEVATION 4  
NORTH

**PROJECT**

EXTERIOR  
REMODEL

**ADDRESS**

111 OAK AVE  
KENTFIELD  
CA 94904

**CLIENT**

GOTTESMAN  
REVOCABLE TRUST

**TITLE**

POOL PLAN

PROPOSED

**DATE**

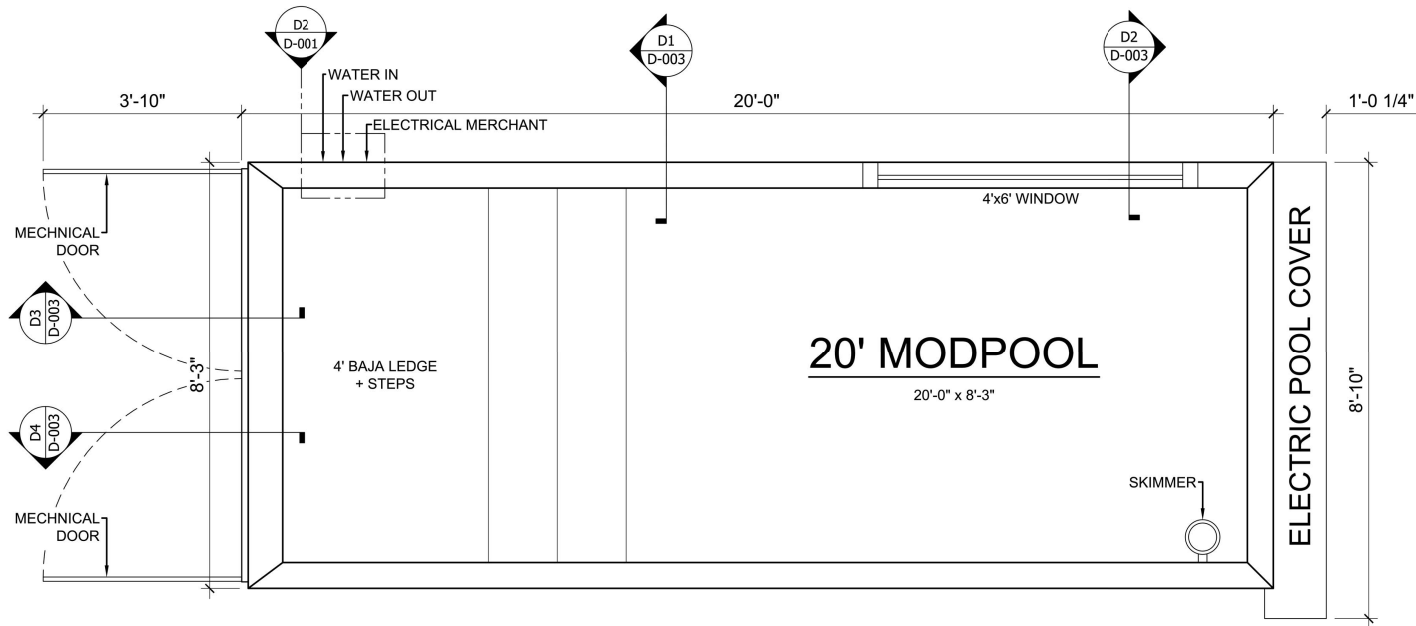
7/21/23

**SCALE**

AS NOTED

REVISION TABLE	
NUMBER	DATE
1	07.03.2023 NR

**A114**



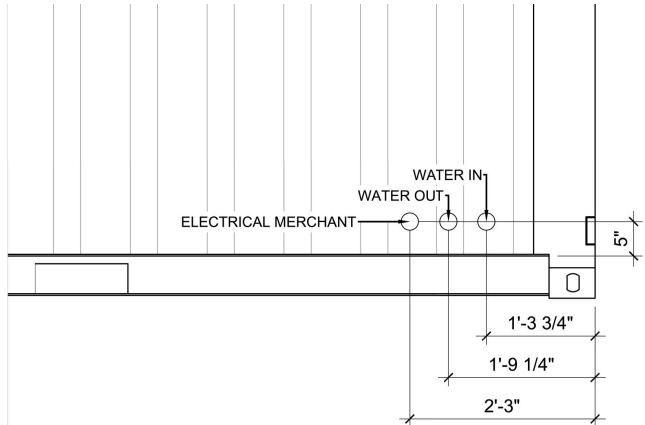
**D1** PLAN VIEW  
5/16" = 1'-0"

**GENERAL SPECIFICATIONS**

- ▶ 20' MODPOOL
- ▶ FOOTING- 8"+ COMPACTED GRAVEL (3/4" MINUS)
- ▶ WINDOW- 4'x6' RIGHT WALL  
\*\*\* AS FAR TO THE END \*\*\*
- ▶ ENTRY- 4' BAJA LEDGE + STEPS CONFIG.
- ▶ HEATER- JANDY 400K BTU (NAT GAS)
- ▶ COVER- LHM ELECTRIC (BLACK)
- ▶ WIFI KIT
- ▶ LED LIGHT
- ▶ INSTALLATION- PARTIAL IN-GROUND
- ▶ EXTERIOR COLOR- BLACK
- ▶ INTERIOR LINER COLOR- LIGHT GREY

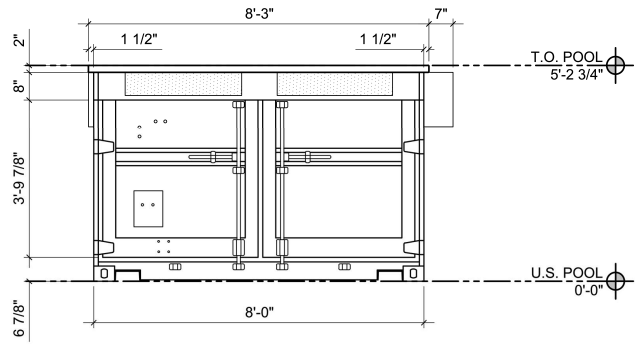
**ADDITIONAL SPECIFICATIONS**

- ▶ ULTRA UV2 WATER SANITATION SYSTEM
- ▶ TRUGUARD MINERAL
- \*\*\* EQUIPMENT EXTERNAL \*\*\*

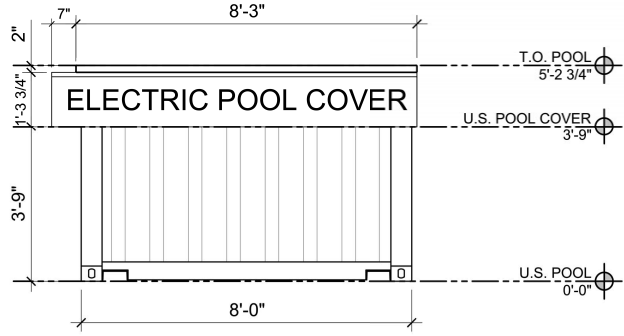


**D2** MERCHANT DETAIL  
1/2" = 1'-0"

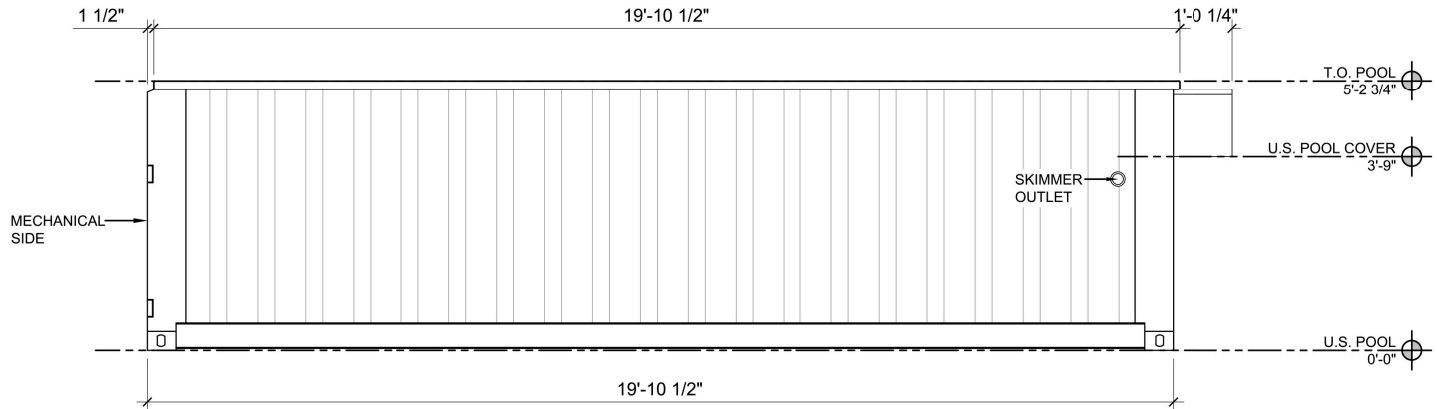
**NOTES:**  
1. HOOK UNDER ANGLE WHEN MEASURING



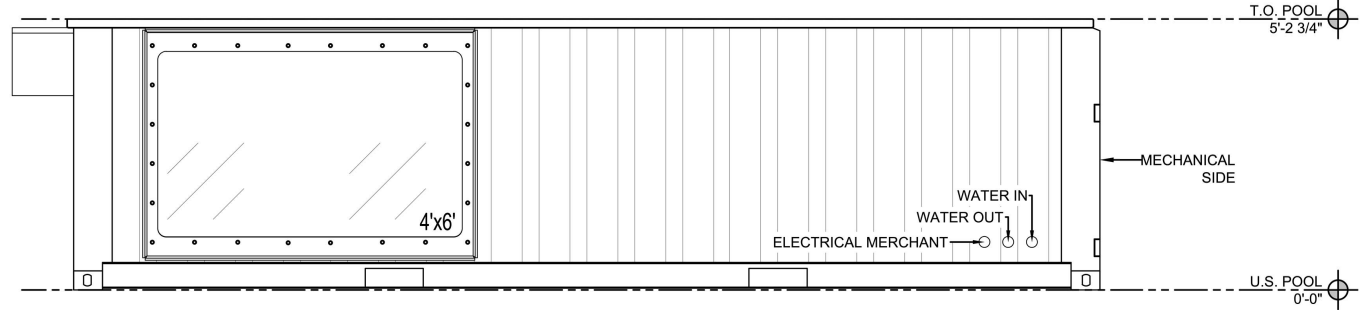
**D1 FRONT ELEVATION**  
1/4" = 1'-0"



**D2 BACK ELEVATION**  
1/4" = 1'-0"



**D3 RIGHT ELEVATION**  
5/16" = 1'-0"



**D4 LEFT ELEVATION**  
5/16" = 1'-0"

PROJECT

EXTERIOR  
REMODEL

ADDRESS

111 OAK AVE  
KENTFIELD  
CA 94904

CLIENT

GOTTESMAN  
REVOCABLE TRUST

TITLE

POOL  
ELEVATIONS

PROPOSED

DATE

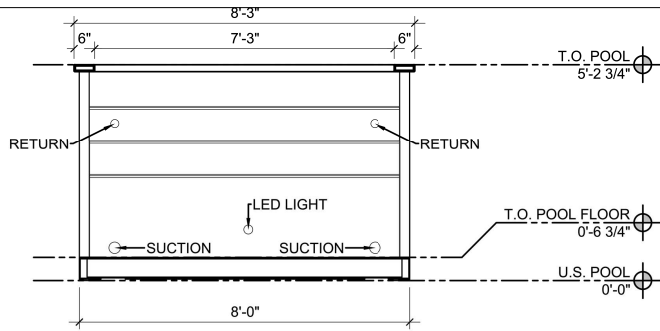
7/21/23

SCALE

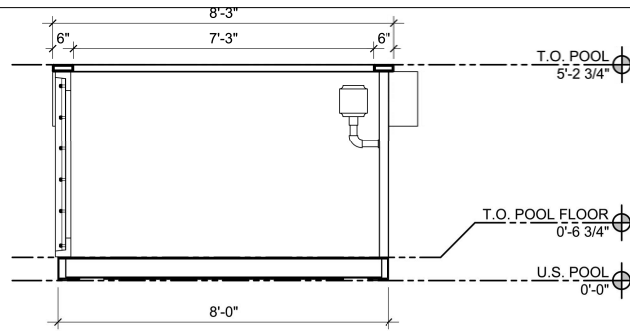
AS NOTED

REVISION TABLE		
NUMBER	DATE	REVISED BY
1	07.03.2023	NR

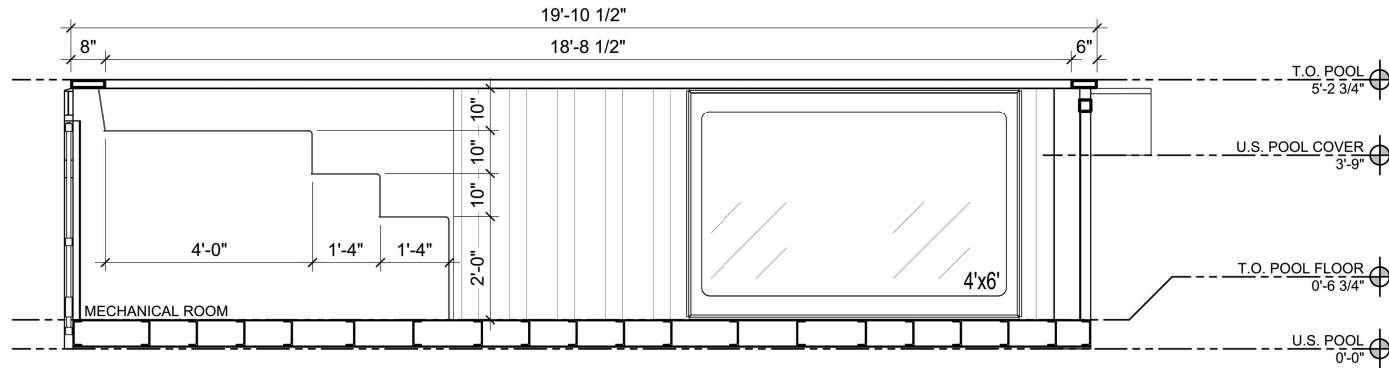
**A115**



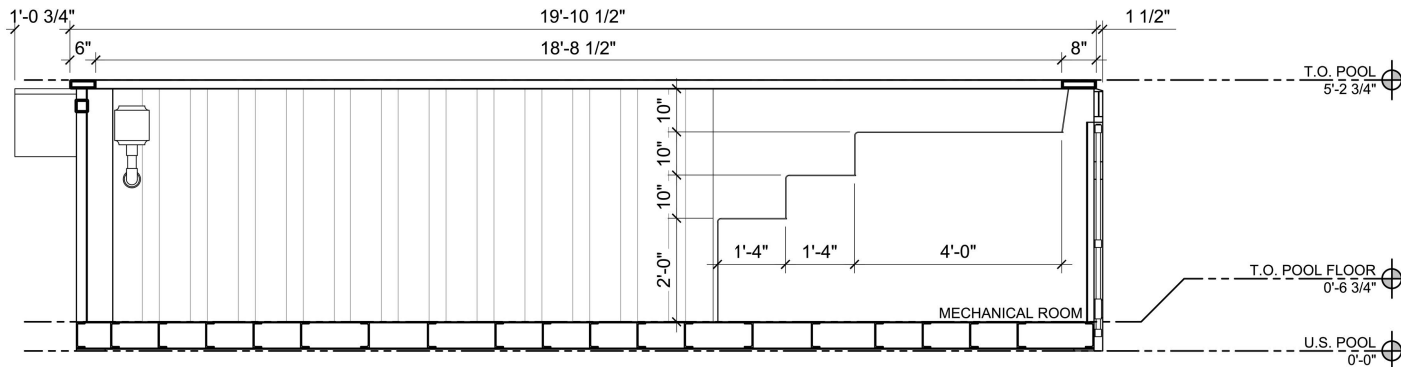
**D1** SHORT SECTION #1  
1/4" = 1'-0"



**D2** SHORT SECTION #2  
1/4" = 1'-0"



**D3** LONG SECTION #1  
5/16" = 1'-0"



**D4** LONG SECTION #2  
5/16" = 1'-0"

PROJECT

EXTERIOR  
REMODEL

ADDRESS

111 OAK AVE  
KENTFIELD  
CA 94904

CLIENT

GOTTESMAN  
REVOCABLE TRUST

TITLE

POOL CROSS  
SECTIONS

PROPOSED

DATE

7/21/23

SCALE

AS NOTED

REVISION TABLE		
NUMBER	DATE	REVISED BY
1	07.03.2023	NR

**A115**



**PROPERTY LEGAL DESCRIPTION**

THE LAND REFERRED TO IS SITUATED IN THE UNINCORPORATED AREA OF THE COUNTY OF MARIN, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
 PARCEL ONE:

BEGINNING ON THE EASTERLY LINE OF THE PARCEL GRANTED TO FRED A. DUSEL BY DEED RECORDED JUNE 24, 1938 IN BOOK 366 OF OFFICIAL RECORDS, AT PAGE 114, DISTANT NORTH 10° 32' EAST 138.50 FEET AND NORTH 38° 57' 40" EAST 23.77 FEET FROM THE SOUTHEASTERLY CORNER THEREOF ON THE NORTHERLY LINE OF OAK AVENUE, SAID POINT BEING ALSO THE NORTHEASTERLY CORNER OF THE PARCEL GRANTED TO WILLARD F. HINKLEY, ET UX, BY DEED RECORDED FEBRUARY 26, 1941 IN BOOK 410 OF OFFICIAL RECORDS, AT PAGE 95, THENCE ALONG THE BOUNDARY OF SAID PARCEL, NORTH 38° 57' 40" EAST 79.69 FEET AND NORTH 10° 07' EAST 74 FEET TO THE NORTHEASTERLY CORNER OF SAID PARCEL; THENCE ALONG THE NORTHERLY LINE OF THE PARCEL, SOUTH 75° 54' WEST 123.236 FEET, THENCE LEAVING THE LINE, SOUTH 14° 06' WEST 19 FEET, SOUTH 75° 54' WEST 3.102 FEET AND SOUTH 22° WEST 49.802 FEET TO THE MOST NORTHERLY CORNER OF THE LOT GRANTED TO WILLARD F. HINKLEY, ET UX, BY DEED RECORDED DECEMBER 8, 1949 IN BOOK 635 OF OFFICIAL RECORDS, AT PAGE 121, THENCE ALONG THE NORTHEASTERLY LINE OF SAID LOT, SOUTH 63° 47' 20" EAST 91.31 FEET TO THE POINT OF BEGINNING.

PARCEL TWO:  
 BEGINNING ON THE NORTHERLY LINE OF OAK AVENUE, DISTANT NORTH 75° 54' EAST 38 FEET FROM THE SOUTHWEST CORNER OF LOT 32, THENCE NORTH 75° 54' EAST 20 FEET TO THE SOUTHWEST CORNER OF THE PARCEL GRANTED TO ROBERT W. HOBART BY DEED RECORDED FEBRUARY 27, 1941 IN BOOK 408 OF OFFICIAL RECORDS, AT PAGE 442, THENCE ALONG THE WESTERLY LINE OF SAID PARCEL, NORTH 11° 45' WEST 270.7 FEET TO THE NORTHERLY LINE OF LOT 32, THENCE ALONG SAID LINE, SOUTH 74° 06' WEST 20 FEET TO A POINT THAT BEARS NORTH 11° 45' WEST FROM THE POINT OF BEGINNING, THENCE SOUTH 11° 45' WEST 270 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.  
 BEING A PORTION OF LOT 32, MAP OF THE MONTE VISTA TRACT, FILED ON OCTOBER 31, 1906 IN VOLUME 2 OF MAPS, AT PAGE 72, MARIN COUNTY RECORDS.

**GENERAL NOTES**

1. SURVEYOR DID NOT ABSTRACT PROPERTY.
2. NOTHING IN THIS SURVEY IS INTENDED TO EXPRESS AN OPINION REGARDING OWNERSHIP OR TITLE.
3. THE PREPARER DID NOT PERFORM NOR HAS THE PREPARER ACCEPTED ANY RESPONSIBILITY TO PERFORM ADDITIONAL RECORDS RESEARCH.
4. VISIBLE ABOVE GROUND UTILITIES ARE SHOWN HEREON. UNDERGROUND LOCATES WERE NOT PERFORMED AS PART OF THE SCOPE OF THIS SURVEY.
5. ASSESSORS PARCEL INFORMATION HEREON IS PER THE COUNTY PARCEL VIEWER.
6. THIS IS NOT A "BOUNDARY SURVEY," NO MONUMENTS WILL BE SET.
7. LIMITS OF LIABILITY ARE NOT TO EXCEED THE LUMP SUM BID OF THIS SURVEY.
8. THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY.
9. THE PURPOSE OF THIS SURVEY IS FOR LANDSCAPING REHABILITATION, NO ADDITION TO THE EXISTING SINGLE FAMILY RESIDENCE.
10. NARRATIVE:  
 THE CURRENT VESTING DEED DOES NOT MATHEMATICALLY CLOSE. ADJACENT DEEDS ALSO HAVE ERRORS. BEST AVAILABLE RESOLUTION WITHOUT A CHAIN OF TITLE SEARCH, ETC WAS TO HOLD THE SURVEYS TO THE NORTH (RECORD OF SURVEY 2005-001 LA STEVENS & ASSOCIATES) AND EAST (RECORD OF SURVEY 23-069 MERIDIAN CONSULTING ENGINEERS) WHICH ACT AS OUR ALIGNMENT AND PLACEMENT FOR THE MINIMALLY USABLE VESTING DEED LEGAL DESCRIPTIONS, BEARINGS, AND DISTANCES THEREON IN RELATION TO THE BASIS OF BEARINGS AS SHOWN HEREON. TO FURTHER ELABORATE, THE ORIGINALLY RECORDED "MONTE VISTA TRACT" DOES NOT MATHEMATICALLY CLOSE. MULTIPLE ADDITIONAL DISTANCE AND BEARING CORRECTIONS WERE COMPLETED AS THIS BLUEPRINT PLAN WAS MODIFIED OVER THE YEARS AS SHOWN ON THE ANNE T. KENT, MARIN COUNTY CALIFORNIA ROOM CUSTODIANSHIP DATABASE. NONE OF THESE MODIFICATIONS APPEAR TO CLOSE MATHEMATICALLY. IT APPEARS THE CURRENT VESTING DEED OF THE SUBJECT PARCEL AND SEVERAL ADJACENT VESTING DEED LEGAL DESCRIPTIONS MAY HAVE BEEN WRITTEN BASED ON SOME OF THE ERRONEOUS "MONTE VISTA TRACT BLUEPRINT" AS RECORDED, OR OTHER BLUEPRINT MODIFICATIONS OF MONTE VISTA TRACT CREATED IN THE EARLY TO MID 1900's. MATTERS DISCUSSED HEREON ARE OUT OF THE CONTROL OF VERTICOM LAND SURVEYING. THE BOUNDARY SHOWN HEREON COULD POSSIBLY SHIFT AFTER COMPLETION OF A CHAIN OF TITLE SEARCH, AND BOUNDARY SURVEY.

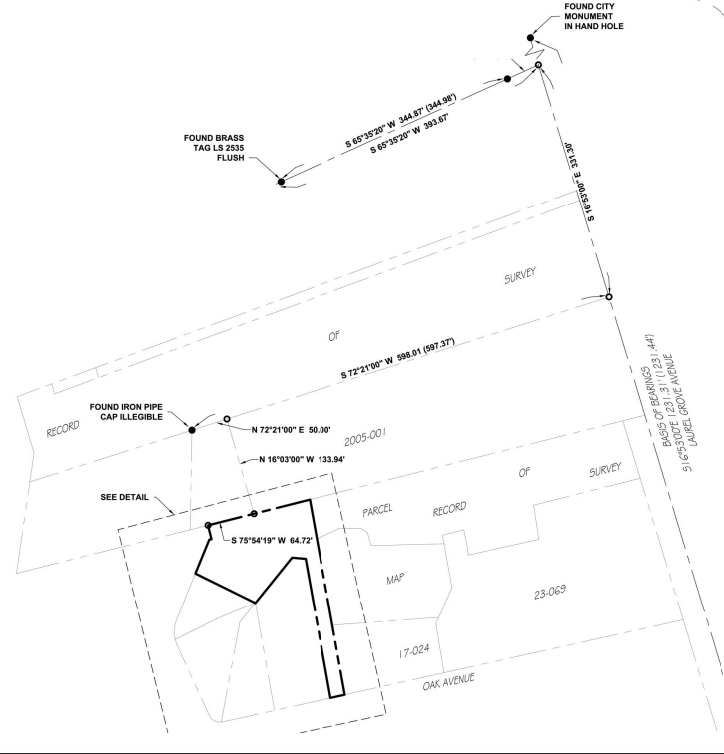
**TOPOGRAPHIC SURVEY**  
**111 OAK AVENUE, KENTFIELD, CA 94904**  
**ASSESSORS PARCEL NUMBER 071-152-66**  
**MARCH, 2023**  
**PROJECT NO. 23-015**

**TITLE REPORT SCHEDULE BII ITEMS:**  
 THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS OR OTHER SCHEDULE BII ITEMS MAY NOT BE SHOWN.  
**BASIS OF BEARING AND COORDINATES**  
 THE BASIS OF BEARINGS IS BASED UPON TIED CITY MONUMENTS IN HAND HOLES ALONG LAUREL GROVE AVENUE IN RELATION TO RECORD OF SURVEY 2005-001 COMPLETED BY L.A. STEVENS & ASSOCIATES AS SHOWN HEREON.  
**BENCH MARK**  
 ELEVATIONS HEREON ARE DERIVED FROM GNSS STATIC OBSERVATION. RINEX DATA PROCESSED THROUGH THE NATIONAL GEODETIC SURVEY "OPUS" AND COMPUTATIONS UTILIZING GEOID 18. ELEVATIONS ARE REFERENCED TO NAVD88.

**LEGEND**

- CENTERLINE
- PROPERTY LINE
- FENCE
- CONCRETE MASONRY UNIT
- FOUND MONUMENT LS187B YELLOW PLASTIC CAP OR AS NOTED
- WATER METER
- FINISH FLOOR ELEVATION
- TREE
- BASKETBALL HOOP
- CLEANOUT
- CATCH BASIN
- TREEHOUSE
- BASKETBALL COURT
- OVERHANG
- GARAGE OVERHANG
- FINISH FLOOR
- DRIVEWAY
- R.O.S 2005-001 LA STEVENS & ASSOC. VESTING DEED LANDS OF GOTTESMAN RECORD OF SURVEY 23-069 MERIDIAN
- TH BBALL
- O.H
- G.O.H
- FF
- D/W
- R1
- R2
- R3

**BOUNDARY DETAIL 1"=80'**



**CERTIFICATION**

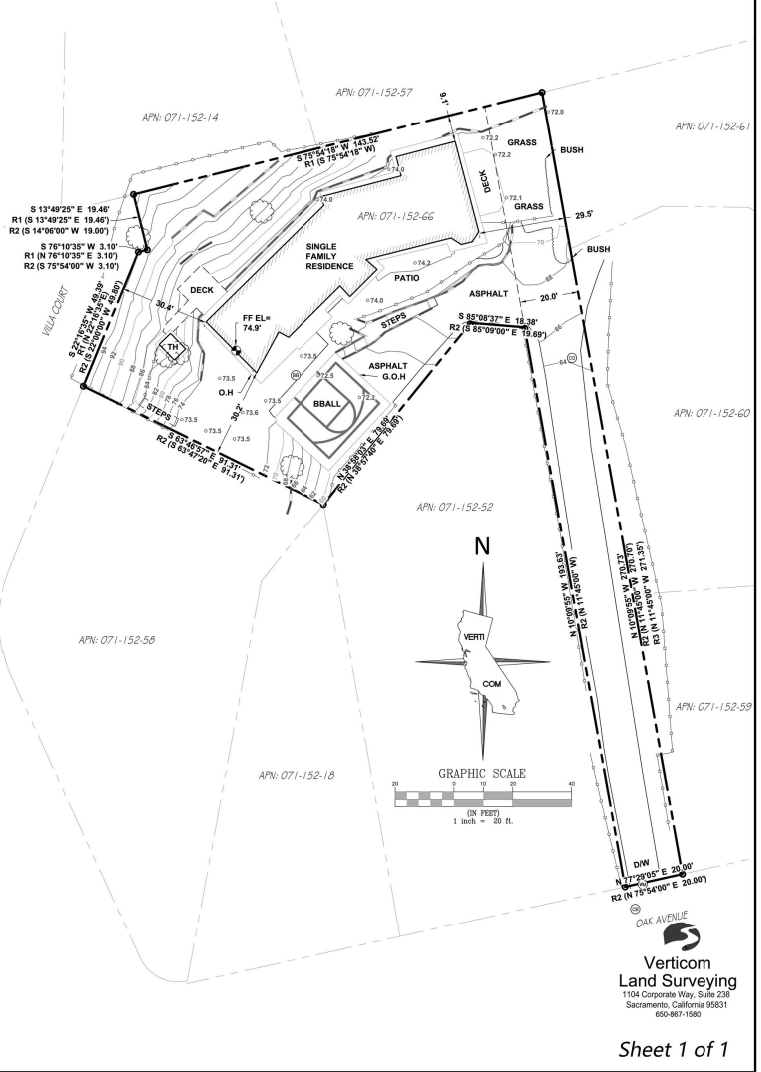
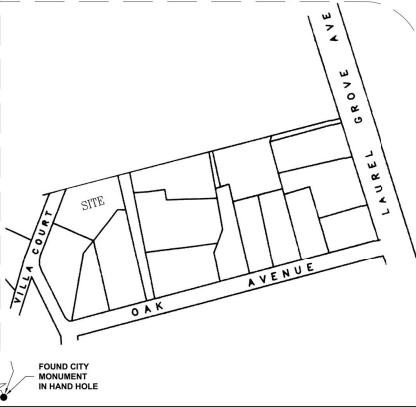
THIS IS TO CERTIFY THAT THIS MAP CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING THE MONTH OF MARCH, 2023 AND THAT THE SURVEY IS CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE.

REGISTERED SURVEYOR: JEFFERY W. GARCIA  
 PROFESSIONAL LAND SURVEYOR NO. 8521  
 STATE OF CALIFORNIA

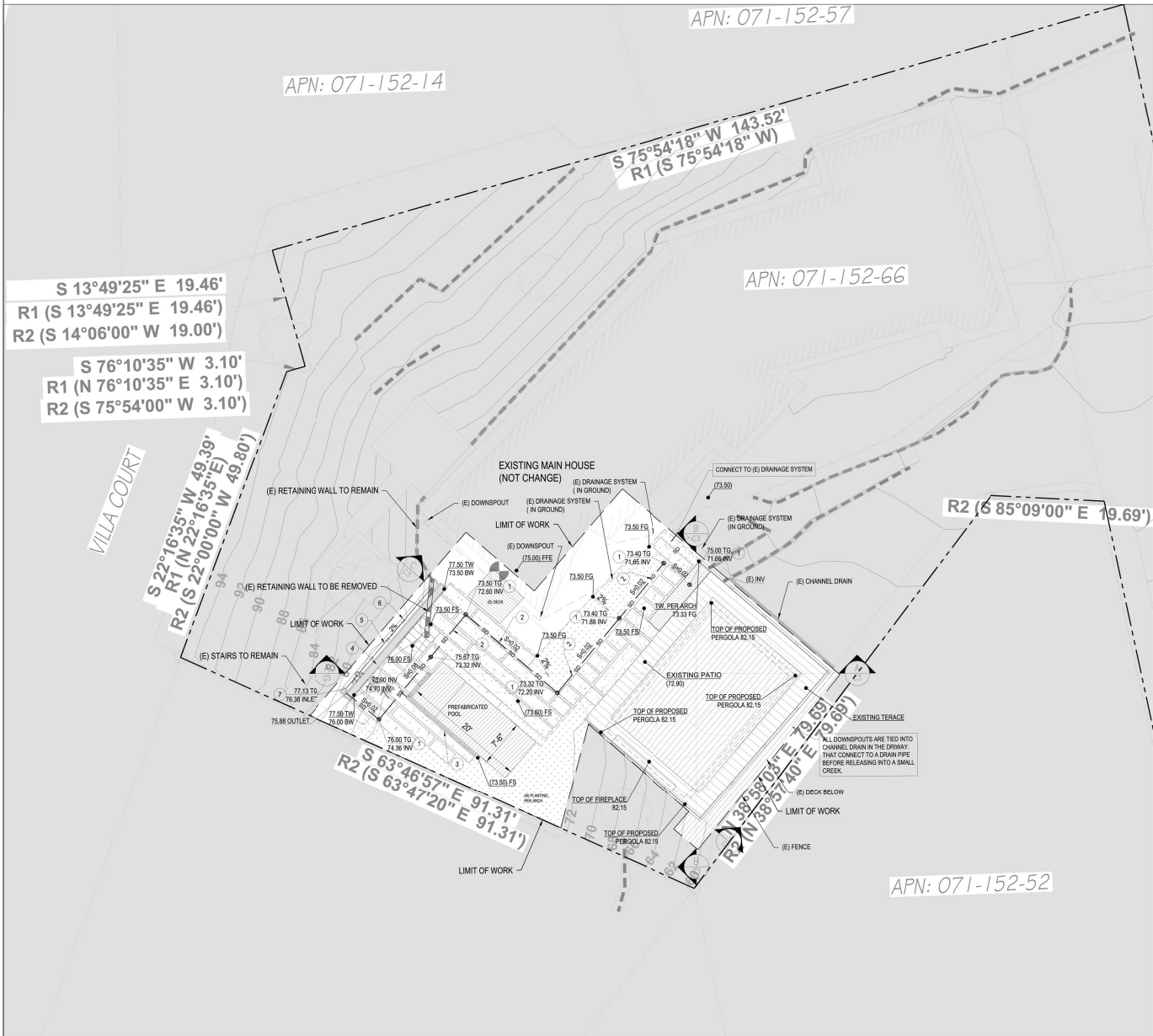
DATE 03/23/2023



**VICINITY MAP (N.T.S)**







**PRECISE GRADING PLAN**  
SCALE 1"=8'

LIMIT OF WORK	2,825 SF
EXISTING IMPERVIOUS SURFACE AREA	1,768 SF
PROPOSED IMPERVIOUS SURFACE AREA	1,981 SF

**CONSTRUCTION NOTE**

1. INSTALL 6" DIA. DRAIN NDS 40 WRISER AND ADAPTOR OR EQUAL.
2. INSTALL 4" DIA. PVC SCHEDULE 40 OR SDR 35 PIPE DRAIN SYSTEM.
3. INSTALL CHANNEL DRAIN SEE DETAIL 41C-3
4. NEW RETAINING WALL
5. INSTALL SUBDRAIN SYSTEM
6. INSTALL SWALE DRAIN SYSTEM SEE DETAIL 51C-3
7. INSTALL NDS 9" SQUARE CATCH BASIN (TYP)

**NOTE**

- SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK DONE IN THE PUBLIC RIGHT-OF-WAY.
- ALL DRAINAGE SHALL BE DIRECTED TOWARD THE STREET, APPROVED DRAINAGE SYSTEM, OR NATURAL WATERCOURSE.
- PER 2022 C.C.C. 1804.4 THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 30 UNITS HORIZONTAL (2%) FOR A MINIMUM DISTANCE OF 10 FEET (3041 MM) MEASURED PERPENDICULAR TO THE FACE OF THE WALL. CONTRACTOR TO PROVIDE LANDSCAPING ON SLOPE AREA AT THE REAR OF THE PROPERTY FOR EROSION CONTROL PURPOSES.
- SEE ARCHITECTURAL PLANS FOR SITE DEMOLITION INFORMATION.
- ALL WALLS UNDER SEPARATE PERMIT.
- TOTAL FOOTING DEPTH = DESIGNED FOOTING DEPTH (DF) + MINIMUM FOOTING EMBEDEDMENT.
- ALL DRAINAGE PIPE WILL BE 1% SLOPE UNLESS NOTE OTHERWISE.

**POOL NOTES**

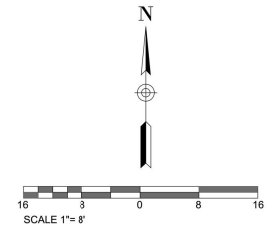
- POOL WATER WILL COMPLY WITH THE REQUIREMENTS OUTLINED IN NOTE 4 - POOL NOTES - SHEET C-1 (BASED ON MARIN COUNTY STORM WATER POLLUTION PREVENTION PROGRAM - SHEET C5).

**LEGEND**

- 100 EXISTING CONTOUR
- 100FS SPOT ELEVATION
- PROPOSED CONCRETE AREA
- PROPOSED RETAINING WALL
- PROPOSED PLANTER
- EXISTING LAWN
- PROPOSED STORM DRAIN
- PERFORATED PVC PIPE
- LIMIT OF WORK
- SURFACE SLOPE
- STORM DRAIN SLOPE
- PROPOSED FINISHED SURFACE
- PROPOSED FINISHED GROUND
- PROPOSED FINISHED FLOOR
- INVERT OF PIPE
- TOP OF GRATE
- TOP OF WALL
- BOTTOM OF WALL
- FINISH FLOOR EXISTING
- EXISTING

FS PROPOSED FINISHED SURFACE  
FG PROPOSED FINISHED GROUND  
FF PROPOSED FINISHED FLOOR  
INV INVERT OF PIPE  
TG TOP OF GRATE  
TW TOP OF WALL  
BW BOTTOM OF WALL  
FFE FINISH FLOOR EXISTING  
(E) EXISTING

ALL DOWNSPOUTS ARE TIED INTO CHANNEL DRAIN IN THE DRIVEWAY THAT CONNECT TO A DRAIN PIPE BEFORE RELEASING INTO A SMALL CREEK.



**CECILIA HOME**  
WWW.CECILIA123.COM  
CHIEF ENGINEER: LEI ZHENG (MASON)  
PHONE: (510) 930-1933  
EMAIL: ENGINEER.LEI@GMAIL.COM

**DURING CONSTRUCTION IF ANY DIFFICULTY OCCUR, PLEASE CONTACT ENGINEER IMMEDIATELY. IF CONTRACTOR DEVIATE FROM THE DRAWING WITHOUT PRIOR APPROVAL FROM ENGINEER, THE CONTRACTOR WILL TAKE ALL THE LIABILITY DUE TO DEVIATION.**

**111 Oak Ave, Kentfield,  
CA 94904**

REV.	DESCRIPTION	DATE
0	APPLY FOR PERMITS	04/12/2023
1	1ST PLAN CHECK	07/11/2023

Jurisdiction:

Licenser:

SHEET TITLE:  
**PRECISE GRADING  
& DRAINAGE PLAN**

SHEET NUMBER:  
**C-2**



**CECILIA HOME**

WWW.CECILIA123.COM  
 CHIEF ENGINEER LEI ZHENG (MASON)  
 PHONE: (510) 938-1933  
 EMAIL: ENGINEER.LEI@GMAIL.COM

DURING CONSTRUCTION IF ANY DIFFICULTY OCCUR, PLEASE CONTACT ENGINEER IMMEDIATELY. IF CONTRACTOR DEVIATE FROM THE DRAWING WITHOUT PRIOR APPROVAL FROM ENGINEER, THE CONTRACTOR WILL TAKE ALL THE LIABILITY DUE TO DEVIATION.

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 CA 94904

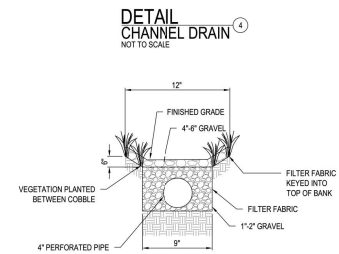
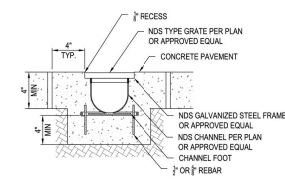
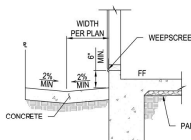
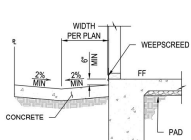
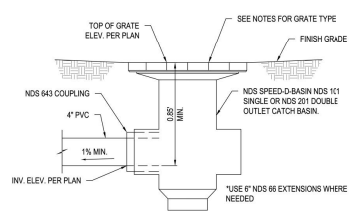
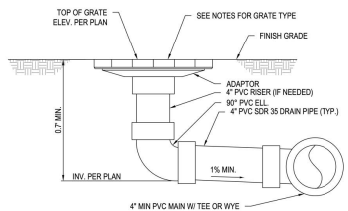
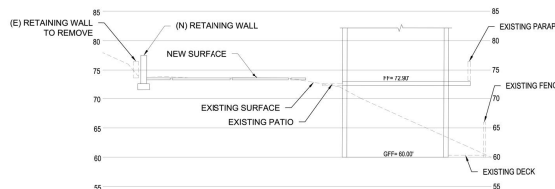
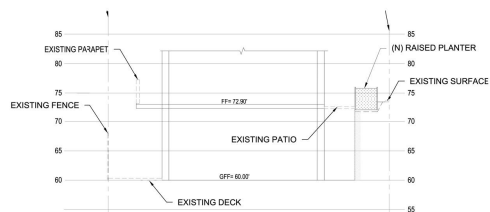
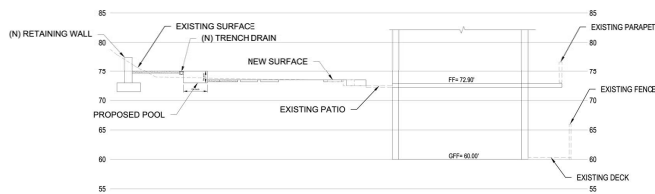
REV.	DESCRIPTION	DATE
0	APPLY FOR PERMITS	04/12/2023
1	1ST PLAN CHECK	07/11/2023

Jurisdiction:

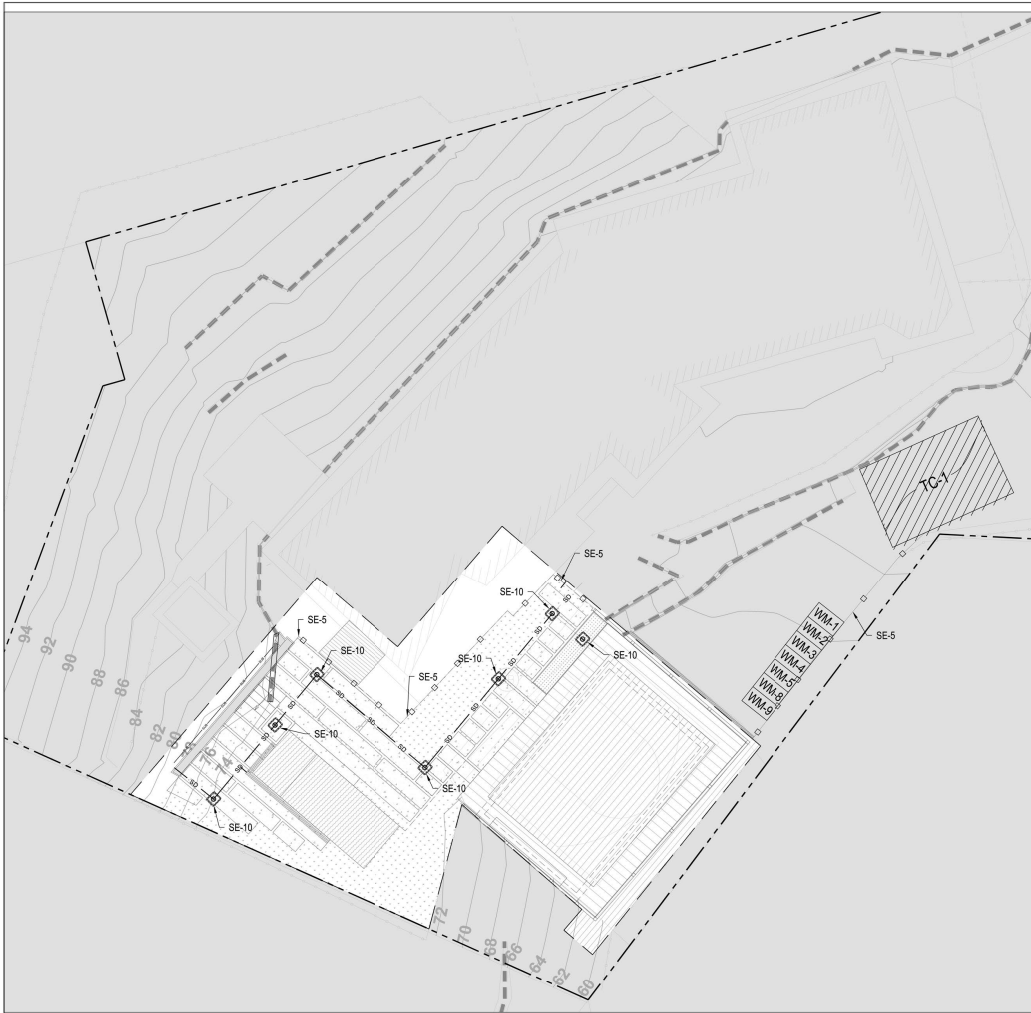


SHEET TITLE:  
**SECTIONS AND DETAILS**

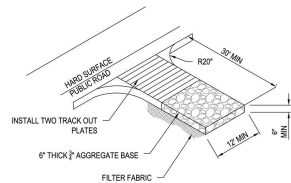
SHEET NUMBER:  
**C-3**



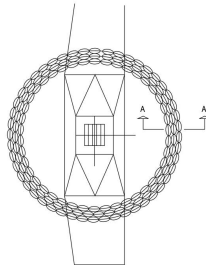
- NOTE:
1. ALL FITTINGS BY: NDS, INC. (OR EQUAL) PHONE: 1-800-726-1994
  2. REFER TO GRADING PLAN FOR FINISH GRADING.
  3. DO NOT GLUE GRATE OR RISER TO PIPE.
  4. GLUE "1" P.S. WELD ON" #773 SOLVENT (MEDIUM BODIED) TASTY SETS FOR PIPE THRU 4" Ø.
  5. ALL PIPES TO BE 4" Ø PVC SDR 35 OR SCHEDULE 40.



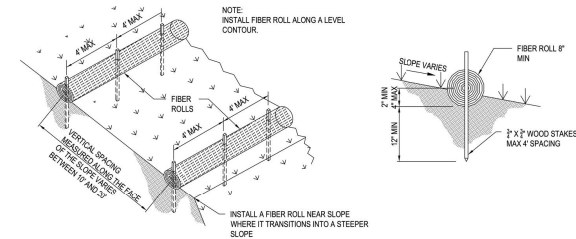
**EROSION CONTROL PLAN**  
SCALE 1"=8'



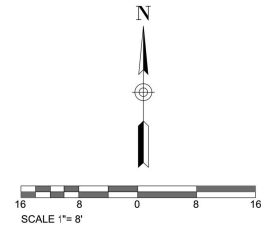
**DETAIL STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**DETAIL GRAVEL BAG FOR INLETS**  
NOT TO SCALE



**DETAIL FIBER ROLLS**  
NOT TO SCALE



EROSION CONTROL BMPs	
EC-1	SCHEDULING SCHEDULE PREPARED BY CONTRACTOR SHALL BE ON-SITE DURING CONSTRUCTION.
TEMPORARY SEDIMENT CONTROL	
SE-5	FIBER ROLLS INSTALL WHERE SHOWN ON PLAN.
SE-7	STREET SWEEPING AND VACUUMING STREET SHALL BE SWEEPED, SEDIMENT COLLECTED, AND DISPOSED OF OFF-SITE ON A DAILY BASIS.
SE-10	STORM WATER INLET PROTECTION ONCE INLET RISERS ARE CONSTRUCTED, SURROUND RISERS WITH GRAVEL BAGS OR CAP THE RISER TO REDUCE SEDIMENT INTRODUCTION TO THE AREA DRAIN SYSTEM.
WIND EROSION CONTROL BMPs	
WE-1	WIND EROSION CONTROL WATER OR COVER MATERIAL SHALL BE USED TO ALLEVIATE DUST NUISANCE ON THE ROUGH GRADED PADS AND ANY STOCKPILE AREAS.
TRACKING CONTROL	
TC-1	STABILIZED CONSTRUCTION EXIT RUMBLE RACK SHALL BE PLACED ON THE DRIVEWAY TO ENSURE THAT ALL VEHICLES LEAVING THE SITE PASS OVER THE DEVICES BEFORE ENTERING THE PUBLIC STREET.
NON-STORMWATER MANAGEMENT	
NS-1	WATER CONSERVATION PRACTICES MAINTAIN WATER EQUIPMENT TO PREVENT NON-STORMWATER DISCHARGES.
NS-3	PAVING AND GRADING OPERATIONS APPLY PARAMETER CONTROLS AND VACUUMING TO PREVENT NON-STORMWATER DISCHARGE.
NS-6	ILLEGAL CONNECTION / ILLEGAL DISCHARGE CONTRACTOR SHALL REPORT ILLEGAL CONNECTIONS OR ILLEGALLY DUMPED MATERIALS ON SITE TO THE RESIDENT ENGINEER IMMEDIATELY AND CONTRACTOR SHALL TAKE NO FURTHER ACTION UNTIL THE RESIDENT ENGINEER PROVIDE A RESPONSE.
NS-7	POTABLE WATER / IRRIGATION EXERCISE CARE DURING CONSTRUCTION TO PREVENT NON-STORMWATER DISCHARGES.
NS-8	VEHICLE AND EQUIPMENT CLEANING ALL VEHICLES AND EQUIPMENT WILL BE CLEANED OFF-SITE.
NS-9	VEHICLE AND EQUIPMENT FUELING ALL VEHICLES AND EQUIPMENT WILL BE FUELED OFF-SITE.
NS-10	VEHICLE AND EQUIPMENT MAINTENANCE ALL VEHICLES AND EQUIPMENT WILL BE MAINTAINED OFF-SITE.
NS-12	CONCRETE CURING APPLIES TO ALL CONCRETE CONSTRUCTION.
NS-13	CONCRETE FINISHING APPLIES TO ALL CONCRETE CONSTRUCTION.
WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL	
WM-1	MATERIAL DELIVERY AND STORAGE MATERIALS SHALL BE STORED ON-SITE IN ORIGINAL MARKED CONTAINERS AND COVERED FROM RAIN AND WIND. MATERIAL INVENTORY SHALL CONSIST OF SUPPLY REQUIRED FOR A FEW DAYS.
WM-2	MATERIAL USE MATERIALS FOR CONSTRUCTION SHALL BE USED IN ACCORDANCE WITH PRODUCT DIRECTION.
WM-3	STOCKPILE MANAGEMENT MATERIALS STOCKPILES SHALL BE SURROUNDED BY A TEMPORARY SEDIMENT BARRIER AND COVERED TO MAINTAIN DUST CONTROL.
WM-4	SPILL PREVENTION AND CONTROL AMPLE CLEAN-UP SUPPLIES FOR STORED MATERIALS SHALL BE KEPT ON-SITE. EMPLOYEE SHALL BE EDUCATED ON THE CLASSIFICATION OF SPILLS AND APPROPRIATE RESPONSES.
WM-5	SOLID WASTE MANAGEMENT SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE STORED IN APPROPRIATE CONTAINERS. FULL CONTAINERS SHALL BE DISPOSED OF PROPERLY.
WM-8	CONCRETE WASTE MANAGEMENT AN ON-SITE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED, USED, AND DISPOSED OF IN A MANNER WHICH MEETS THE REQUIREMENT OF THE CITY.
WM-9	SANITARY / SEPTIC WASTE MANAGEMENT ON-SITE FACILITY SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.

**CECILIA HOME**  
WWW.CECILIA123.COM  
CHIEF ENGINEER LEI ZHENG (MASON)  
PHONE: (510) 930-1933  
EMAIL: ENGINEER.LEI@GMAIL.COM

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Jurisdiction:

Licenser:

SHEET TITLE:  
**EROSION CONTROL PLAN**

SHEET NUMBER:  
**C-4**

# Best Management Practices

Follow the maintenance practices listed below to help keep pollutants out of our waterways, protect water in our creeks and comply with local, state, and federal laws.

**Note: For information on commercial swimming pool facilities, contact the Marin County Department of Environmental Health Services at 415-473-6907.**

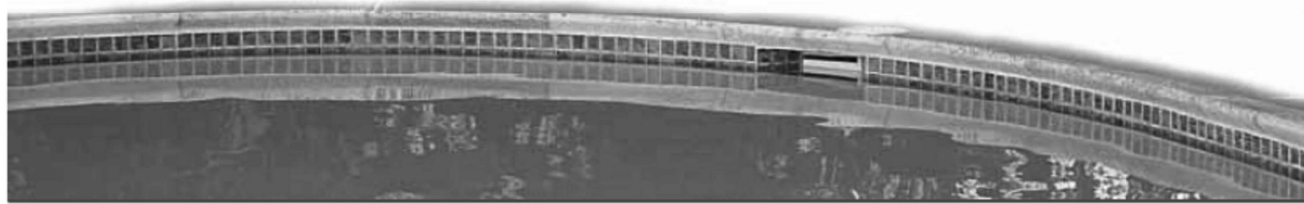
## Disposing of Swimming Pool, Spa, or Fountain Water

- Saltwater pools cannot be discharged to a sanitary sewer system or a storm drain!
- The preferred method is to discharge pool, spa, or fountain water (other than salt water) onto land surfaces provided the water is dechlorinated/debrominated, the pH is between 6.5 and 8.5, and the land area is sufficient to prevent erosion and runoff into a ditch, creek, or other stormwater conveyance.
- If landscaping is not a viable option, the next best choice is to discharge pool, spa, or fountain water to the sanitary system. Contact your local sanitary sewer agency to make sure the discharge will not create a problem in the sewer system or wastewater treatment plant downstream of your property.

As a last resort, discharge to a storm drain only if:

- no other disposal methods (e.g. sanitary sewer, landscaping) are possible.
- the pool, spa, or fountain water is completely dechlorinated/debrominated.
- concentrations of copper and silver are not harmful to fish or other aquatic life.
- the pH is between 6.5 and 8.5.
- the water is free of any unusual coloration, dirt, suds, or algae.
- there is no discharge of filter media.
- there is no discharge of acid cleaning wastes.
- the water is at ambient temperature. (Heated water should be allowed to cool.)

***It is illegal to discharge water from pools, spas and fountains - including filter rinsewater and backwash - to streets, storm drains or creeks!***



## Disposing of Filter Rinsewater and Backwash

- Rinse cartridge filters onto a dirt area and spade the filter residue into the soil.
- Backwash sand and diatomaceous earth filters onto a dirt or rocky area.
- Keep backwash discharges out of the street and storm drain. Temporary wash areas must be adequate to contain all washwaters. The temporary wash area is inadequate if washwater reaches creeks, gutters, or storm drains.
- If you do not have a suitable dirt area, contact your wastewater treatment authority listed on the back of this brochure for instructions on discharging to the sanitary sewer. Pretreatment may be required to remove the diatomaceous earth from the backwash water and prevent blockages to your sewer line.

## General Maintenance Tips

- Clean your pool, fountain, or spa regularly, maintain proper chlorine levels, water filtration and circulation. If you do so, you will not have to drain your pool so often.
  - Manage pH and water hardness to reduce copper pipe corrosion that can stain your pool and end up in our creeks.
  - Avoid using copper algacides. Ask your pool maintenance service or store for help resolving persistent algae problems without using copper algacides.
  - Make sure your pool maintenance service follows all discharge requirements.
  - Dispose of unwanted pool chemicals properly. Many are hazardous wastes when discarded. Household hazardous wastes may be legally disposed of at a Hazardous Waste Collection Facility for free. In Novato, call 892-7344. Other areas of Marin call 485-6806.
- Commercial operations, including maintenance companies, may dispose of hazardous pool chemicals for a fee through the Conditionally Exempt Small Quantity Generator Program. For an appointment, call the Hazardous Waste Collection Facility at 892-6395 (Novato only) or 485-5648 (for other areas of Marin).



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SHEET TITLE:  
**BEST MANAGEMENT PRACTICES**

SHEET NUMBER:  
**C-5**

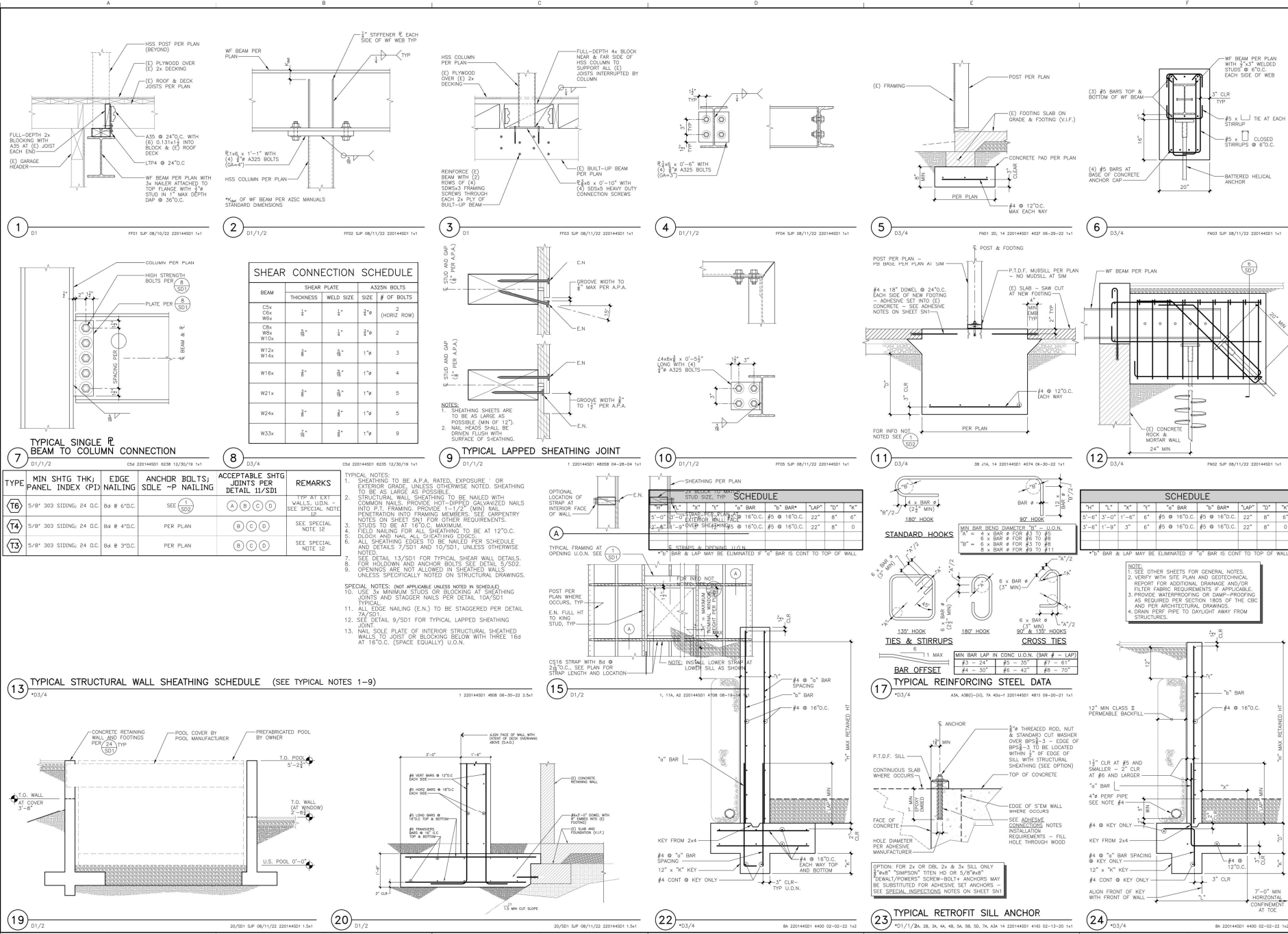












### SHEAR CONNECTION SCHEDULE

BEAM	SHEAR PLATE THICKNESS	WELD SIZE	SIZE	# OF BOLTS
C24	1"	1"	1 1/2"	2
C24	1"	1"	1 1/2"	2 (HORIZ. ROW)
W8x	3/4"	1"	1 1/2"	2
W12x	3/4"	1"	1 1/2"	3
W16x	3/4"	1"	1 1/2"	4
W21x	3/4"	1"	1 1/2"	5
W24x	3/4"	1"	1 1/2"	5
W33x	3/4"	1"	1 1/2"	9

### SCHEDULE

STUD SIZE	TYPE	"a"	"b"	"c"	"d"	"e"	"f"	"g"	"h"
3'-0"	1"	1"	1"	1"	1"	1"	1"	1"	1"
3'-0"	1"	1"	1"	1"	1"	1"	1"	1"	1"
3'-0"	1"	1"	1"	1"	1"	1"	1"	1"	1"

### SCHEDULE

"a"	"b"	"c"	"d"	"e"	"f"	"g"	"h"
5'-0"	3'-0"	1'-0"	6"	6"	6"	6"	6"
5'-0"	3'-0"	1'-0"	6"	6"	6"	6"	6"
5'-0"	3'-0"	1'-0"	6"	6"	6"	6"	6"

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 2 D1/1/2 220144501 08/12/22 220144501 1-1  
 3 D1 220144501 08/12/22 220144501 1-1  
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**MKM Associates**  
 Structural Engineering  
 5800 Commers Blvd, Suite 102  
 Rosemead, CA 91768  
 Phone: (714) 578-5185  
 Fax: (714) 578-1153  
 Internet: www.mkmassociates.com

1/17/2023  
 Project: OAK AVENUE RESIDENCE  
 Project Manager: Cody Cruz  
 Structural Engineer: [Signature]

**STRUCTURAL REQUIRED**  
 OBSERVATION NOTES ON SHEET 211

**OAK AVENUE RESIDENCE**  
 111 OAK AVENUE  
 KENTFIELD, CALIFORNIA 94940

02-17-23 00:00  
 ISSUE INFORMATION  
 Designer: [Signature]  
 PE: BR SRJ: ---  
 Job: 220144  
 Checked by: ---  
 Print Date: 7/17/2023  
 Sheet Title: **STRUCTURAL DETAILS**  
 Sheet: **SD1**