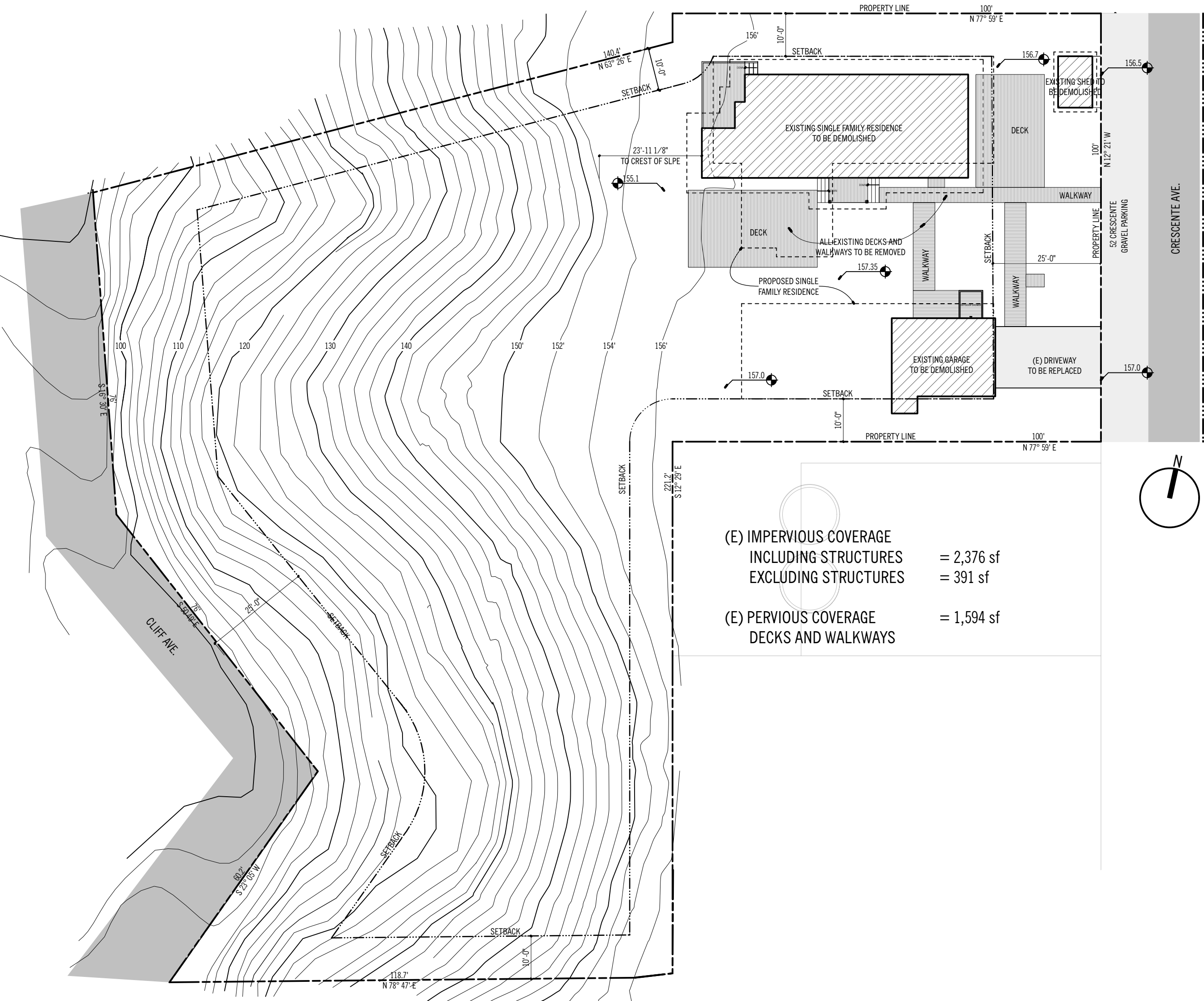


(N) IMPERVIOUS COVERAGE INCLUDING HOUSE	= 3,802 sf (11%)
EXCLUDING HOUSE	= 355 sf < (E)
(N) PERVIOUS COVERAGE (DECKS AND GRAVEL WALKWAYS)	= 4,544 sf
EXCAVATION FOR BASEMENT	+ 211 CU. YRDS
EXCAVATION FOR WATER TANKS	+ 40 CU. YRDS
EXCAVATION PIERS & GRADE BMS	+ 50 CU. YRDS
TOTAL	+ 301 CU. YRDS
FILL @ GUEST COURTYARD	- 31 CU. YRDS
FILL @ COURTYARD/SIDE YARDS	- 30 CU. YRDS
SUB SLAB FILL	- 154 CU. YRDS
OFF-HAUL	+ 86 CU. YRDS
AREA OF DISTURBANCE	= 7,765 SF

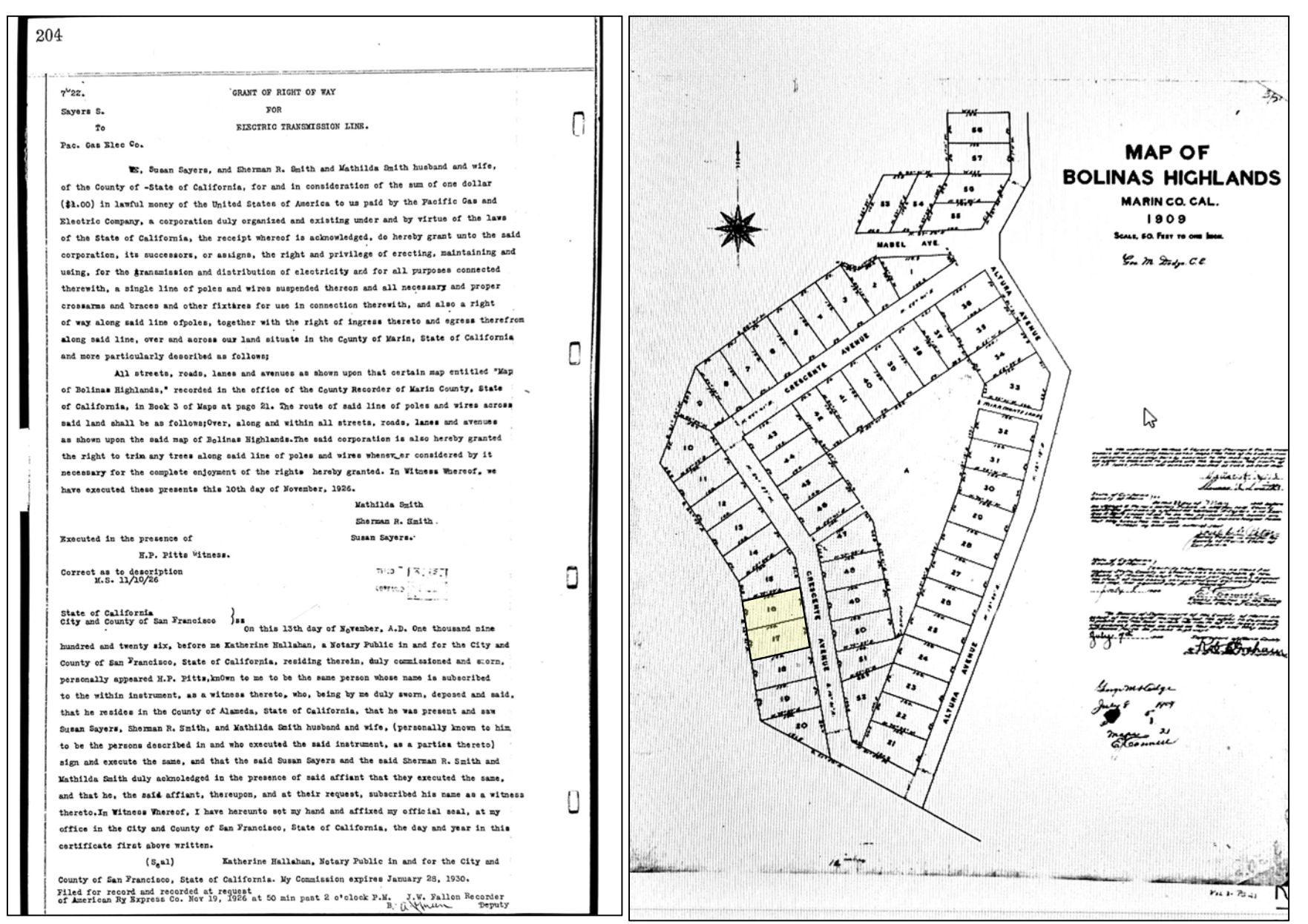
4 PROPOSED SITE PLAN - SEE SHEET A1.2 FOR FOCUSED VIEW OF NEW SITE PLAN
1" = 20'-0"

NOTE: GRADING AND FILL IS LESS THAN 12" AND THEREFORE DOES NOT CHANGE COUNTOUR LINES.

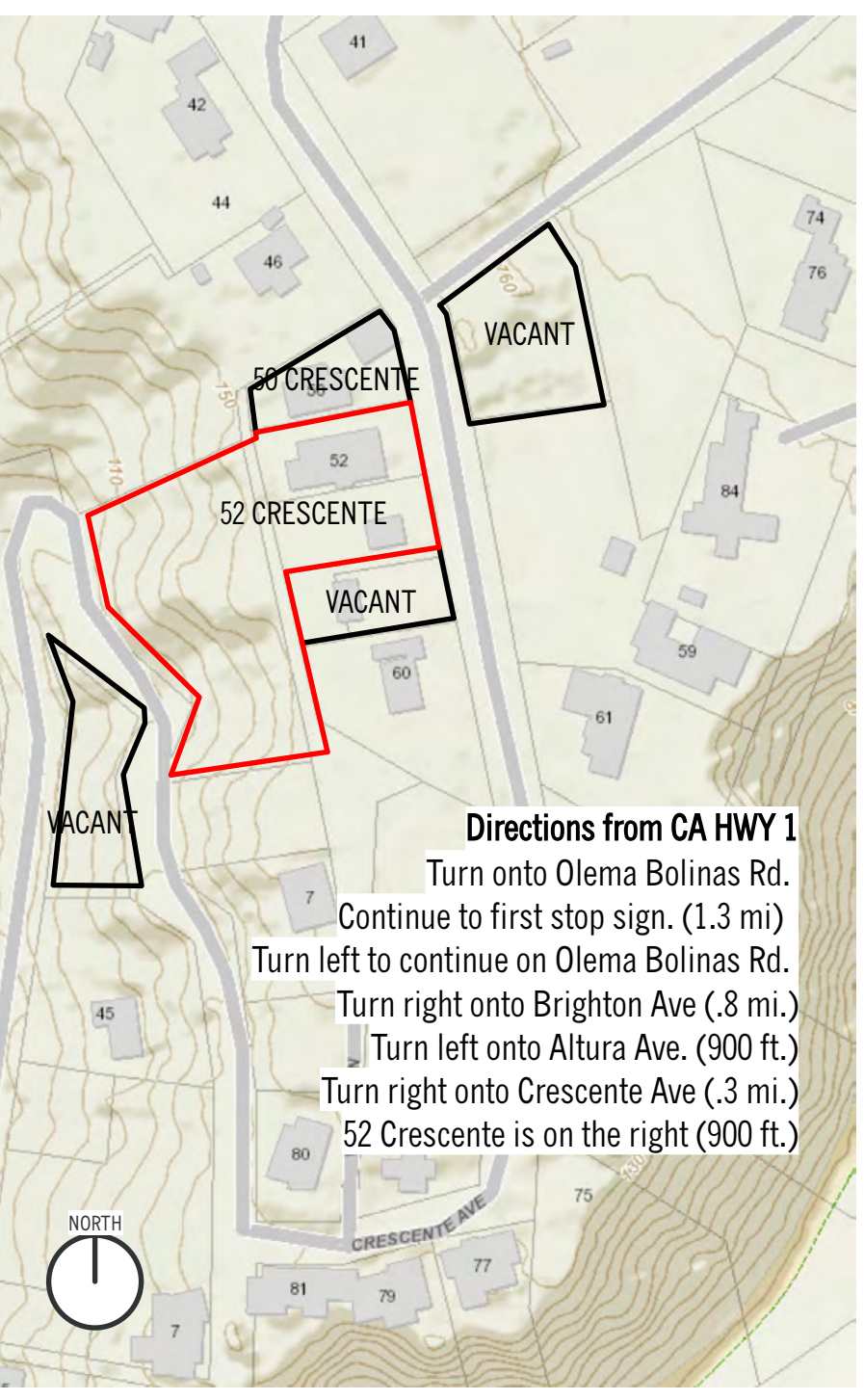


(E) IMPERVIOUS COVERAGE INCLUDING STRUCTURES	= 2,376 sf
EXCLUDING STRUCTURES	= 391 sf
(E) PERVIOUS COVERAGE DECKS AND WALKWAYS	= 1,594 sf

3 EXISTING SITE PLAN - SEE SHEET A1.1 FOR FOCUSED VIEW OF EXISTING PLAN
1" = 20'-0"



2 EASEMENT DOCUMENTS

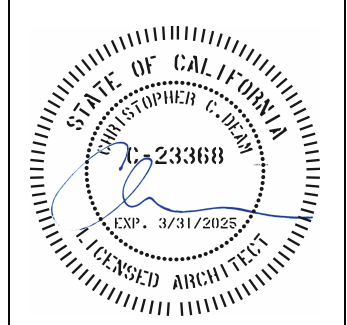


1 VICINITY MAP NOT TO SCALE

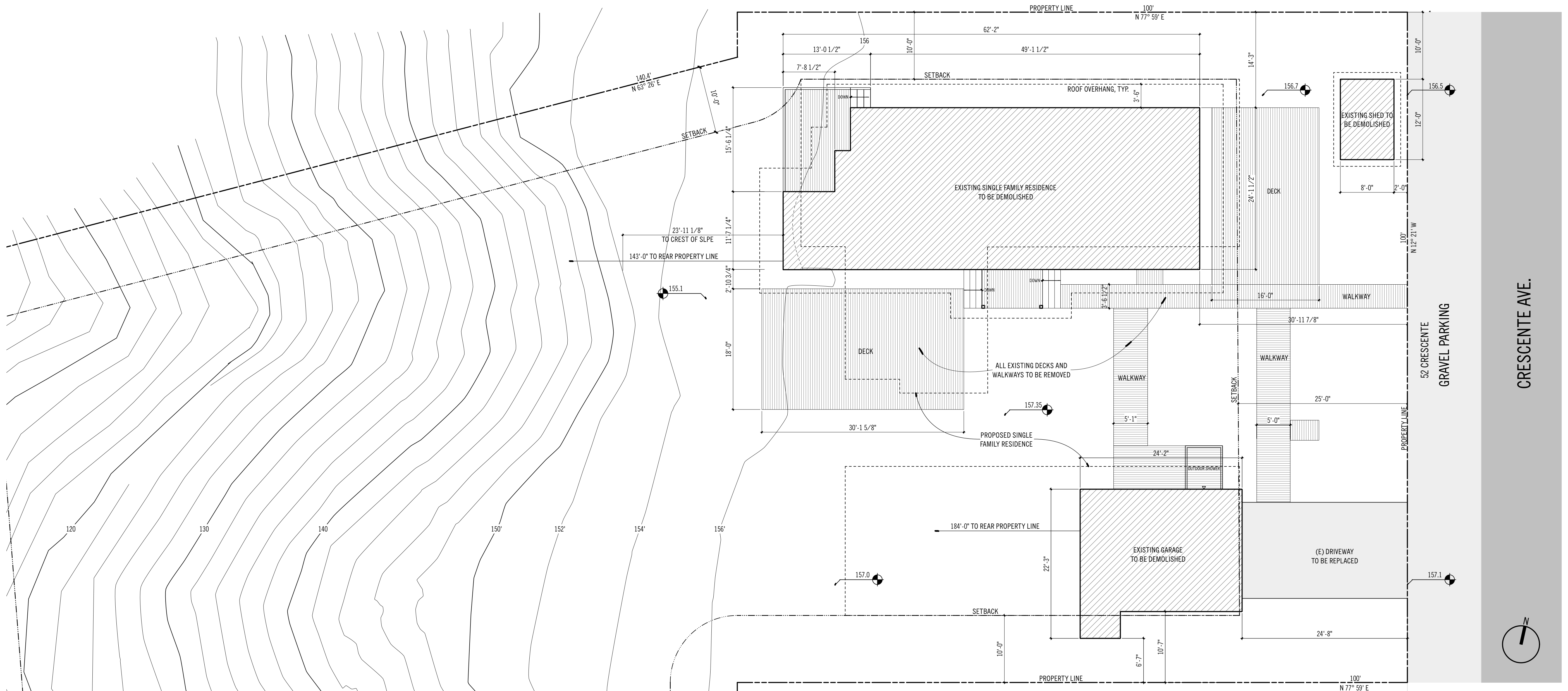
PROJECT DESCRIPTION

The project is located on the Little Mesa area of Bolinas and is in W.U.I. and Coastal zones, and is connected to BPUD sewer system. The current use is a single family residence with detached garage. It is bounded by a two story single family residence to the North (50 Crescente), and vacant lots to the South, East, and West. The proposed project will demolish both the existing single story 3 bedroom 1.5 bath single family residence, and detached garage, and build a new 3 bedroom, 2 bath, (+2) 1/2 bath residence with attached garage. There is currently one off street parking space. The new project will have two off street parking spaces. The project will also incorporate a 7,950 gal. rainfall catchment system and 10 KW solar system with backup batteries. The house is a low slung single story, and follows all setback, area, and height requirements. The character of Bolinas is respected with simple forms, massing, and a minimal material palette of weathered wood siding.

ASSESSOR'S PARCEL NUMBERS	AREA CALCULATIONS	DRAWING INDEX
193-092-18	SITE AREA 33,672 sf	A1.0 VICINITY MAP/ (E) SITE PLAN
193-092-19	(E) HOUSE 1,389 sf	A1.1 (E) SITE PLAN FOCUSED
193-111-09	(E) GARAGE 481 sf	A1.2 NEW SITE PLAN
	(E) SHED 96 sf	A2.0 ROOF PLAN/ STORMWATER PLAN
	TOTAL 1,966 sf	A3.0 EXISTING FLOOR PLAN/ DEMOLITION
ZONING C-RA-B2	FAR 5%	A3.1 NEW FLOOR PLANS
PLAN DESIGNATION YES	LOT COVERAGE 7%	A4.0 EXISTING ELEVATIONS
W.U.I. ZONE YES		A4.1 EXISTING ELEVATIONS
COASTAL ZONE YES		A4.2 NEW ELEVATIONS
	NEW HOUSE 1st FLOOR 2,763 sf	A4.3 NEW ELEVATIONS/SECTIONS
	NEW GARAGE 600sf	A4.4 NEW ELEVATIONS/SECTIONS
	NEW GARAGE BASEMENT 575 sf	A5.0 DRAINAGE, GRADING, AND UTILITIES
SETBACKS	TOTAL BUILDING AREA 3,938 sf	A5.1 STORMWATER CONTROL PLAN
FRONT YARD 25'-0"	GARAGE EXEMPTION -540sf	A6.0 DESIGN CONSIDERATIONS
SIDE YARDS 10'-0"	TOTAL FLOOR AREA 3,398sf	A7.0 RENDERINGS
REAR YARD 148'-9"		A8.0 MATERIAL PALETTE
(25'-0" REQUIRED)		A9.0 PHOTOS OF EXISTING
		A10 CONSTRUCTION MANAGEMENT PLAN
MAX ALLOWABLE HEIGHT 25'-0"	FA.R. 10%	L3.00 LANDSCAPE PLAN
MAX PROPOSED HEIGHT 16'-1 1/4"	LOT COVERAGE 10%	L3.01 LANDSCAPE PLAN
		SV SURVEY



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EASEMENT TO PG&E FOR A SINGLE LINE OF POLES AND WIRES FOLLOWING THE ROAD

1 EXISTING SITE PLAN - TO BE DEMOLISHED, FOCUSED VIEW
Scale: 1/8" = 1'-0"

PROJECT DESCRIPTION

The project is located on the Little Mesa area of Bolinas and is in W.U.I. and Coastal zones, and is connected to BPUD sewer system. The current use is a single family residence with detached garage. It is bounded by a two story single family residence to the North (50 Crescente), and vacant lots to the South, East, and West. The proposed project will demolish both the existing single story 3 bedroom 1.5 bath single family residence, and detached garage, and build a new **3 bedroom, 2 bath, (+2) 1/2 bath residence with attached garage**. There is currently one off street parking space. The new project will have two off street parking spaces. The project will also incorporate a 7,950 gal. rainfall catchment system and 10 KW solar system with backup batteries. The house is a low slung single story, and follows all setback, area, and height requirements. The character of Bolinas is respected with simple forms, massing, and a minimal material palette of weathered wood siding.

ASSESSOR'S PARCEL NUMBERS

193-092-18
193-092-19
193-111-09

ZONING C-RA-B2
PLAN DESIGNATION C-SF5
W.U.I. ZONE YES
COASTAL ZONE YES

SETBACKS
FRONT YARD 25'-0"
SIDE YARDS 10'-0"
REAR YARD 148'-9"
(25'-0" REQUIRED)

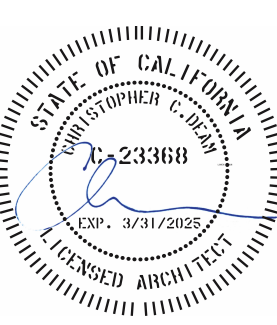
MAX ALLOWABLE HEIGHT 25'-0"
MAX PROPOSED HEIGHT 16'-1 1/4"

AREA CALCULATIONS

SITE AREA	33,672 sf
(E) HOUSE	1,389 sf
(E) GARAGE	481 sf
(E) SHED	96 sf
TOTAL	1,966 sf
FAR	5%
LOT COVERAGE	7%
NEW HOUSE 1st FLOOR	2,763 sf
NEW GARAGE	600sf
NEW GARAGE BASEMENT	575 sf
TOTAL BUILDING AREA	3,938 sf
GARAGE EXEMPTION	-540sfT
TOTAL FLOOR AREA	3,398sf
F.A.R.	10 %
LOT COVERAGE	10%

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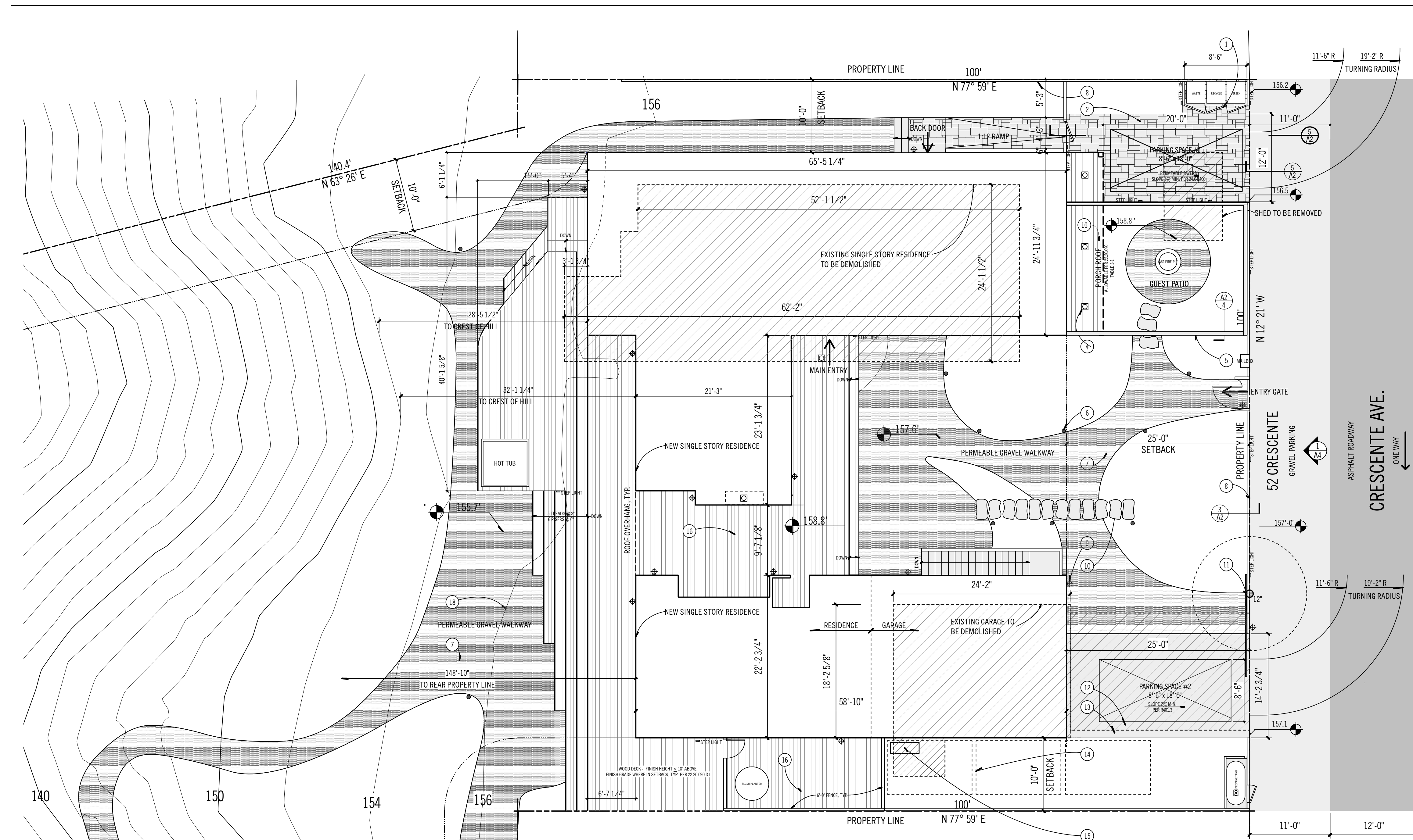
DEAM RESIDENCE
52 CRESCENTE AVE.
BOLINAS, CA



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(E) SITE PLAN

A1.1



- 1 TRASH ENCLOSURE
- 2 PERMEABLE PAVER DRIVEWAY
- 3
- 4 RECESSED CAN LIGHT, TYP.
- 5 12" H CONC. RETAINING WALL
- 6 SOLAR PATHLIGHT, TYP.
- 7 PERMEABLE GRAVEL WALKWAYS, TYP.
- 8 CEDAR FENCE
- 9 SURFACE MOUNTED DOWNLIGHT, TYP.
- 10 STEPPING STONE, TYP.
- 11 HOLLY LLELX TREE TO BE REMOVED
- 12 (E) DRIVEWAY TO BE REMOVED
- 13 CONC. DRIVEWAY
- 14 2,650 gal. UNDERGROUND RAINWATER COLLECTION TANK, TYP. (7,950 gal total)
- 15 TRANE XV19 Variable Speed, Low Profile Heat Pump 47" w x 18" x 37" h SEER 19.5, 43-57 dBA.
- 16 IPE DECK
- 17
- 18 EXISTING CONTOUR LINE, TYP.
- 19 NEW CONTOUR LINE, TYP.

ASSESSOR'S PARCEL NUMBERS
(HAVE NOT BEEN UPDATED SINCE LOT MERGE)

193-092-18
193-092-19
193-111-09

ZONING C-RA-B2
PLAN DESIGNATION C-SF5
W.U.I. ZONE YES
COASTAL ZONE YES

SETBACKS
FRONT YARD 25'-0"
SIDE YARDS 10'-0"
REAR YARD 148'-9"
(25'-0" REQUIRED)
MAX ALLOWABLE HEIGHT 25'-0"
PROPOSED HEIGHT 16'-1 1/4"

AREA CALCULATIONS

SITE AREA	33,672 sf
(E) HOUSE TO BE REMOVED	1,389 sf
(E) GARAGE	481 sf
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TOTAL	1,966 sf
FAR	5%
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TOTAL BUILDING AREA	3,938 sf
GARAGE EXEMPTION	-540 sf
TOTAL FLOOR AREA	3,398sf

F.A.R.	10 %
LOT COVERAGE	10%

GRADING PLAN:

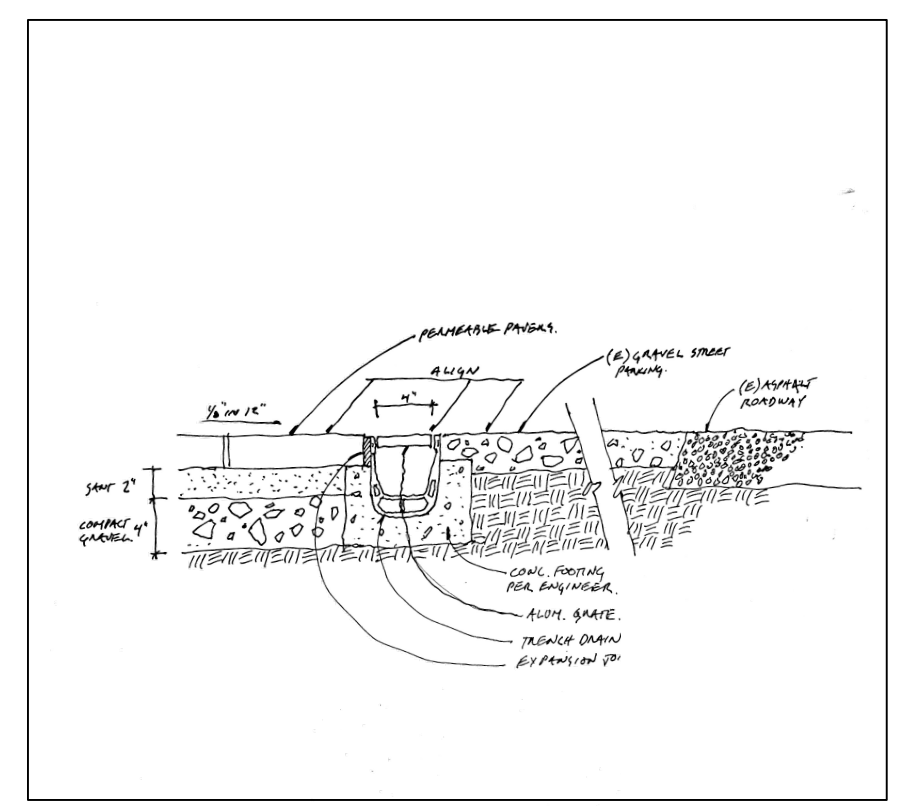
THE BUILDING SITE IS VIRTUALLY FLAT IN THE AREA OF CONSTRUCTION (1'-3" FALL OVER 100'-0" = .012% SLOPE). MINIMAL GRADING IS REQUIRED. FILL AREAS WILL USE THE SPOILS FROM THE BASEMENT EXCAVATION.

(E) IMPERVIOUS COVERAGE
INCLUDING HOUSE = 2,376 sf
EXCLUDING HOUSE = 391 sf
PERVIOUS COVERAGE = 1,594 sf

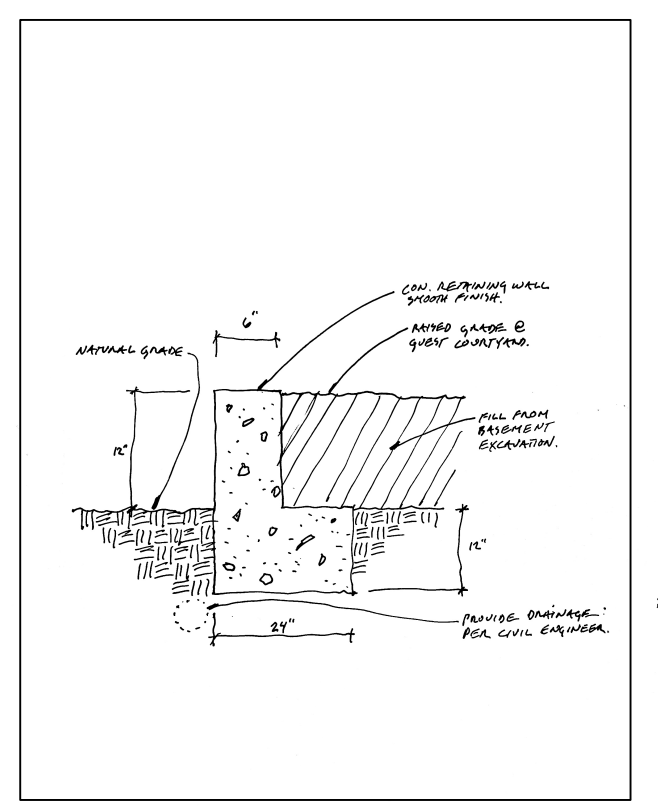
(N) IMPERVIOUS COVERAGE
INCLUDING HOUSE = 3,802 sf(11%)
EXCLUDING HOUSE = 355 sf < (E)
(N) PERVIOUS COVERAGE (DECKS AND GRAVEL) = 4,544 sf

1 NEW SITE AND GRADING PLAN
1/8" = 1'-0"

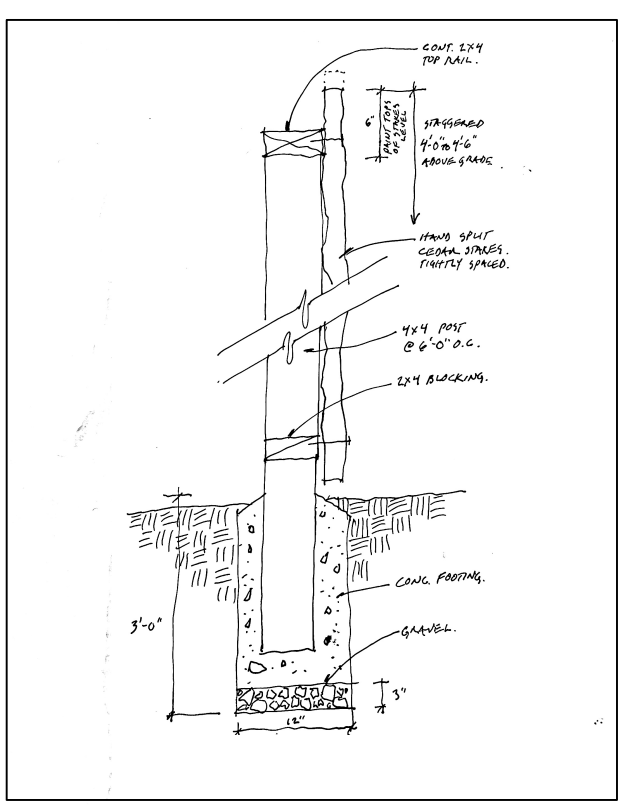
NOTE: GRADING AND FILL IS LESS THAN 12" AND THEREFORE DOES NOT CHANGE COUNTOUR LINES.



5 SECTION FROM DRIVEWAY TO ROADWAY



4 RETAINING WALL SECTION



3 FENCE SECTION



2 SPLIT CEDAR FENCE ELEVATION

EXCAVATION FOR BASEMENT	+ 211 CU. YRDS
EXCAVATION FOR WATER TANKS	+ 40 CU.YRDS
EXCAVATION PIERS & GRADE BMS	+ 50 CU. YRDS.
TOTAL	+ 301 CU. YRDS
FILL @ GUEST COURTYARD	- 31 CU.YRDS
FILL @ COURTYARD/SIDE YARDS	- 30 CU.YRDS
SUB SLAB FILL	- 154 CU.YRDS
OFF-HAUL	+ 86 CU.YRDS

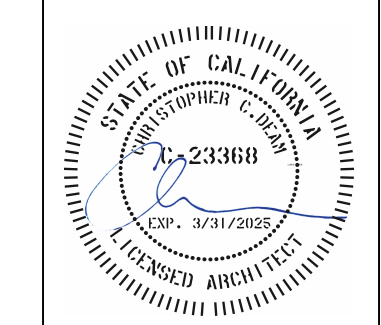
AREA OF DISTURBANCE = 7,765 SF

PROJECT DESCRIPTION

The project is located on the Little Mesa area of Bolinas and is in W.U.I. and Coastal zones, and is connected to BPUD sewer system. The current use is a single family residence with detached garage. It is bounded by a two story single family residence to the North (50 Crescente), and vacant lots to the South, East, and West. The proposed project will demolish both the existing single story 3 bedroom 1.5 bath single family residence, and detached garage, and build a new **3 bedroom, 2 bath, (+2) 1/2 bath residence with attached garage**. There is currently one off street parking space. The new project will have two off street parking spaces. The project will also incorporate a 7,950 gal. rainfall catchment system and 10 KW solar system with backup batteries. The house is a low slung single story, and follows all setback, area, and height requirements. The character of Bolinas is respected with simple forms, massing, and a minimal material palette of weathered wood siding.

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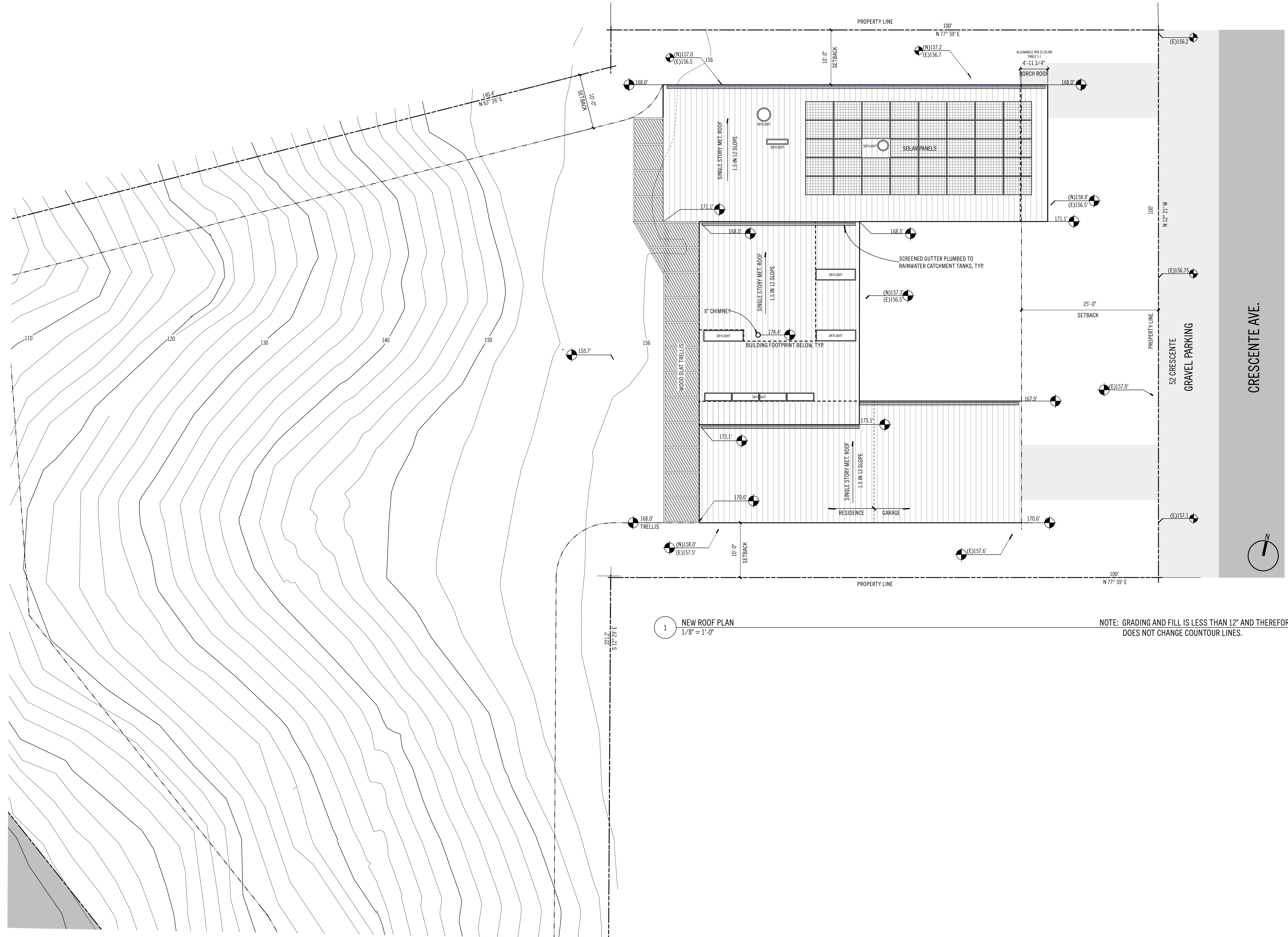
DEAM RESIDENCE
52 CRESCENTE AVE.
BOLINAS, CA



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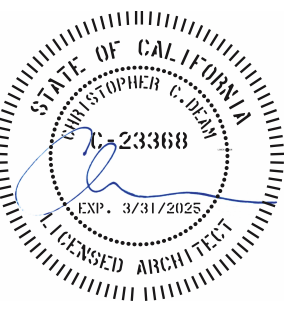
NEW SITE PLAN

A1.2

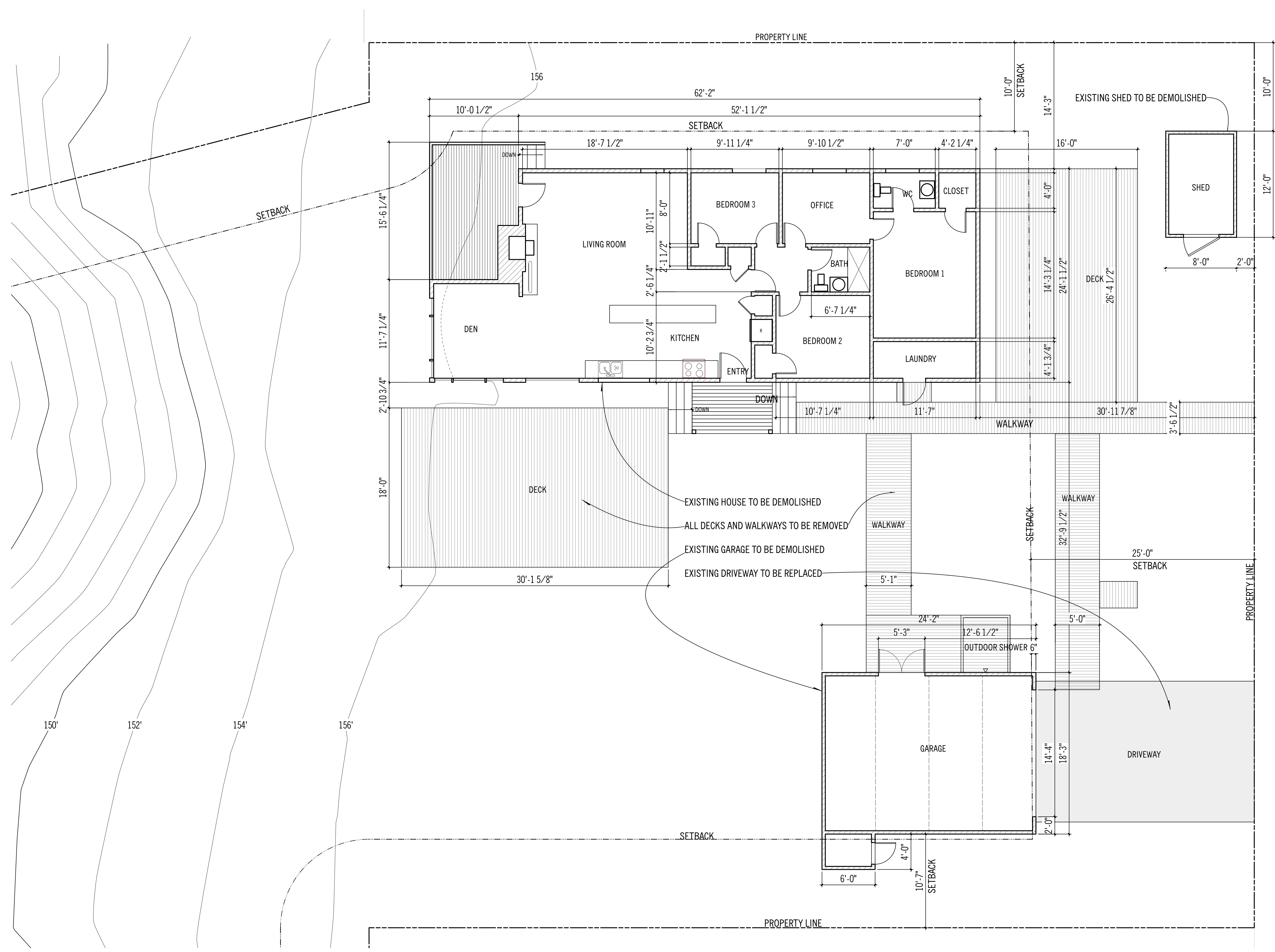


1 NEW ROOF PLAN
1/8" = 1'-0"

NOTE: GRADING AND FILL IS LESS THAN 12" AND THEREFORE DOES NOT CHANGE COUNTOUR LINES.



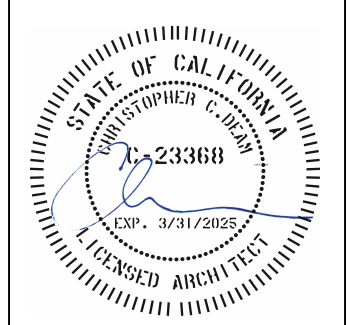
DATE OF ISSUANCE	08/28/2023
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1 EXISTING FLOOR PLAN TO BE DEMOLISHED
3/16" = 1'-0"

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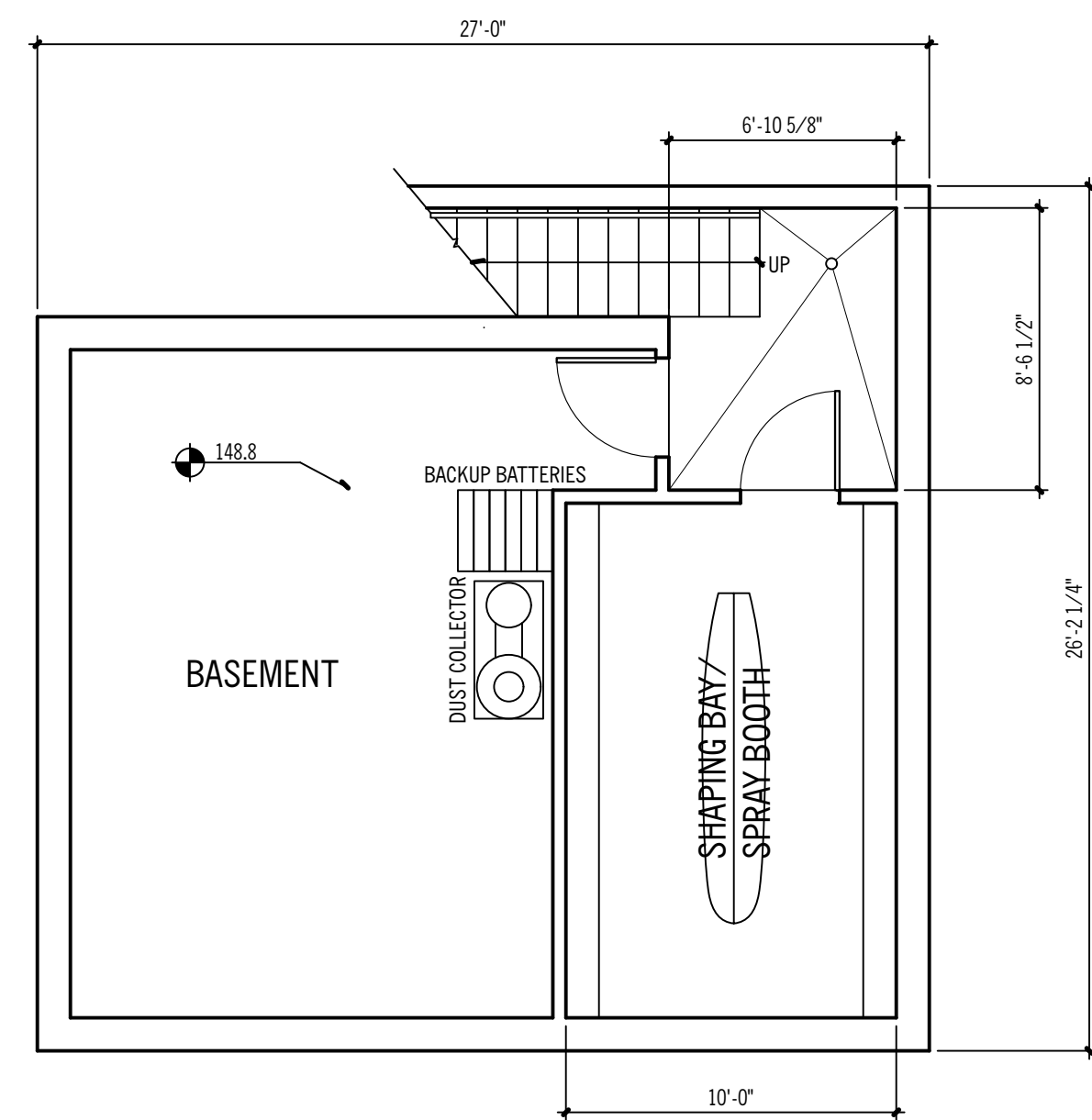
DEAM RESIDENCE
52 CRESCENTE AVE.
BOLINAS, CA



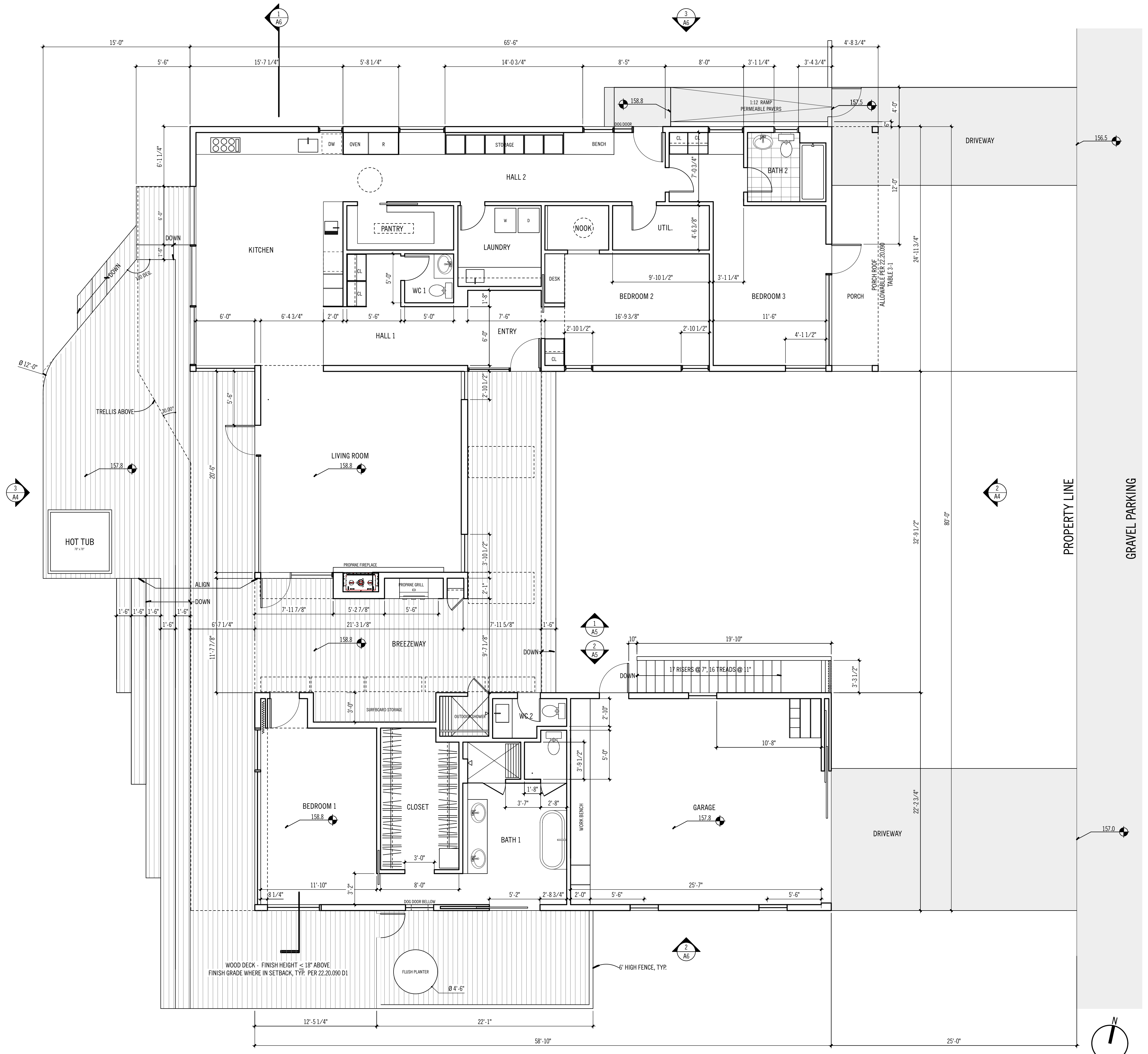
DATE OF ISSUANCE
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(E) FLOOR PLAN-DEMO

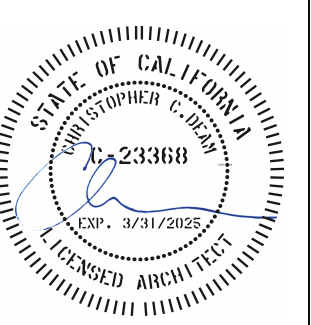
A3.0



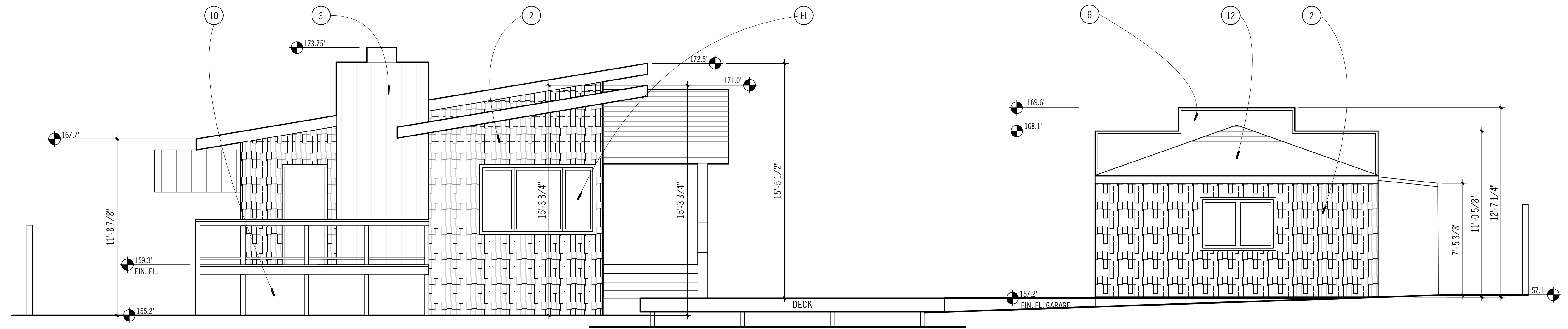
2 BASEMENT PLAN
3/16" = 1'-0"



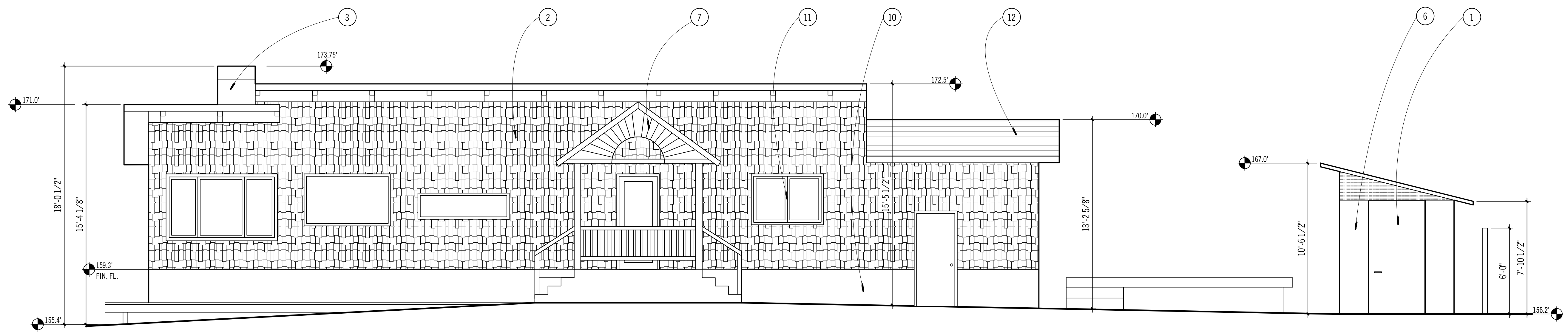
1 FIRST FLOOR PLAN
3/16" = 1'-0"



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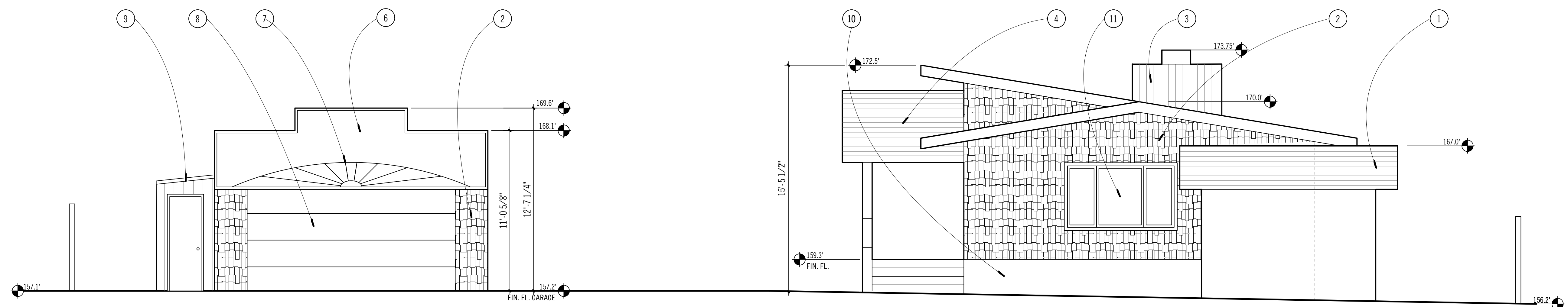


3 EXISTING WEST ELEVATION
1/4"=1'-0"

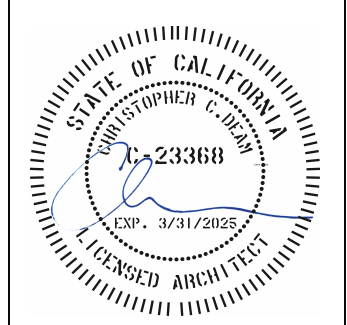


2 EXISTING SOUTH ELEVATION
1/4"=1'-0"

- | | |
|--|----------------------|
| 1 (E) PLYWOOD SHED | 7 DECORATIVE PANELS |
| 2 WOOD SHINGLES | 8 SMOOTH GARAGE DOOR |
| 3 CHIMNEY W/ VERTICAL WOOD SIDING | 9 ATTACHED SHED |
| 4 PORCH ROOF | 10 BLOCK FOUNDATION |
| 5 STANDING SEAM MET. ROOT. BLACK, TYP. | 11 WOOD WINDOW |
| 6 SMOOTH PLYWOOD PAINTED | 12 ASPHALT SHINGLES |

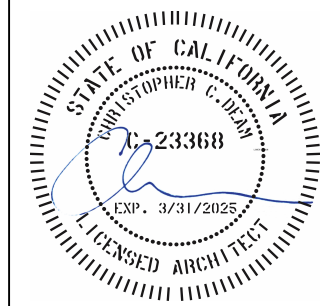


1 EXISTING EAST ELEVATION (STREET)
1/4"=1'-0"



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(E) ELEVATIONS

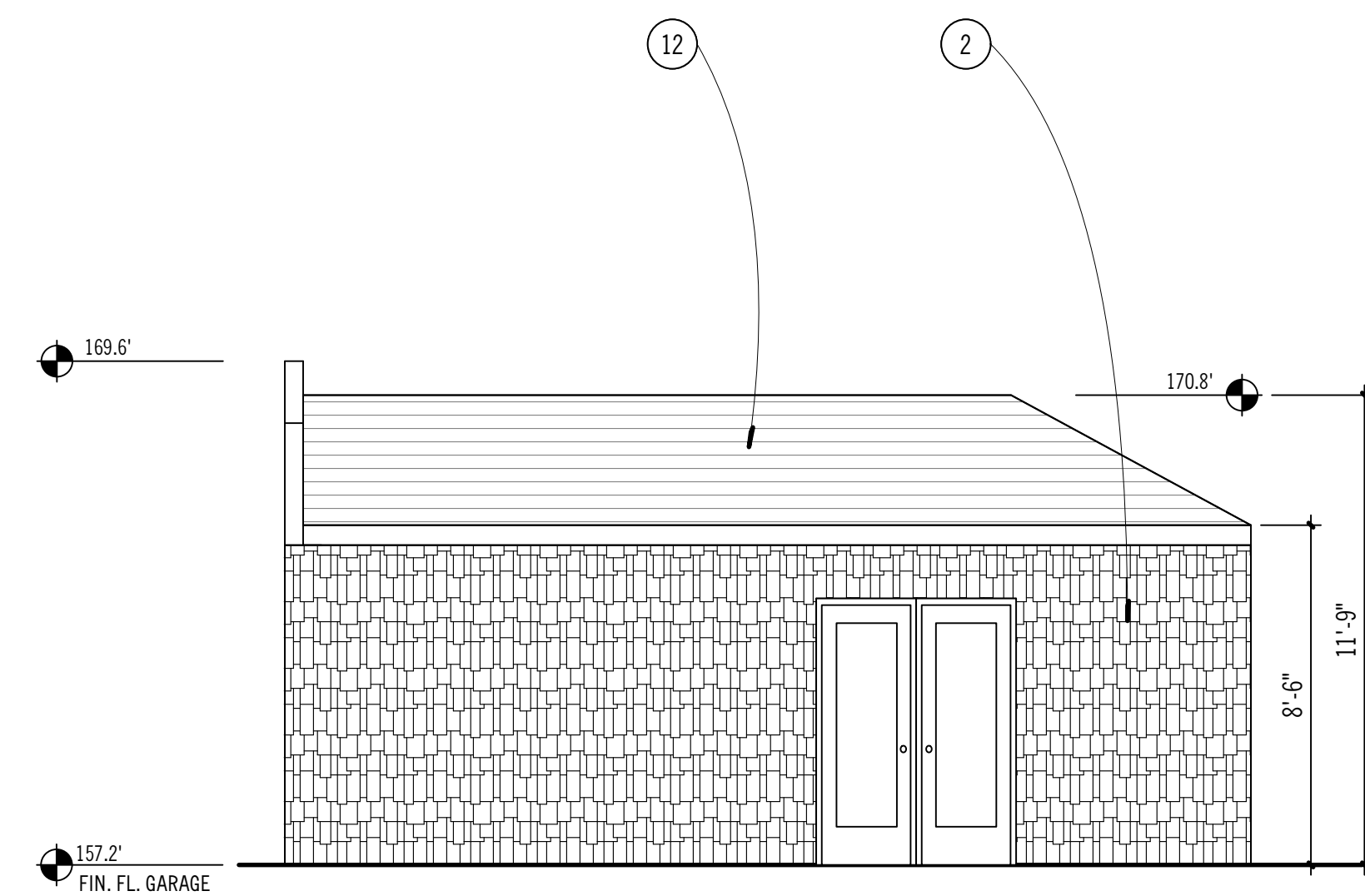


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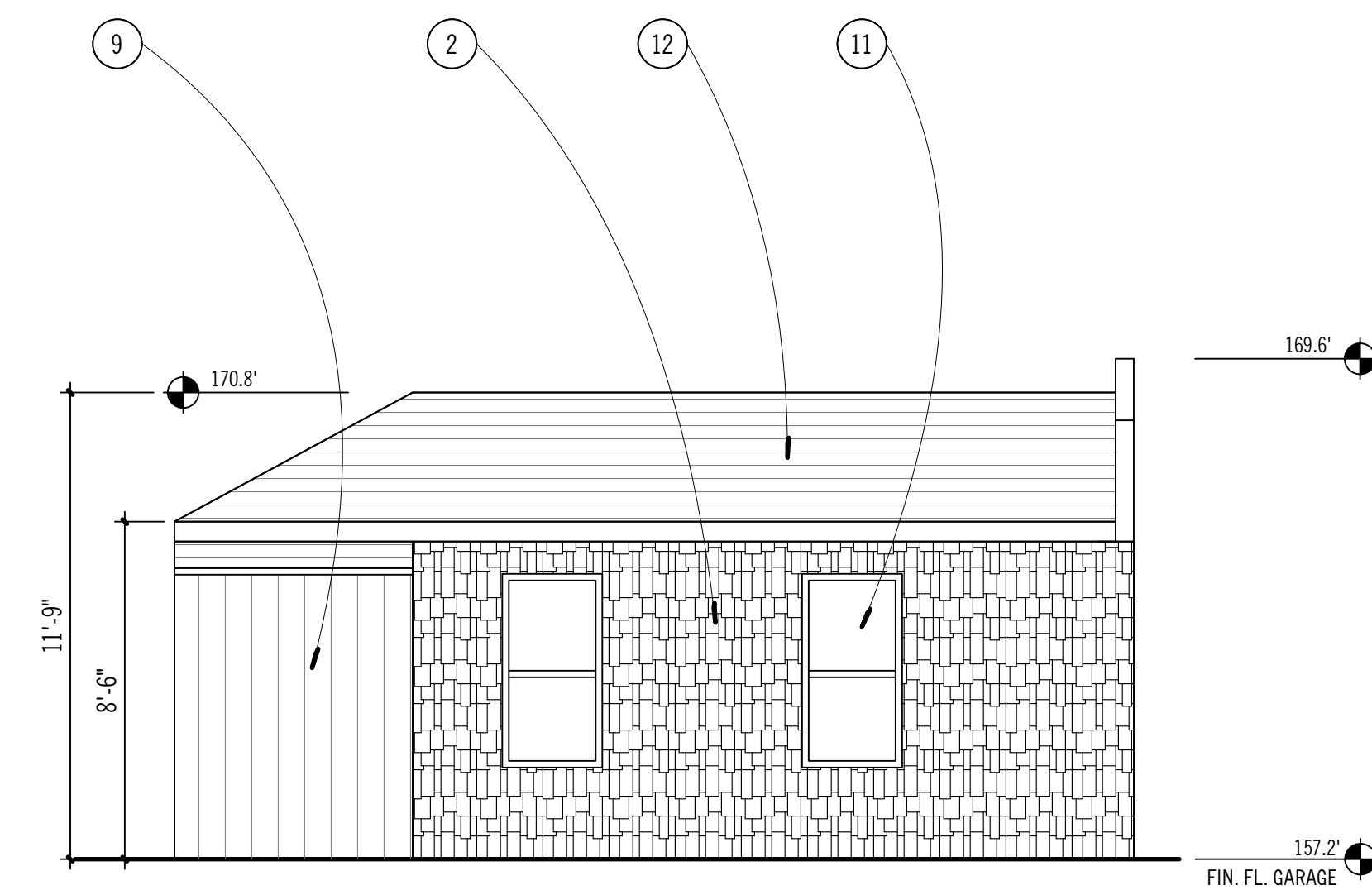
(E) ELEVATIONS

A4.1

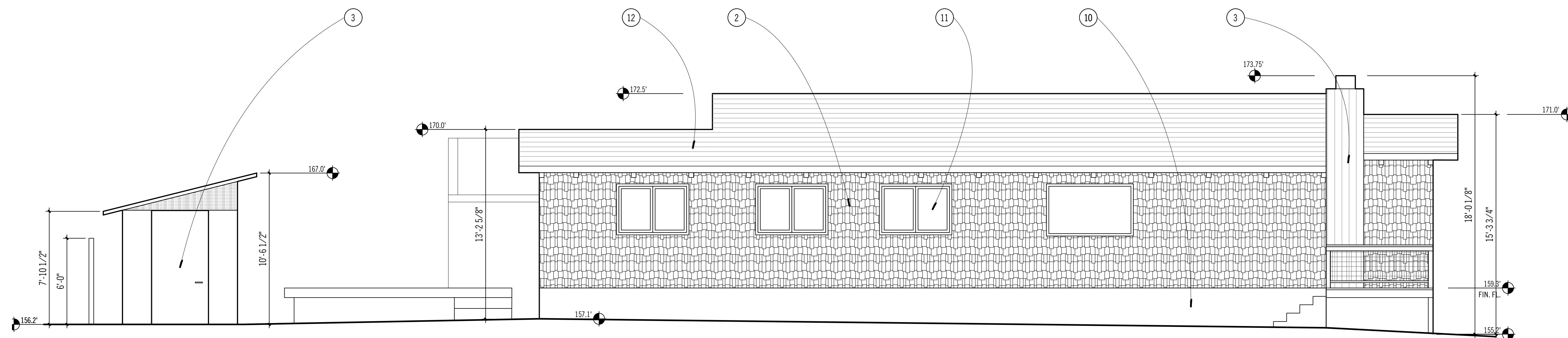
- | | |
|-----------------------------------|----------------------|
| ① (E) PLYWOOD SHED | ⑦ DECORATIVE PANELS |
| ② WOOD SHINGLES | ⑧ SMOOTH GARAGE DOOR |
| ③ CHIMNEY W/ VERTICAL WOOD SIDING | ⑨ ATTACHED SHED |
| ④ PORCH ROOF | ⑩ BLOCK FOUNDATION |
| ⑤ NOT USED. | ⑪ WOOD WINDOW |
| ⑥ SMOOTH PLYWOOD PAINTED | ⑫ ASPHALT SHINGLES |



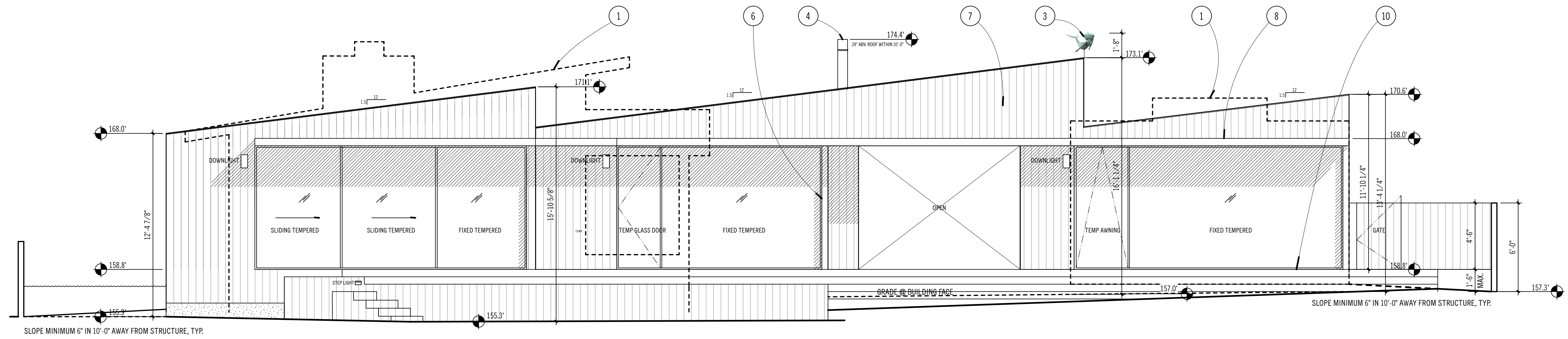
③ EXISTING NORTH GARAGE ELEVATION
 1/4" = 1'-0"



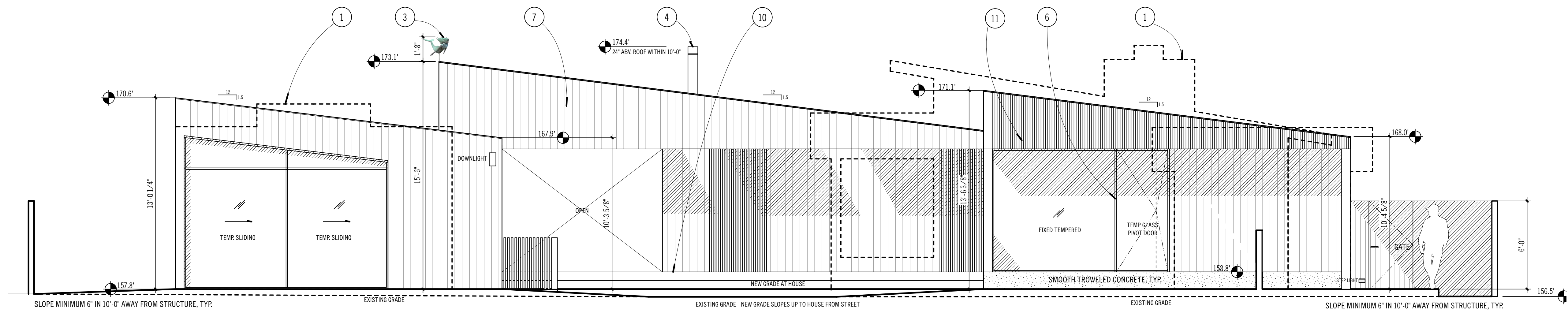
② EXISTING SOUTH GARAGE ELEVATION
 1/4" = 1'-0"



① EXISTING NORTH ELEVATION
 1/4" = 1'-0"

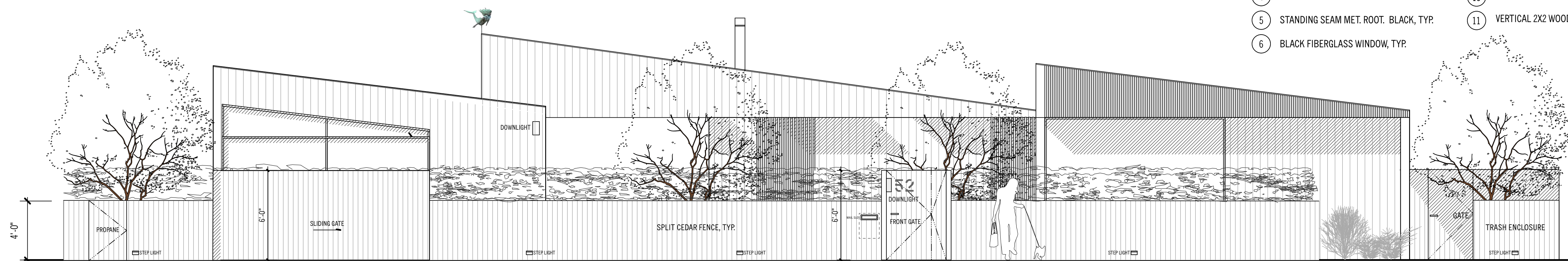


3 WEST ELEVATION
1/4"=1'-0"

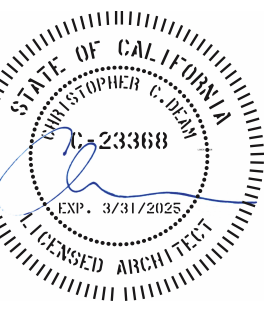


2 EAST ELEVATION
1/4"=1'-0"

- 1 (E) STRUCTURE TO BE DEMOLISHED
- 2 SOLAR PANELS
- 3 COPPER WEATHERVANE
- 4 MET. CHIMNEY
- 5 STANDING SEAM MET. ROOT. BLACK, TYP.
- 6 BLACK FIBERGLASS WINDOW, TYP.
- 7 "ADOBO" WOOD SIDING, WEATHERED TO GREY, TYP.
- 8 WOOD AND STEEL TRELLIS
- 9 CONCRETE
- 10 WOOD DECK
- 11 VERTICAL 2X2 WOOD SLATS



1 STREET ELEVATION
1/4"=1'-0"



DATE OF ISSUANCE

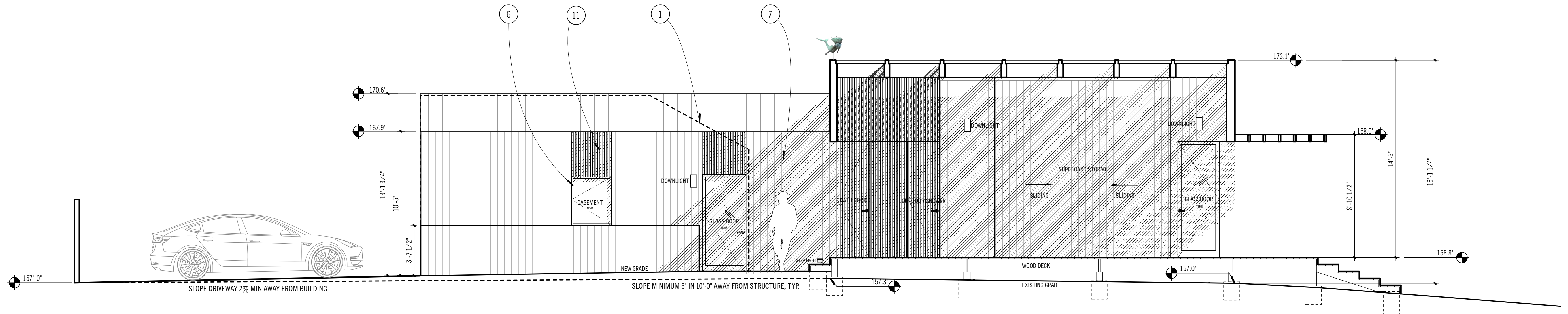
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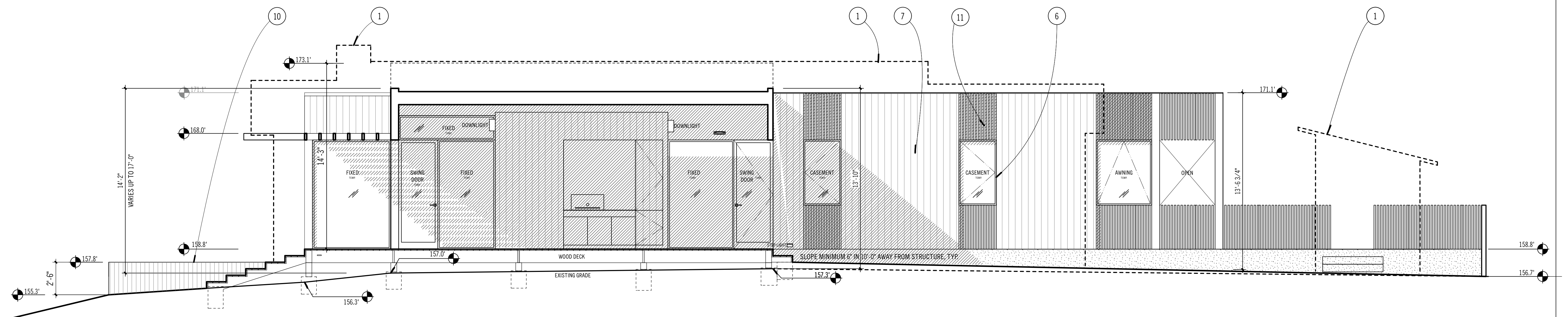
(N) ELEVATIONS

A4.2

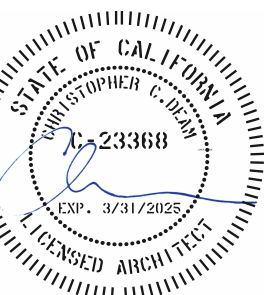


2 NORTH COURTYARD ELEVATION/SECTION
1/4" = 1'-0"

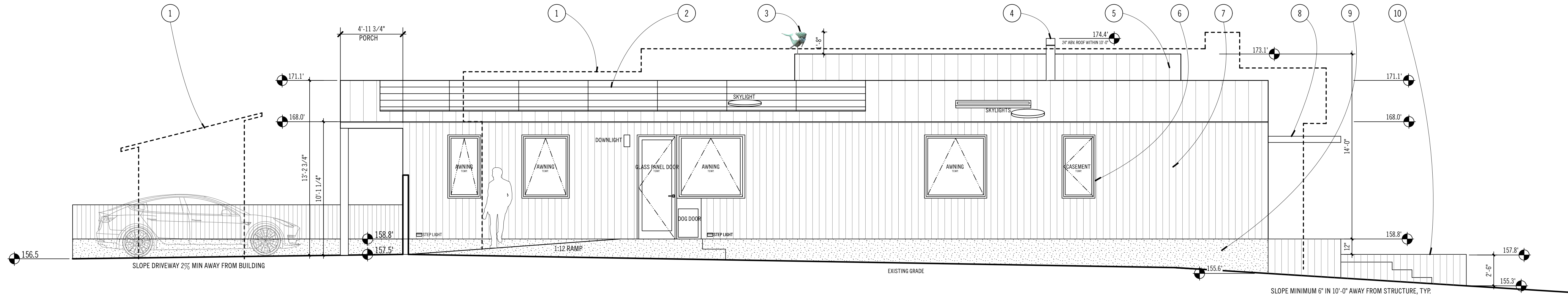
- 1 (E) STRUCTURE TO BE DEMOLISHED
- 2 SOLAR PANELS
- 3 COPPER WEATHERVANE
- 4 MET. CHIMNEY
- 5 STANDING SEAM MET. ROOT. BLACK, TYP.
- 6 BLACK FIBERGLASS WINDOW, TYP.
- 7 "ADOBO" WOOD SIDING, WEATHERED TO GREY, TYP.
- 8 WOOD AND STEEL TRELLIS
- 9 CONCRETE
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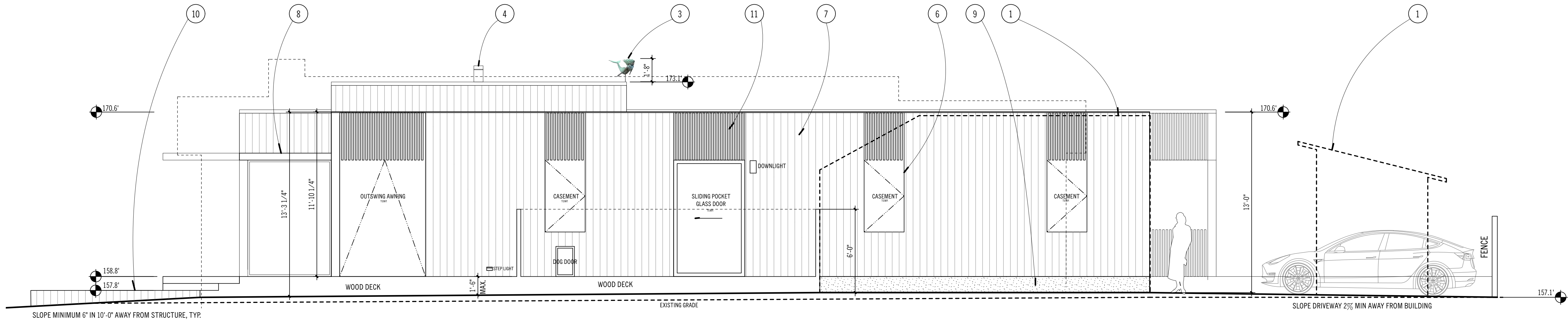
1 SOUTH COURTYARD ELEVATION/SECTION
1/4" = 1'-0"



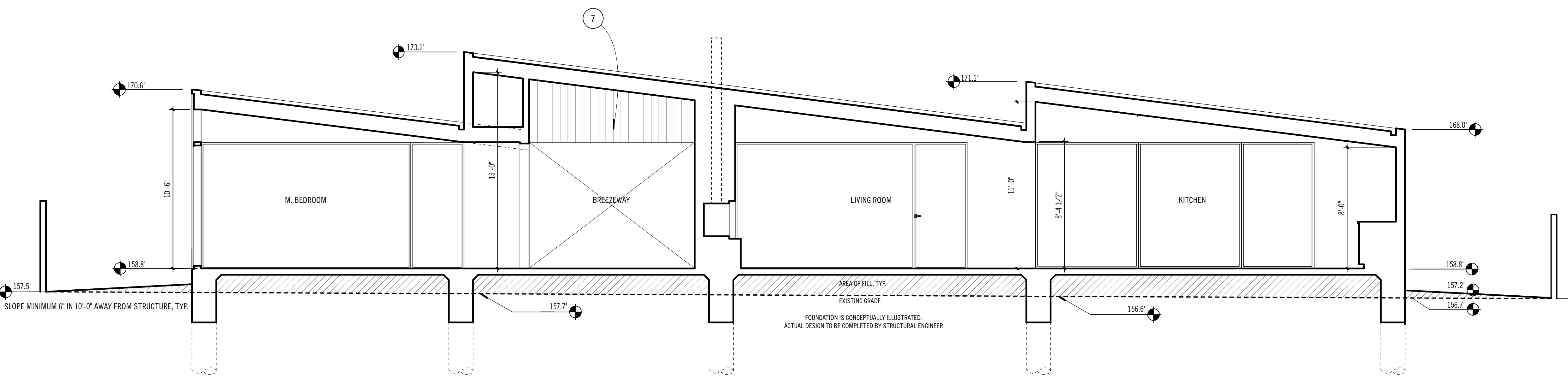
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3 NORTH ELEVATION
1/4"=1'-0"

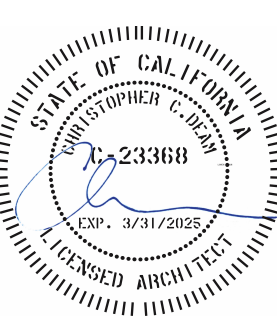


2 SOUTH ELEVATION
1/4"=1'-0"

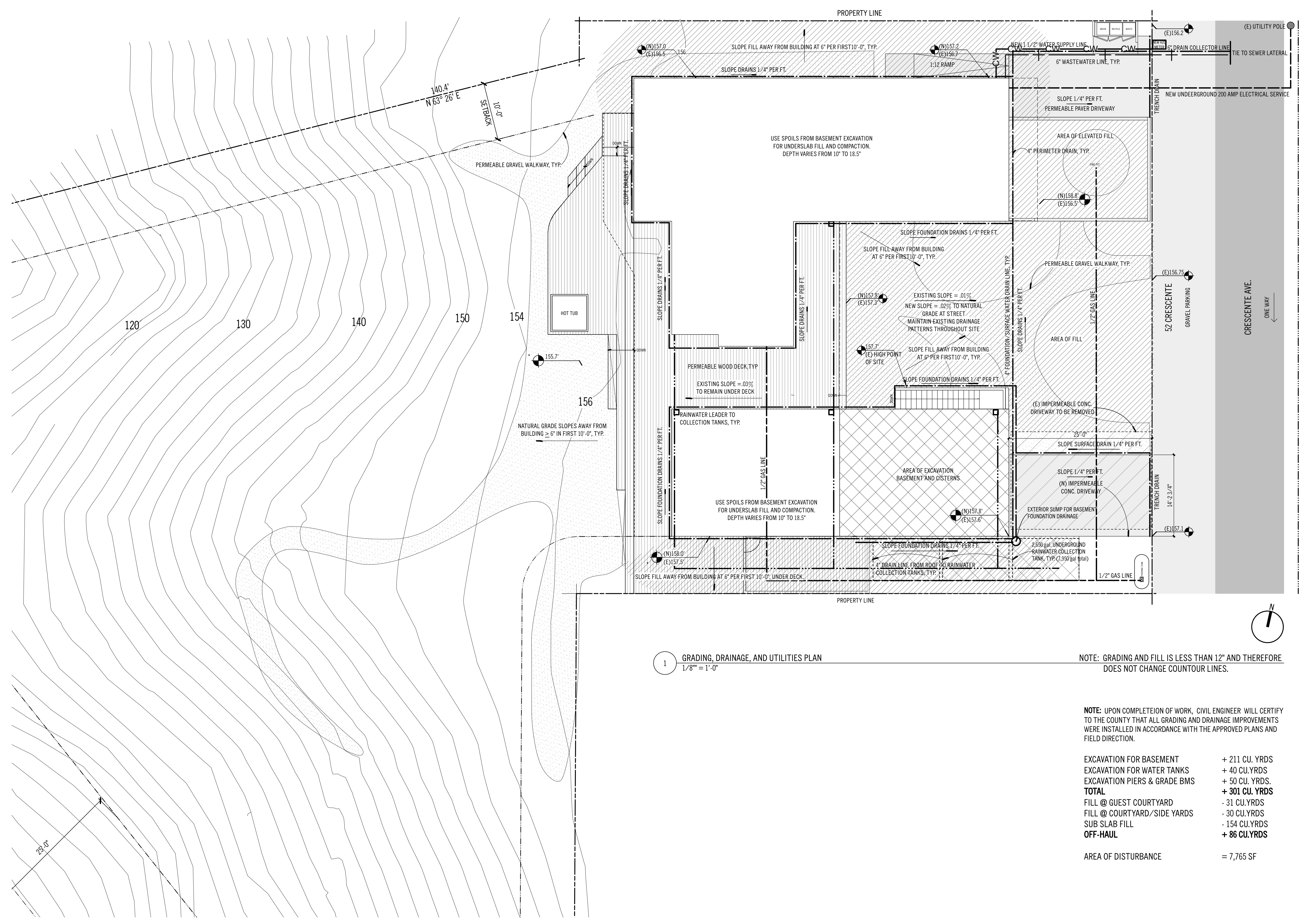


1 SECTION NORTH/SOUTH
1/4"=1'-0"

- 1 (E) STRUCTURE TO BE DEMOLISHED
- 2 SOLAR PANELS
- 3 COPPER WEATHERVANE
- 4 MET. CHIMNEY
- 5 STANDING SEAM MET. ROOT. BLACK, TYP.
- 6 BLACK FIBERGLASS WINDOW, TYP.
- 7 "ADOBO" WOOD SIDING, WEATHERED TO GREY, TYP.
- 8 WOOD AND STEEL TRELLIS
- 9 CONCRETE
- 10 WOOD DECK
- 11 VERTICAL 2X2 WOOD SLATS



DATE OF ISSUANCE	08/28/2023
PLANNING SUBMISSION	08/28/2023
REVISION 1	10/18/2023
REVISION 2	12/12/2023



1 GRADING, DRAINAGE, AND UTILITIES PLAN
1/8" = 1'-0"

NOTE: GRADING AND FILL IS LESS THAN 12" AND THEREFORE DOES NOT CHANGE COUNTOUR LINES.

NOTE: UPON COMPLETEION OF WORK, CIVIL ENGINEER WILL CERTIFY TO THE COUNTY THAT ALL GRADING AND DRAINAGE IMPROVEMENTS WERE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND FIELD DIRECTION.

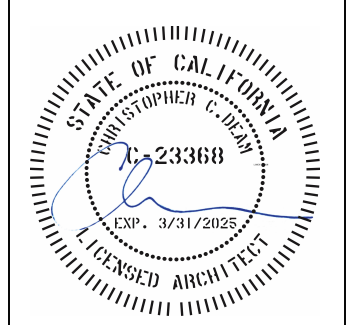
EXCAVATION FOR BASEMENT	+ 211 CU. YRDS
EXCAVATION FOR WATER TANKS	+ 40 CU. YRDS
EXCAVATION PIERS & GRADE BMS	+ 50 CU. YRDS.
TOTAL	+ 301 CU. YRDS
FILL @ GUEST COURTYARD	- 31 CU. YRDS
FILL @ COURTYARD/SIDE YARDS	- 30 CU. YRDS
SUB SLAB FILL	- 154 CU. YRDS
OFF-HAUL	+ 86 CU. YRDS

AREA OF DISTURBANCE = 7,765 SF

EASEMENT TO PRAE FOR A SINGLE LINE OF POLES AND WIRES FOLLOWING THE ROAD

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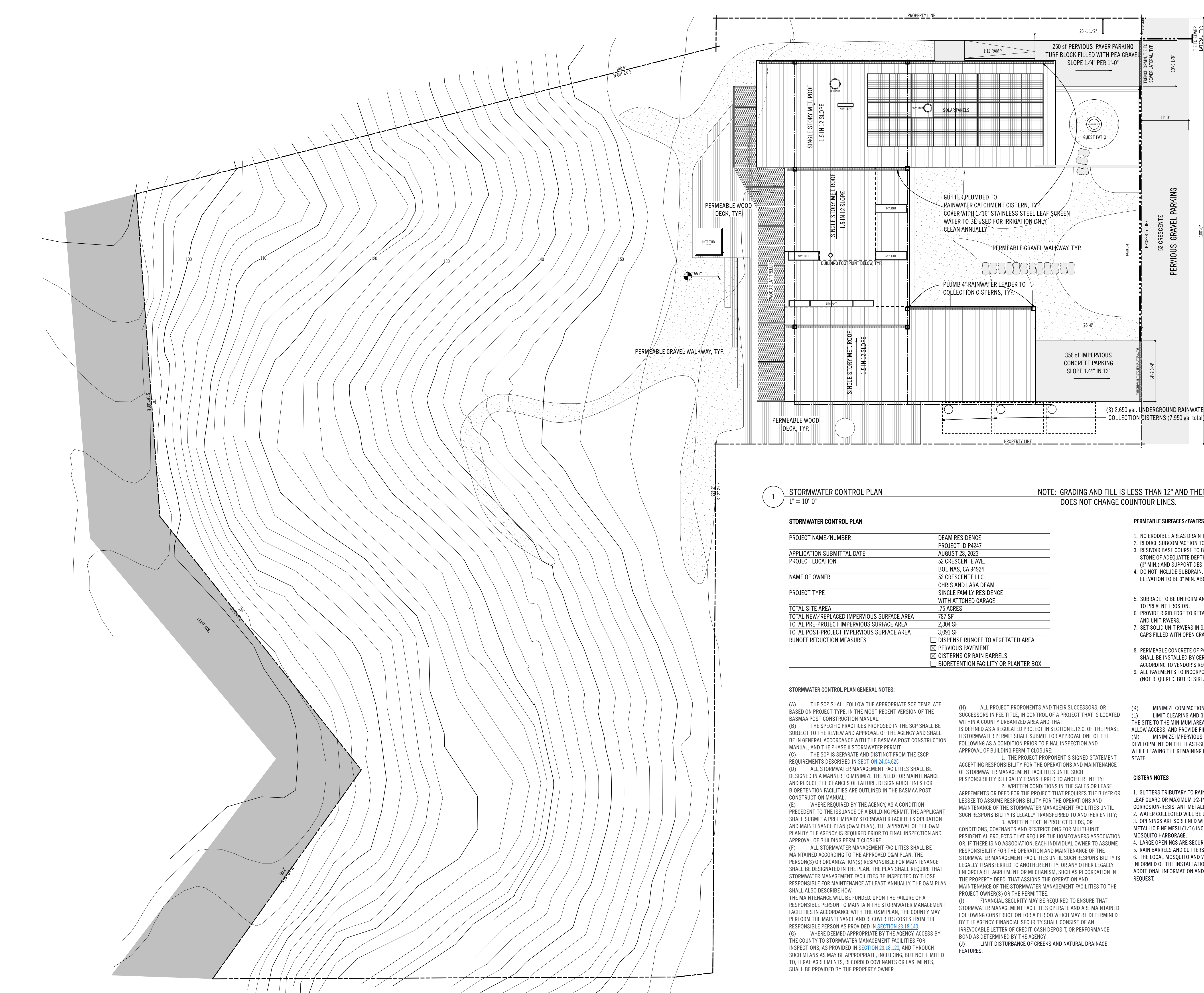
DEAM RESIDENCE
52 CRESCENTE AVE.
BOLINAS, CA



DATE OF ISSUANCE	
PLANNING SUBMISSION	08/28/2023
REVISION 1	10/18/2023
REVISION 2	12/12/2023

GRADING, DRAINAGE,
UTILITY PLAN

A5.0



1 STORMWATER CONTROL PLAN
1" = 10'-0"

NOTE: GRADING AND FILL IS LESS THAN 12" AND THEREFORE DOES NOT CHANGE COUNTOUR LINES.

STORMWATER CONTROL PLAN

PROJECT NAME/NUMBER	DEAM RESIDENCE PROJECT ID P4247
APPLICATION SUBMITTAL DATE	AUGUST 28, 2023
PROJECT LOCATION	52 CRESCENTE AVE. BOLINAS, CA 94924
NAME OF OWNER	52 CRESCENTE LLC CHRIS AND LARA DEAM
PROJECT TYPE	SINGLE FAMILY RESIDENCE WITH ATTCHED GARAGE
TOTAL SITE AREA	.75 ACRES
TOTAL NEW/REPLACED IMPERVIOUS SURFACE AREA	787 SF
TOTAL PRE-PROJECT IMPERVIOUS SURFACE AREA	2,304 SF
TOTAL POST-PROJECT IMPERVIOUS SURFACE AREA	3,091 SF
RUNOFF REDUCTION MEASURES	<input type="checkbox"/> DISPENSE RUNOFF TO VEGETATED AREA <input checked="" type="checkbox"/> PERVIOUS PAVEMENT <input checked="" type="checkbox"/> CISTERNS OR RAIN BARRELS <input type="checkbox"/> BIORETENTION FACILITY OR PLANTER BOX

STORMWATER CONTROL PLAN GENERAL NOTES:

- (A) THE SCP SHALL FOLLOW THE APPROPRIATE SCP TEMPLATE, BASED ON PROJECT TYPE, IN THE MOST RECENT VERSION OF THE BASMAA POST CONSTRUCTION MANUAL.
- (B) THE SPECIFIC PRACTICES PROPOSED IN THE SCP SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE AGENCY AND SHALL BE IN GENERAL ACCORDANCE WITH THE BASMAA POST CONSTRUCTION MANUAL, AND THE PHASE II STORMWATER PERMIT.
- (C) THE SCP IS SEPARATE AND DISTINCT FROM THE ESCP REQUIREMENTS DESCRIBED IN SECTION 24.04.625.
- (D) ALL STORMWATER MANAGEMENT FACILITIES SHALL BE DESIGNED IN A MANNER TO MINIMIZE THE NEED FOR MAINTENANCE AND REDUCE THE CHANCES OF FAILURE. DESIGN GUIDELINES FOR BIORETENTION FACILITIES ARE OUTLINED IN THE BASMAA POST CONSTRUCTION MANUAL.
- (E) WHERE REQUIRED BY THE AGENCY, AS A CONDITION PRECEDENT TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL SUBMIT A PRELIMINARY STORMWATER FACILITIES OPERATION AND MAINTENANCE PLAN (O&M PLAN). THE APPROVAL OF THE O&M PLAN BY THE AGENCY IS REQUIRED PRIOR TO FINAL INSPECTION AND APPROVAL OF BUILDING PERMIT CLOSURE.
- (F) ALL STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED ACCORDING TO THE APPROVED O&M PLAN. THE PERSON(S) OR ORGANIZATION(S) RESPONSIBLE FOR MAINTENANCE SHALL BE DESIGNATED IN THE PLAN. THE PLAN SHALL REQUIRE THAT STORMWATER MANAGEMENT FACILITIES BE INSPECTED BY THOSE RESPONSIBLE FOR MAINTENANCE AT LEAST ANNUALLY. THE O&M PLAN SHALL ALSO DESCRIBE HOW THE MAINTENANCE WILL BE FUNDED. UPON THE FAILURE OF A RESPONSIBLE PERSON TO MAINTAIN THE STORMWATER MANAGEMENT FACILITIES IN ACCORDANCE WITH THE O&M PLAN, THE COUNTY MAY PERFORM THE MAINTENANCE AND RECOVER ITS COSTS FROM THE RESPONSIBLE PERSON AS PROVIDED IN SECTION 23.18.140.
- (G) WHERE DEEMED APPROPRIATE BY THE AGENCY, ACCESS BY THE COUNTY TO STORMWATER MANAGEMENT FACILITIES FOR INSPECTIONS, AS PROVIDED IN SECTION 23.18.140, AND THROUGH SUCH MEANS AS MAY BE APPROPRIATE, INCLUDING, BUT NOT LIMITED TO, LEGAL AGREEMENTS, RECORDED COVENANTS OR EASEMENTS, SHALL BE PROVIDED BY THE PROPERTY OWNER.
- (H) ALL PROJECT PROPONENTS AND THEIR SUCCESSORS, OR SUCCESSORS IN FEE TITLE, IN CONTROL OF A PROJECT THAT IS LOCATED WITHIN A COUNTY URBANIZED AREA AND THAT IS DEFINED AS A REGULATED PROJECT IN SECTION E.12.C. OF THE PHASE II STORMWATER PERMIT SHALL SUBMIT FOR APPROVAL ONE OF THE FOLLOWING AS A CONDITION PRIOR TO FINAL INSPECTION AND APPROVAL OF BUILDING PERMIT CLOSURE:
 1. THE PROJECT PROPONENT'S SIGNED STATEMENT ACCEPTING RESPONSIBILITY FOR THE OPERATIONS AND MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES UNTIL SUCH RESPONSIBILITY IS LEGALLY TRANSFERRED TO ANOTHER ENTITY;
 2. WRITTEN CONDITIONS IN THE SALES OR LEASE AGREEMENTS OR DEED FOR THE PROJECT THAT REQUIRES THE BUYER OR LESSEE TO ASSUME RESPONSIBILITY FOR THE OPERATIONS AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES UNTIL SUCH RESPONSIBILITY IS LEGALLY TRANSFERRED TO ANOTHER ENTITY;
 3. WRITTEN TEXT IN PROJECT DEEDS, OR CONDITIONS, COVENANTS AND RESTRICTIONS FOR MULTI-UNIT RESIDENTIAL PROJECTS THAT REQUIRE THE HOMEOWNERS ASSOCIATION OR, IF THERE IS NO ASSOCIATION, EACH INDIVIDUAL OWNER TO ASSUME RESPONSIBILITY FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES UNTIL SUCH RESPONSIBILITY IS LEGALLY TRANSFERRED TO ANOTHER ENTITY; OR ANY OTHER LEGALLY ENFORCEABLE AGREEMENT OR MECHANISM, SUCH AS RECORDATION IN THE PROPERTY DEED, THAT ASSIGNS THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES TO THE PROJECT OWNER(S) OR THE PERMITTEE.
 - (I) FINANCIAL SECURITY MAY BE REQUIRED TO ENSURE THAT STORMWATER MANAGEMENT FACILITIES OPERATE AND ARE MAINTAINED FOLLOWING CONSTRUCTION FOR A PERIOD WHICH MAY BE DETERMINED BY THE AGENCY. FINANCIAL SECURITY SHALL CONSIST OF AN IRREVOCABLE LETTER OF CREDIT, CASH DEPOSIT, OR PERFORMANCE BOND AS DETERMINED BY THE AGENCY.
 - (J) LIMIT DISTURBANCE OF CREEKS AND NATURAL DRAINAGE FEATURES.
 - (K) MINIMIZE COMPACTION OF HIGHLY PERMEABLE SOILS.
 - (L) LIMIT CLEARING AND GRADING OF NATIVE VEGETATION AT THE SITE TO THE MINIMUM AREA NEEDED TO BUILD THE PROJECT, ALLOW ACCESS, AND PROVIDE FIRE PROTECTION.
 - (M) MINIMIZE IMPERVIOUS SURFACES BY CONCENTRATING DEVELOPMENT ON THE LEAST-SENSITIVE PORTIONS OF THE SITE, WHILE LEAVING THE REMAINING LAND IN A NATURAL UNDISTURBED STATE.

PERMEABLE SURFACES/PAVERS NOTES

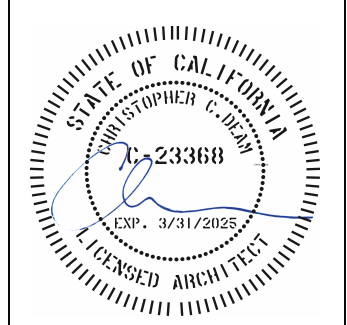
1. NO ERODIBLE AREAS DRAIN TO PERMEABLE SURFACES.
2. REDUCE SUBCOMPACTION TO MINIMUM REQUIRED.
3. RESINOIR BASE COURSE TO BE OPEN-GRADE CRUSHED STONE OF ADEQUATE DEPTH TO RETAIN RAINFALL (3" MIN.) AND SUPPORT DESIGN LOADS.
4. DO NOT INCLUDE SUBDRAIN, IF REQUIRED OUTLET ELEVATION TO BE 3" MIN. ABOVE BOTTOM BASE COURSE.
5. SUBRADE TO BE UNIFORM AND OF MINIMAL STEEPNESS TO PREVENT EROSION.
6. PROVIDE RIGID EDGE TO RETAIN GRANULAR PAVEMENTS AND UNIT PAVERS.
7. SET SOLID UNIT PAVERS IN SAND WITH 3/8" MINIMUM GAPS FILLED WITH OPEN GRADE AGREGATE FREE OF FINES.
8. PERMEABLE CONCRETE OF POROUS ASPHALT (IF USED), SHALL BE INSTALLED BY CERTIFIED PROFESSIONAL ACCORDING TO VENDOR'S RECOMMENDATIONS.
9. ALL PAVEMENTS TO INCORPORATE ADA REQUIREMENTS. (NOT REQUIRED, BUT DESIRABLE)

CISTERN NOTES

1. GUTTERS TRIBUTARY TO RAIN BARRELS MUST BE SCREENED WITH A LEAF GUARD OR MAXIMUM 1/2-INCH TO 1/4-INCH-MINIMUM CORROSION-RESISTANT METALLIC HARDWARE FABRIC.
2. WATER COLLECTED WILL BE USED FOR IRRIGATION ONLY.
3. OPENINGS ARE SCREENED WITH A CORROSION-RESISTANT METALLIC FINE MESH (1/16 INCH OR SMALLER) TO PREVENT MOSQUITO HARBORAGE.
4. LARGE OPENINGS ARE SECURED TO PREVENT ENTRY BY CHILDREN.
5. RAIN BARRELS AND GUTTERS ARE TO BE CLEANED ANNUALLY.
6. THE LOCAL MOSQUITO AND VECTOR CONTROL DISTRICT IS INFORMED OF THE INSTALLATION. THE DISTRICT WILL BE PROVIDED ADDITIONAL INFORMATION AND/OR RIGHTS OF ENTRY IF THEY REQUEST.

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52 CRESCENTE AVE.
BOLINAS, CA



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STORMWATER CONTROL PLAN

A5.1



VIEW FROM LIVING ROOM @ 50 CRESCENTE (TREES ON 50 CRESCENTE PROPERTY)



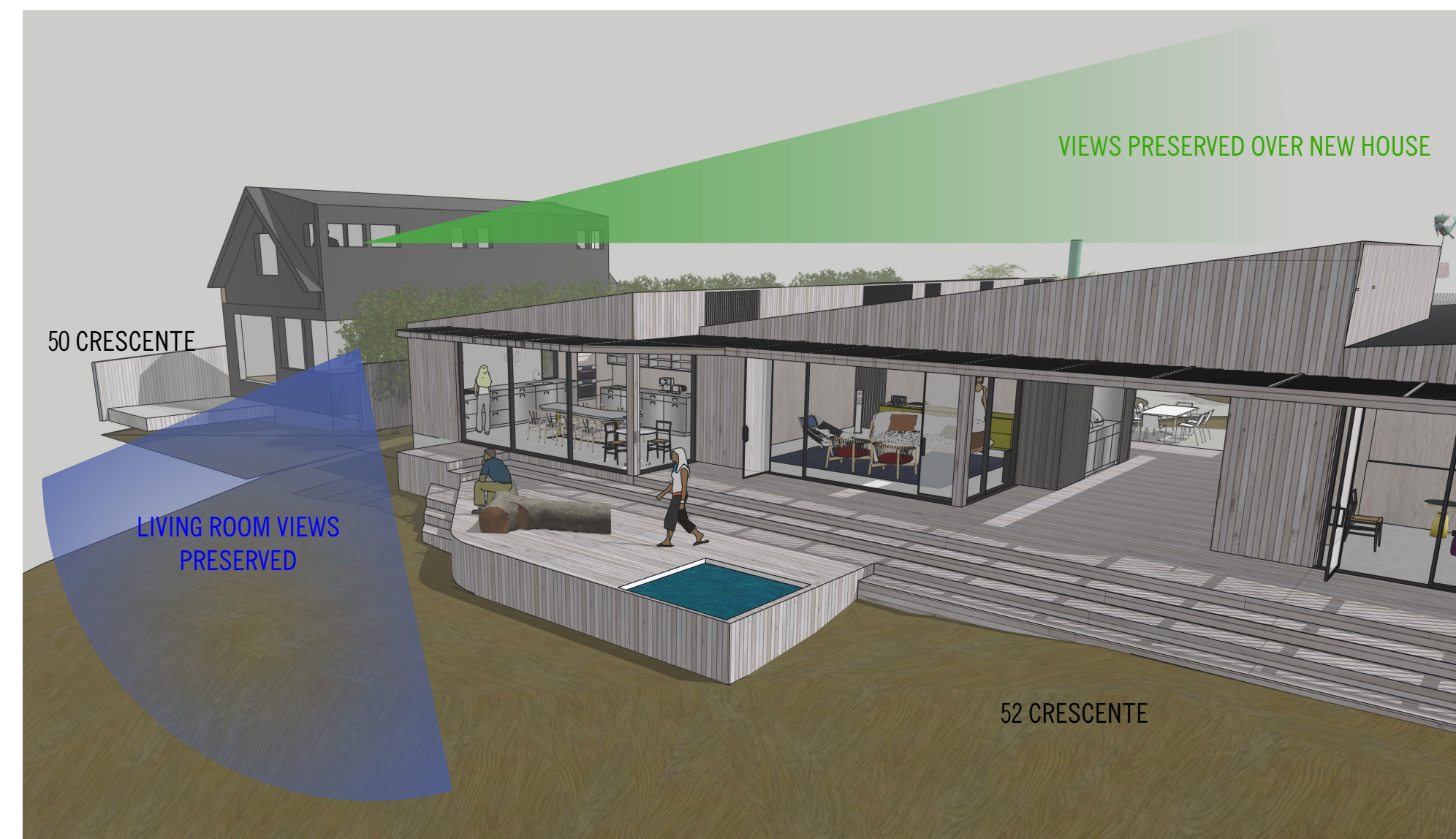
VIEW FROM KITCHEN @ 50 CRESCENTE (TREES ON 50 CRESCENTE PROPERTY)



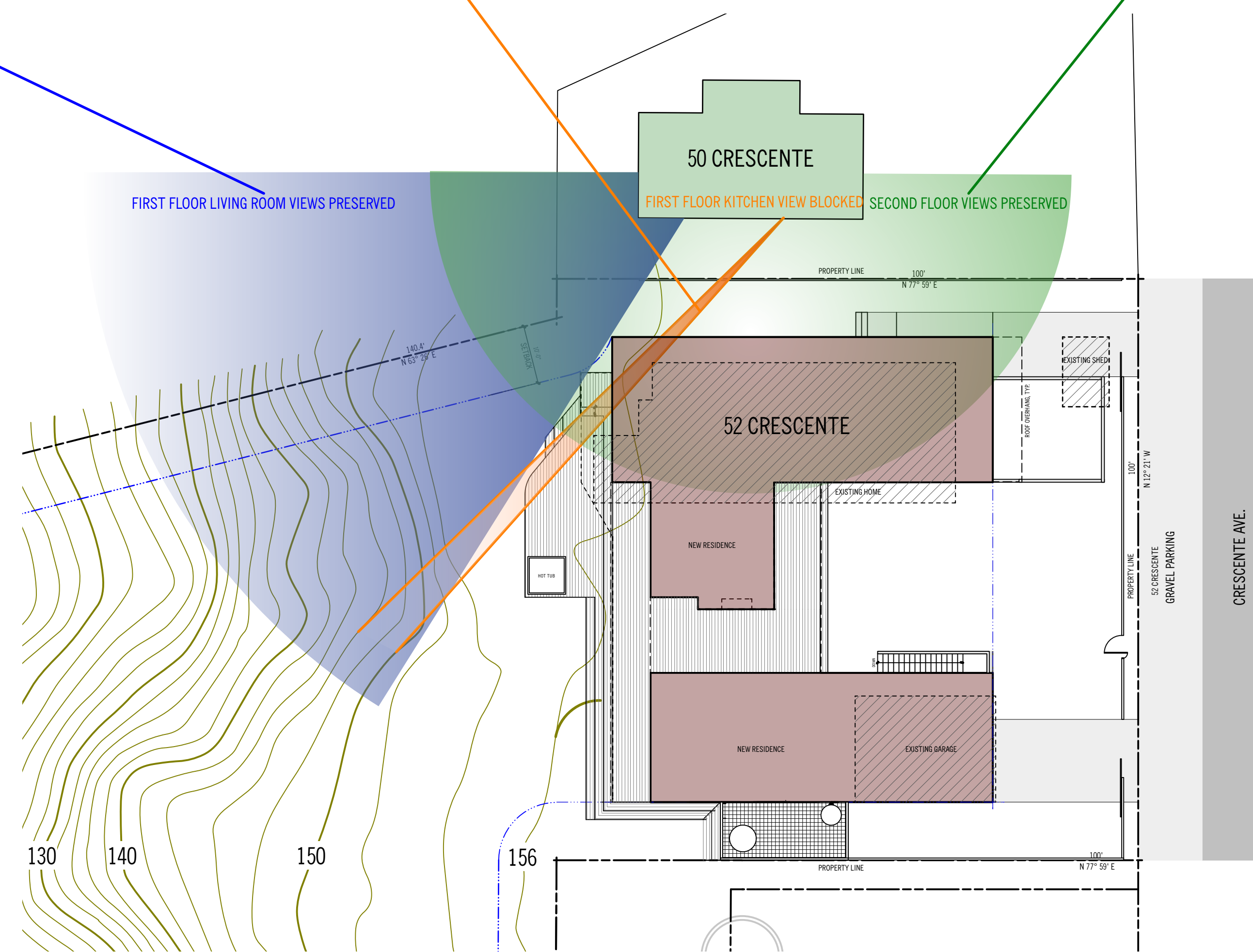
VIEW FROM 2ND FLOOR @ 50 CRESCENTE (TREES ON 50 CRESCENTE PROPERTY)



3 STREETSIDE VIEW DIAGRAM



2 REAR YARD VIEW DIAGRAM



1 VIEW DIAGRAM
1/16" = 1'-0"

DESIGN CONSIDERATIONS

The house is a low slung single story, and follows all setback, area, and height requirements. The character of Bolinas is respected with simple forms and massing, while using a minimal material palette of weathered wood siding and black aluminum roof and windows. Several thoughtful measures have also been taken to reduce the potential impact on the neighbors to the North (50 Crescente):

- * The building is expanded on a **single story** instead of adding a second story, which would block the neighbors 2nd story views of the ocean.
- * The **new structure is 1 1/2" lower** than the existing house.
- * The structure is a shed roof with the **lowest side adjacent to the neighbor** to not block sun exposure.
- * The neighbors living space and second story **views are preserved**. However, a small kitchen window view will be partially blocked.
- * The new structure is **further away from the rear property line**, improving the neighbor's views to the South from their backyard.
- * The new house is **further away from the crest line** of the sloping site
- * **Blockout shades** will be used on property line windows to eliminate night time glare.
- * The project will be built using **SIPS to speed construction** and lessen disturbances.
- * Car pooling and offloading to smaller trucks will reduce traffic and the number of vehicle trips.
- * The foundation design will attempt to minimize the amount of cut/off-haul and the number of concrete trucks.



4 REAR VIEW



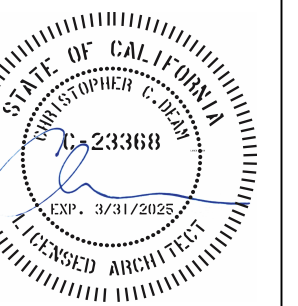
2 OVERVIEW



3 REAR VIEW



1 STREET VIEW



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REVISION 1
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RENDERINGS

A7.0

120V LED140 Landscape Step / Wall Light 3000K
ITEM NUMBER: WAC589607

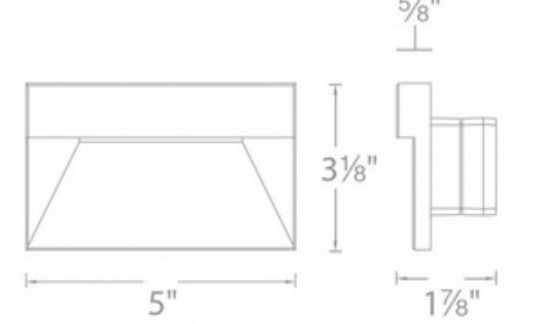
BRAND: WAC Lighting

DESCRIPTION: 120V LED140 Landscape Step / Wall Light is designed for safety and style on stairways, patios, decks, balconies, walkways and building perimeters. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night. Geometric design with downward illumination. Die Cast Aluminum construction with abrasion-resistant Black, White, or Bronze powder coat finish. Magnetized design for easy installation and maintenance. One 3.5 watt 120 volt LED module is included. Direct wiring, no remote driver needed. 5 inch width x 3.1 inch height x 0.6 inch depth. ETL listed. IP66 rated.



Shown in: Black

SHADE COLOR	N/A
BODY FINISH	Black
WATTAGE	3.5W
DIMMER	Low Voltage Electronic
DIMENSIONS	5"W x 3.1"H x 0.6"D
LED MODULE INCLUDED	1x LED(3.5W/120V) LED
LAMP	
Technical Information	
LUMINOUS FLUX	3 lumens
LUMENS/WATT	0.86
LAMP COLOR	3000 K
COLOR RENDERING	90 CRI



ITEM NUMBER: WAC589607

COMPANY: PROJECT: FIXTURE TYPE: APPROVED BY: DATE:

LIGHTOLOGY.COM | QUOTES@LIGHTOLOGY.COM Apr 10, 2023 | 1.866.954.4489

7 STEP LIGHT, BLACK



4 PERMEABLE PAVERS - STEPSTONE WHITE SAND




3 EXTERIOR DECKING - NATURAL WEATHERED IPE

Round Outdoor Path Light
ITEM NUMBER: WAC462274

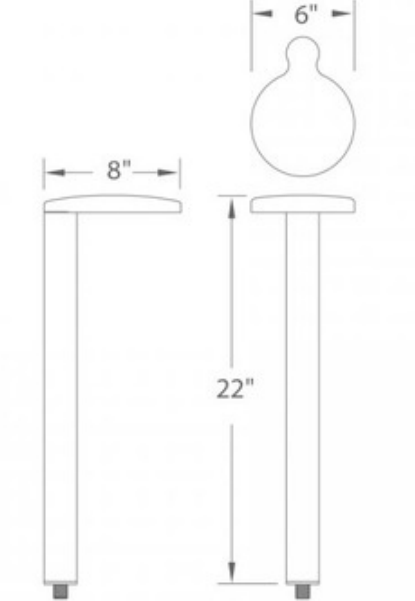
BRAND: WAC Lighting

DESCRIPTION: Round Outdoor Path Light features a Black or Bronze finish with a Warm White (2700K) or Pure White (3000K) color temperature. The sturdy side mount design works well in applications where directional illumination is desired. Translucent lens provides uniform light distribution. Includes mounting stake, 6 foot lead wire, and direct burial gel filled wire nuts. Maintains constant illumination against voltage drop. 9-15VAC; magnetic low-voltage transformer required. Integrated 2.9 watt 90CRI LED light source. 60,000 hour rated life. 6 inch head diameter x 22 inch height x 8 inch depth. UL listed for wet locations. IP66 rated; protected against powerful jets of water.



Shown in: Bronze

SHADE COLOR	N/A
BODY FINISH	Bronze
WATTAGE	2.9W
DIMMER	Low Voltage Magnetic
DIMENSIONS	8"L x 6"W x 22"H
LED MODULE INCLUDED	1x LED(2.9W/12V) LED
LAMP	
Technical Information	
LUMINOUS FLUX	125 lumens
LUMENS/WATT	43.3
LAMP COLOR	2700 K
COLOR RENDERING	90 CRI
BEAM SPREAD	Flood



ITEM NUMBER: WAC462274

COMPANY: PROJECT: FIXTURE TYPE: APPROVED BY: DATE:

LIGHTOLOGY.COM | QUOTES@LIGHTOLOGY.COM Apr 10, 2023 | 1.866.954.4489

6 PATH LIGHT, BLACK




2 WINDOWS - MARVIN MODERN COLLECTION, BLACK

Bowman Outdoor Wall Light
ITEM NUMBER: TLC345567

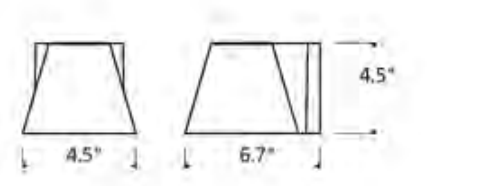
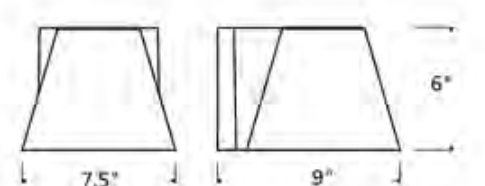
BRAND: Visual Comfort Modern

DESCRIPTION: The Bowman Outdoor Wall Light with its soft silhouette of classic table lamp shades is referenced and transformed into a sleek LED wall sconce fixture suitable for both indoor and outdoor applications. Body made of die-cast aluminum in a marine-grade powder coat finish. Houses a powerful LED light source for plentiful illumination on even the darkest of nights. Features a UV stabilized frosted acrylic lens which diffuses the LED light to create an even glow. Available in two sizes. Mounts down only. 5 year warranty. NOTE: Limited options available.



Shown in: White

SHADE COLOR	N/A
BODY FINISH	White
WATTAGE	17.8W
DIMMER	Low Voltage Electronic
DIMENSIONS	4.5"W x 4.5"H x 6.7"D
LED MODULE INCLUDED	1x LED(17.8W/120V) LED
LAMP	
Technical Information	
LUMINOUS FLUX	697 lumens
LUMENS/WATT	39.16
LAMP COLOR	3000 K
COLOR RENDERING	80 CRI

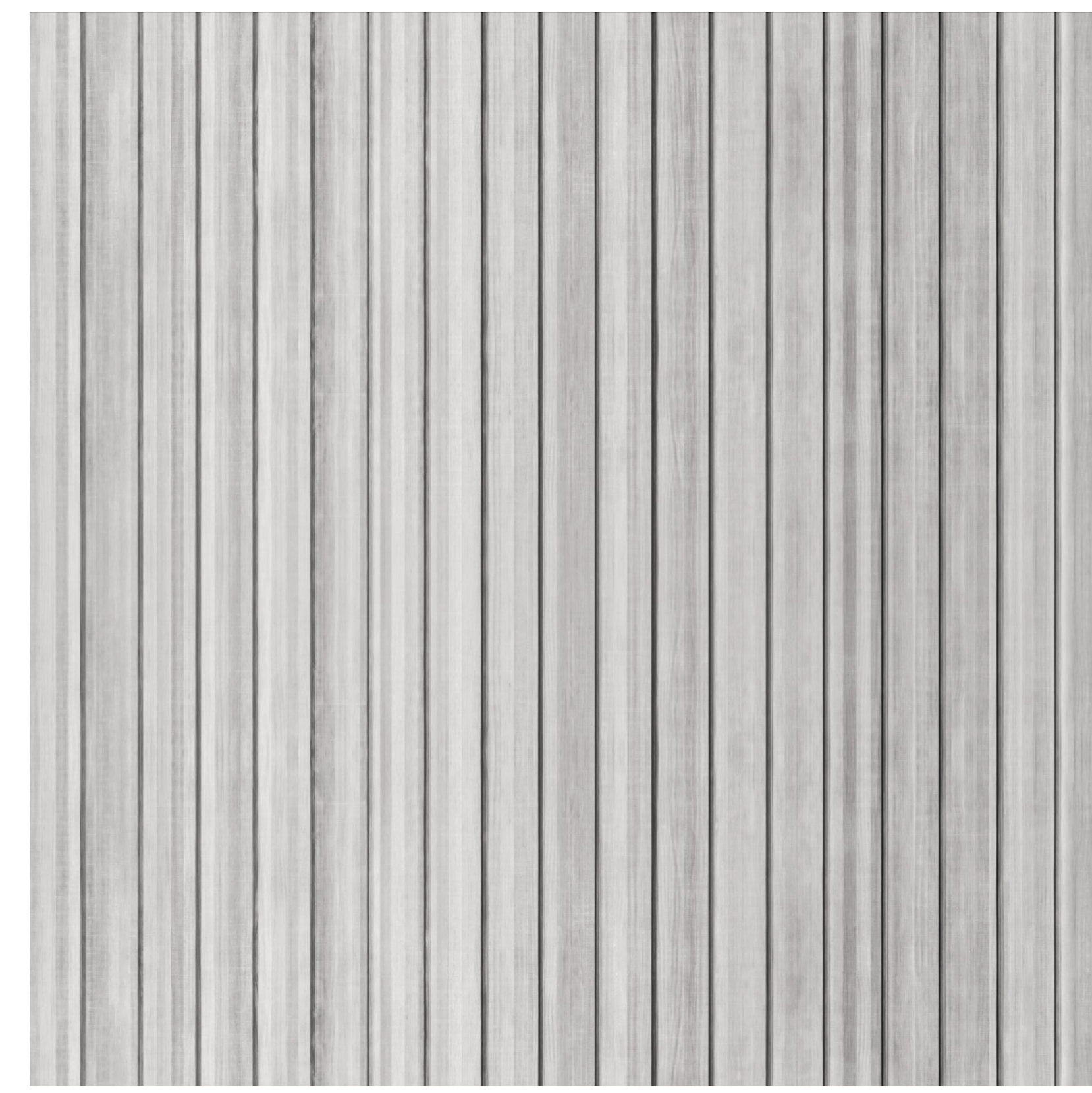



ITEM NUMBER: TLC345567

COMPANY: PROJECT: FIXTURE TYPE: APPROVED BY: DATE:

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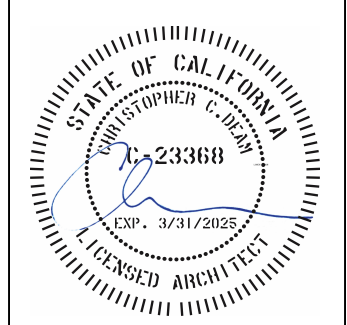
5 EXTERIOR DOWNLIGHT, BLACK



1 EXTERIOR SIDING - ADOBO RAINSCREEN WEATHERED TO GREY

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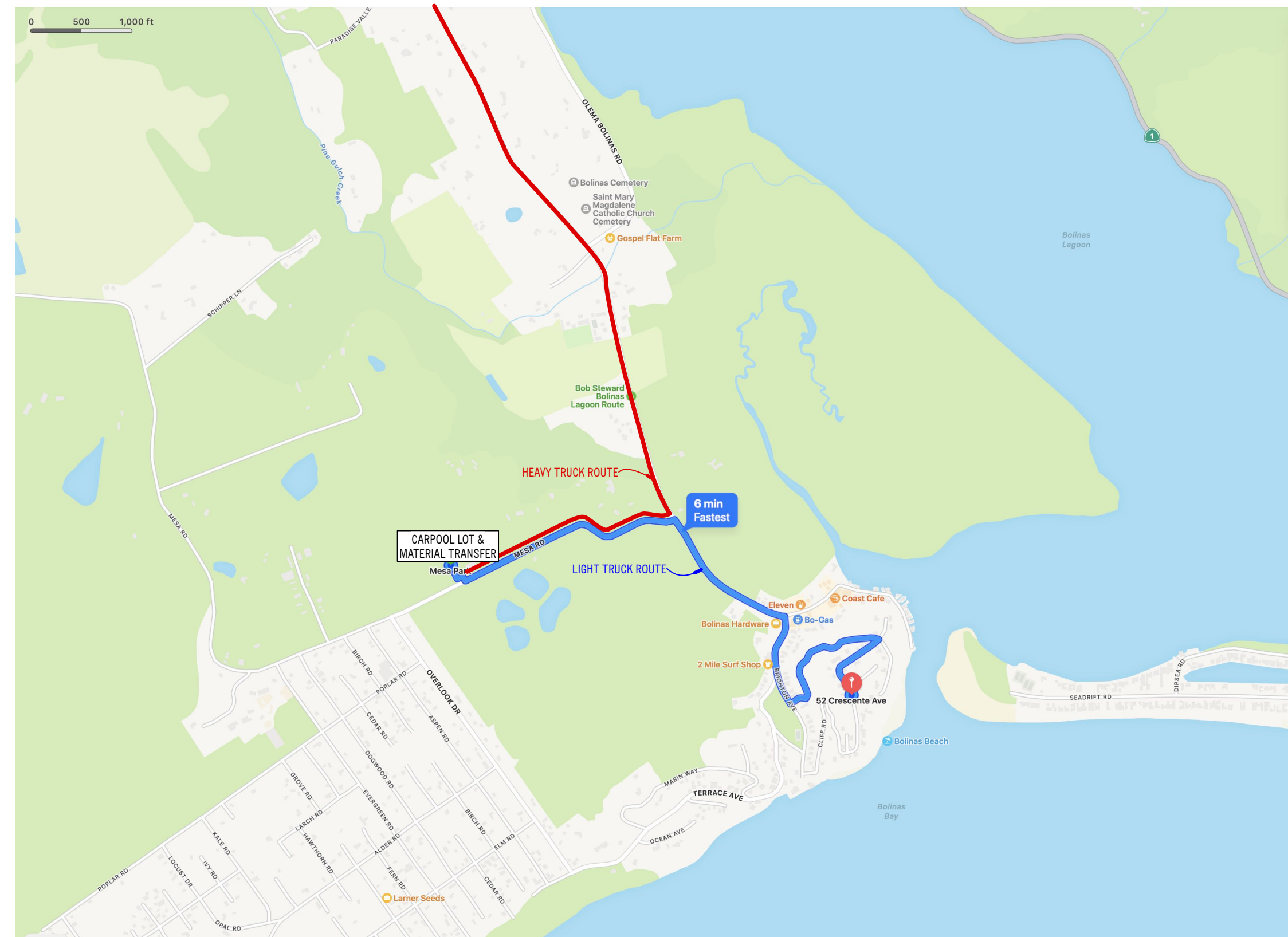


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MATERIAL PALETTE

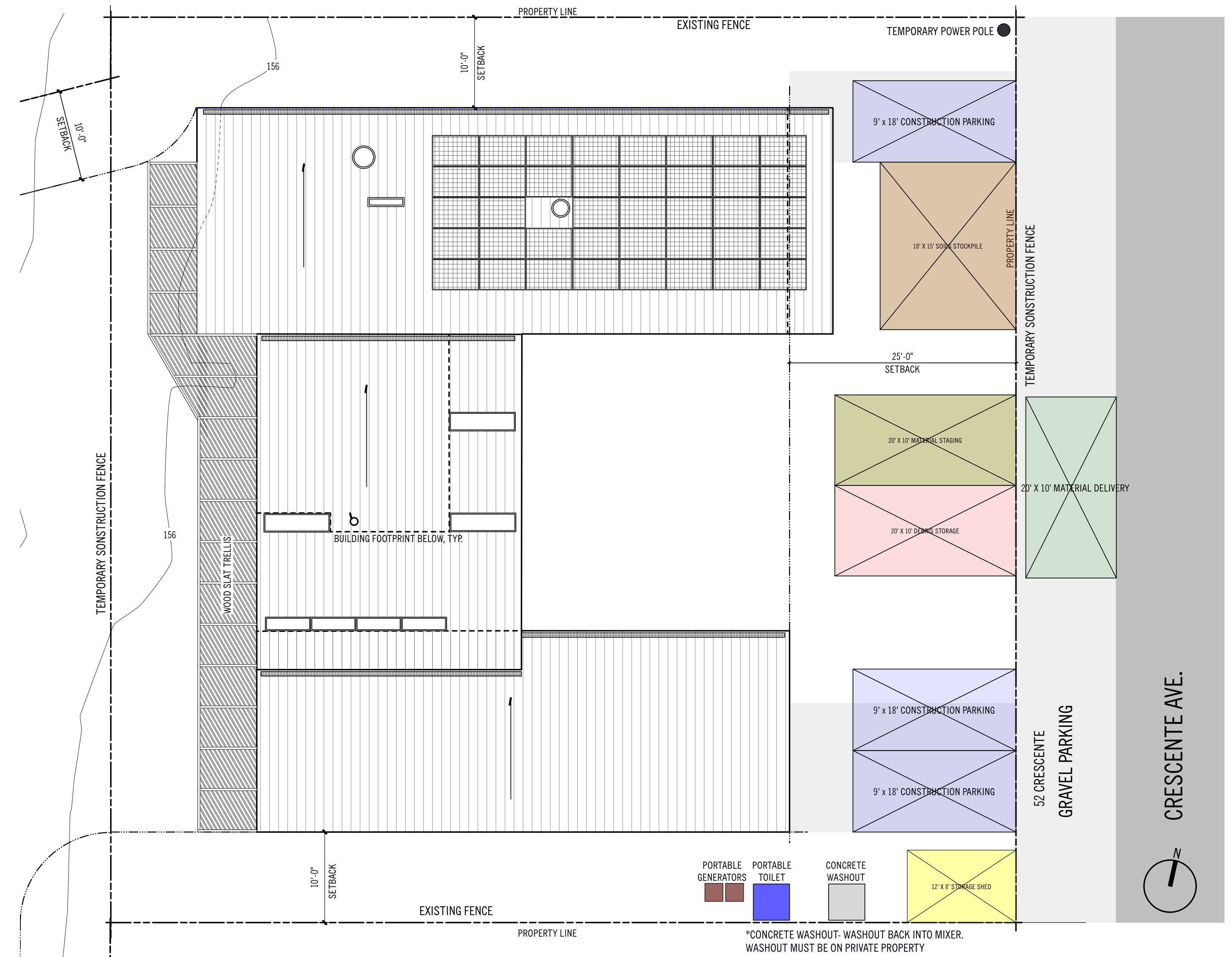
A8.0

TRUCK ROUTES



TREE PROTECTION MEASURES

- BEFORE THE START OF ANY CLEARING, EXCAVATION, CONSTRUCTION, OR OTHER WORK ON THE SITE, OR THE ISSUANCE OF A BUILDING OR DEMOLITION PERMIT, SUBJECT TREES NEAR PROPOSED WORK SHALL BE SECURELY FENCED-OFF AT THE NON-INTRUSION ZONE, OR OTHER LIMIT AS MAY BE DELINEATED IN APPROVED PLANS. SUCH FENCES SHALL REMAIN CONTINUOUSLY IN PLACE FOR THE DURATION OF THE WORK UNDERTAKEN IN CONNECTION WITH THE DEVELOPMENT. TREE PROTECTION SIGNAGE WILL BE HUNG ON ALL FENCES THAT INDICATE THE TREES ARE PROTECTED; PROJECT ARBORIST CONTACT INFORMATION WILL BE PROVIDED. TREE PROTECTION MEASURES FOR THE SUBJECT TREES WILL INCLUDE TRUNK ARMORING (STRAPPED 2" X 4" X 8' LUMBER) AND HIGH VISIBILITY ORANGE FENCING.
- STEEL PLATES WILL BE PLACED ON A 6" THICK LAYER OF MULCH TO SUPPORT HEAVY TRACKED OR WHEELED EQUIPMENT USED ONSITE FOR DEMOLITION AND OTHER SITE WORK. THESE PLATES WILL EXTEND FROM THE EDGE OF PAVEMENT ON ELDRIDGE AVENUE TO WORK LOCATION.
- IF THE PROPOSED DEVELOPMENT WILL ENCROACH UPON THE NON-INTRUSION ZONE OF A SUBJECT TREE, SPECIAL MEASURES SHALL BE APPLIED, AS APPROVED BY THE PROJECT ARBORIST, TO ALLOW THE ROOTS TO OBTAIN NECESSARY OXYGEN, WATER, AND NUTRIENTS. THE PROJECT ARBORIST SHALL BE ONSITE DURING ANY PROJECT GRADING ASSOCIATED WITH THE INSTALLATION OF THE FOUNDATION OR ANY EXCAVATION TO OCCUR WITHIN ANY DESIGNATED "NON-INTRUSION ZONE."
- UNDERGROUND TRENCHING SHALL AVOID THE MAJOR SUPPORT AND ABSORBING TREE ROOTS OF THE SUBJECT TREES. IF AVOIDANCE IS IMPRACTICAL, HAND EXCAVATION UNDERTAKEN UNDER THE SUPERVISION OF THE PROJECT ARBORIST IS REQUIRED. TRENCHES SHALL BE CONSOLIDATED AS MUCH AS POSSIBLE.
- COMPACTION OF THE SOIL WITHIN THE NON-INTRUSION ZONE OF THE SUBJECT TREES SHALL BE AVOIDED. USE OF BRIDGING/PROTECTIVE MATERIALS SUCH AS LAYERED MULCH, TRENCH PLATES, PLYWOOD OR RUBBER MATS IS ENCOURAGED WITHIN NON-INTRUSION ZONES.
- ANY EXCAVATION, CUTTING, OR FILLING OF THE EXISTING GROUND SURFACE WITHIN THE NON-INTRUSION ZONE SHALL BE MINIMIZED AND SUBJECT TO SUCH CONDITIONS AS THE PROJECT ARBORIST MAY IMPOSE.
- BURNING OR USE OF EQUIPMENT WITH AN OPEN FLAME NEAR OR WITHIN THE NON-INTRUSION ZONE SHALL BE AVOIDED. ALL BRUSH, EARTH, AND OTHER DEBRIS SHALL BE REMOVED IN A MANNER THAT PREVENTS INJURY TO THE SUBJECT TREES.
- OIL, GAS, PAINT, CEMENT, CHEMICALS, OR OTHER SUBSTANCES THAT MAY BE HARMFUL TO TREES SHALL NOT BE STORED OR DUMPED WITHIN THE NON-INTRUSION ZONE OF ANY SUBJECT TREE, OR AT ANY OTHER LOCATION ON THE SITE FROM WHICH SUCH SUBSTANCES MIGHT ENTER THE NON-INTRUSION ZONE OF A SUBJECT TREE.
- CONSTRUCTION MATERIALS SHALL NOT BE STORED WITHIN THE NON-INTRUSION ZONE OF A SUBJECT TREE. ON-SITE PARKING SHALL BE KEPT OUTSIDE NON-INTRUSION ZONES.



CONSTRUCTION MANAGEMENT NOTES

SITE PREPARATION
THE SITE IS VIRTUALLY FLAT WITH MINIMAL GRADE CHANGE. NO GRADING REQUIRED FOR WORKER PARKING, MATERIAL STORAGE, SPOILS PILE, ETC. A SECURE FENCE MUST BE ERECTED AND LOCKED AFTER WORKING HOURS.

ROAD PROTECTION
ALTURA AVE, CRESCENTE AVE, AND CLIFF ROAD ARE ALL FRAGILE PRIVATELY MAINTAINED ROADWAYS. AS SUCH, CARE MUST BE TAKEN NOT TO ERODE HILLSIDES AND ROADBED. HEAVY TRUCKS (CONCRETE) WILL BE LIMITED TO THE MINIMUM NUMBER OF TRIPS. ANY LARGE DELIVERY TRUCKS SUCH AS SEMI'S WILL OFFLOAD MATERIALS AND DELIVER TO THE SITE IN SMALLER, LIGHTER TRUCKS. WORKERS SHALL CARPOOL TO MINIMIZE TRAFFIC. ANY DAMAGE TO THE ROADWAYS IS THE CONTRACTORS RESPONSIBILITY TO REPAIR.

LANE CLOSURES
NO LANE CLOSURES ANTICIPATED, BUT IF REQUIRED PERMITS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS FOR LANE CLOSURES, (415) 499-6528. ROAD OR LANE CLOSURES REQUIRE POSTING SIGNS A MINIMUM OF 48 HOURS IN ADVANCE. COPIES OF THESE PERMITS MUST BE MAINTAINED AT THE JOB SITE FOR THE DURATION OF THE CLOSURE.

PARKING
PROJECT VEHICLES SHALL PARK ON THE PROJECT SITE AND CARPOOL FROM AN ACCEPTABLE PUBLIC LOT SUCH AS MESA PARK (IF PERMISSION IS GRANTED). ANY PROJECT-RELATED WORKERS, CONTRACTORS, OR SUBCONTRACTORS UNABLE TO PARK ON-SITE WILL CARPOOL IN AN ACCEPTABLE VEHICLE OR SHUTTLE TO THE SITE, PARKING OF PROJECT VEHICLES IN THE PUBLIC RIGHT OF WAY SHALL BE BY APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS. APPROVAL WILL BE GIVEN ONLY IF THE PROJECT DEMONSTRATES THAT NO ON-SITE PARKING IS FEASIBLE.

ENCROACHMENT PERMIT
CRESCENTE AVE IS NOT A COUNTY MAINTAINED ROAD. HOWEVER, AN ENCROACHMENT PERMIT FROM DPW MAY BE REQUIRED FOR WORK WITHIN THE ROAD RIGHT-OF-WAY, INCLUDING, BUT NOT LIMITED TO, UTILITY TRENCHING, INSTALLATION OF NEW UTILITY CONNECTIONS, MATERIAL STORAGE, STAGING AND MODIFICATIONS TO THE DRIVEWAY APRON, CURB AND GUTTER. THE SELECTED CONTRACTOR MUST COMPLETE ANY ENCROACHMENT PERMIT APPLICATION. THE CONTRACTOR MUST RECEIVE AN APPROVED ENCROACHMENT PERMIT PRIOR TO BEGINNING THE ENCROACHING WORK. THE APPLICATION FORM AND SUBMITTAL REQUIREMENTS ARE FOUND ON THE COUNTY WEBSITE: <https://publicworks.marincounty.or/encroachment-permits/>

MATERIAL RECYCLING
100% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IS TO BE RECYCLED OR SALVAGED THROUGH MARIN RESOURCE RECOVERY CENTER

DUST CONTROL
DUST REDUCTION CONSISTENT WITH THE BAY AIR QUALITY MANAGEMENT DISTRICT'S BASIC CONTROL MEASURES.

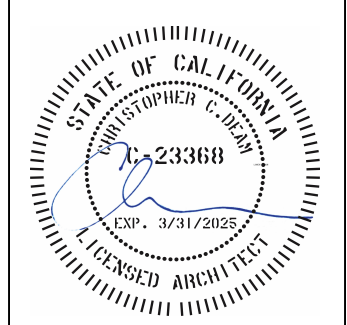
LAND DEVELOPMENT DEPARTMENT OF PUBLIC WORKS
JACKSON BAURE
3501 CIVIC CENTER DRIVE, SUITE 304
MILL VALLEY CA, 94941
(415) 473-7092

CONTRACTOR:
TBD
EMERGENCY CONTACT
TBD

CONSTRUCTION MANAGEMENT TIMELINE	MONTH 01 JUNE	MONTH 02 JULY	MONTH 03 AUGUST	MONTH 04 SEPTEMBER	MONTH 05 OCTOBER	MONTH 06 NOVEMBER	MONTH 07 DECEMBER	MONTH 08 JANUARY	MONTH 09 FEBRUARY	MONTH 10 MARCH	MONTH 11 APRIL	MONTH 12 MAY	MONTH 13 JUNE	MONTH 14 JULY
MOBILIZATION														
DEMOLITION														
ROUGH FRAMING														
ROUGH PLUMBING / ELECTRICAL														
CLOSE IN														
PAINT														
PUNCH LIST														

CHRISTOPHER C. DEAM, ARCHITECT
CA LIC# 23368
(415) 994-1829
CHRIS@CDEAM.COM
WWW.CDEAM.COM

DEAM RESIDENCE
52 CRESCENTE AVE.
BOLINAS, CA



DATE OF ISSUANCE
08/28/2023
REVISION 1
10/18/2023
REVISION 2
12/12/2023

CONSTRUCTION MGMT

A10.0

NOT FOR CONSTRUCTION

Cresente Residence

52 Cresente Ave.
Bolinas, CA, 94924

APN: 193-092-18
193-092-19
193-111-09

Issue set: Planning Application
Issue date: 04.20.23

Revisions:

REV.	DESCRIPTION	DATE
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Landscape / Revegetation Plan

Scale: 3/32" = 1'-0"
Drawn by: SG

L3.00

IRRIGATION NOTE:

All newly planted areas will receive supplemental drip irrigation during establishment. Irrigation will be reduced as necessary once plants are established.



PLANT LEGEND

Symbol	Quantity	Botanical Name	Common Name	Container Size	Native	Type of Irrigation	Height at Maturity
TREES							
		<i>Myrica californica</i>	Pacific Wax Myrtle	36" box	CA	Drip	10 - 30 ft.
		<i>Quercus agrifolia</i>	Coast Live Oak	24" box 36" box 48" box	CA	Drip	20 - 50 ft.
SHRUBS							
		<i>Laurus nobilis</i> (Existing)	Bay Laurel	15 gal	Non-Native	Drip	15 ft.
		<i>Laurus nobilis</i>	Bay Laurel	15 gal	Non-Native	Drip	15 ft.
		<i>Pittosporum tenuifolium</i>	Kohuhu	15 gal	Non-Native	Drip	10 ft.
GROUNDCOVERS							
	1,046 SQFT.	ZONE 1: CENTRAL COURTYARD					Drip
	1,113 SQFT.	ZONE 2: SIDE ACCENTS					Drip
	22,637 SQFT.	ZONE 3: LOWER SLOPE					Drip

TREE REMOVAL LEGEND:

- (E) TREE
- TREES TO BE REMOVED



PLANT LIST

Quantity	Botanical Name	Common Name	Container Size	Height at Maturity	Water Use	Native
ZONE 1 - CENTRAL COURTYARD						
GROUNDCOVERS + ACCENTS						
30%	Arctostaphylos 'Emerald Carpet'	Emerald Carpet Manzanita	5 gal	1'4"	Low	Bay Area
35%	Carex divulsa	European Grey Sedge	1 gal / 3 gal mix	1'6"	Low	Non-Native
5%	Chondropetalum elephantinum	Large Cape Rush	5 gal / 15 gal mix	6'0"	Low	Non-Native
15%	Dudleya hassei	Santa Catalina Live-forever	1 gal	6"	Low	CA
5%	Escholtzia maritima	Coastal Poppy	1 gal	1'6"	Low	Bay Area
10%	Fragaria 'Chaval'	Beach Strawberry	1 gal	4"	Low	Bay Area
ZONE 2 - SIDE ACCENTS						
SCREENING + SHRUBS						
5%	Heteromeles arbutifolia	Toyon	5 gal / 15 gal mix	10'0"	Low	CA
5%	Rhamnus 'Eve Case'	Eve Case Coffeeberry	5 gal / 15 gal mix	6'0"	Low	CA
5%	Rhamnus 'Leatherleaf'	Leatherleaf Coffeeberry	5 gal / 15 gal mix	6'0"	Low	CA
5%	Rhus integrifolia	Lemonade Berry	15 gal / 24" box mix	9'0"	Low	CA
GROUNDCOVERS						
15%	Achillea millefolium 'Powell's White'	Powell's White Yarrow	1 gal / 3 gal mix	3'0"	Low	CA
15%	Artemisia 'David's Choice'	Coastal Sagewart	3 gal / 5 gal mix	2'0"	Low	Bay Area
15%	Ceanothus 'Joyce Coulter'	Creeping Mountain Lilac	5 gal / 15 gal mix	3'0"	Low	CA
15%	Ceanothus 'Anchor Bay'	Anchor Bay Ceanothus	5 gal / 15 gal mix	1'6"	Low	CA
10%	Calamagrostis foliosa	Mendocino Reed Grass	3 gal	1'0"	Low	CA
10%	Festuca 'Stony Creek'	Stony Creek Idaho Fescue	3 gal	2'0"	Low	CA
ZONE 3 - LOWER SLOPE						
SCREENING + SHRUBS						
5%	Arctostaphylos 'Warren Roberts'	Warren Roberts Manzanita	5 gal	6'0"	Low	CA
5%	Heteromeles arbutifolia	Toyon	15 gal / 24" box mix	10'0"	Low	CA
5%	Rhamnus 'Eve Case'	Eve Case Coffeeberry	5 gal / 15 gal mix	6'0"	Low	Non-Native
5%	Rhamnus 'Leatherleaf'	Leatherleaf Coffeeberry	5 gal / 15 gal mix	6'0"	Low	CA
5%	Rhus integrifolia	Lemonade Berry	15 gal / 24" box mix	9'0"	Low	CA
GROUNDCOVERS						
10%	Arctostaphylos 'John Dourly'	John Dourly Manzanita	5 gal / 15 gal mix	3'0"	Low	CA
15%	Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita	5 gal / 15 gal mix	2'0"	Low	CA
10%	Bacharis 'Pigeon Point'	Dwarf Coyote Bush	5 gal	2'0"	Low	CA
10%	Calamagrostis nutkaensis	Pacific Reedgrass	3 gal	3'0"	Low	CA
10%	Ceanothus 'Concha'	Concha Ceanothus	5 gal / 15 gal mix	6'0"	Low	CA
10%	Ceanothus 'Yankee Point'	Yankee Point Ceanothus	5 gal / 15 gal mix	3'0"	Low	CA
10%	Polystichum munitum	Western Sword Fern	5 gal / 15 gal mix	3'0"	Low	CA

O / 831.655.1414
 F / 831.655.3462
 537 Houston Street
 Monterey, CA 93940
 GROUNDSTUDIO.COM

NOT FOR CONSTRUCTION

Cresente Residence

52 Cresente Ave.
 Bolinas, CA, 94924

APN: 193-092-18
 193-092-19
 193-111-09

Issue set: Planning Application
 Issue date: 04.20.23

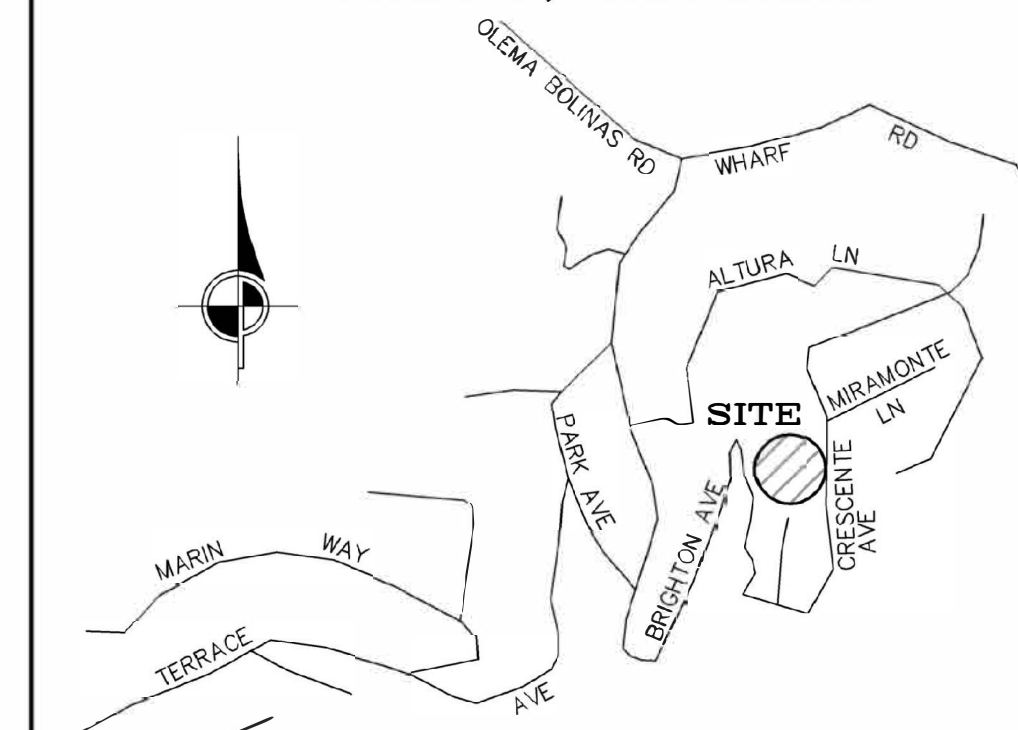
Revisions:

REV.	DESCRIPTION	DATE
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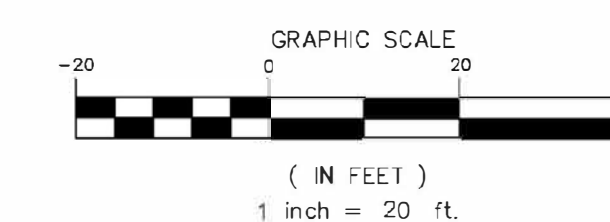
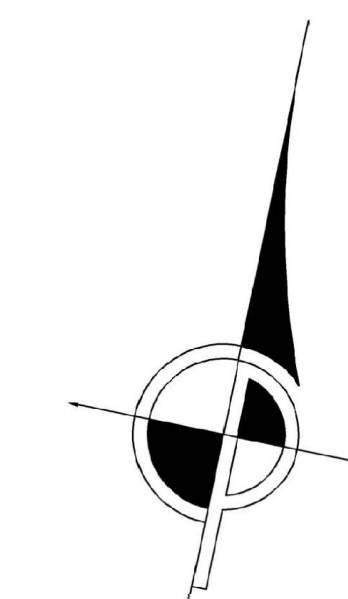
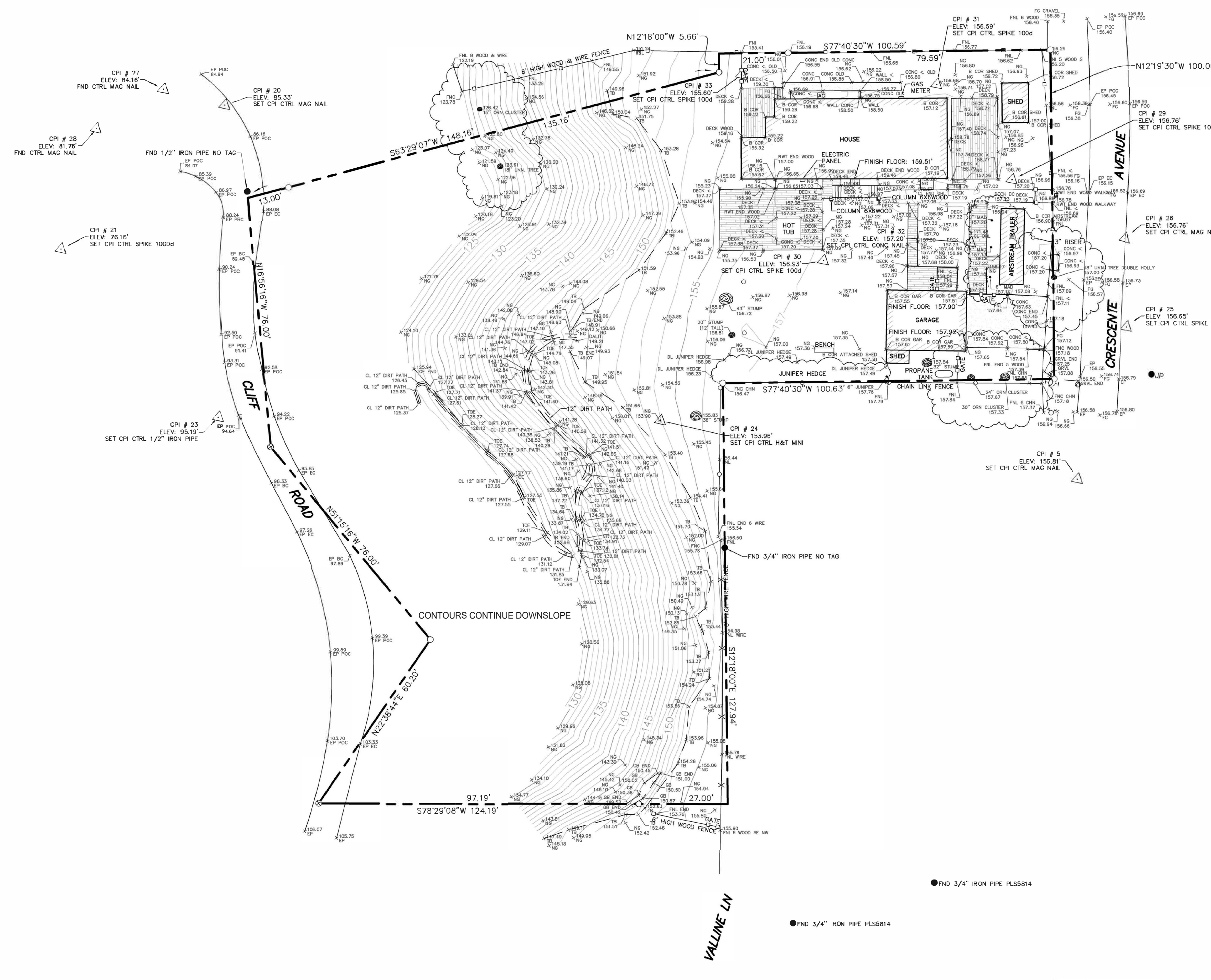
Landscape / Revegetation Plan

Scale: N/A
 Drawn by: SG

L3.01



LOCATION MAP (N.T.S)



BENCHMARK

CINQUINI & PASSARINO CONTROL POINT NO. 7, BEING A FOUND MAG NAIL & WASHER ALONG CRESCENTE AVENUE. ELEVATION = 156.54' (NAVD 88)

THE ORTHOMETRIC ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988) AND WERE DETERMINED BY STATIC GPS TIES TO CGPS STATIONS TIBB, P193 & P177 WITH PUBLISHED ELLIPSOIDAL HEIGHTS OF 67.481', 220.127') AND 237.246, RESPECTIVELY, IN ADDITION TO APPLYING THE NGS GEOID HEIGHT MODEL "GEOID2012B".

BASIS OF BEARINGS

BEING THE SAME AS SHOWN ON THAT RECORD OF SURVEY FILED IN BOOK 2020 OF MAPS AT PAGE 258, MARIN COUNTY RECORDS.

SURVEYOR'S STATEMENT

THIS MAP REPRESENTS A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION ON FEBRUARY 6, 2023 AND REPRESENTS THE VISUAL SURFACE CONDITIONS AS OF AFORESAID DATE.

Signature of Leslie Kirby, P.L.S. 9072. Date: 4/24/2023. Professional Land Surveyor seal for Leslie Kirby, P.L.S. 9072, State of California.

LEGEND (ALL SYMBOLS MAY NOT APPLY)

Table with 4 columns of symbols and their corresponding descriptions. Includes categories like Boundary, Utility, Overhead ELEC, Building Perimeter, and various types of lines and markers.

Job Name: 52 CRESCENTE AVENUE BOLINAS, CA. Description: TOPOGRAPHIC MAP. Includes fields for Drawn By, Checked By, Scale, Sheet, and Date. Logo for CINQUINI & PASSARINO, INC. LAND SURVEYING with website and phone information.