



PROJECT DIRECTORY

OWNER

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ARCHITECT

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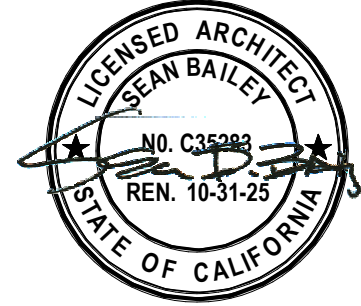
A.P.N. 033-071-42

30 SHELL ROAD

PLANNING RE-SUBMITTAL - FEBRUARY 22, 2024

Mill Valley, California 94941

SEAN
BAILEY
DESIGN



GENERAL NOTES

- The Contract Documents include the Working Drawings, Specifications, Addenda, Modifications and the Conditions of the Construction Contract.
- The Contract Documents are instruments of service and shall remain the property of the Architect whether the project for which they are prepared is executed or not. The Contract Documents are not to be used for other projects or extensions of the project nor are they to be modified in any manner whatsoever except by agreement in writing and with appropriate compensation to the Architect.
- The Contractor shall be responsible for checking Contract Documents, field conditions and dimensions for accuracy and confirming that the Work is as shown before proceeding with construction. Clarifications regarding any conflicts shall be achieved prior to related work being started.
- In the event of conflict between data shown on the Drawings and data shown in the Specifications, the Specifications shall govern. Dimensions noted on the Drawings shall take precedence over scaled dimensions. Detail drawings take precedence over drawings of smaller scale. Should the Contractor at any time discover an error in a Drawing or Specification, or a discrepancy or variation between Dimensions on Drawings and measure-ments at site, or lack of dimensions or other information, he shall report at once to the Architect for clarification and shall not proceed with the work affected until clarification has been made.
- Discrepancies between General, Plan or Sheet Notes shall be brought to Architect's attention for clarification and resolution. Occasional reference to one or more specific notes within the General, Plan or Sheet Notes shall not in any way diminish or eliminate the full force and effect of all other notes, neither in relation to one another or not specifically referenced.
- The Contractor is responsible for verifying the dimensions and elevations at the site. The Contractor and sub-contractors shall coordinate the layout and exact location of all partitioning, doors, electrical/telephone outlets, light switches and thermostats with the Architect in the field before proceeding with construction.
- Horizontal dimensions are from face of stud to face of stud, except as noted otherwise. Vertical dimensions are from top of floor slab or plywood, except where noted to be above finished floor (AFF). All dimensions marked "clear" shall be maintained and shall allow for thickness of all finishes. Dimensions are not adjustable without approval of Architect unless noted with "+/-".
- "Furnish" means supply only, for others to put in place. "Install" means supplied by others, to be installed by Contractor. "Provide" means furnish and install, complete and in place.
- "Typical" means identical for conditions noted. "Similar" means comparable characteristics for conditions noted. Contractor to verify dimensions and orientation.

Quality Assurance

- When authorized by the Owner, the Architect will be the designated agent for design of this project and will exercise sole authority for determining conformance of materials, equipment and systems with the intent of the design. Review and acceptance of all items proposed by the Contractor for incorporation into this work will be by the Architect. This function of the Architect will apply both to the Contract as initially signed, and to changes to the Contract by modification during progress of the Work.
- The Contractor is to exercise extreme care and caution during construction of the Work to minimize disturbances to adjacent structures and their occupants, property, public thorough-fares, etc. Contractor shall take precautions and be responsible for the safety of all bldg. occupants from construction procedures.
- The Contractor is responsible for and shall provide protection for any existing finishes to remain.
- Cut and fit components for alteration of existing work and installation of new work. Patch disturbed areas to match adjacent materials and finishes.
- All work shall be erected and installed plumb, level, square, and true and in proper alignment.
- The finished work shall be firm, well anchored, in true alignment, plumb, level, with smooth, clean, uniform appearance without waves, distortions, holes, marks, cracks, stains or discoloration. Jointings shall be close-fitting, neat and well-scribed. The finish work shall not have exposed, unsightly anchors or fasteners and shall not present hazardous, unsafe corners. All work shall have the provision for expansion, contraction and shrinkage as necessary to prevent cracks, buckling and warping due to temperature and humidity conditions.
- Coordinate and provide appropriate structural blocking/backing and reinforcing in partitions behind all wall mounted items.
- Attachments, connections or fastenings of any nature are to be properly and permanently secured in conformance with best practice and the Contractor is responsible for improving them accordingly to these conditions. The Drawings show only special conditions to assist the Contractor, they do not illustrate every such conditions and detail.
- References to makes, brands, models, etc. is to establish type and quality desired. Substitution of acceptable equals will not be permitted unless specifically noted otherwise or when made according to procedures for substitutions.
- Make all necessary provisions for items to be furnished or installed by Owner. Provide protection for these provisions until completion of the project. Contractor to coordinate N.I.C. items with appropriate trades.

Submittals

- Within five (5) days from contract date, Subcontractor is to prepare and submit and estimated progress schedule for the Work, with sub-schedules of related activities which may affect the progress of the Work.
- Subcontractor shall order and schedule delivery of materials in ample time to avoid delays in construction. If an item is found to be unavailable, Sub-contractor shall notify Architect immediately to allow Architect a reasonable amount of time to select a suitable substitute.
- Subcontractor shall provide manufacturer's specifications, installation instructions, shop drawings and samples for review and approval of all materials and methods to be used prior to ordering or proceeding with the Work. Submit Product Data, Shop Drawings and Samples for all trades as soon as possible to the Architect to guarantee progress of the Work.
- Subcontractor to follow manufacturer's recommended specifications and installation procedures. If these differ from the Contract Documents, Subcontractor shall notify Architect in writing immediately to resolve discrepancies prior to proceeding.
- If any time before commencement of Work, or during progress thereof, Subcontractor's methods, equipment or appliances are inefficient or inappropriate for securing quality of Work or rate of progress intended by the Contract Documents, Owner may order Subcontractor to improve their quality or increase their efficiency. This will not relieve Subcontractor or his sureties from their obligations to secure quality of work and rate of progress specified in Contract.

Standards

25. All work shall comply with applicable codes, amendments, rules, regulations, ordinances, laws, orders, approvals, etc. that are required by public authorities. In the event of conflict, the most stringent requirements shall comply. Requirements include, but are not limited to the current applicable editions or publications of the following (or as otherwise noted):

- A. 2022 CBC, CRC, CPC, CMC, CEC, and all local codes and ordinances
- B. 2022 CALGreen, 2022 California Fire Code
- C. National Fire Protection Association
- D. Title 24 Energy Compliance
- E. American National Standards Institute
- F. State of California Energy Regulations

26. Materials and workmanship specified by reference to number, symbol, title, or specification, such as commercial standards, federal specifications, trade association standard, or other similar standard, shall comply with require-ments in latest edition or revision thereof, and with any amendment or supplement thereto in effect on date of origin of this project's Contract Documents. Such standard, except as modified herein, shall have full force and effect as though printed in the Contract Documents. Abbreviations used in referring to standards that apply to the Work, include, but are not necessarily limited to, the following:

- A. American Society of Testing Materials (ASTM)
- B. American Institute of Steel Construction (AISC)
- C. American Welding Society (AWS)
- D. American Concrete Institute (ACI)
- E. American National Standards Institute (ANSI)
- F. Architectural Aluminum Manufacturer's Association (AAMA)
- G. Aluminum Association, Inc. (AA)
- H. Concrete Reinforcing Steel Institute (CRSI)
- I. National Association of Architectural Metal Manufacturers (NAAMM)
- J. National Fire Protection Association (NFPA)
- K. National Woodwork Manufacturer's Association (NWMA)
- L. Woodwork Institute of California (WIC)

27. Contractor shall waive "common practice" and "common usage" as construction criteria wherever details and Contract Documents or governing codes, ordinances, etc. require greater quantity or better quality than common practice or common usage would require.

28. Only new items of recent manufacture, of standard quality, free from defects, will be permitted on the new Work. Rejected items shall be removed immediately from the Work and replaced with items of the quality specified. Failure to remove rejected materials and equipment shall not relieve the Subcontractor from the responsibility for quality and character of items used nor from any other obligation imposed on him by the Contract.

29. Continuous inspection of welding in the shop and field shall be required during the time of welding. In addition, all complete penetration welds shall be ultrasonically tested by the laboratory, unless some other means of providing the compliance of the welds is designated by the Structural Engineer. Welds showing inclusions, porosity, lack of fusion, penetration or uneven contours (sagging or overlapping parent metal) beyond acceptable limits, as determined by the Welding Inspector, shall be ground out and re welded at no additional cost to the owner. Procedures and criteria for acceptance of welds shall be per AWS D1.1.

30. No work defective in construction or quality or deficient in any requirements of the Drawings and Specifications will be acceptable in consequence of Owner's or Architect's failure to discover or to point out defects or deficiencies during construction; nor will presence of inspectors on work site relieve Contractor from responsibility for securing quality and progress of Work as required by the Contract. Defective work revealed within time required by guarantees shall be replaced by work conforming with the intent of the Contract. No payment, whether partial or final, shall be construed as an acceptance of defective work or improper materials.

ABBREVIATIONS

ADJ. Adjustable	F.O.S. Face Of Stud	RESIL. Resilient
A.F.F. Above Finished Floor (Grade)	F.O.W. Face Of Wall	REQ'D. Required
B.O. Bottom Of	GA. Gauge	RM. Room
BD. Board	GALV. Galvanized	R.O. Rough Opening
BLKG. Blocking	GB Grab Bar	RWL Rain Water Leader (Overflow)
BM. Beam	GLB Glulam	SAM Self Adhesive Membrane
C.J. Control Joint	GSM. Galvanized Sheet Metal	S.S.D See Structural Drawings
C (C.L.) Center Line	GYP. BD. Gypsum Board	S.L.D See Landscape Drawings
CL.G. Ceiling	HB. Hose Bibb	SCHED. Schedule (Scheduled)
CLR. Clear	HR. Hour	SIM. Similar
COL. Column	HT. Height	ST.STL. Stainless Steel
CONC. Concrete	INS. Insulation	STL. Steel
CONST. Construction	INT. Interior	STD. Standard
CONT. Continuous	JB. J-Box	STRUCT. Structural
DBL. Double	JT. Joint	TB Towel Bar
DIA. Diameter	JT. Joint	T.B.D. To Be Determined
DIM. Dimension	MAX. Maximum	T.B.R. To Be Removed
DN. Down	MECH. Mechanical	THRU. Through
DS. Downspout	MFR. Manufacturer	T.O. Top Of
DTL. Detail	MIN. Minimum	T.O.P. Top of Parapet
DWG. Drawing	MTL. Metal	T.O.S. Top of Structure
EA. Each	N.I.C. Not In Contract	TPO Thermoplastic Polyolefin
EL. Elevation (Height)	N.T.S. Not To Scale	T.S. Tube Steel
ELEC. Electrical	(N) New	TYP. Typical
ELEV. Elevation (Drawing)	O.C. On Center	VER. Verify
EQ. Equal	OPP. Opposite	V.I.F. Verify In Field
EXT. Exterior	OPNG. Opening	W/ With
(E) Existing	O/ Over	WD. Wood
F.B.O. Furnished By Owner	P Property Line	WF Wood Finish
F.F. Finished Floor	PLY. Plywood	W.O. Where Occurs
FLR. Floor	PT. Point	WV Wood Veneer
FL Fluorescent	PTD. Painted	Unless Otherwise Noted
FIN. Finish (Finished)	R Radius	
F.O. Face Of	REF. Refer To (Reference)	
	RES. Resistant	

PROJECT DATA

PROJECT DESCRIPTION

Construction of a 6,385 SF two-story, single-family residence and 971 SF A.D.U. including structure and all relevant site and landscaping improvements at the property address of 30 Shell Road. Demolition and removal of existing 2,235 SF Single Family Residence and outbuildings on the site.

SITE INFO:

LOCATION:	30 SHELL RD., MILL VALLEY, CA 94941
A.P.N.:	033-071-42
ZONING:	RA-B2 (Residential Agriculture)
WILDLAND INTERFACE:	No
COMMUNITY PLAN:	RICHARDSON BAY
COMMUNITY:	ATLO
OCCUPANCY CLASSIFICATION:	R3
DESCRIPTION OF USE:	Single Family Residence
CONSTRUCTION TYPE:	Type VB
NUMBER OF STORIES:	2
SPRINKLERS:	Yes
SEISMIC DESIGN CATEGORY:	D
FEMA FLOOD ZONE:	NO
FIRE HAZARD ZONE:	N/A

AREA SUMMARY:

LOT AREA: 20,258 SF / 0.47 ACRES

PROPOSED BUILDING AREA (SEE A0.2): 7,356 SF (TOTAL)
 MAIN RESIDENCE+GARAGE: 6,385 SF
 ADU: 971 SF

PROPOSED FLOOR AREA (SEE A0.2): 6,816 SF (TOTAL)
 MAIN RESIDENCE: 5,845 SF
 ADU: 971 SF

PROPOSED FLOOR AREA RATIO (FAR): 0.29 (MAIN RESIDENCE)
 MAX ALLOWED FAR: 0.3 / 6,077 SF (0.3 x 20,258)
 ADD'L ADU SF ALLOWED (2 BR): +1,0000 SF*
 *NOT WITHSTANDING BASE FAR

AREA OF ADDITIONAL DISTURBANCE: SEE CIVIL

GRADING CALCULATIONS:

CUT: SEE CIVIL (C-0)
FILL: SEE CIVIL (C-0)
OFF HAUL: SEE CIVIL (C-0)

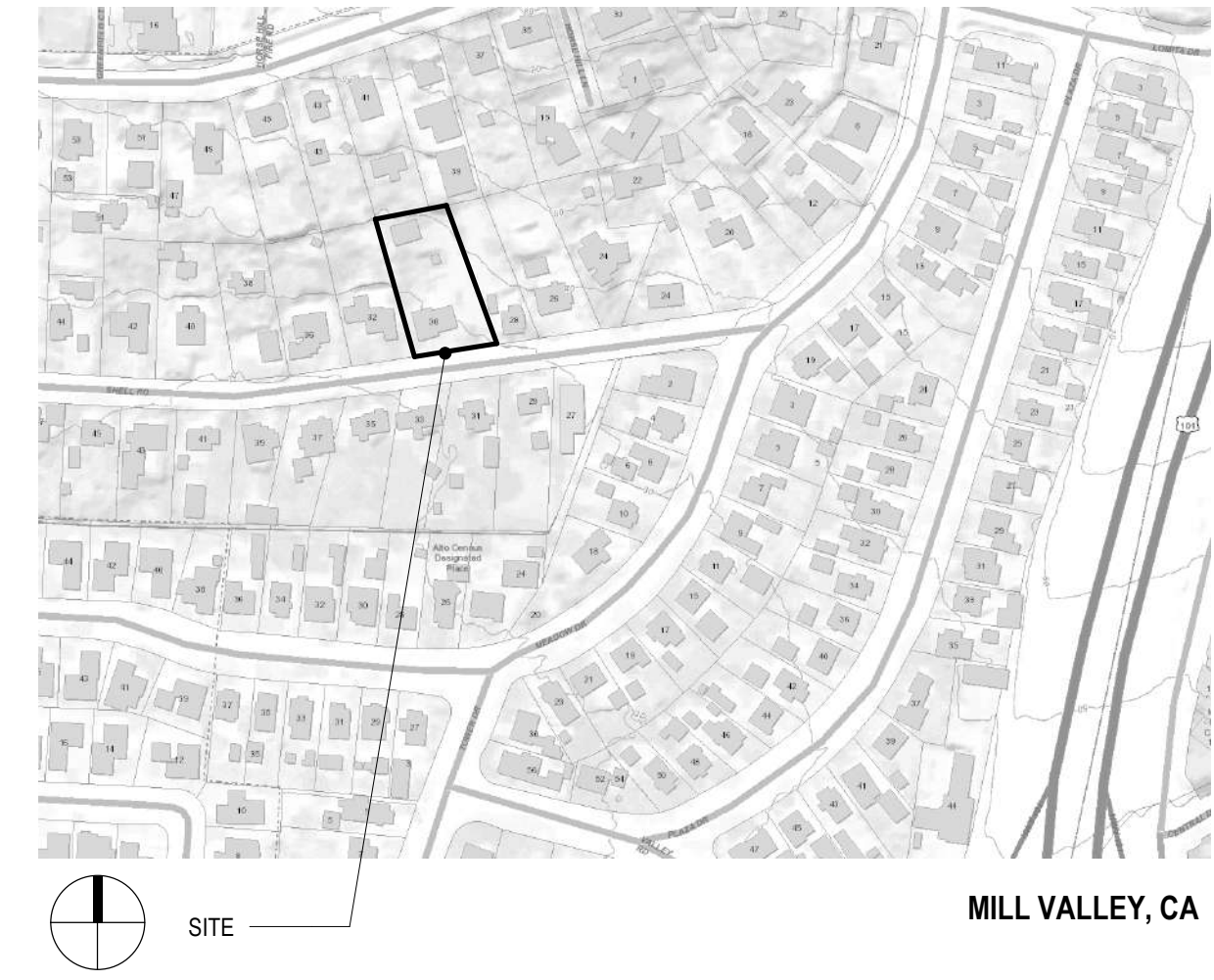
ON-SITE PARKING: 4 TOTAL SPACES
 (2 CAR GARAGE + 2 ADD'L SPACES)

SETBACKS AND HEIGHT:

PROPOSED SETBACKS: SEE FLOOR PLANS (A1.2)
 MIN. ALLOWED:
 SOUTH (FRONT SIDE): 25 FT
 WEST (SIDE): 10 FT (4 FT @ ADU)
 EAST (SIDE): 10 FT (4 FT @ ADU)
 NORTH (REAR): 25 FT (4 FT @ ADU)

PROPOSED BUILDING HEIGHT: 29 FT (SEE SECTIONS)
 MAX ALLOWED: 30 FT

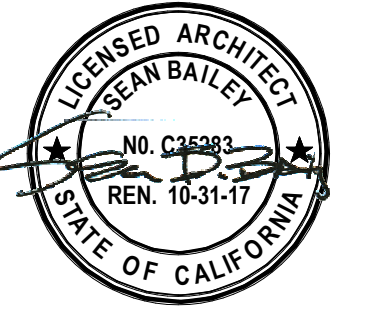
VICINITY MAP



SEAN BAILEY DESIGN

www.seanbaileydesign.com

260B Magnolia Avenue
 Larkspur, CA 94939
 Tel 303.564.6052



Felson Residence

30 Shell Dr. Mill Valley, CA

APN : 033-071-42

No.	Date	Issues + Revisions
1	12.20.2023	PLANNING SUBMISSION
2	02.22.2024	PLANNING RE-SUBMISSION

PROJECT INFORMATION

Ref. North Sheet Name

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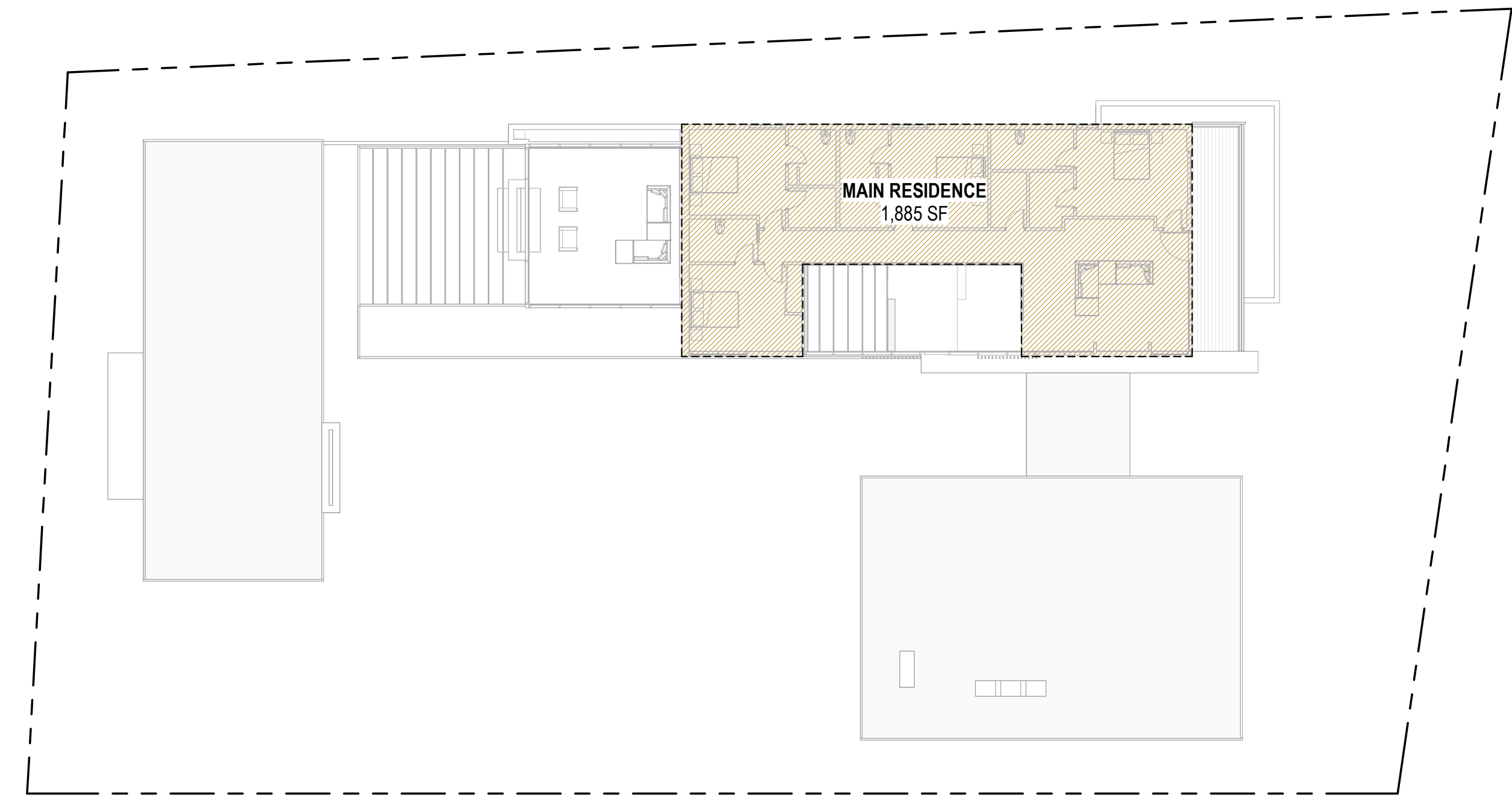
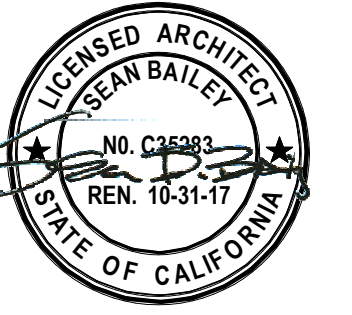
December 20, 2023

Date

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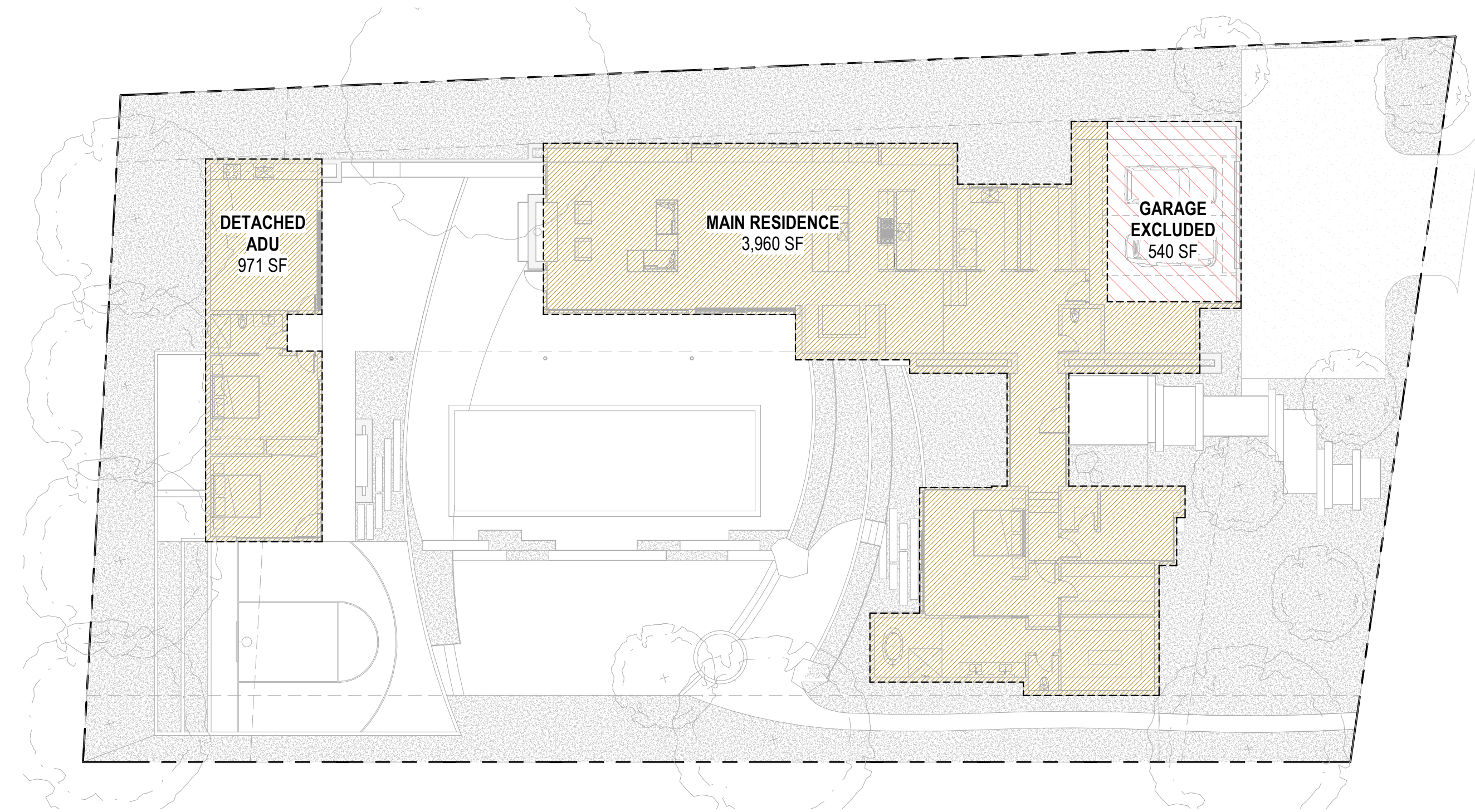
Project Number

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2 floor area - level 2

Scale: 1/16" = 1'-0"



1 floor area - main level

Scale: 1/16" = 1'-0"

**Felson
Residence**
30 Shell Dr. Mill Valley,
CA

APN : 033-071-42

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1	12.20.2023	PLANNING SUBMISSION
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sheet notes

legend

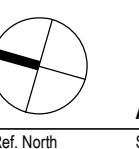
- CONDITIONED BUILT AREA**
COUNTS TOWARDS 'FLOOR AREA'
COUNTS TOWARDS 'BUILDING AREA'
- CONDITIONED GARAGE BUILT AREA**
EXCLUDED FROM 'FLOOR AREA'
COUNTS TOWARDS 'BUILDING AREA'

general notes

floor area calculations

AREA SUMMARY:

LOT AREA:	20,258 SF / 0.47 ACRES
PROPOSED BUILDING AREA (SEE A0.2):	7,356 SF (TOTAL)
MAIN RESIDENCE+GARAGE:	6,385 SF
ADU:	971 SF
PROPOSED FLOOR AREA (SEE A0.2):	6,816 SF (TOTAL)
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PROPOSED FLOOR AREA RATIO (FAR):	0.29 (MAIN RESIDENCE)
MAX ALLOWED FAR:	0.3 / 6,077 SF (0.3 x 20,258)
ADD'L. ADU SF ALLOWED (2 BR):	+1,000 SF*
*NOT WITHSTANDING BASE FAR	



AREA PLANS
Ref. North Sheet Name

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Date

A0.2

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ABBREVIATIONS

AC	ASPHALT CONCRETE	HB	HOSE BIB
APN	ASSESSOR'S PARCEL NUMBER	INV	BOTTOM INSIDE OF PIPE
DS	RAINWATER DOWN SPOUT	MB	MAILBOX
DW	DRIVEWAY	PVC	POLYVINYL CHLORIDE
ELEV	ELEVATION	SD	STORM DRAIN
EM	ELECTRIC METER	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT	TC	TOP FACE OF CURB
FF	FINISHED FLOOR	TG	TOP OF GRATE
GI	GRATE INLET	WM	WATER METER
GM	GAS METER		

SYMBOLS & LEGEND

EXISTING

(Symbol)	BENCHMARK
(Symbol)	FOUND 5/8-INCH PIN, BENT
(Symbol)	FOUND 3/4-INCH IRON PIPE, TAGGED "LS 6649"
(Symbol)	GUY ANCHOR
(Symbol)	UTILITY POLE
(Symbol)	TREE
(Symbol)	TREE CLUSTER
(Symbol)	SANITARY SEWER MANHOLE
(Symbol)	PROPERTY LINE
(Symbol)	CENTER LINE
(Symbol)	FENCE
(Symbol)	STORM DRAIN
(Symbol)	SANITARY SEWER
(Symbol)	OVERHEAD UTILITY LINE
(Symbol)	CONCRETE
(Symbol)	BRICK

TOPOGRAPHIC NOTES

UNAUTHORIZED CHANGES & USES: THE PROFESSIONAL PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. CHANGES TO THIS MAP MUST BE REQUESTED IN WRITING AND MUST BE APPROVED BY THE PROFESSIONAL.

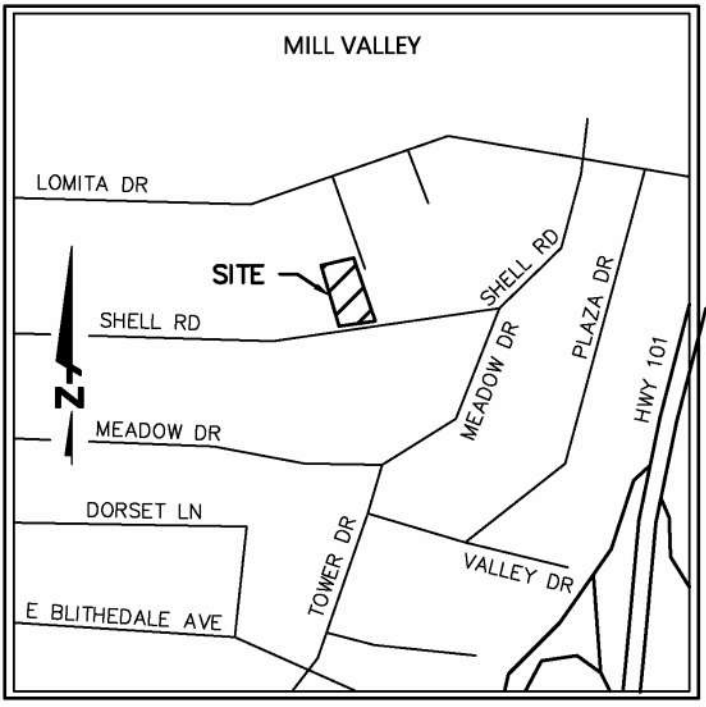
TREE DIAMETERS ARE MEASURED AT CHEST HEIGHT (48"). DRILINE DIAMETERS AND TREE SPECIES ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

BOUNDARY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE RECORD OF SURVEY OF THE LANDS OF FAUBEL, FILED IN BOOK 2001 OF MAPS, AT PAGE 149, MARIN COUNTY RECORDS.

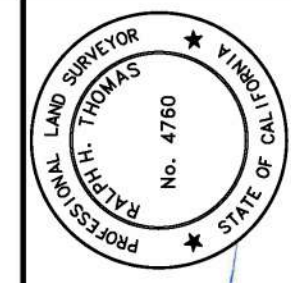
BASIS OF BEARINGS: RECORD OF SURVEY OF THE LANDS OF FAUBEL, FILED IN BOOK 2001 OF MAPS, AT PAGE 149, MARIN COUNTY RECORDS.

BENCHMARK: FOUND MAG NAIL AND WASHER IN ASPHALT CONCRETE IN SHELL ROAD, LOCATION SHOWN HEREON. ELEV: 23.01 (DATUM NAVD88 BY GPS OBSERVATION)

FIELD SURVEY DATE: 07/18/2023



VICINITY MAP
NOT TO SCALE

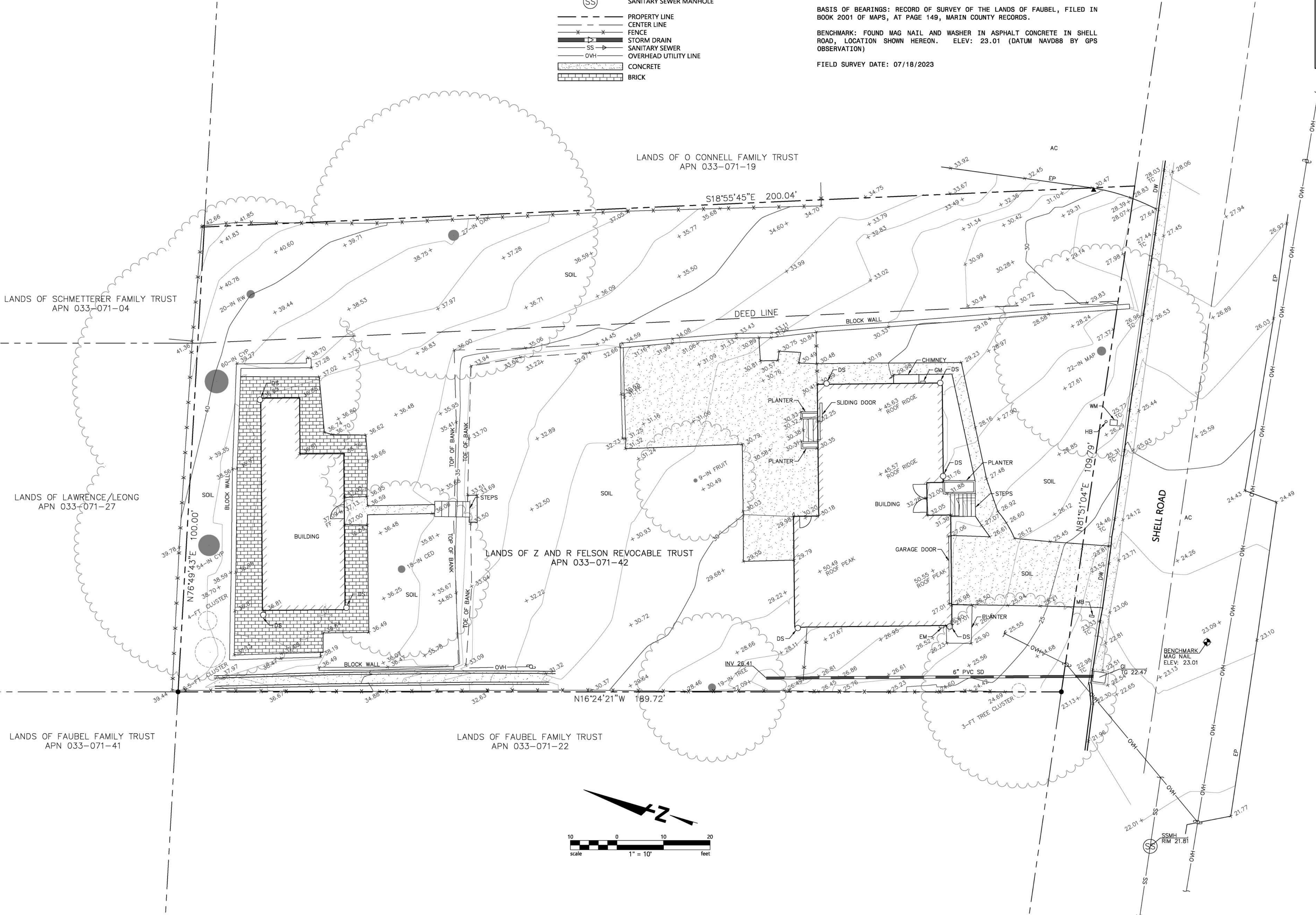


7/18/2023
Ralph H. Thomas
RALPH H. THOMAS
PLS 4760



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30 SHELL ROAD
APN 033-071-42
MILL VALLEY, CALIFORNIA
TOPOGRAPHIC MAP



No.	Date	Issues / Revisions
1	12.20.2023	PLANNING SUBMISSION
2	02.22.2024	PLANNING RE-SUBMISSION

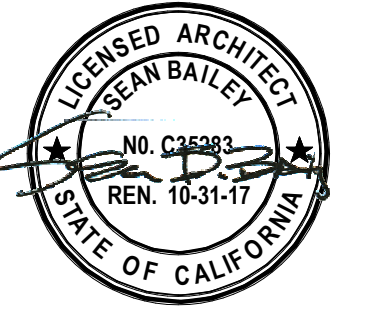
Felson Residence
30 Shell Dr. Mill Valley, CA
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SITE SURVEY
Ref North Sheet Name

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December 20, 2023
Date

A1.0

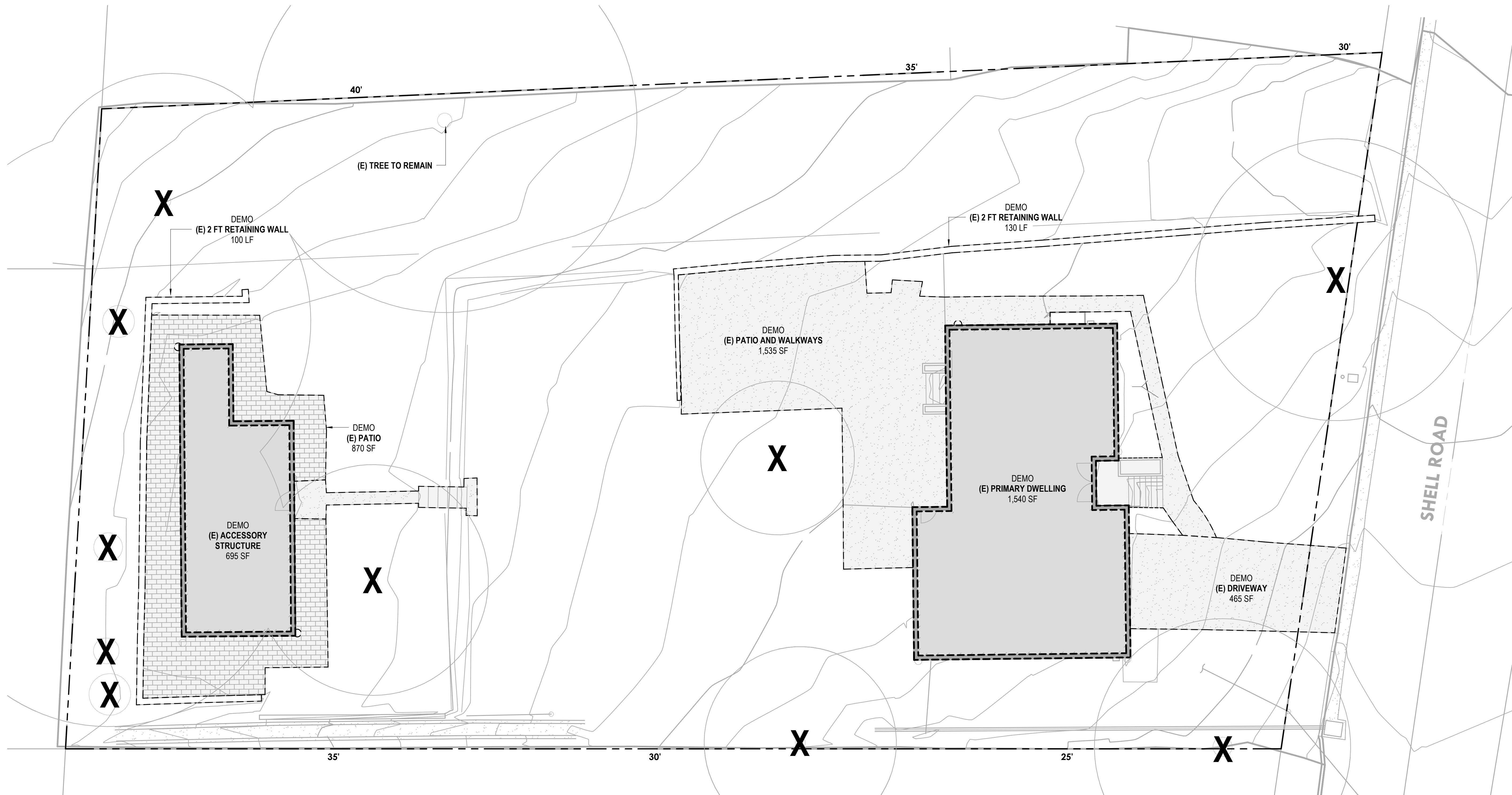
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Scale: AS SHOWN	No.
Design: N/A	
Drawing: IT	
Approved: RHT	
Job No: 20231132	
Drawing Number:	
1 OF 1	



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Residence**
30 Shell Dr. Mill Valley, CA

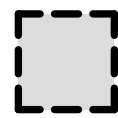

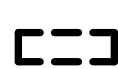

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1 existing site & demo plan

sheet notes

- legend
-  (E) STRUCTURE
 -  (E) BUILDING WALL TO BE DEMOLISHED
 -  (E) SITE WALL TO BE DEMOLISHED
 -  (E) TREE TO BE REMOVED

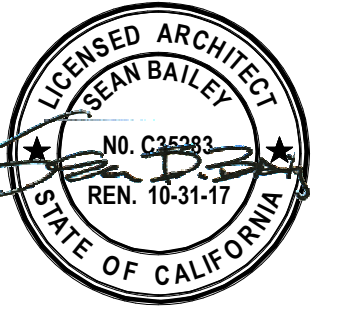
general notes



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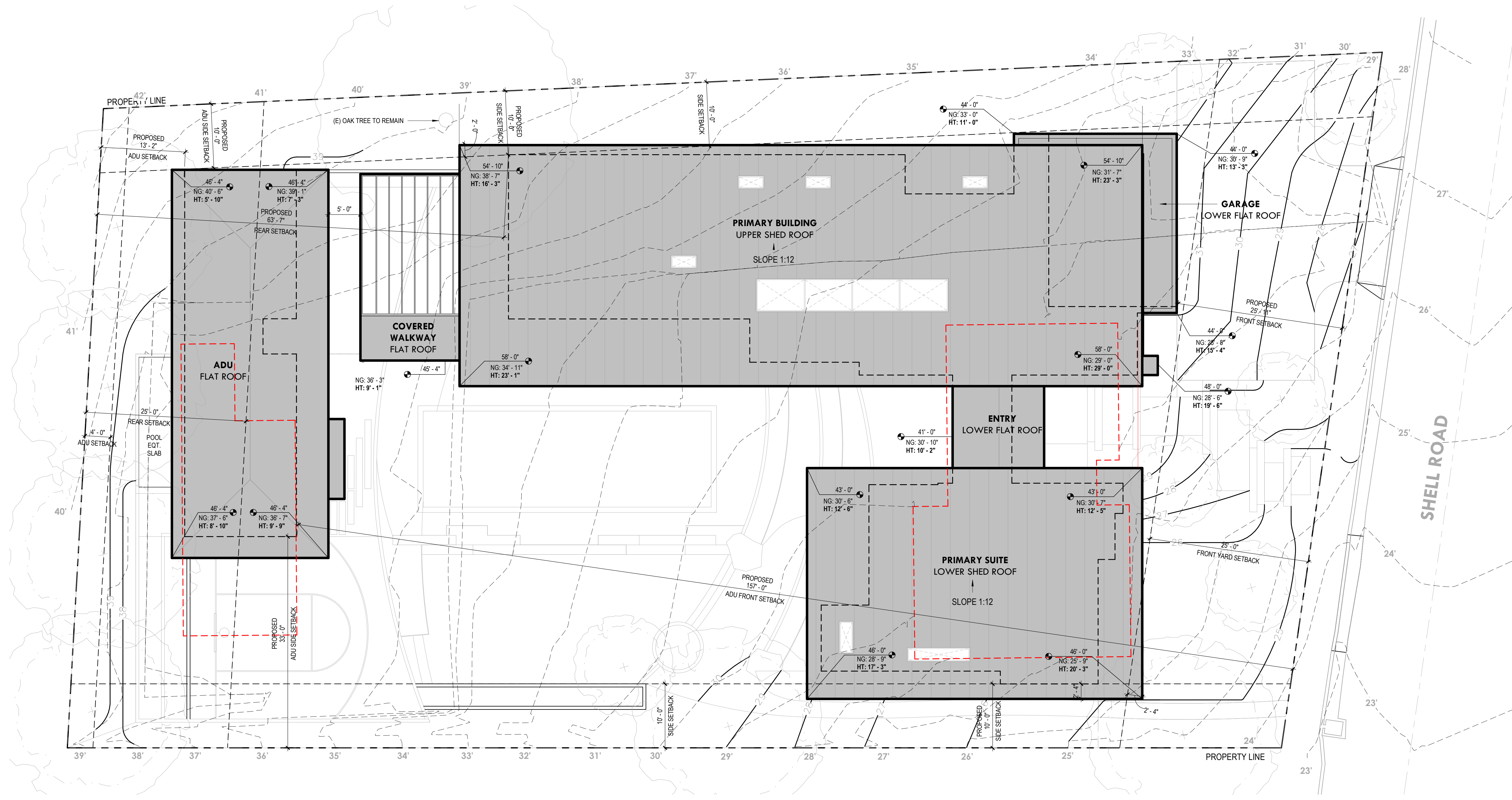
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1 site plan
0 4 8 16 32

sheet notes

legend

- (N) ROOF STRUCTURE
- (N) EXTERIOR WALL OUTLINE BELOW ROOF
- (E) EXTERIOR STRUCTURE TO BE REMOVED
- (E) SITE TOPO CONTOURS
- (N) SITE TOPO CONTOURS

general notes

floor area calculations

AREA SUMMARY:

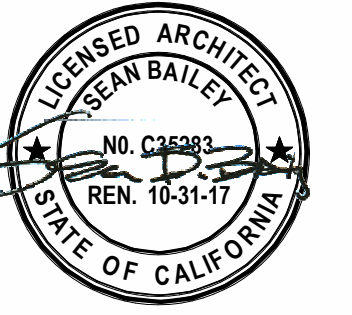
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A1.2

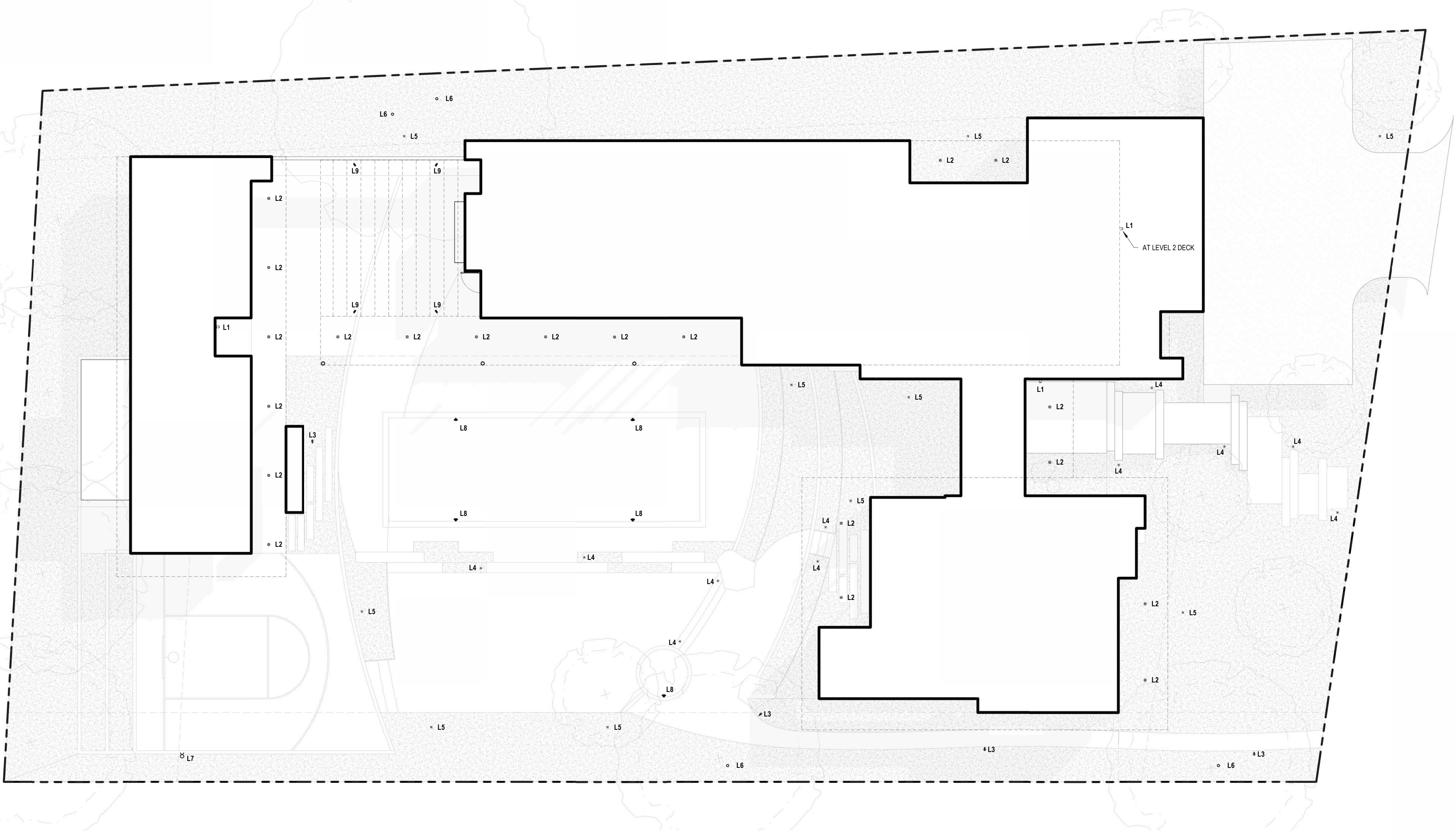
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1 exterior lighting plan
0 2 4 8 16 32

EXTERIOR LIGHT FIXTURE SPECIFICATIONS



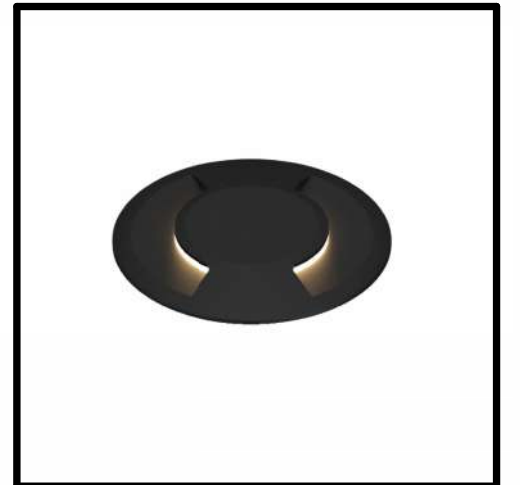
L1
WALL MOUNTED ENTRY LIGHT
MAKE: DELTA LIGHT
MODEL: MONO II LED
COLOR: DARK GREY



L2
RECESSED SOFFIT LIGHT
MAKE: DELTA LIGHT
MODEL: CARREE TRIMLESS OK LED
COLOR: BLACK



L3
PATHWAY LIGHT
MAKE: B-K LIGHTING
MODEL: LITESTICK LED
COLOR: BLACK



L4
STEP LIGHT
MAKE: MP LIGHTING
MODEL: L08 - LED
COLOR: BLACK



L5
LANDSCAPE LIGHT
MAKE: B-K LIGHTING
MODEL: MICRO NITE STAR LED
COLOR: BLACK



L6
TREE LIGHT
MAKE: B-K LIGHTING
MODEL: MINI-MICRO - RING MOUNT LED
COLOR: BLACK



L7
SPORT COURT LIGHTING
MAKE: B-K LIGHTING
MODEL: HUME SQUARE POLE (12" Single Fixture)
COLOR: BLACK



L8
POOL LIGHT
MAKE: TBD, PER POOL CONTRACTOR REC.
MODEL: SUBMERSABLE, IN-WALL POOL LIGHT
COLOR: N/A



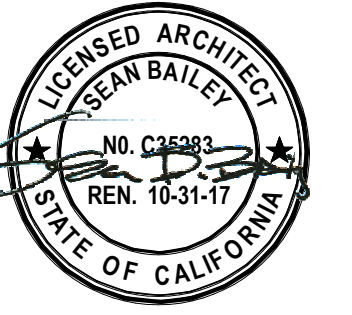
L9
TRELIS DOWNLIGHT
MAKE: B-K LIGHTING
MODEL: ALPINE - LED
COLOR: BLACK



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A1.3

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1 MTL-1: PAINTED METAL FASCIA
COLOR: MATCH DARK BRONZE WINDOWS
MANUFACTURER: GC FURNISHED



2 STN-1: STACKED BASALT
COLOR: DARK STONE
MANUFACTURER: GC FURNISHED



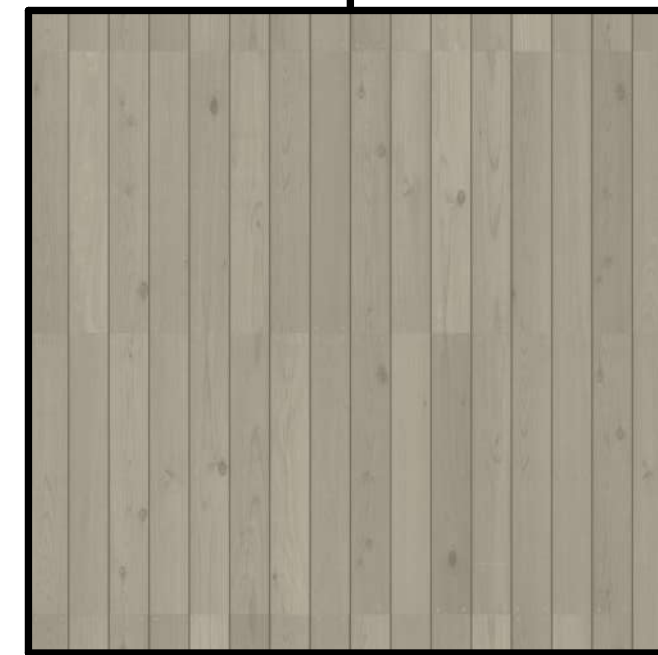
3 STN-2: TRAVERTINE PANEL CLADDING
COLOR: NATURAL BEIGE
MANUFACTURER: GC FURNISHED



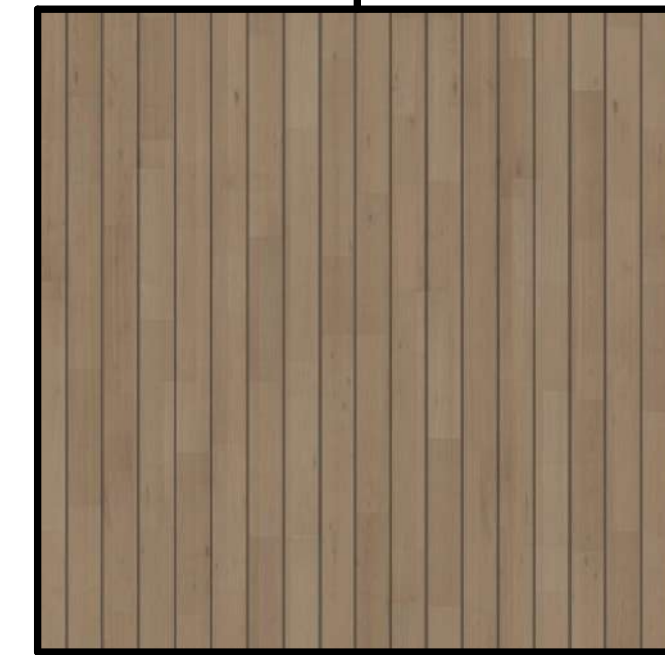
4 CON-1: BOARD FORM CONCRETE WALLS
COLOR: NATURAL GREY
MANUFACTURER: GC FURNISHED



5 WND-1: ALUM. MULLIONS & CLEAR GLAZING
COLOR: DARK BRONZE ANODIZED
MANUFACTURER: GC FURNISHED



6 WD-1: 1X4 BALD CYPRUS SIDING
COLOR: CLEAR PENETRATING SEALER
MANUFACTURER: GC FURNISHED



7 WD-2: DOUG FIR WOOD SOFFIT
COLOR: CLEAR PENETRATING SEALER
MANUFACTURER: GC FURNISHED

**Felson
Residence**
30 Shell Dr. Mill Valley,
CA

APN : 033-071-42

No.	Date	Issues + Revisions
1	12.20.2023	PLANNING SUBMISSION
2	02.22.2024	PLANNING RE-SUBMISSION

sheet notes

legend

general notes

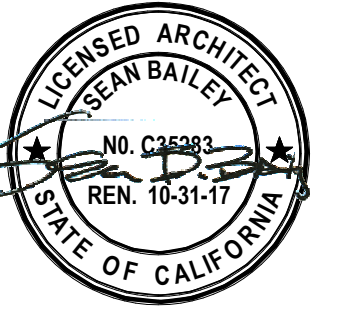


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Project Number

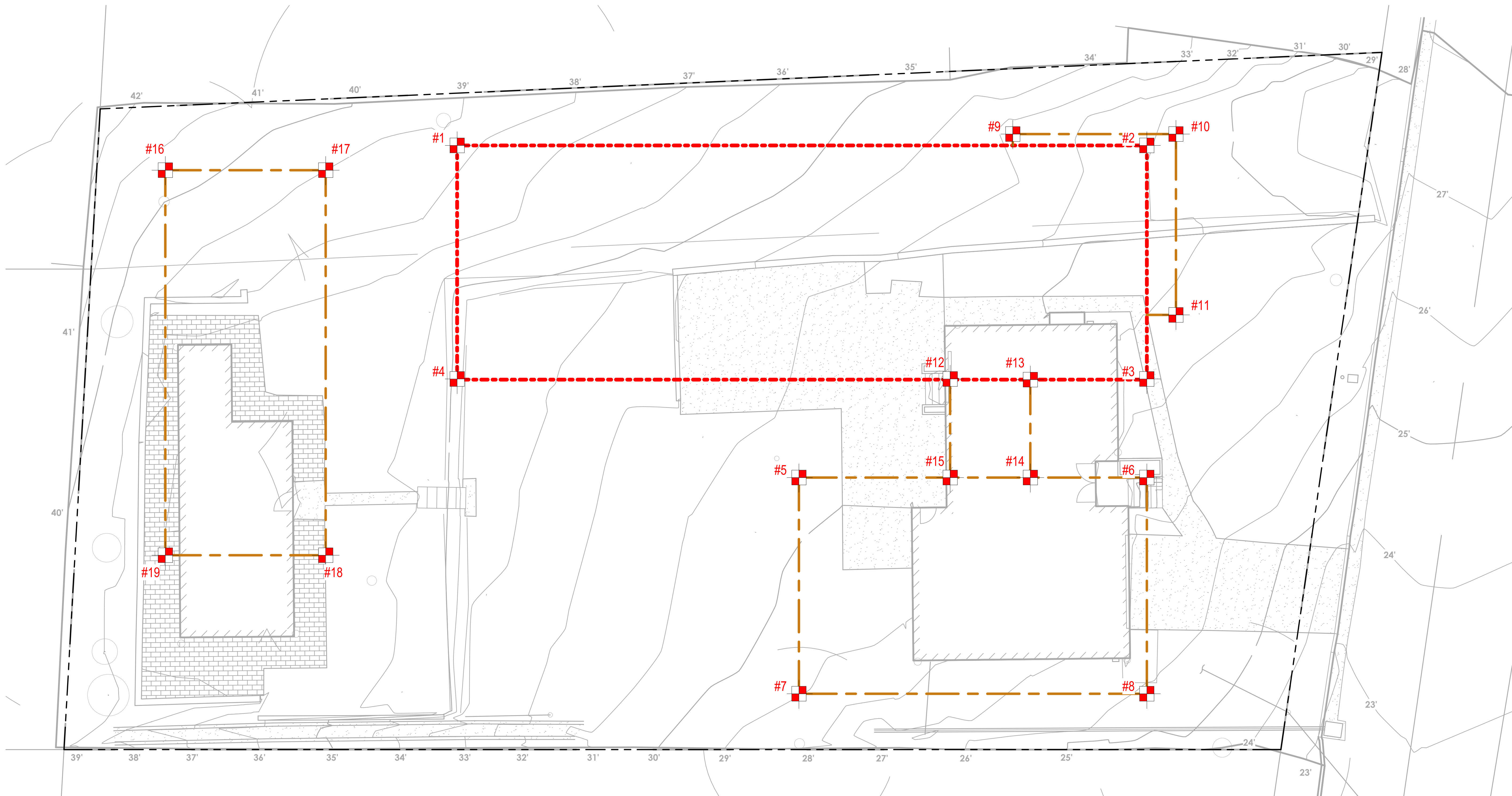
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1 story pole plan
0 4 8 16 32

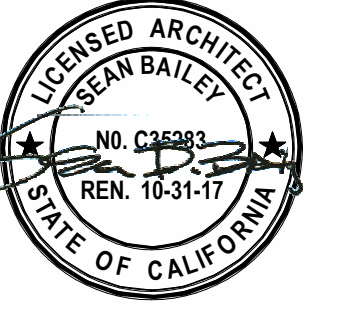
LEGEND:		BLDG. CORNER & RIDGE HEIGHTS & STORY POLE LEGEND								
	ELEVATION MARK #	MARK #	BASE ELEV @ EXISTING GRADE	TOP OF BUILDING CORNER OR RIDGE	HEIGHT ABOVE REFERENCE BASE ELEV		MARK #	BASE ELEV @ EXISTING GRADE	TOP OF BUILDING CORNER OR RIDGE	HEIGHT ABOVE REFERENCE BASE ELEV
	ORANGE TAPE INSTALLED TO OUTLINE UPPER ROOF	# 1	ELEVATION - 38' - 7"	54' - 10"	16' - 3"		# 11	ELEVATION - 28' - 8"	44' - 0"	15' - 4"
	ORANGE TAPE INSTALLED TO OUTLINE LOWER ROOF	# 2	ELEVATION - 31' - 7"	54' - 10"	23' - 3"		# 12	ELEVATION - 30' - 10"	41' - 0"	10' - 2"
		# 3	ELEVATION - 29' - 0"	58' - 0"	29' - 0"		# 13	ELEVATION - 30' - 10"	41' - 0"	10' - 2"
		# 4	ELEVATION - 34' - 11"	58' - 0"	23' - 1"		# 14	ELEVATION - 30' - 10"	41' - 0"	10' - 2"
		# 5	ELEVATION - 30' - 6"	43' - 0"	12' - 6"		# 15	ELEVATION - 30' - 10"	41' - 0"	10' - 2"
		# 6	ELEVATION - 30' - 7"	43' - 0"	12' - 5"		# 16	ELEVATION - 40' - 6"	46' - 4"	5' - 10"
		# 7	ELEVATION - 25' - 9"	46' - 0"	20' - 3"		# 17	ELEVATION - 39' - 1"	46' - 4"	7' - 3"
		# 8	ELEVATION - 28' - 9"	46' - 0"	17' - 3"		# 18	ELEVATION - 36' - 7"	46' - 4"	9' - 9"
		# 9	ELEVATION - 33' - 0"	44' - 0"	11' - 0"		# 19	ELEVATION - 37' - 6"	46' - 4"	8' - 10"
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Date

A1.5

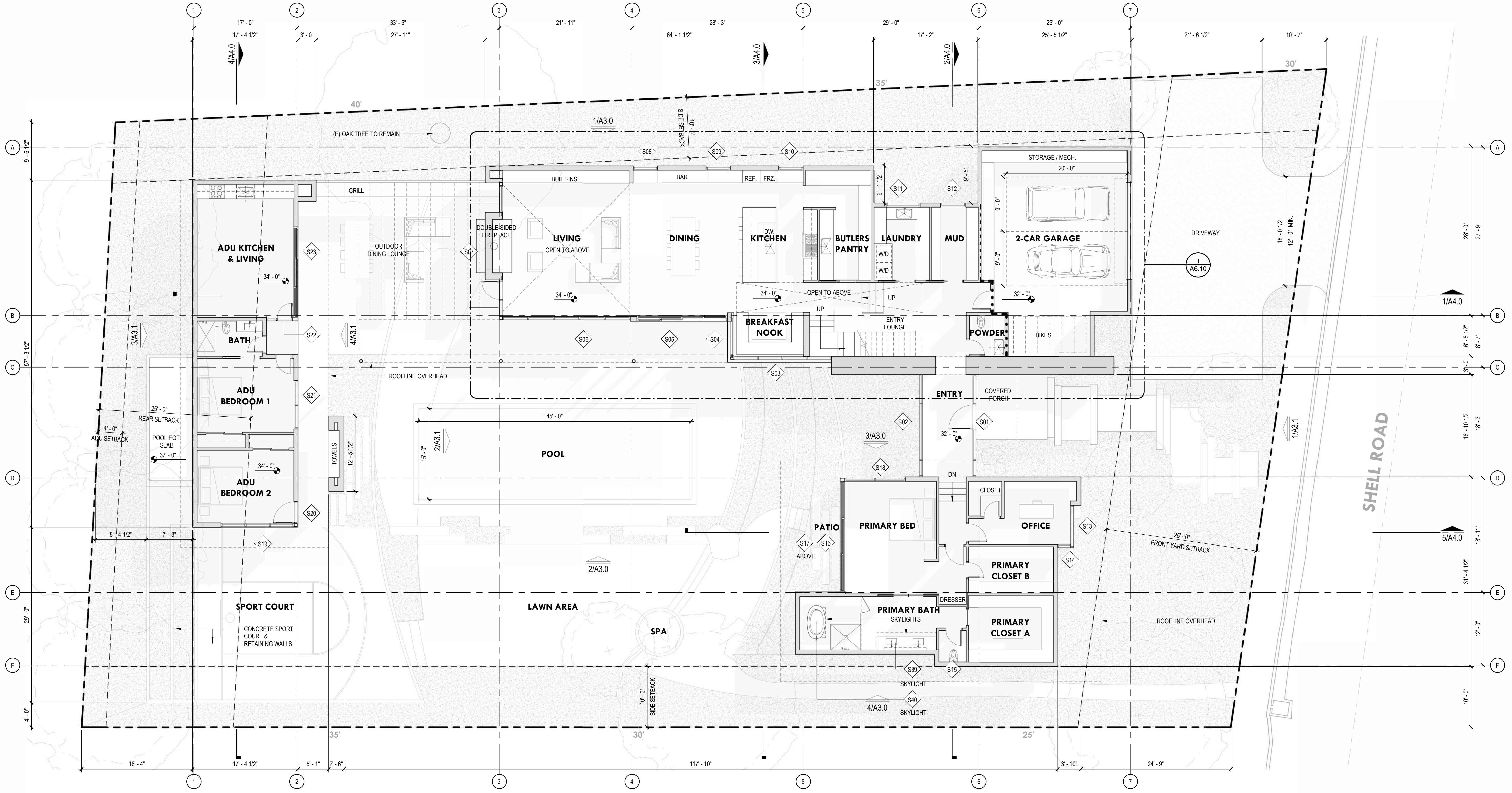
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1 floor plan - main level

sheet notes

- 2.01 -
- 2.02 -
- 2.03 -
- 2.04 -
- 2.05 -

legend

- [Solid Line] NEW PARTITION
- [Line with Arrow] NEW DOOR OR STOREFRONT WINDOW
- [EW1 Tag] WALL TAG
- [D01 Tag] DOOR TAG
- [W01 Tag] WINDOW TAG
- [Dashed Line] 1 HR FIRE BARRIER
- [Red Dashed Line] (E) STRUCTURE FOOTPRINT

wall material legend

- [EW1] -
- [EW2] -
- [EW3] -
- [EW4] -

general notes

- GENERAL CONTRACTOR TO BE RESPONSIBLE FOR ADEQUATELY FRAMING, BRACING, AND STRUCTURING ALL WALLS AND OTHER GYPSUM BOARD CONSTRUCTION IN ACCORDANCE WITH APPLICABLE TYPICAL DETAILS CONTAINED IN THESE DRAWINGS. WHETHER OR NOT SPECIFICALLY REFERENCED ON THESE PLANS, ALL PARTITIONS SHALL BE BRACED IN ACCORDANCE WITH SEISMIC CODE REQUIREMENTS.
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- SEE SHEET A9.0 FOR WALL TYPES AND ASSEMBLY DETAILS.
- SEE A5.0 SERIES FOR ENLARGED PLANS
- FOR ABBREVIATIONS USED ON THESE SHEETS SEE SHEET A0.1.
- FOR SYMBOLS USED ON THESE SHEETS SEE SHEET A0.1.
- SEE REFLECTED CEILING PLANS FOR RCP GENERAL NOTES AND LEGEND.
- INSTALL BACKING AS REQUIRED FOR ALL MILLWORK, EQUIPMENT, FURNITURE, HANDRAILS, AND GUARDRAILS.
- SEE FINISH SCHEDULE FOR FINISHES AND LOCATIONS, U.O.N.

floor area calculations

AREA SUMMARY:

LOT AREA:	20,258 SF / 0.47 ACRES
PROPOSED BUILDING AREA (SEE A0.2):	7,356 SF (TOTAL)
MAIN RESIDENCE+GARAGE:	6,385 SF
ADU:	971 SF
PROPOSED FLOOR AREA (SEE A0.2):	6,816 SF (TOTAL)
MAIN RESIDENCE:	5,845 SF
ADU:	971 SF
PROPOSED FLOOR AREA RATIO (FAR):	0.29 (MAIN RESIDENCE)
MAX ALLOWED FAR:	0.3 / 6,077 SF (0.3 x 20,258)
ADD'L. ADU SF ALLOWED (2 BR):	+1,000 SF*
*NOT WITHSTANDING BASE FAR	



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Date

A2.0

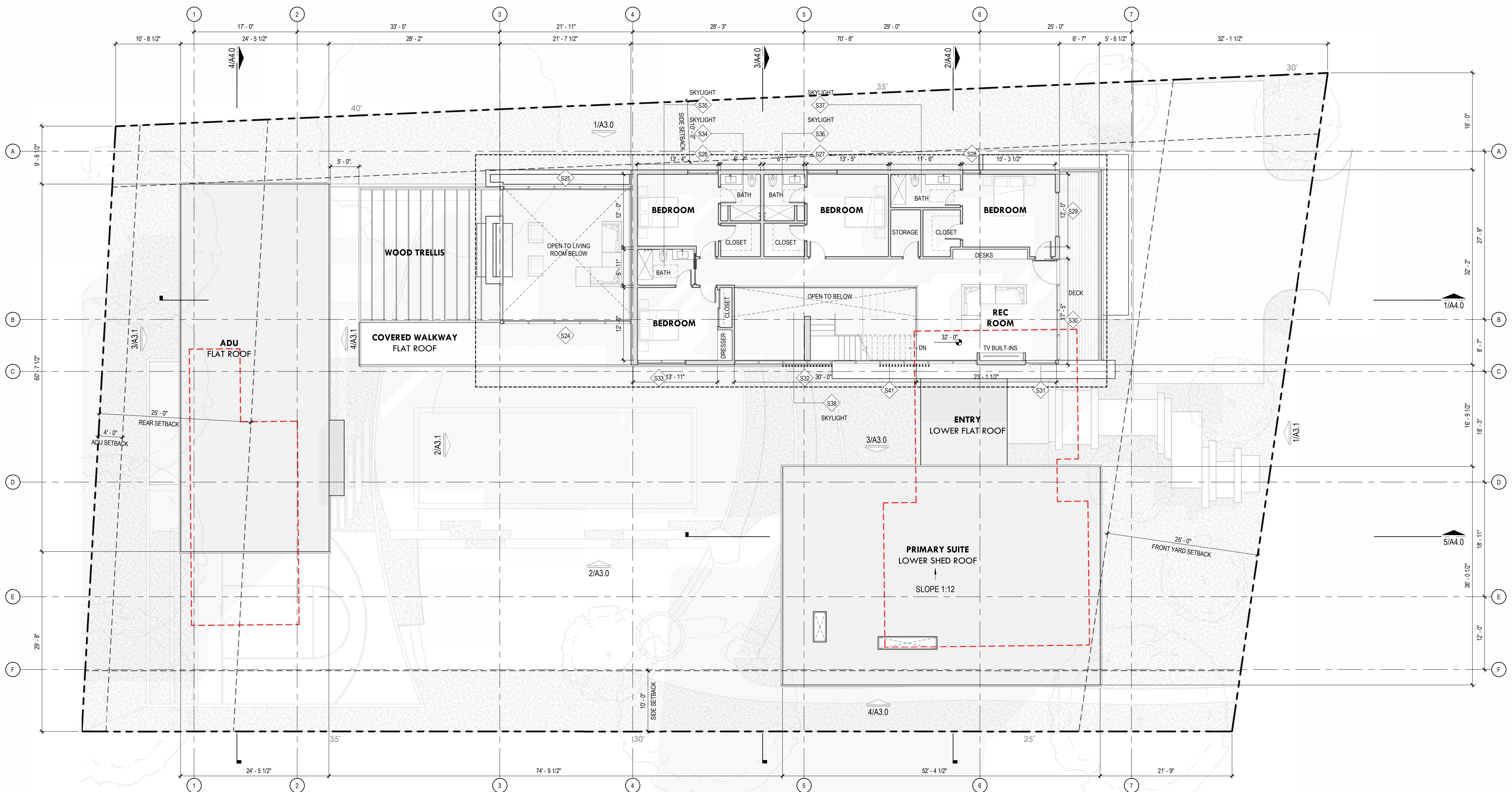
Project Number

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Felson Residence
30 Shell Dr. Mill Valley, CA
APN : 033-071-42

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1	12.20.2023	PLANNING SUBMISSION
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1 floor plan - level 2

sheet notes

- 2.01 -
- 2.02 -
- 2.03 -
- 2.04 -
- 2.05 -

legend

- NEW PARTITION
- NEW DOOR OR STOREFRONT WINDOW
- WALL TAG
- DOOR TAG
- WINDOW TAG
- 1 HR FIRE BARRIER
- (E) STRUCTURE FOOTPRINT

wall material legend

- EW1 -
- EW2 -
- EW3 -
- EW4 -

general notes

1. GENERAL CONTRACTOR TO BE RESPONSIBLE FOR ADEQUATELY FRAMING, BRACING, AND STRUCTURING ALL WALLS AND OTHER GYPSUM BOARD CONSTRUCTION IN ACCORDANCE WITH APPLICABLE TYPICAL DETAILS CONTAINED IN THESE DRAWINGS. WHETHER OR NOT SPECIFICALLY REFERENCED ON THESE PLANS, ALL PARTITIONS SHALL BE BRACED IN ACCORDANCE WITH SEISMIC CODE REQUIREMENTS.
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10. SEE FINISH SCHEDULE FOR FINISHES AND LOCATIONS, U.O.N.

floor area calculations

AREA SUMMARY:

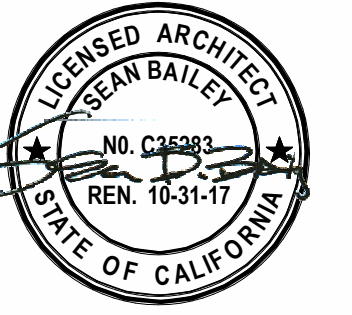
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MAIN RESIDENCE+GARAGE:	6,385 SF
ADU:	971 SF
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MAIN RESIDENCE:	5,845 SF
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MAX ALLOWED FAR:	0.3 / 6,077 SF (0.3 x 20,258)
ADD'L. ADU SF ALLOWED (2 BR):	+1,000 SF*
*NOT WITHSTANDING BASE FAR	



December 20, 2023
Date

A2.1

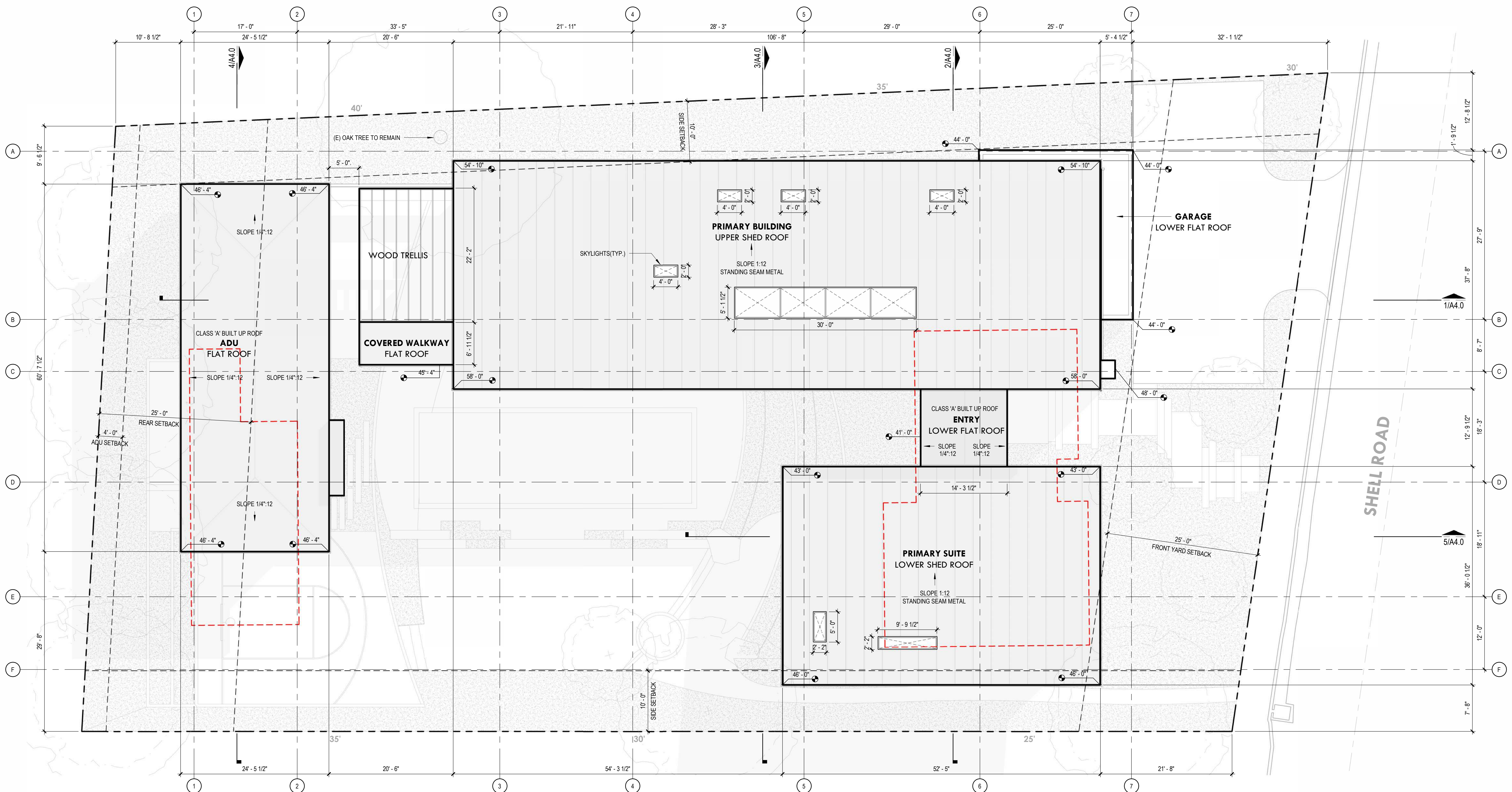
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Felson Residence
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1 roof plan
 2 4 8 16 32

sheet notes

legend

general notes

floor area calculations

- GENERAL CONTRACTOR TO BE RESPONSIBLE FOR ADEQUATELY FRAMING, BRACING, AND STRUCTURING ALL WALLS AND OTHER GYPSUM BOARD CONSTRUCTION IN ACCORDANCE WITH APPLICABLE TYPICAL DETAILS CONTAINED IN THESE DRAWINGS. WHETHER OR NOT SPECIFICALLY REFERENCED ON THESE PLANS, ALL PARTITIONS SHALL BE BRACED IN ACCORDANCE WITH SEISMIC CODE REQUIREMENTS.
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AREA SUMMARY:

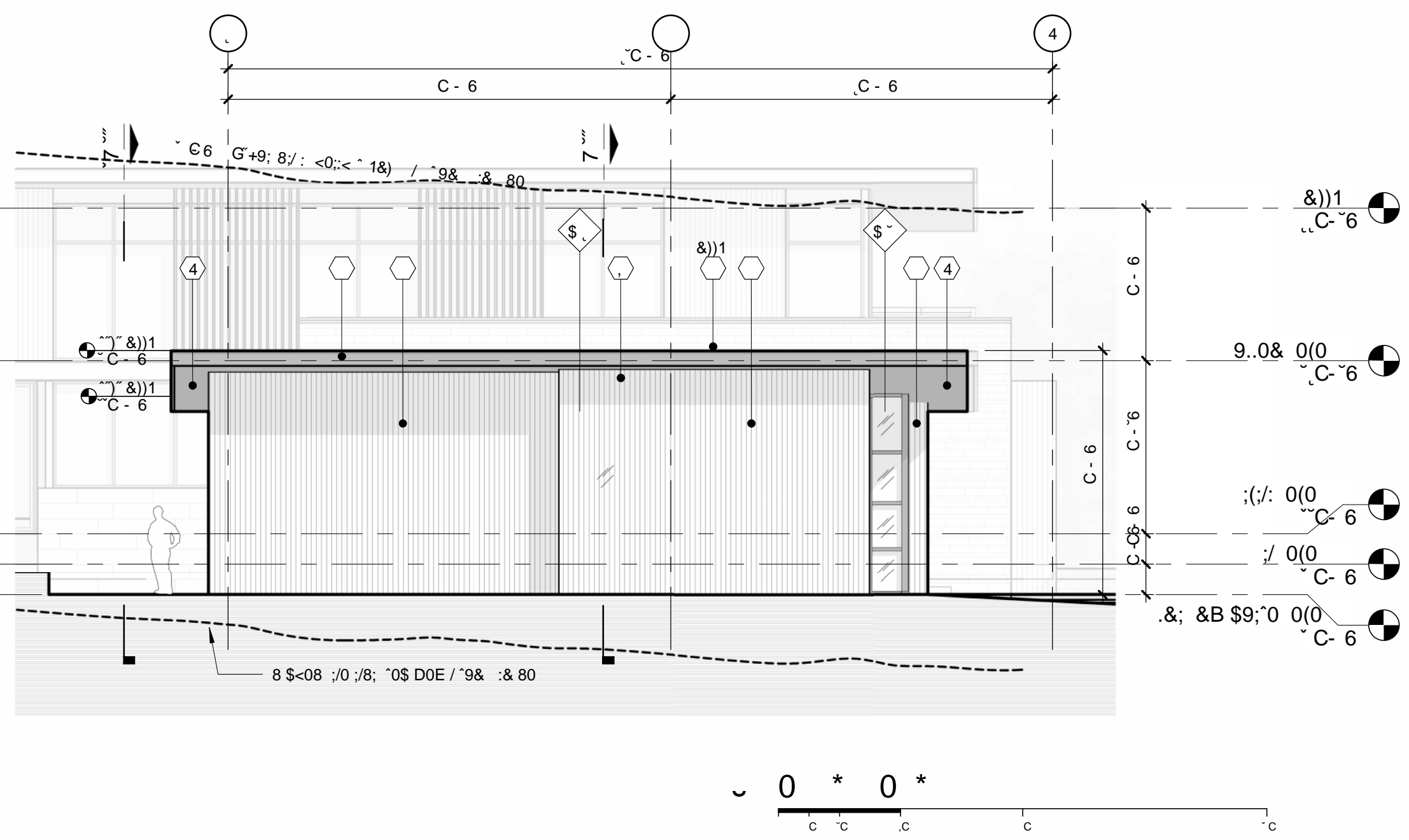
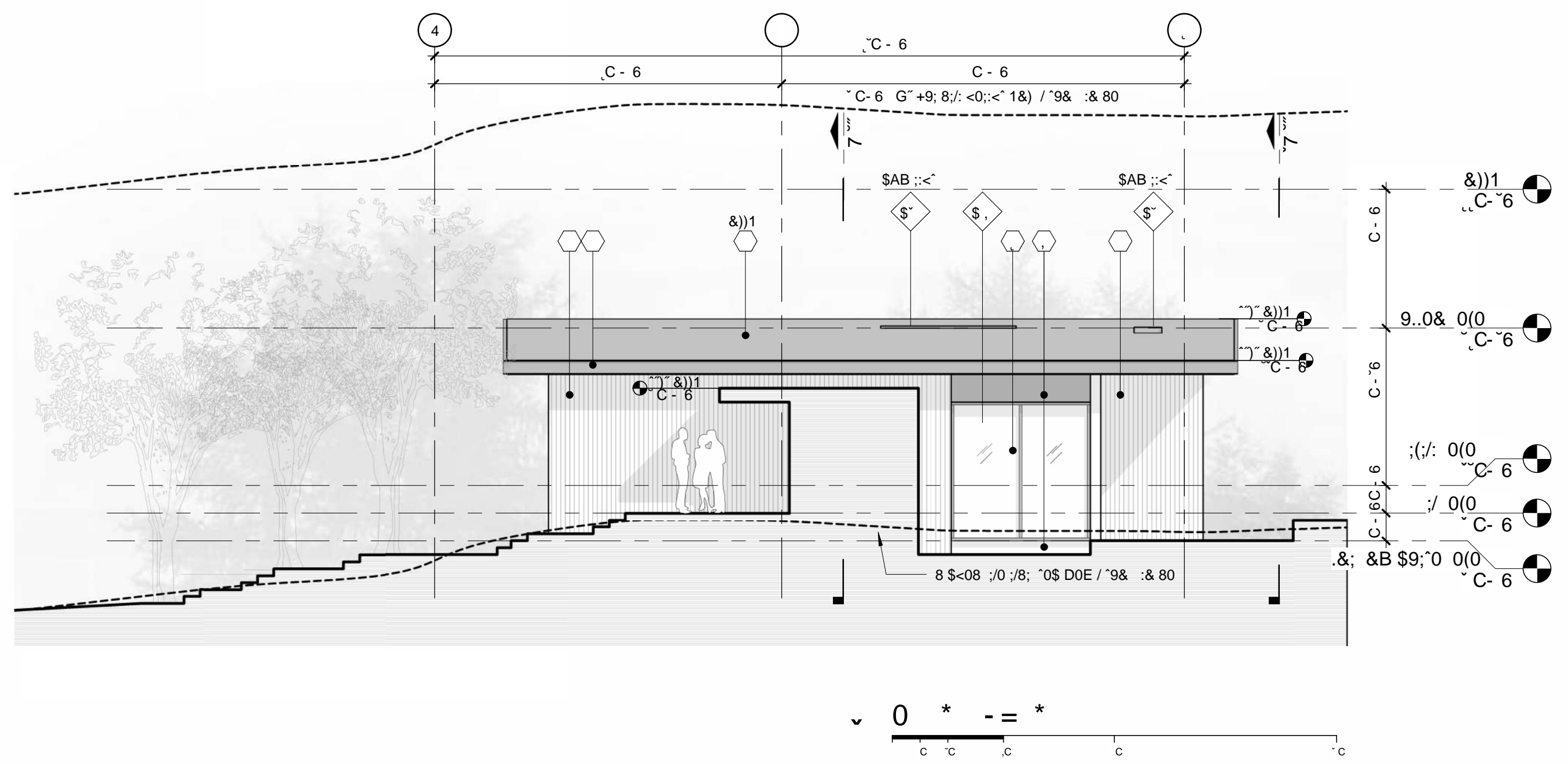
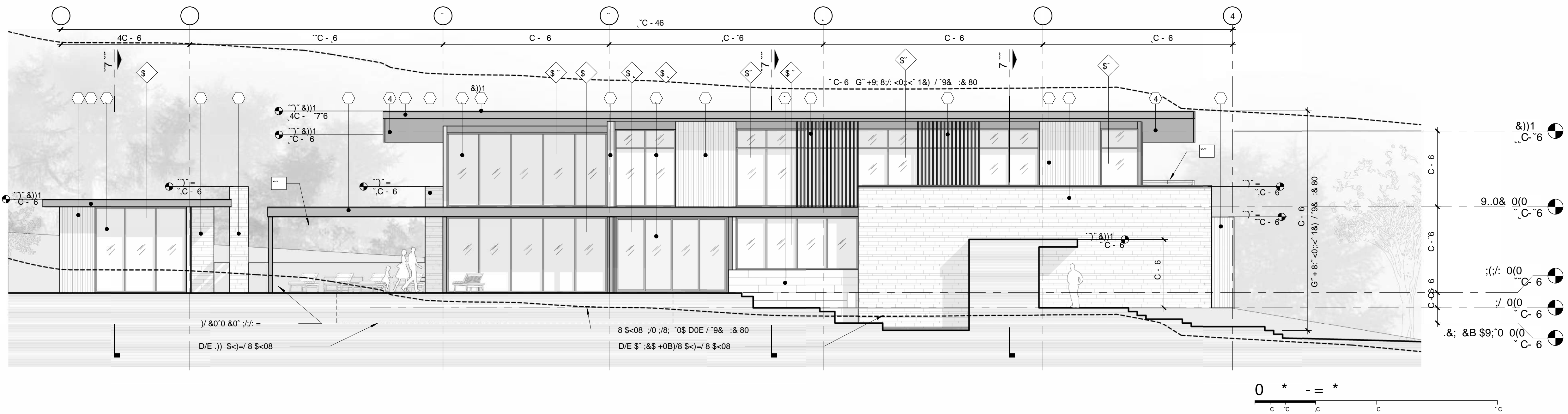
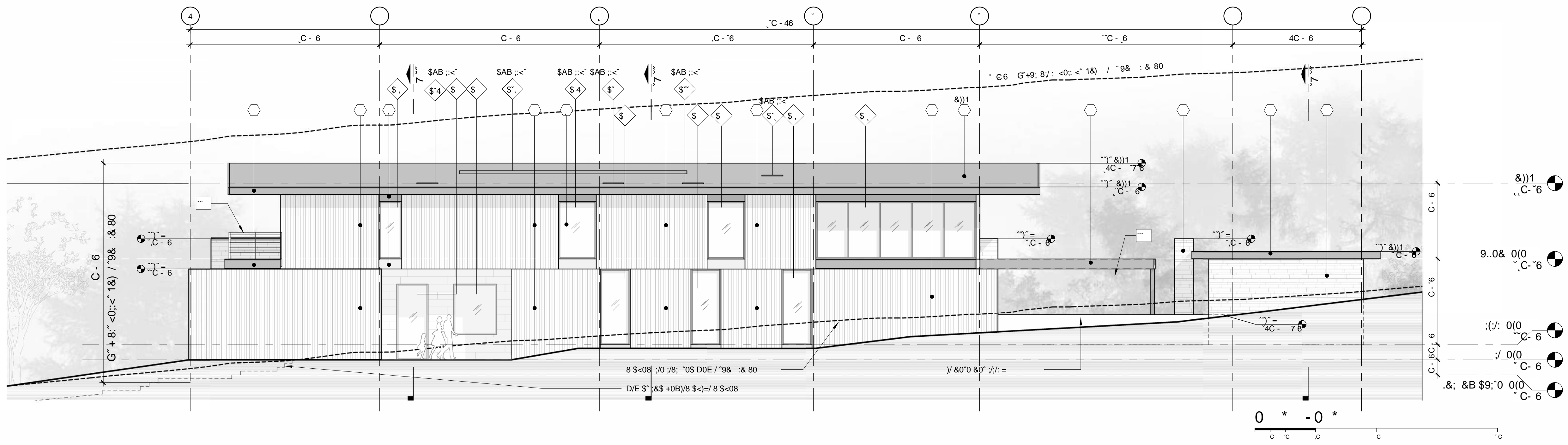
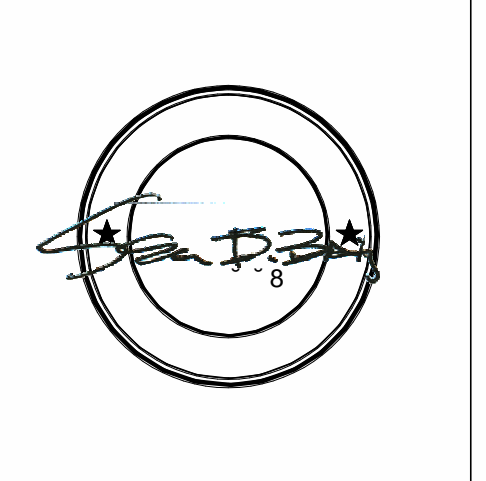
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MAIN RESIDENCE+GARAGE:	6,385 SF
ADU:	971 SF
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ADU:	971 SF
PROPOSED FLOOR AREA RATIO (FAR):	0.29 (MAIN RESIDENCE)
MAX ALLOWED FAR:	0.3 / 6,077 SF (0.3 x 20,258)
ADD'L. ADU SF ALLOWED (2 BR):	+1,000 SF*
*NOT WITHSTANDING BASE FAR	



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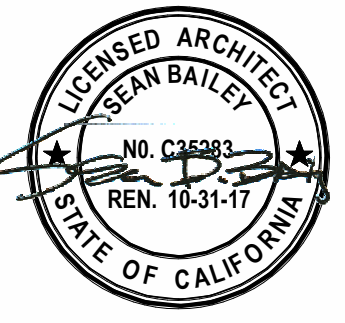
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Felson Residence
30 Shell Dr. Mill Valley, CA

APN : 033-071-42

general notes

legend

- ① PAINTED STEEL CHANNEL FASCIA TO MATCH WINDOW FRAMES (DARK BRONZE)
- ② STACKED BASALT STONE SIDING
- ③ LIGHT GREY NATURAL TRAVERTINE STONE SIDING
- ④ BOARDFORM CONCRETE
- ⑤ DARK BRONZE STOREFRONT ALUMINUM WINDOWS/DOORS
- ⑥ 1"x4" BALD CYPRESS RAINSCREEN SIDING, VERTICALLY ORIENTED WITH CLEAR PENETRATING FINISH
- ⑦ DOUG FIR WOOD SOFFITS
- ⑧ PAINTED METAL PANELS TO MATCH STOREFRONT
- ⑨ CLASS "A" DARK GREY STANDING SEAM METAL ROOFING.
- ⑩ 2X8 STEEL VERT. LOUVERS, CLAD IN 1X LIGHT ACCOYA WOOD TRIM, TYP.

sheet notes

- 3.01 42" METAL RAILING WITH PTD. METAL POSTS AND IPE WOOD CAP, TYP.
- 3.02 PAINTED STEEL CIRCULAR PILOTI COLUMNS
- 3.03 -
- 3.04 -
- 3.05 -
- 3.06 -

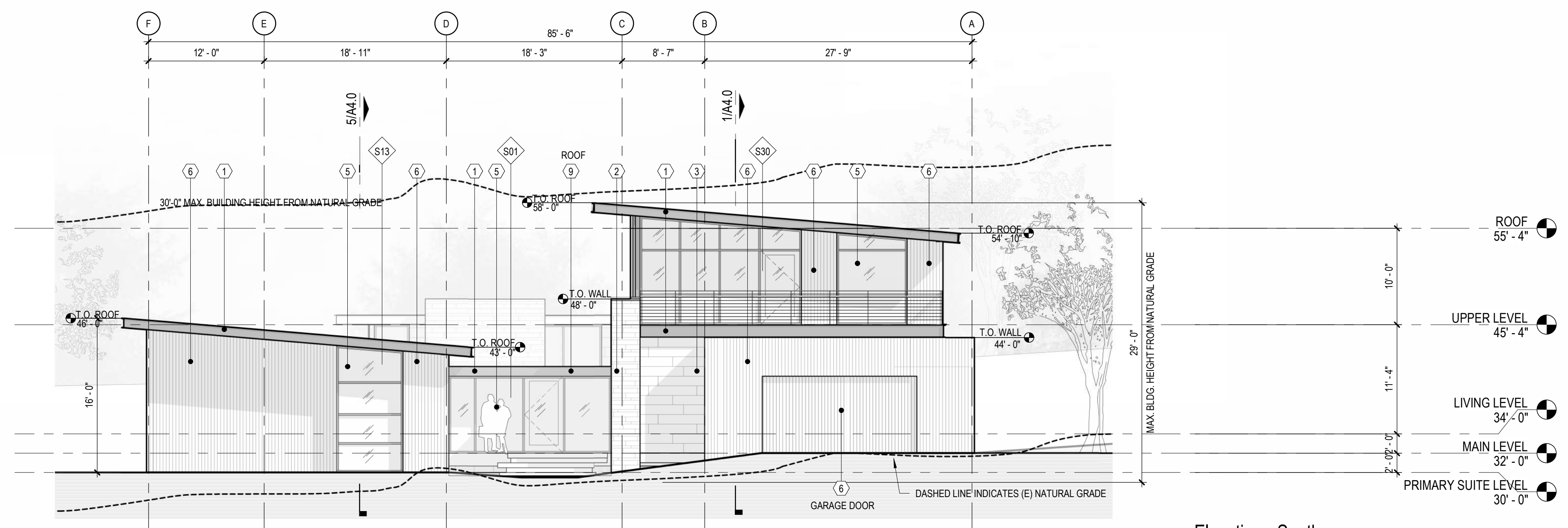
No.	Date	Issues + Revisions
1	12.20.2023	PLANNING SUBMISSION
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EXTERIOR ELEVATIONS - NORTH / SOUTH
Ref North Sheet Name

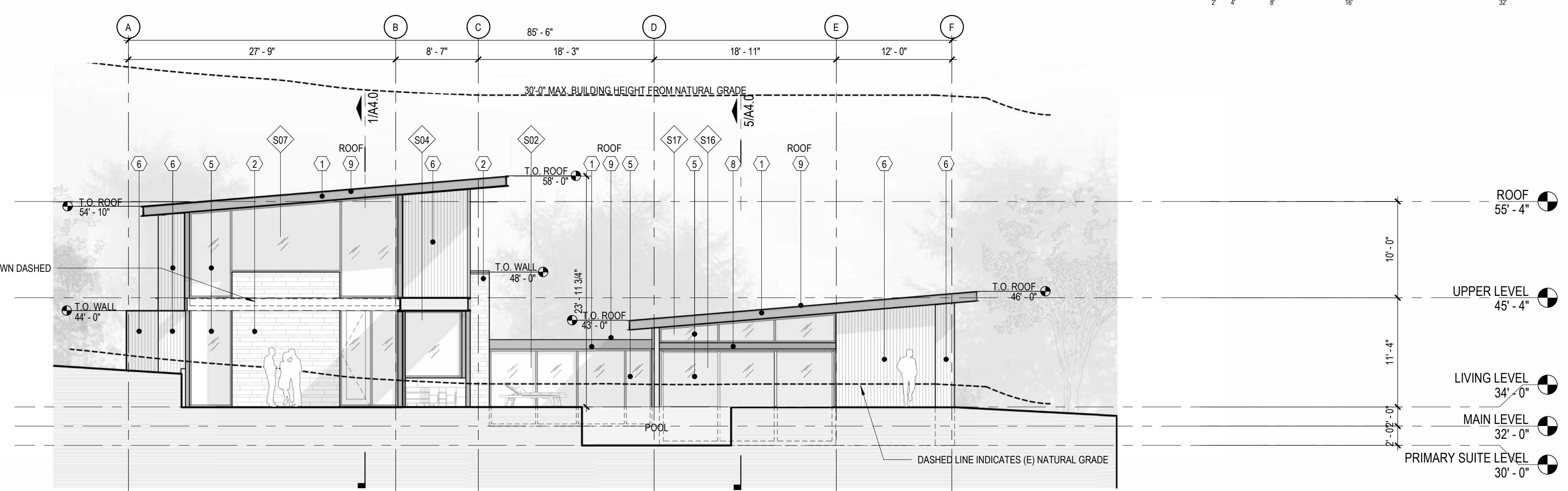
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A3.1

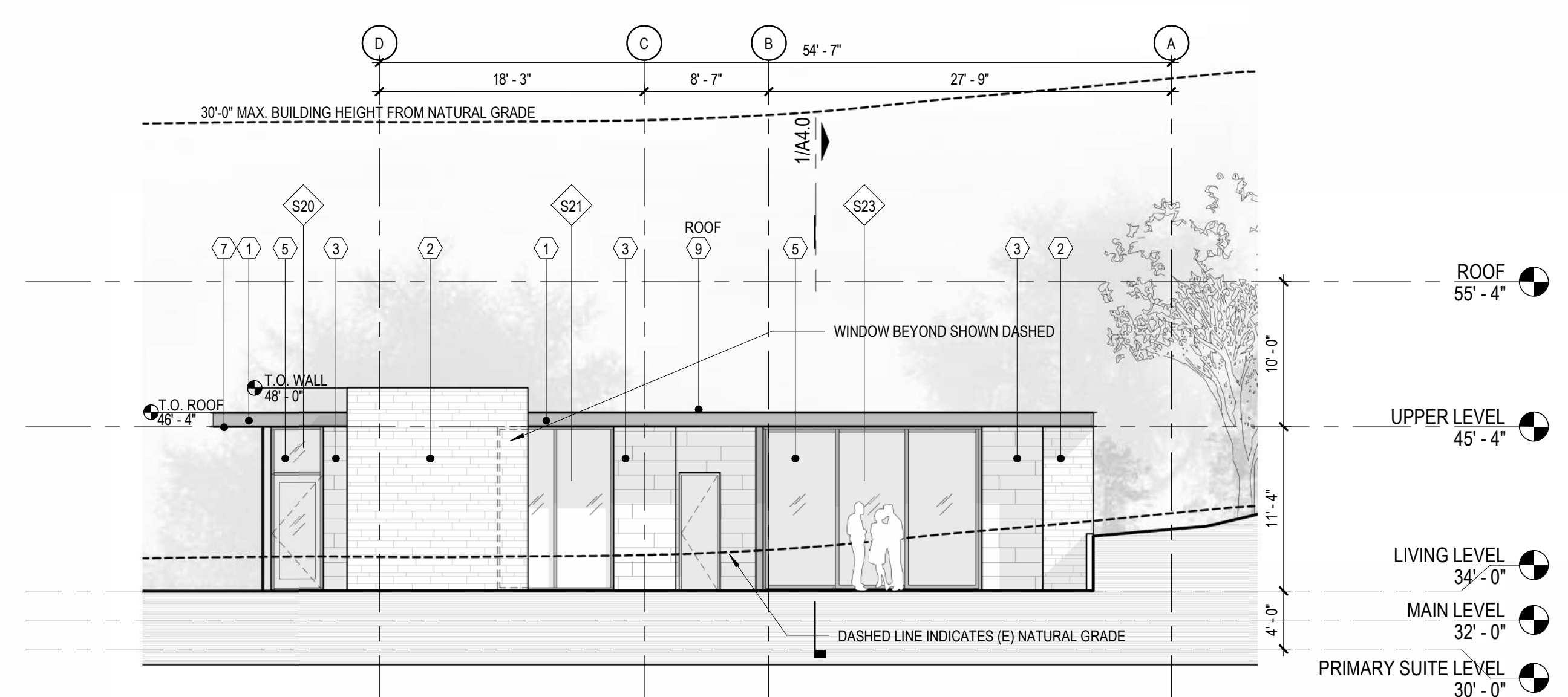
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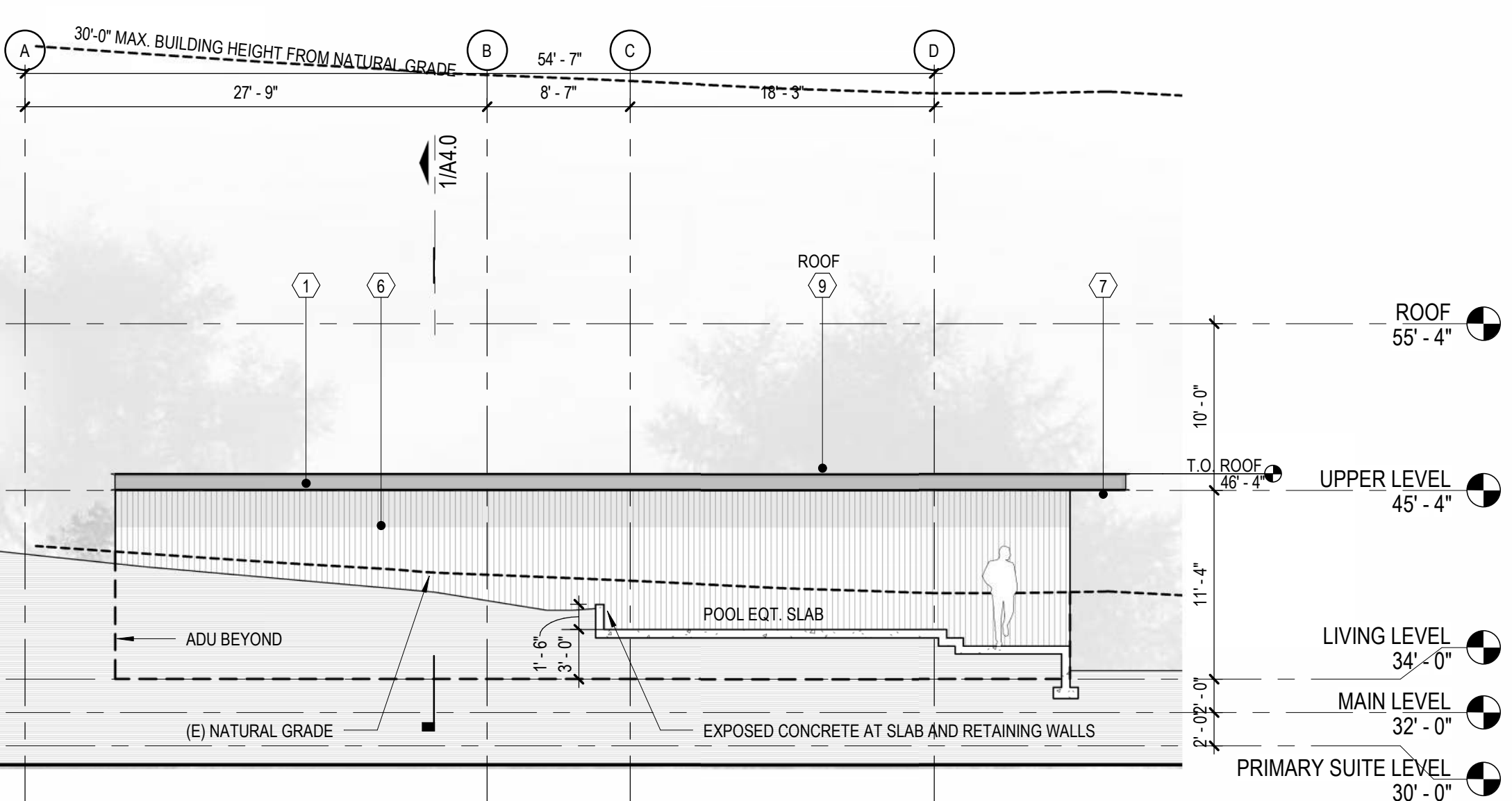
1 Elevation - South



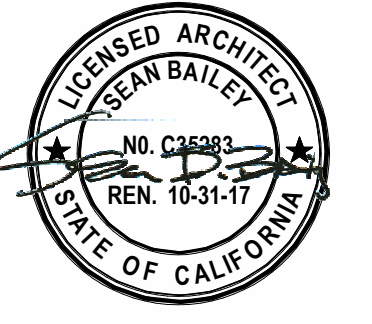
2 Elevation - North



4 Elevation ADU - North



3 Elevation ADU - South



general notes

legend

sheet notes

Felson Residence
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BUILDING SECTIONS

Ref North Sheet Name

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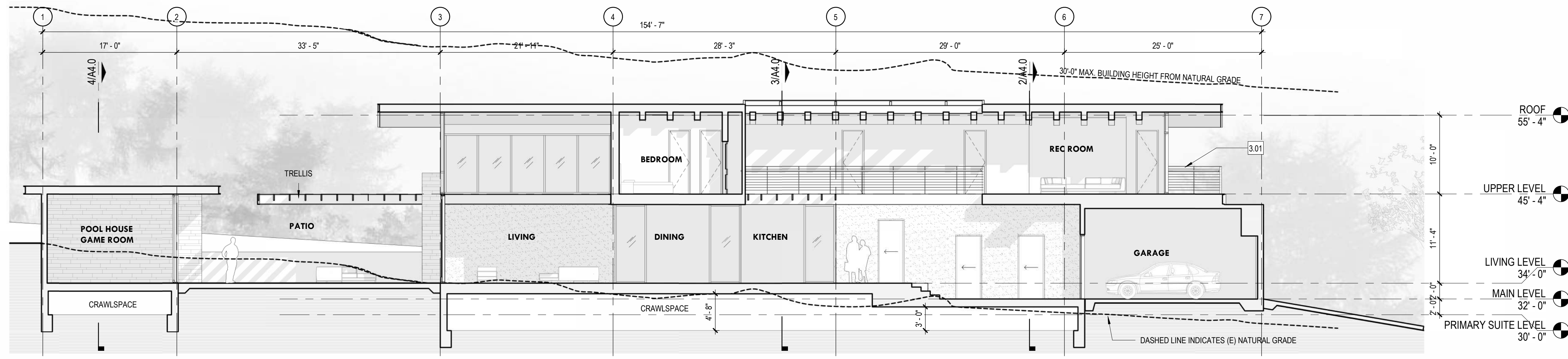
December 20, 2023

Date

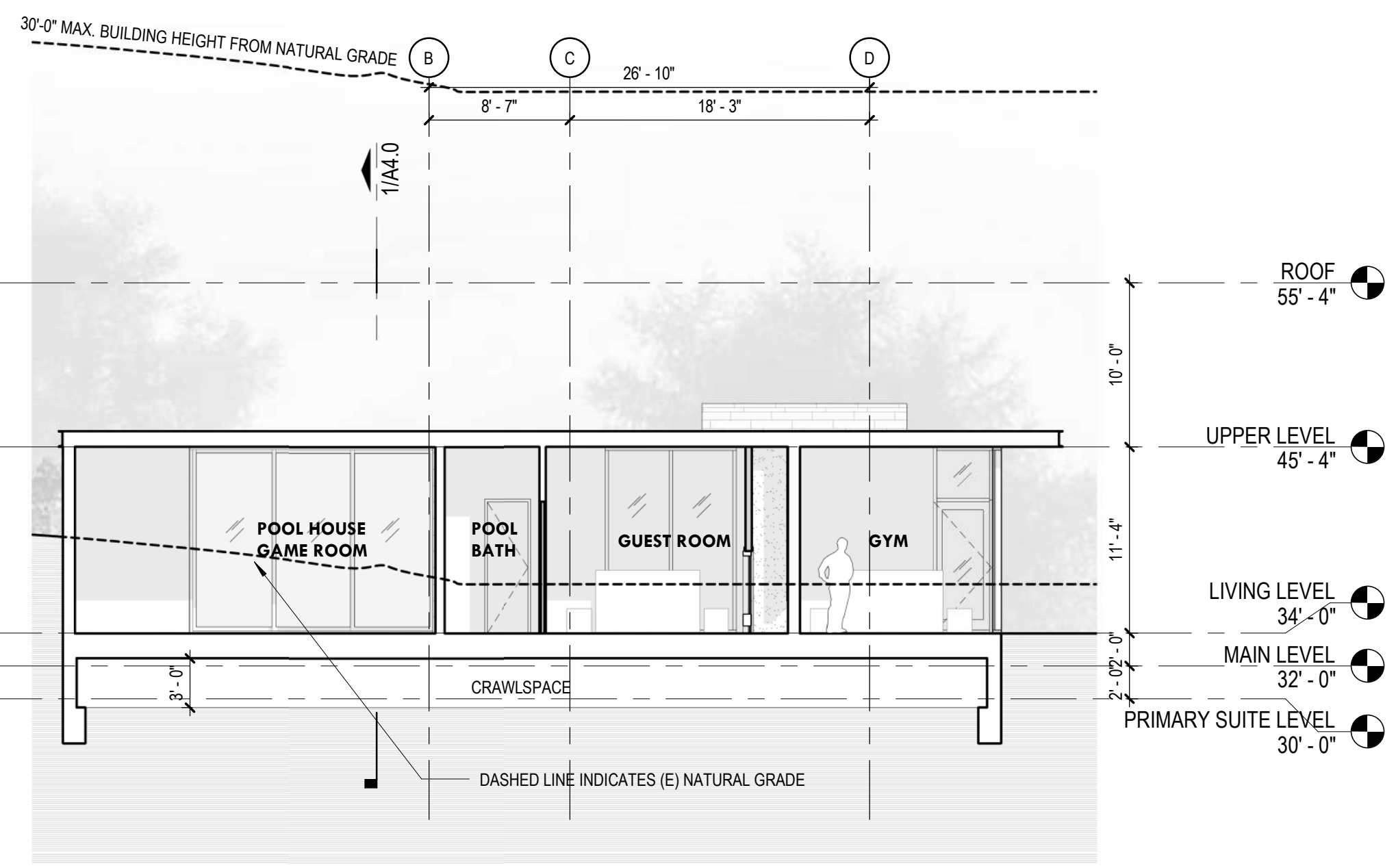
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Project Number

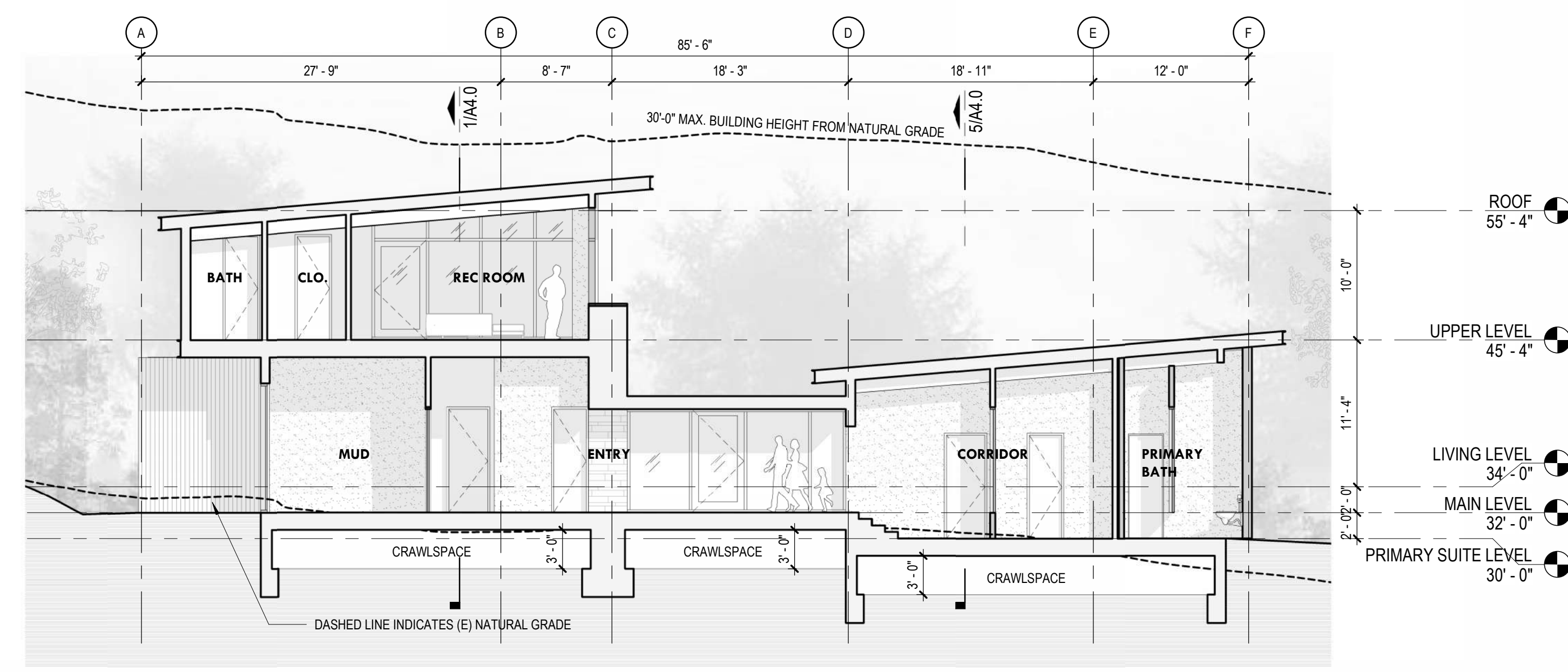
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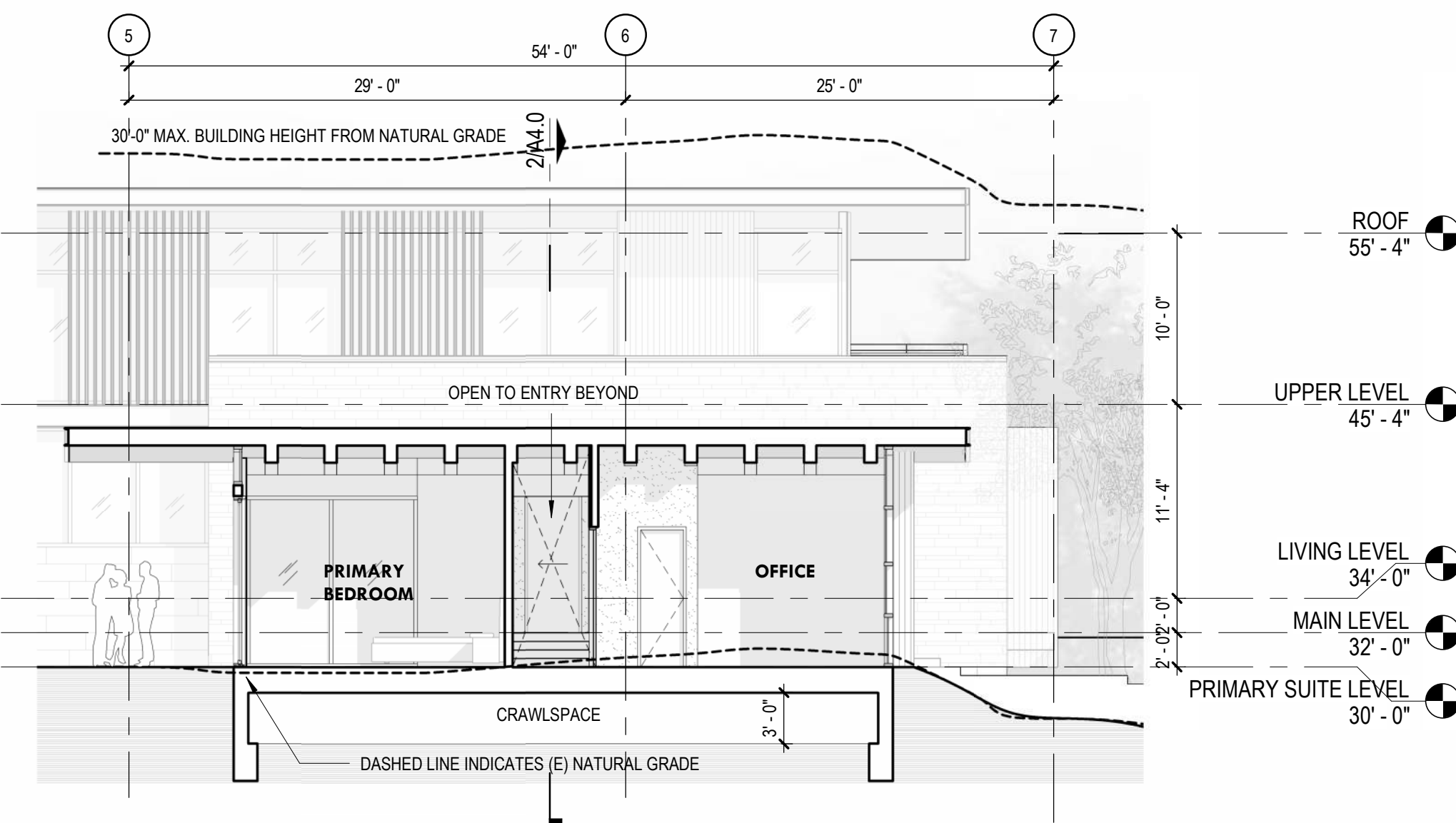
1 Section - Looking East



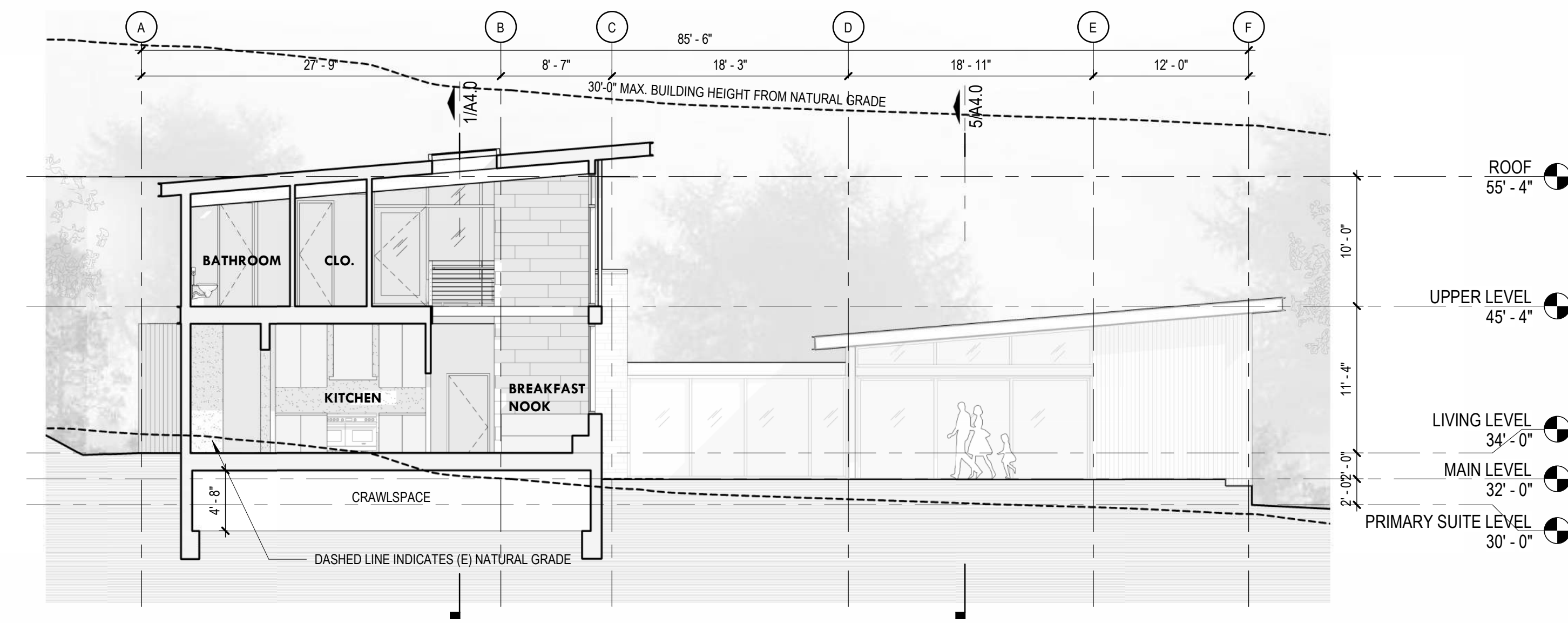
4 Section - ADU Looking South



2 Section - Looking South A



5 Section - Primary Suite Looking East

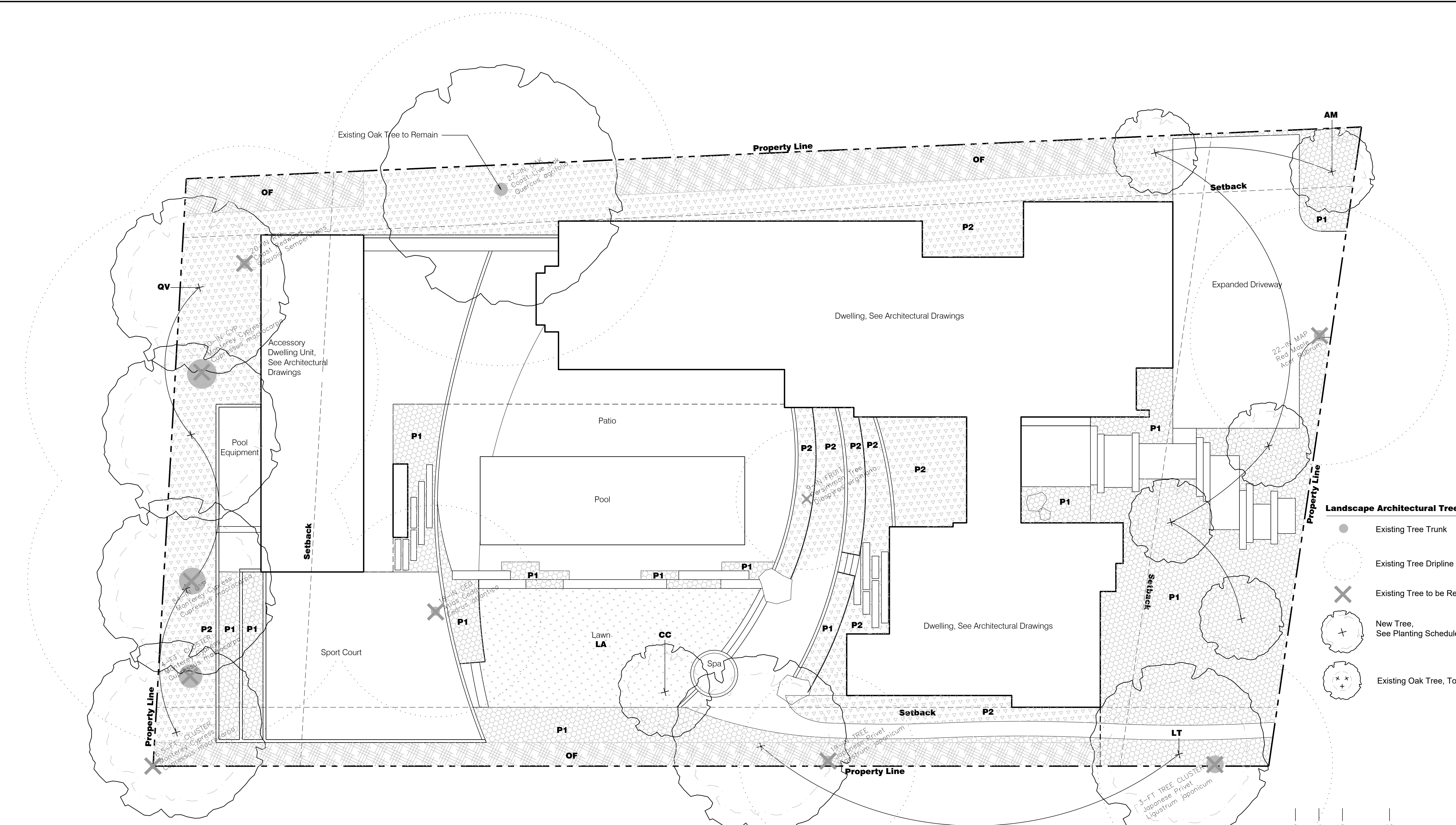


3 Section - Looking South B



**Felson
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Landscape Architectural Tree Legend

- Existing Tree Trunk
- Existing Tree Dripline
- Existing Tree to be Removed
- New Tree, See Planting Schedule
- Existing Oak Tree, To Remain

TREE SCHEDULE

All trees low-water use to use drip-irrigation

SYMBOL	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE (BOX)	HEIGHT	NOTES
AM	<i>Arbutus marina</i>	Strawberry Tree	5	36" Box	15'	Multitrunk
CC	<i>Cercis canadensis</i>	Eastern Redbud	1	48" Box	15'	
LT	<i>Liriodendron tulipifera</i>	Tulip Tree	2	48" Box	30'	
QV	<i>Quercus virginiana</i>	Southern live Oak	4	48" Box	40'	

HEDGE SCHEDULE

Low water-use shrubs to use drip irrigation

SYMBOL	SCIENTIFIC NAME	COMMON NAME	QTY (SF)	CONT.	SPACING
OF	<i>Osmanthus x fortunei</i>	Fortune's Osmanthus	1,395	15 gal	60" O.C.

PLANTING SCHEDULE

CHAPPARAL MIX - Low water-use perennials to use drip irrigation.

SYMBOL	SCIENTIFIC NAME	COMMON NAME	QTY	CONT.	SPACING	NATIVE
P1	<i>Achillea millefolium</i>	Common Yarrow	20%	1 gal	24" O.C.	Marin
	<i>Agave vilморинiana</i>	Octopus Agave	10%	5 gal	48" O.C.	
	<i>Dymondia margaretae</i>	Silver Carpet	10%	4" plugs	6" O.C.	
	<i>Helichrysum petiolare</i>	Licorice Plant	10%	1 gal	30" O.C.	
	<i>Muhlenbergia rigens</i>	Deer Grass	10%	1 gal	30" O.C.	California
	<i>Salvia 'White Rain'</i>	White Rain Sage	30%	1 gal	18" O.C.	
	<i>Sesleria autumnalis</i>	Autumn Moor Grass	20%	1 gal	6" O.C.	
					2695 SF	

DRY SHADE MIX - Low water-use perennials to use drip irrigation.

SYMBOL	SCIENTIFIC NAME	COMMON NAME	QTY	CONT.	SPACING	NATIVE
P2	<i>Acanthus mollis</i>	Bear's Breeches	10%	5 gal	36" O.C.	Marin
	<i>Carex pansa</i>	California Sedge	20%	1 gal	6" O.C.	Marin
	<i>Fragaria chiloensis</i>	Beach Strawberry	20%	1 gal	4" O.C.	Marin
	<i>Heuchera maxima</i>	Alumroot	35%	5 gal	18" O.C.	California
	<i>Hydrangea quercifolia</i>	Oak Leaf Hydrangea	15%	5 gal	48" O.C.	
					3204 SF	

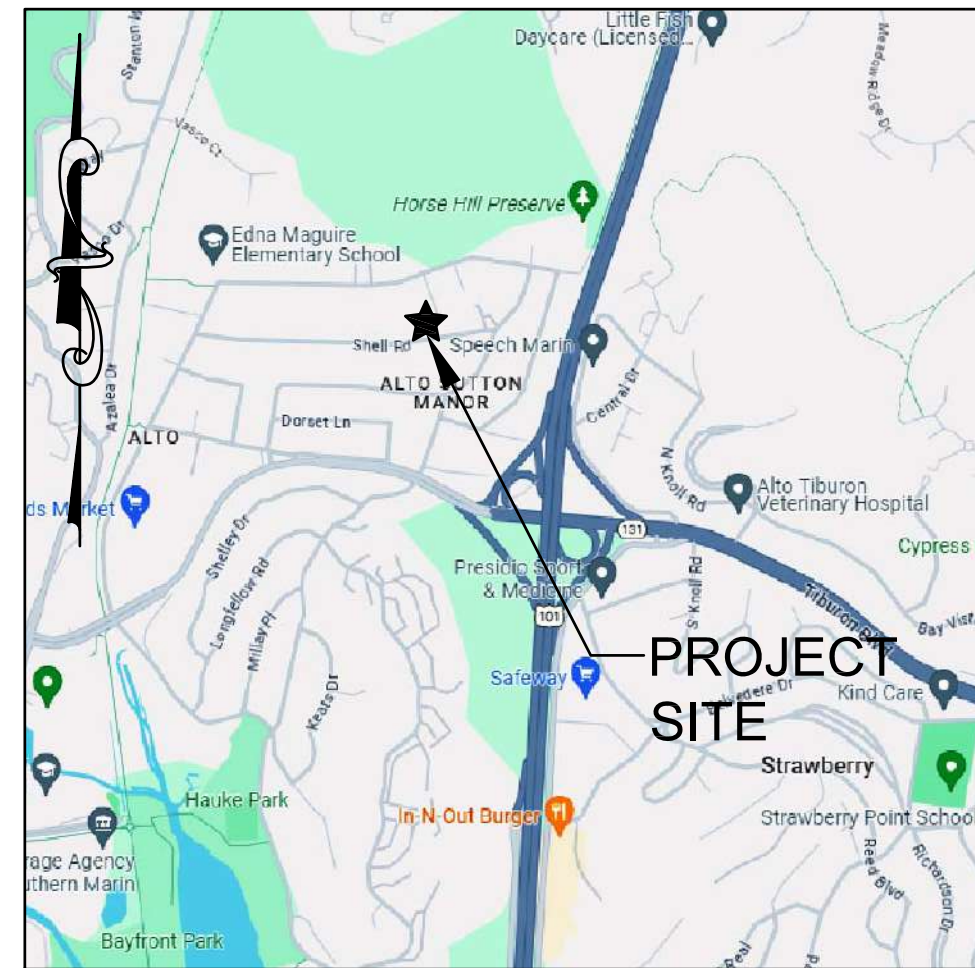
LAWN MIX - Medium water-use lawn to use pop-up spray irrigation

SYMBOL	COMMON NAME	QTY (SF)	CONT.	SPACING	NATIVE
LA	Bowlero Grass Turf™	810	N/A	N/A	

Landscape Architectural Planting Notes

- The Contractor shall locate and verify all existing and new utility line locations prior to planting, and shall report any utility conflicts to the Construction Manager.
- Contractor shall receive approval from Landscape Architect of plant layout prior to installation.
- The trunk flare (at the base of the tree) shall be properly exposed for all plantings.
- Keep root balls intact prior to and during planting operations. Plants with broken or damaged root balls shall be rejected and immediately removed from the site. Keep root balls damp and protected from damage due to sun and wind. Do not shave root balls.
- Planting areas to be irrigated with permanent drip irrigation system as indicated in schedule. All planting areas to have 2" arbor mulch. Lawn to be irrigated with pop-up spray irrigation.
- See Site Plan for Tree Removal locations.

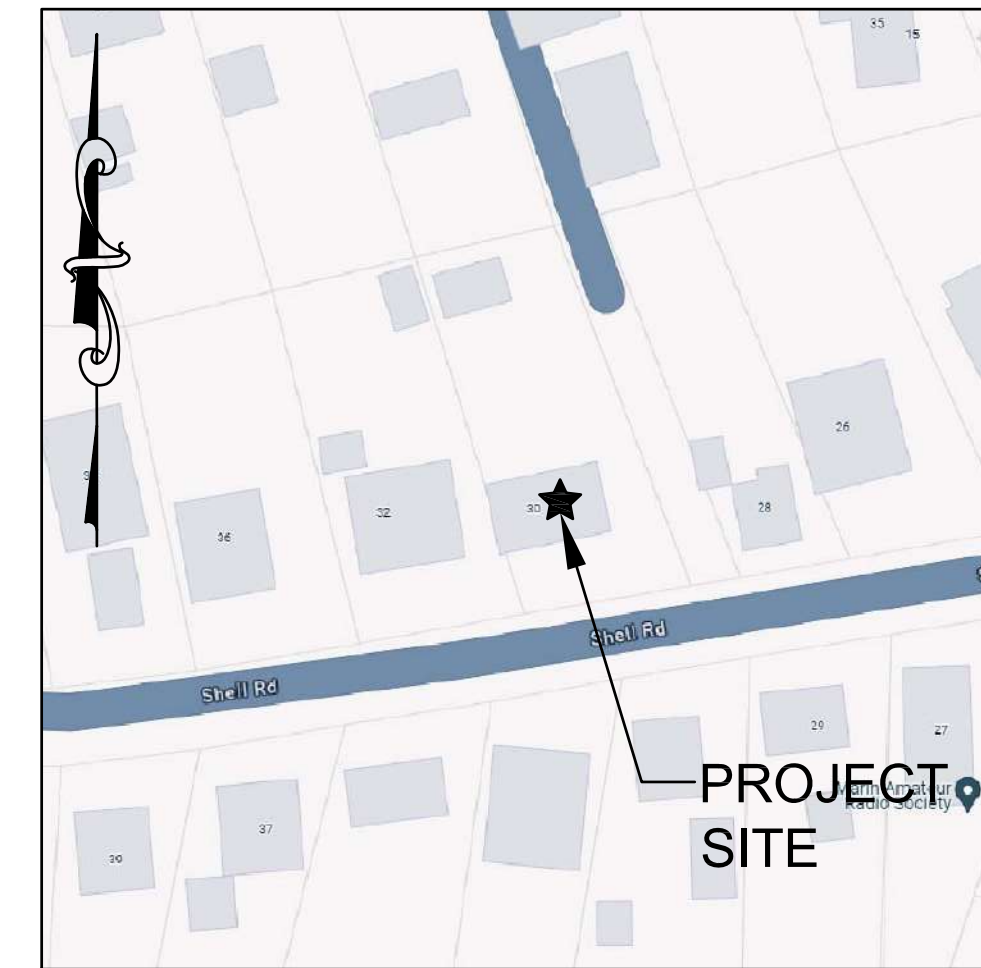




VICINITY MAP

N.T.S.

FELSON RESIDENCE 30 SHELL DRIVE MILL VALLEY, CA

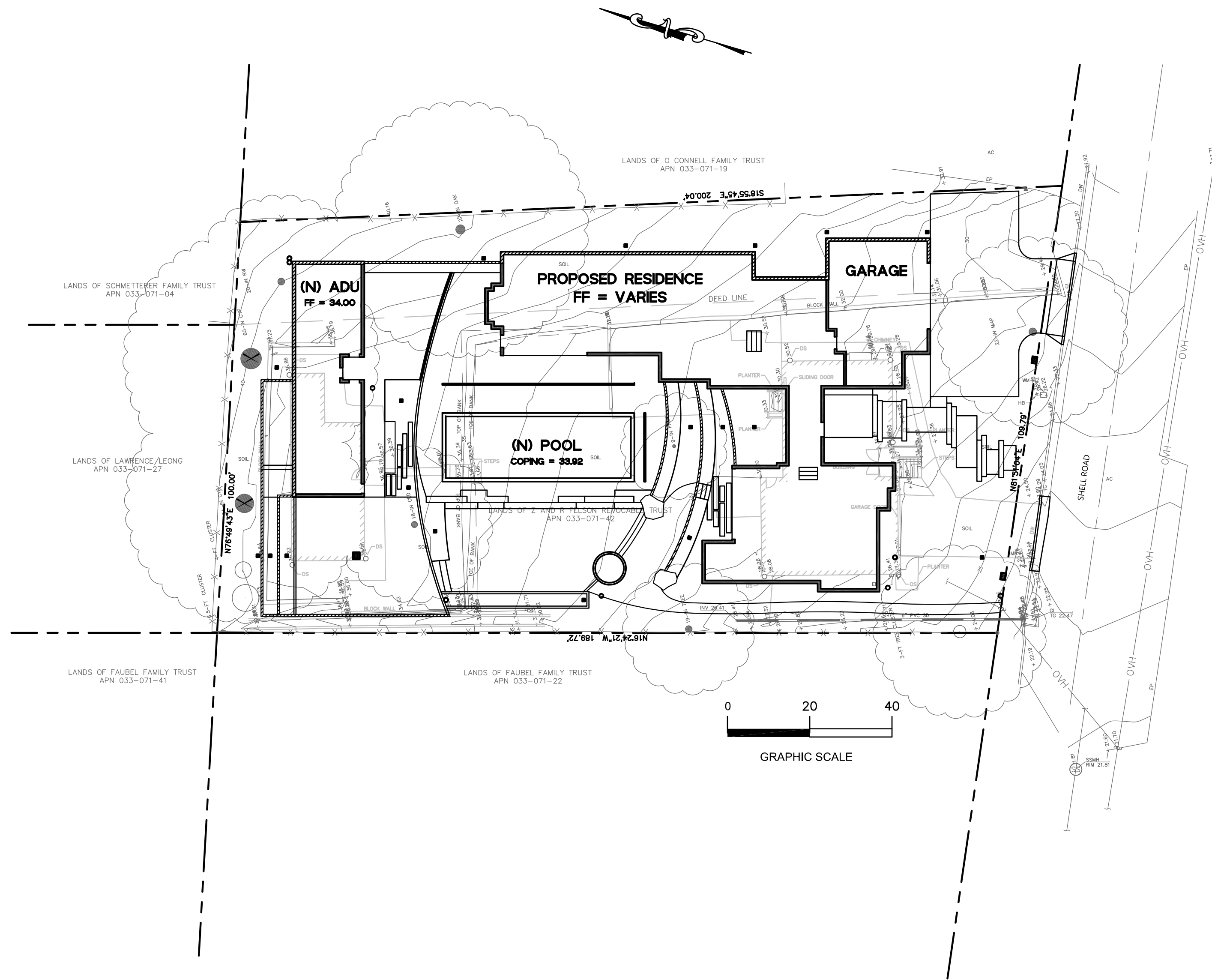


LOCATION MAP

N.T.S.

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFP	BACK FLOW PREVENTION DEVICE
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DG	DECOMPOSED GRANITE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DWY	DRIVEWAY
(E)	EXISTING
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
HW	HEATED WATER LINE
INV	PIPE INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NEW
PIV	POST INDICATOR VALVE
POC	POINT OF CONNECTION
RIM	RIM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBD/CO	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SD/CO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SICB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SPP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER



LEGEND:

EXISTING	PROPOSED	
SS	SS	SANITARY SEWER
SD	SD	STORM DRAIN
	---	STORM SUB-DRAIN (PERFORATED PIPE)
	---	TRANSITION FROM PERF. PIPE TO SOLID PIPE
FM	FM	FORCE MAIN
FW	FW	FIRE WATER LINE
W	W	DOMESTIC WATER SERVICE
IRR	IRR	IRRIGATION SERVICE
G	G	NATURAL GAS
E	E	ELECTRIC
JT	JT	JOINT TRENCH
X	X	FENCE
O	O	CLEAN OUT
	⊙	DOUBLE DETECTOR CHECK VALVE
	⊙	POST INDICATOR VALVE
	⊙	VALVE
	⊙	METER BOX
	⊙	STREET LIGHT
	⊙	AREA DRAIN
	⊙	CATCH BASIN
	⊙	FIRE HYDRANT
	⊙	FIRE DEPARTMENT CONNECTION
	⊙	BENCHMARK
	⊙	MANHOLE
	⊙	SIGN
	⊙	DOWNSPOUT
	⊙	SPLASH BLOCK
	⊙	CONTOURS
	---	PROPERTY LINE
	---	SETBACK
	---	GRASS SWALE
	---	RETAINING WALL/ BUILDING STEMWALL
	X	(E) TREE TO BE REMOVED

SHEET INDEX

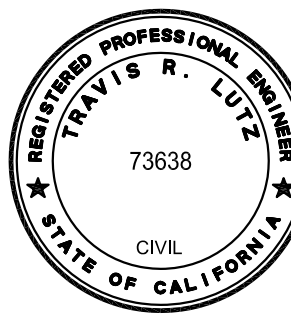
SHEET NO.	DESCRIPTION
C-0	TITLE SHEET
C-2	GRADING PLAN
C-3	UTILITY PLAN

EARTHWORK QUANTITIES

GROSS QUANTITIES:		QUANTITY BREAKDOWN:	
CUT	1,030 C.Y.	BUILDINGS:	
FILL	220 C.Y.	CUT	390 C.Y.
TOTAL TO BE MOVED	1,250 C.Y.	FILL	50 C.Y.
BALANCE	810 C.Y. CUT (OFF-HAUL)	POOL:	
		CUT	160 C.Y.
		FILL	0 C.Y.
NET QUANTITIES (BUILDING AND STRUCTURES OMITTED):		SITE WORK:	
CUT	480 C.Y.	CUT	480 C.Y.
FILL	170 C.Y.	FILL	170 C.Y.
TOTAL TO BE MOVED	650 C.Y.		
BALANCE	310 C.Y. CUT (OFF-HAUL)		

EARTHWORK QUANTITIES SHOWN ABOVE ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES, AND USE THEIR CALCULATIONS FOR BIDDING AND COST ESTIMATING PURPOSES.

DATE: _____
REVISIONS: _____



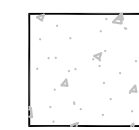
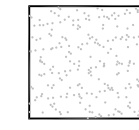
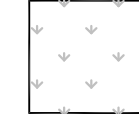
TITLE SHEET
FELSON RESIDENCE
30 SHELL DRIVE
MILL VALLEY (MCO), CA 94941

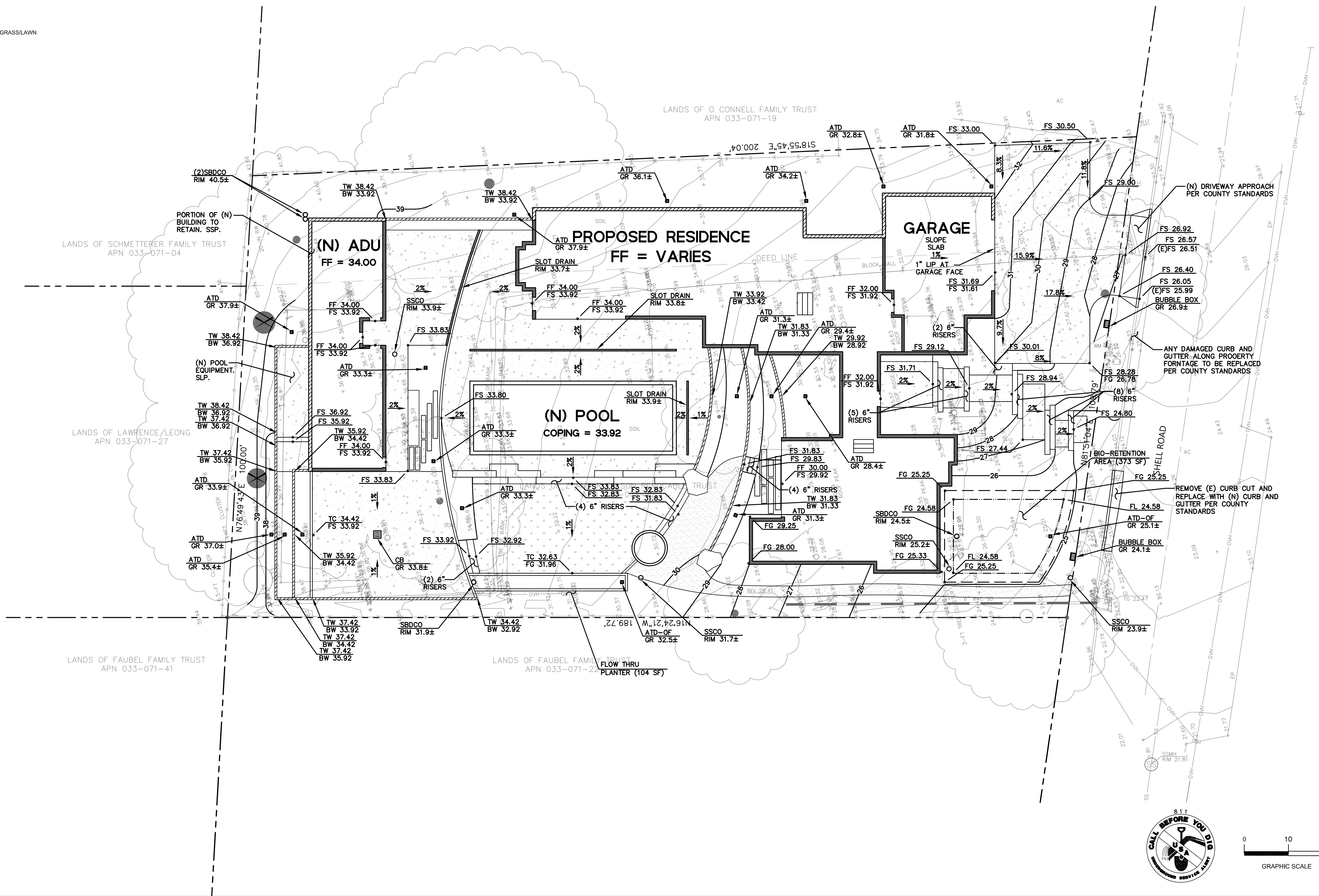
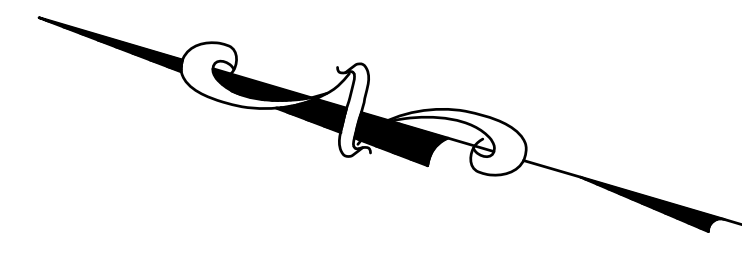
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Scale: AS SHOWN
Design: AJP
Check: TRL
Drawing Number: C-0
PEC Job No. PEC 23-066



PAVEMENT LEGEND:

SEE GEOTECHNICAL REPORT BY DAVID OLNES P.E., INC. DATED NOVEMBER 28, 2023 FOR EXACT PAVEMENT SECTIONS, OVER-EXCAVATION AND COMPACTION REQUIREMENTS. SEE ARCHITECTURAL PLAN(S) FOR EXACT MATERIAL SELECTION.

-  PAVING
-  DG
-  GRASS/LAWN



DATE:	
REVISIONS:	

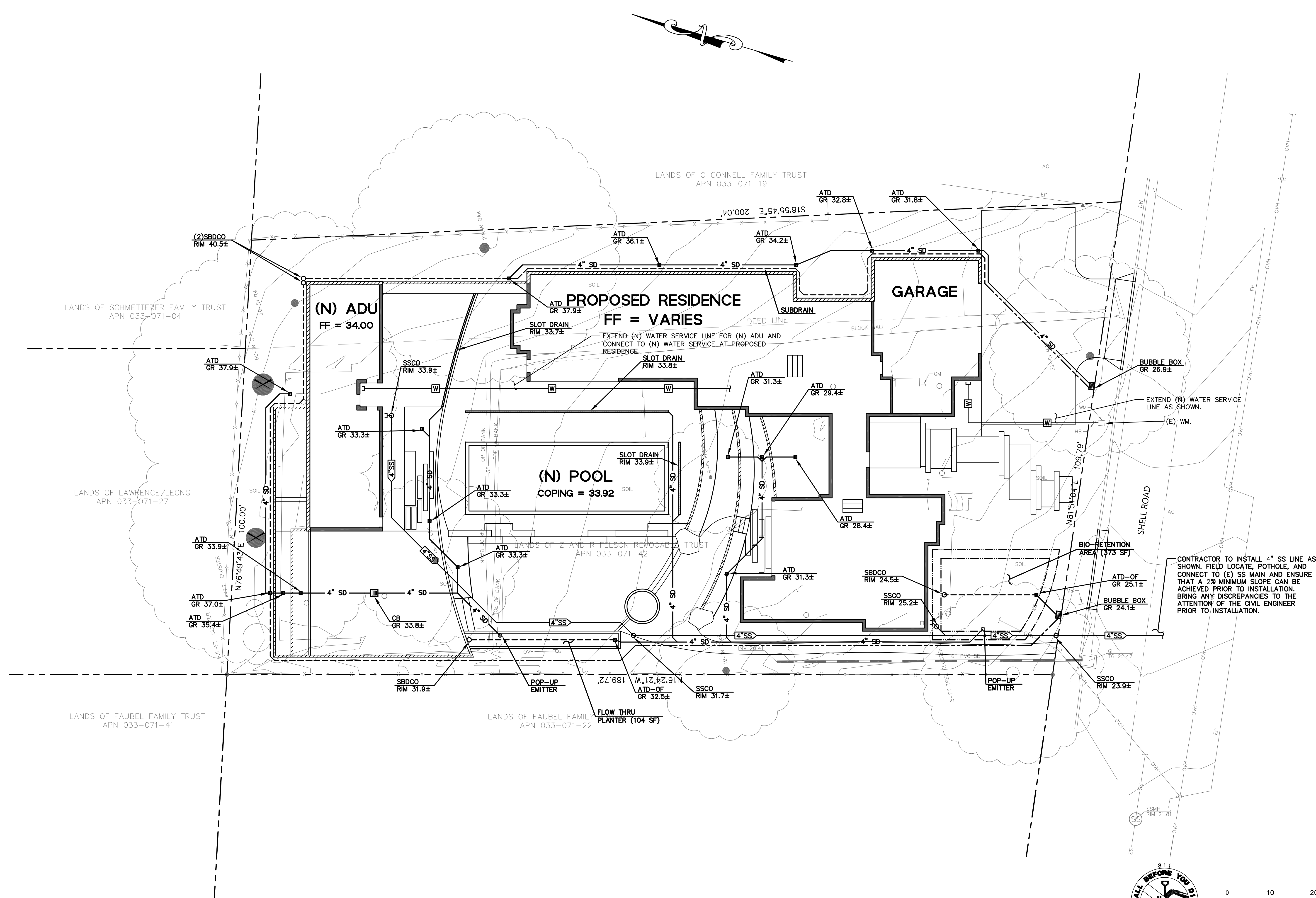


GRADING PLAN
FELSON RESIDENCE
30 SHELL DRIVE
MILL VALLEY (MCO), CA 94941

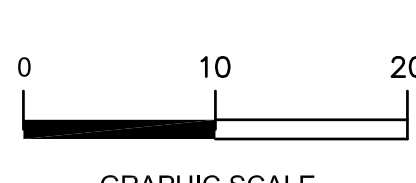
Date:	02/21/2024
Scale:	1" = 10'
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Check:	TRL
Drawing Number:	C-2
PEC Job No.:	PEC 23-066

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DATE: 02/21/2024
 DRAWING NAME: UTILITY PLAN
 PROJECT: 30 SHELL DRIVE
 SHEET: C-3

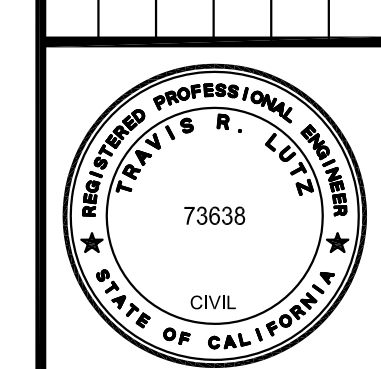


CONTRACTOR TO INSTALL 4" SS LINE AS SHOWN. FIELD LOCATE, POT HOLE, AND CONNECT TO (E) SS MAIN AND ENSURE THAT A 2% MINIMUM SLOPE CAN BE ACHIEVED PRIOR TO INSTALLATION. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE CIVIL ENGINEER PRIOR TO INSTALLATION.



PRECISION ENGINEERING
 AND
 CONSTRUCTION, INC.
 13318 Old County Road
 Belmont, CA 94002
 T: 650.226.8640
 Travis@precision-ec.com

REVISIONS:	DATE:



UTILITY PLAN
FELSON RESIDENCE
30 SHELL DRIVE
MILL VALLEY (MCO), CA 94941

Date: 02/21/2024
 Scale: 1" = 10'
 Design: AJP
 Check: TRL
 Drawing Number: C-3
 PEC Job No.: PEC 23-066