

ADDITION TO A SINGLE FAMILY DWELLING

5030 PARADISE DRIVE, TIBURON



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PROJECT ADDRESS:
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 TIBURON, CA 94920

**ADDITION TO A SINGLE FAMILY DWELLING
 PLANNING PERMIT APPLICATION**

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SCALE
 N.T.S.
 DATE
 10/12/2021
 JOB NO.
 20201027

SHEET TITLE
 COVER SHEET

SHEET NO.

A0.00

Of 21 Sheets

GENERAL NOTES

GENERAL CONDITIONS: AIA DOCUMENT A201, GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE PROJECT.

EXISTING CONDITIONS: CONDITIONS SHOWN ON THE DRAWINGS ARE AS SHOWN ON THE ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE SITE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. NOTE, DIMENSIONS TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS.

PERMITS: THE CONTRACTOR SHALL OBTAIN AND PAY ALL CITY AND/OR COUNTY FEES RELATING TO PROJECT, EXCEPT THE GENERAL PERMIT, WHICH IS THE RESPONSIBILITY OF THE OWNER AND IS REIMBURSABLE TO THE G.C.

CODES: ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO: UNIFORM BUILDING CODES, NATIONAL ELECTRIC, MECHANICAL AND PLUMBING CODES, HEALTH DEPARTMENT REGULATIONS, FIRE AND SAFETY CODES, CITY/COUNTY ORDINANCES AND REGULATIONS AND OTHER CODES GOVERNING CONSTRUCTION.

SITE RESPONSIBILITY: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO THOSE AREAS WHERE WORK IS BEING PERFORMED.

CLEAN UP AND REPAIRS: THE CONSTRUCTION SITE SHALL BE MAINTAINED IN AN ORDERLY MANNER AT ALL TIMES WITH ALL DEBRIS REMOVED AT THE END OF EACH DAY. AT THE COMPLETION OF CONSTRUCTION, REMOVE ALL EXCESS MATERIALS AND REFUSE FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND THE OWNER.

PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.

ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE PART OF THE WORK.

"ALIGN" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES ON THE SAME PLANE.

"TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.

DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR, AND ARE REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, U.O.N.

INSTALLATION: ALL ITEMS SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURERS' RECOMMENDATION. ALL OPERATING MANUALS AND GUARANTEES SHALL BE GIVEN TO OWNER.

SCHEDULE: UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO SUBMIT A CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUB-CONTRACTOR'S WORK AND A COST-BY-TRADE BREAKDOWN FOR USE IN SCHEDULING AND EVALUATING PAY REQUESTS.

SUBSTITUTIONS: SUBSTITUTIONS, REVISIONS OR CHANGES MUST HAVE APPROVAL BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

DAMAGE: THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SURFACES OR ITEMS DAMAGED BY CONSTRUCTION TO THE SATISFACTION OF THE ENGINEER OR OWNER.

DEMOLITION: ALL DEMOLITION INDICATED ON PLANS SHALL BE CARE-FULLY CUT AND REMOVED IN ORDER TO MINIMIZE DISRUPTION AND AND DAMAGE OF EXISTING SPACE.

COLUMNS CENTERLINES (ALSO REFEREED TO AS GRID LINES) ARE SHOWN FOR DIMENSIONAL PURPOSES. (REFER TO BASE BUILDING DRAWINGS FOR EXACT LOCATIONS).

ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE EXISTING BUILDING STANDARDS.

GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OF WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT AT NO COST TO THE OWNER. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

IF THERE IS ANY CONFLICT BETWEEN THE ARCHITECTURAL AND STRUCTURAL PLANS, OR BETWEEN THE ARCHITECTURAL AND ELECTRICAL/MECHANICAL/PLUMBING, CONTRACTOR WILL NOTIFY ARCHITECT IN ADVANCE AND RESOLVE ANY DIFFERENCES PRIOR TO CONSTRUCTION.

CONTRACTOR WILL SUBMIT ALL FINISHES, DETAILS, AND COLORS TO OWNERS AND ARCHITECT PRIOR TO ORDERING, PURCHASING, AND INSTALLING.

ELECTRICAL WORK INCLUDED IN CONTRACT IS FOR A FULLY CODE-COMPLYING INSTALLATION. IF ADDITIONAL OUTLETS ARE NEEDED TO MEET THE CODE WHICH ARE NOT SHOWN ON THE DRAWINGS, ELECTRICAL SUB-CONTRACTOR IS TO SUPPLY AT NO ADDITIONAL COST TO OWNER.

CONTRACTOR AND SUBS ARE TO MAKE SURE THAT ALL CONSTRUCTION AND EQUIPMENT CONFORM WITH TITLE 24 ENERGY REQUIREMENTS & SAN MATEO GREEN BUILDING CHECKLIST.

VERIFY THAT ROOF & DECK MEMBRANES ARE WATER TIGHT BEFORE COVERING.

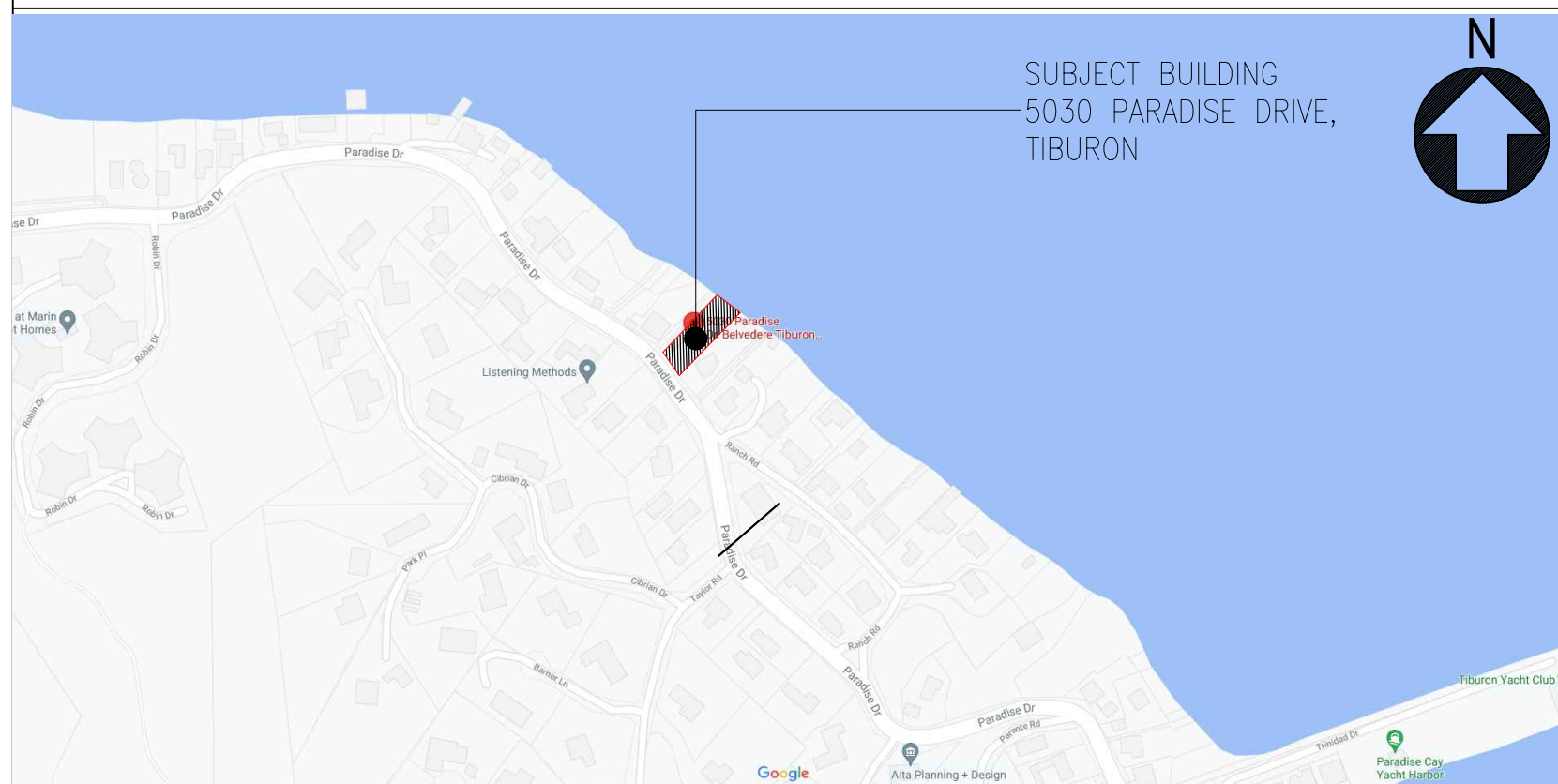
ALL SURFACE WATER OUTSIDE THE BUILDING IS TO BE DIRECTED AWAY FROM THE BUILDING, ESPECIALLY NEAR THE FOUNDATIONS. PROVIDE SUB-SURFACE PERFORATED DRAINAGE PIPE AROUND THE FOUNDATION WHICH EMPTIES INTO PIPE WHICH LEADS TO CITY SEWER. PROVIDE SAND TRAP IF REQUIRED FOR SITE DRAINAGE.

CONTRACTOR SHALL PROTECT ALL INSTALLED WORK AND MATERIALS STORED ON SITE FROM RAIN OR ANY ADVERSE WEATHER CONDITIONS, VANDALISM, AND THEFT. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES RESULTING FROM WEATHER, VANDALISM, AND THEFT.

CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING AGAINST GRAVITY AND SEISMIC LOADS, AND TAKE COMPLETE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF SUCH BRACING AND SHORING, UNTIL ALL STRUCTURAL WORK HAS BEEN COMPLETELY INSTALLED ACCORDING TO THE CONSTRUCTION DOCUMENTS.

THE CONSTRUCTION DOCUMENTS AND ALL COPIES THEREOF FURNISHED TO CONTRACTOR ARE THE COPYRIGHTED PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED ON OTHER WORK.

LOCATION MAP



SCOPE OF WORK

1. ADDITION TO A SINGLE FAMILY DWELLING;
2. REMODEL THE EXISTING LAYOUT ON FIRST AND SECOND FLOORS;
3. ADDITION TO THE EXISTING DECK AT SECOND FLOOR;

PROJECT DATA

APN:	038-032-14
ZONING:	BFC-RSP-2.18
LOT AREA:	20,276 S.F.
BUILDING AREA:	(E) 2,965 S.F. (N) 4,151 S.F.
GARAGE AREA:	(E) 427 S.F. (NO CHANGE)
COVERED PARKING:	(E) 2 (NO CHANGE)
FAR:	(E) 0.19 (N) 0.23
FRONT SETBACK:	(E) ±34'-5" (NO CHANGE)
REAR SETBACK FROM BUILDING CORNER:	(E) ±119'-6" (N) ±110'-10"
REAR SETBACK FROM DECK CORNER:	(E) ±110'-10" (N) ±119'-6"
SIDE SETBACK (EAST):	(E) ±5'-0" (NO CHANGE)
SIDE SETBACK (WEST):	(E) ±2'-9" (NO CHANGE)
BUILDING HEIGHT:	(E) ±15'-4 1/2" (N) ±24'-6 1/2"
UNIT NUMBER:	(E) 1 (NO CHANGE)
OCCUPANCY:	(E) R-3 (NO CHANGE)
TYPE OF CONSTRUCTION:	(E) V-B WITH FIRE SPRINKLER SYSTEM
ON-SITE PARKING:	4 TOTAL SPACES (NO CHANGE) (2 CAR GARAGE + 2 ADD'L SPACES)
IMPERVIOUS COVERAGE:	(E) ±6,592 SF (INCLUDING PUBLIC ROADWAY & UTILITY EASEMENT) / 20,276 SF = 32.5% (N) ±6,640 SF (INCLUDING PUBLIC ROADWAY & UTILITY EASEMENT) / 20,276 SF = 32.7%
PERVIOUS COVERAGE:	(E) ±13,684 SF / 20,276 SF = 67.5% (N) ±13,636 SF / 20,276 SF = 67.3%
GRADING CALCULATIONS :	FILL = 1 C.Y. CUT = 3 C.Y. NET CUT = 2 ± C.Y.

BUILDING FLOOR AREA	EXISTING	PROPOSED
FIRST/LOWER FLOOR	±1,165 SF	±1,188 SF
SECOND/MAIN FLOOR	±1,800 SF	±1,811 SF
THIRD/UPPER FLOOR	- SF	±1,152 SF
TOTAL	±2,965 SF	±4,151 SF
GARAGE	±427 SF	±427 SF

CODE REQUIREMENTS

- | | |
|---------------------------------|--------------------------------|
| 1. 2019 CALIF. BLDG. CODE | 2. 2019 CALIF. MECH. CODE |
| 3. 2019 CALIF. PLMBG. CODE | 4. 2019 CALIF. ELECTR. CODE |
| 5. 2019 CALIF. ENERGY CODE | 6. 2019 CALIF. FIRE CODE |
| 7. 2019 CALIF. RESIDENTIAL CODE | 8. MARIN COUNTY MUNICIPAL CODE |

PROJECT TEAMS:

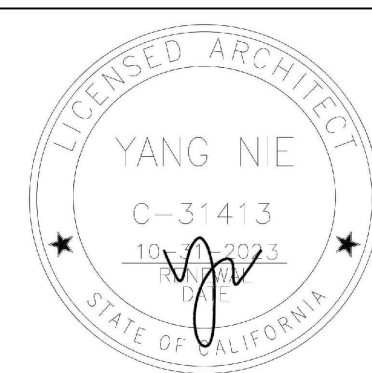
OWNER: JUN SHI 5030 PARADISE DRIVE, TIBURON, CA 94920 TEL: 617 893 2568 EMAIL: JUDYSHI0224@GMAIL.COM	ARCHITECT: ALEX NIE / NIE YANG ARCHITECTS 101 HICKEY BLVD., STE.A #404 SOUTH SAN FRANCISCO, CA 94080 TEL. 415 203 2371 FAX. 415 354 8389 EMAIL. NYARCHITECTS@GMAIL.COM
CIVIL & SURVEYING: JOE ELEMEN / AMERICAN LAND SURVEYING, INC. 2030 UNION ST, #106B, SAN FRANCISCO, CA 94102 TEL: 415 888 8580 EMAIL: OFFICE@ALSPLS.COM	

SHEET INDEX

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ARCHITECTURAL:		
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A5.0	PROPOSED SECTION	1/4" = 1'-0"
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CIVIL & SURVEYING:		
	TOPOGRAPHIC MAP	1/8" = 1'-0"
C-2	GRADING, DRAINAGE AND EROSION CONTROL PLAN	1" = 8'

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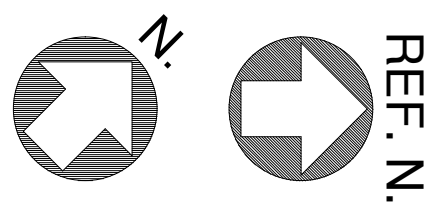
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SHEET TITLE
 PROJECT DATA,
 LOCATION PLAN

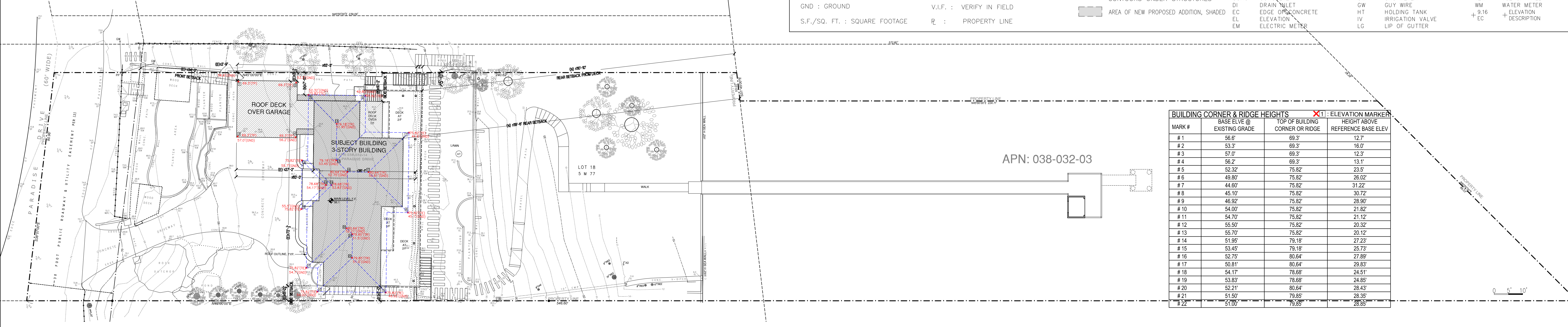
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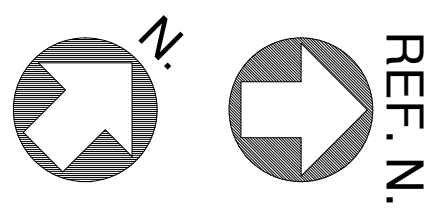


LEGEND

TE : TOP OF ROOF EAVE	(E) : EXISTING	FENCE LINE	AD	AREA DRAIN	EP	EDGE OF PAVEMENT	LP	LAMP POST
TR : TOP OF ROOF RIDGE	(N) : NEW	EXISTING CONTOURS	BC	BUILDING CORNER	FC	FACE OF CURB	MH	MANHOLE
TP : TOP OF PARAPET	U.N.O. : UNLESS NOTED OTHERWISE	INTERPOLATION OF EXISTING CONTOURS UNDER STRUCTURES	BW	TOE BACK OF WALL	FL	FLOW LINE	PP	POWER POLE
GND : GROUND	V.I.F. : VERIFY IN FIELD	AREA OF NEW PROPOSED ADDITION, SHADED	CMP	CORRUGATED METAL PIPE	FF	FINISH FLOOR	SC	SEWER CLEANOUT
S.F./SQ. FT. : SQUARE FOOTAGE	P : PROPERTY LINE		CO	CLEANOUT	FH	FIRE HYDRANT	TBW	TOP BACK OF WALL
			CONC	CONCRETE	GM	GAS METER	TEW	TOE OF WALL
			DI	DRAIN W/LET	GW	GUY WIRE	WM	WATER METER
			EC	EDGE OF CONCRETE	HT	HOLDING TANK	+ EC	+ ELEVATION
			EL	ELEVATION	IV	IRRIGATION VALVE	+ EC	+ DESCRIPTION
			EM	ELECTRIC METER	LG	LIP OF GUTTER		

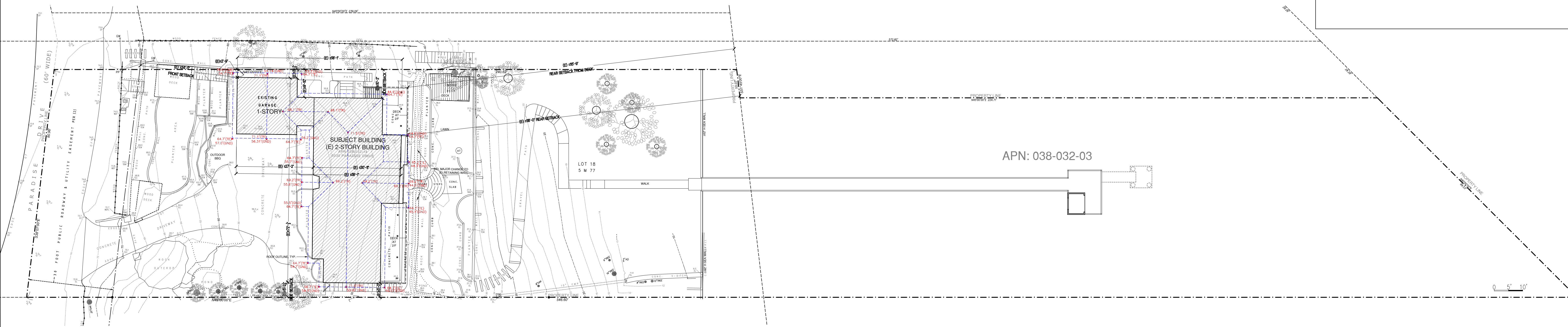


PROPOSED PLOT PLAN 1/16"=1'-0" 2



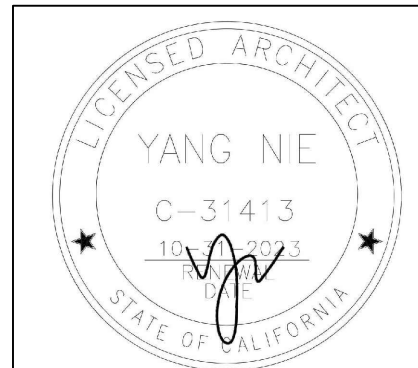
NOTES:

- SITE PLAN BACKGROUND AND TOPOS ARE REFERENCED TO THE TOPOGRAPHIC MAP PREPARED BY AMERICAN LAND SURVEYING (FILE# ALS21080).
- NO MAJOR CHANGE TO THE EXISTING RETAINING WALL.



EXISTING PLOT PLAN 1/16"=1'-0" 1

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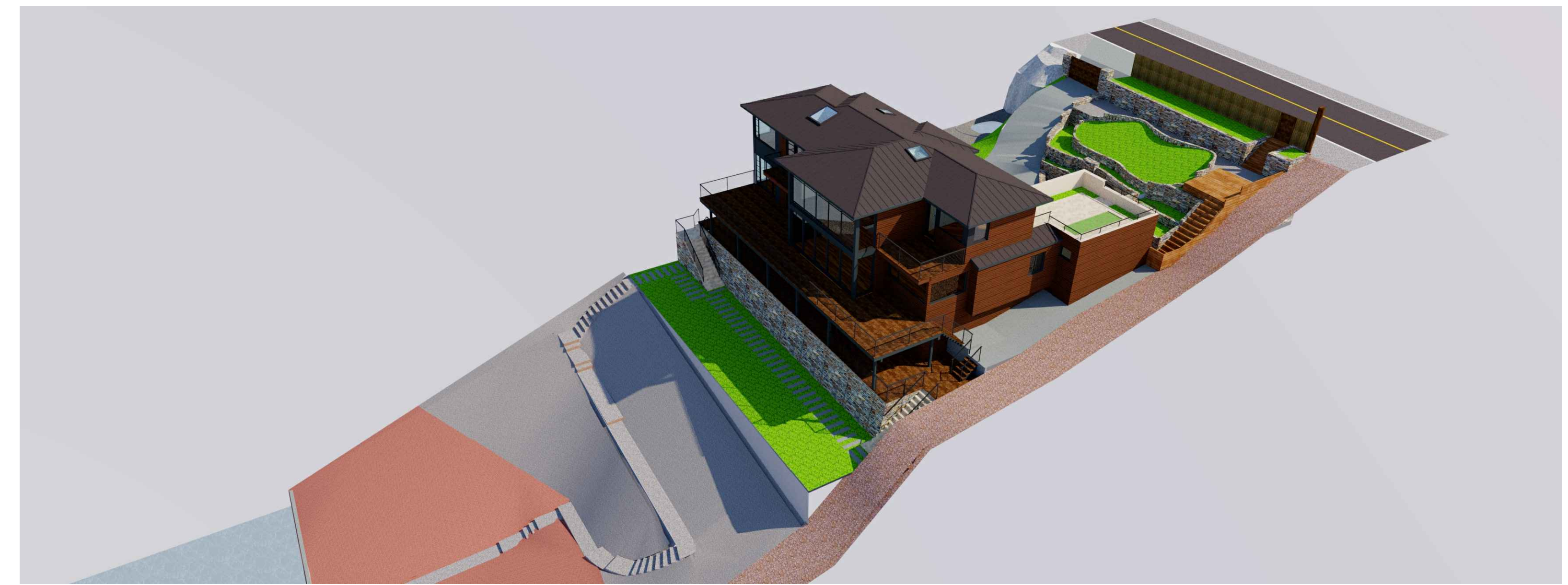
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EXISTING AND PROPOSED
PLOT PLANS

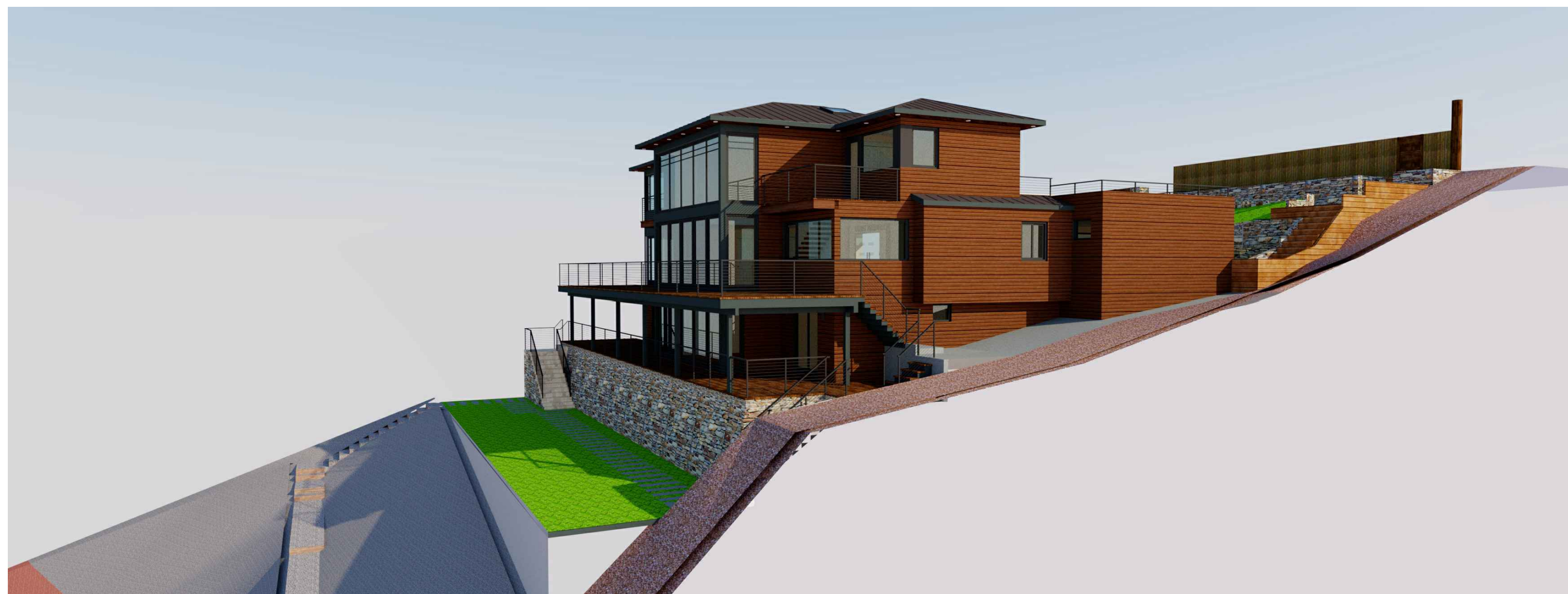
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SITE AERIAL



SITE AERIAL



REAR VIEW



SITE AERIAL



FRONT VIEW



REAR VIEW

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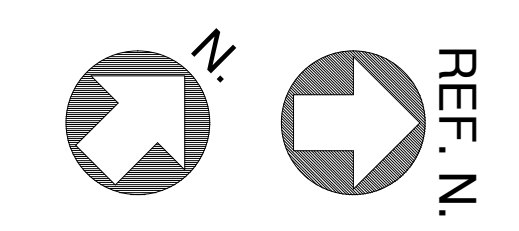
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SHEET TITLE
 RENDERINGS

SHEET NO.

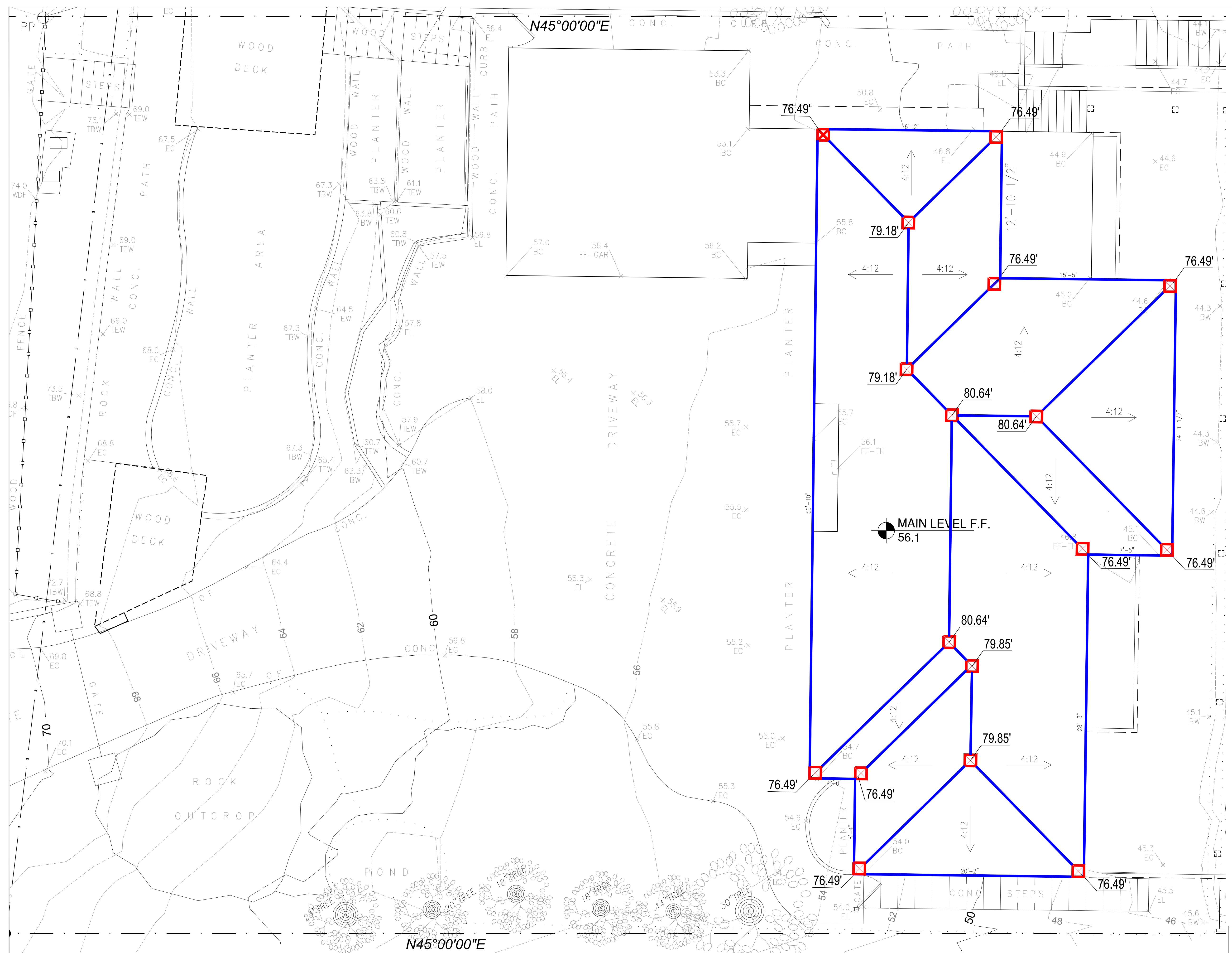
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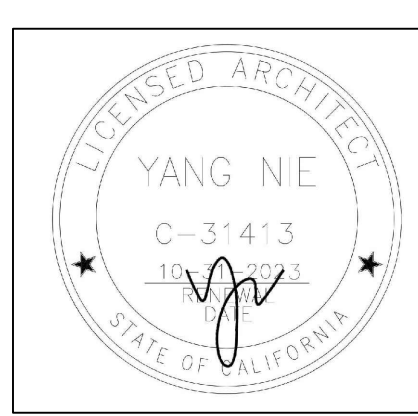
LEGEND

- STORY POLE (CAN BE CONSTRUCTED OF 2X4 LUMBER, METAL POLES, OR OTHER STURDY BUILDING MAT'L. ACCEPTABLE TO PROJECT PLANNER).
- 24 INCH WIDE NETTING (CAN BE CONSTRUCTED OF ORANGE WOVEN PLASTIC SNOW FENCING (NETTING) AND MUST BE CONSTRUCTED TO REPRESENT THE ROOFLINES OF THE PROPOSED STRUCTURE(S)).



STORY POLE PLAN 1/4"=1'-0" 1

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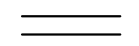
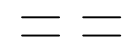

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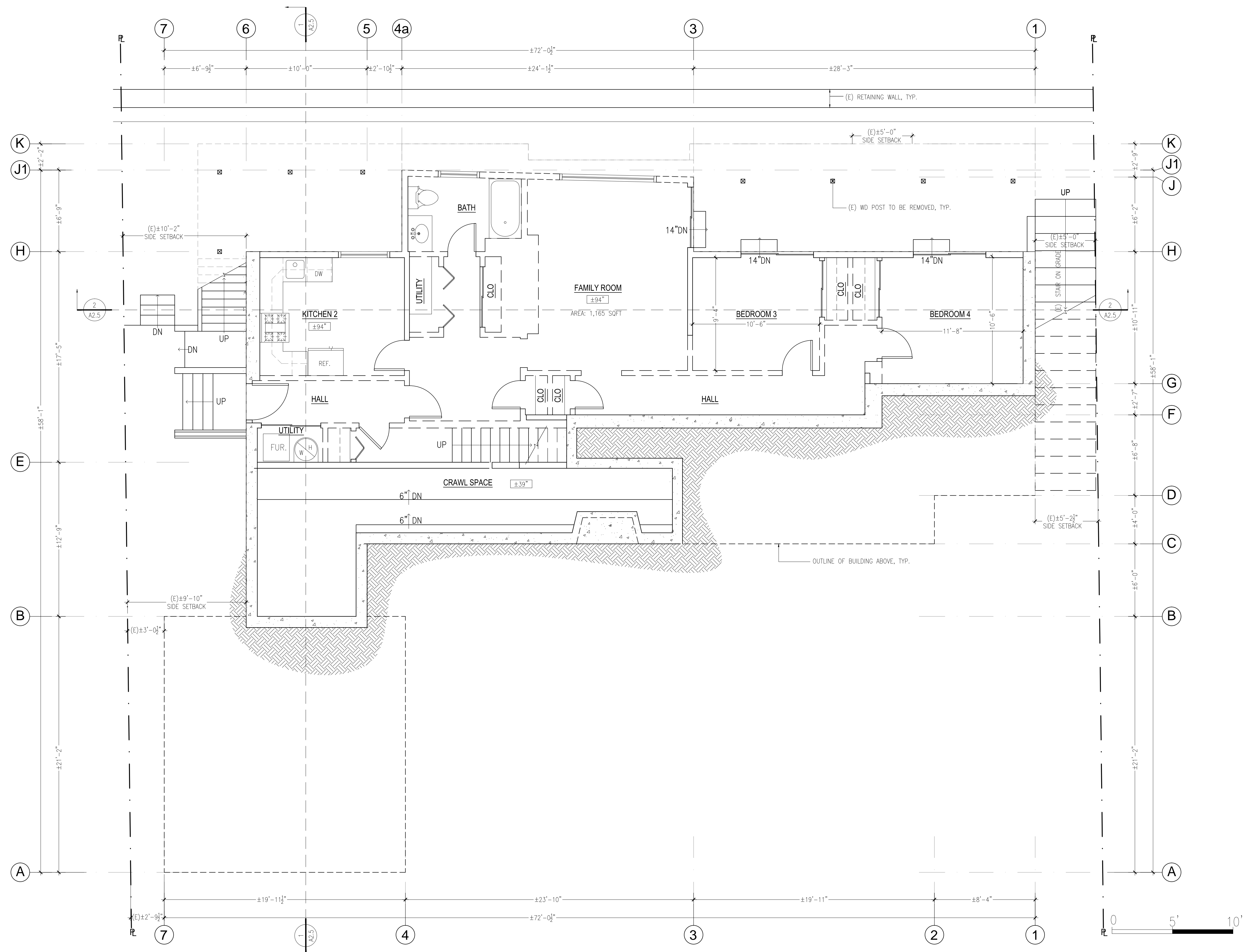
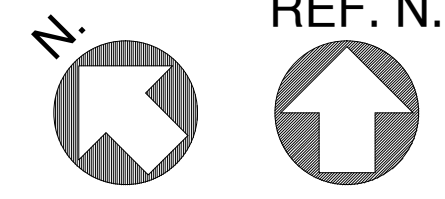
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SHEET TITLE
 STORY POLE PLAN

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LEGEND

-  (E) WALL
-  (E) WALL TO BE REMOVED
-  CEILING HEIGHT

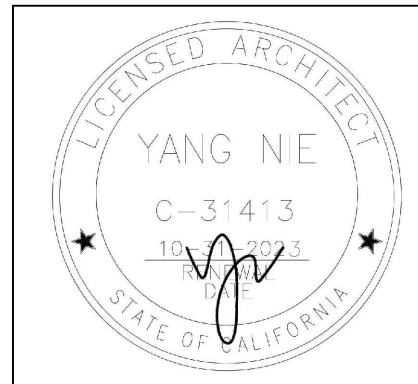


PLAN NOTES

EXISTING FLOOR PLAN _ LOWER FLOOR 1/4"=1'-0"

1

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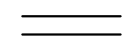
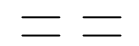

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 EXISTING FLOOR PLAN _
 LOWER FLOOR

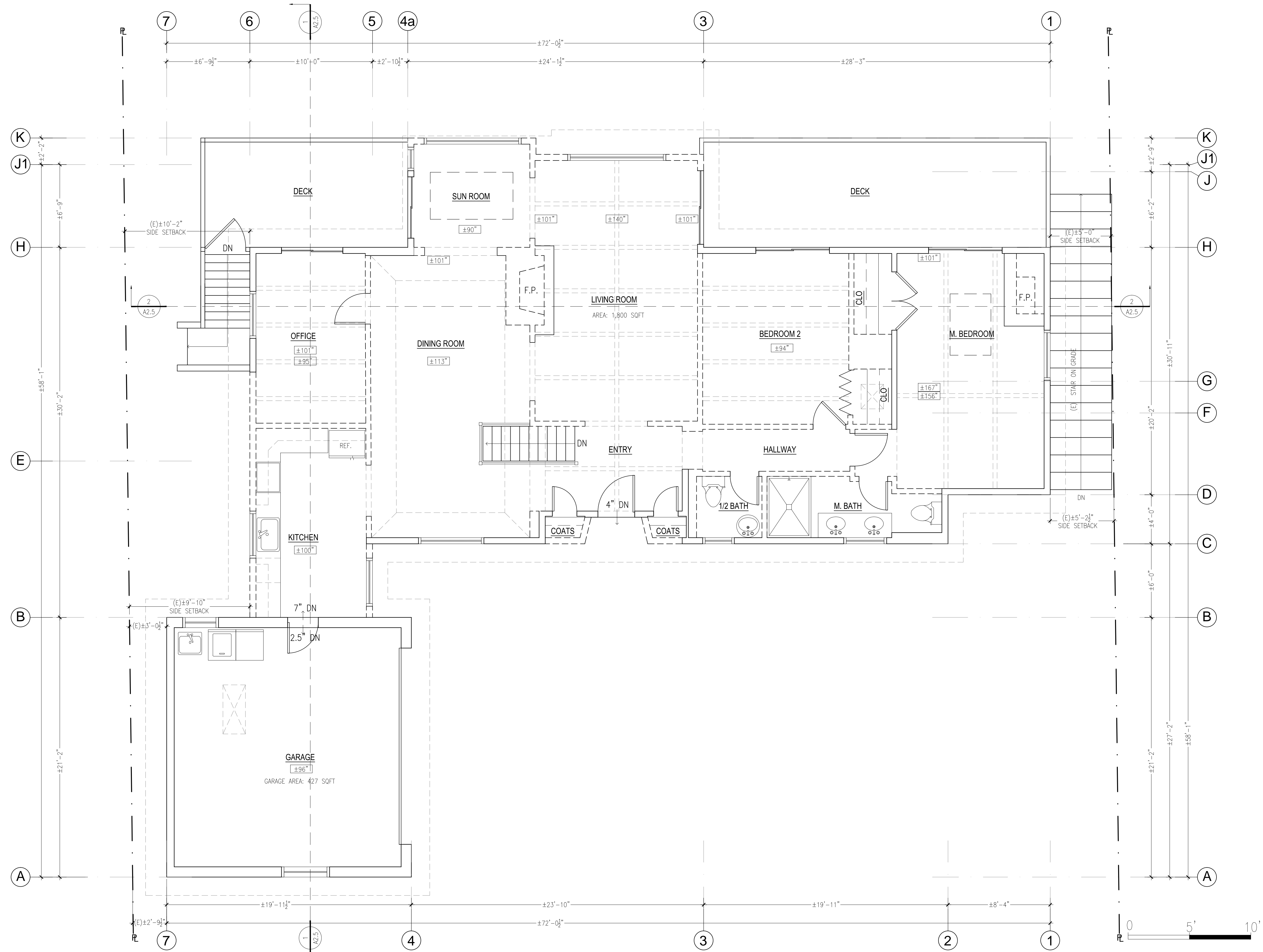
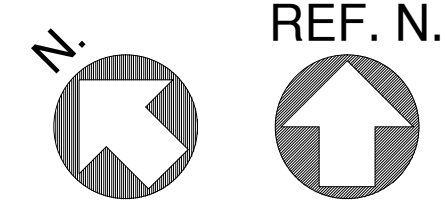
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LEGEND

-  (E) WALL
-  (E) WALL TO BE REMOVED
-  CEILING HEIGHT

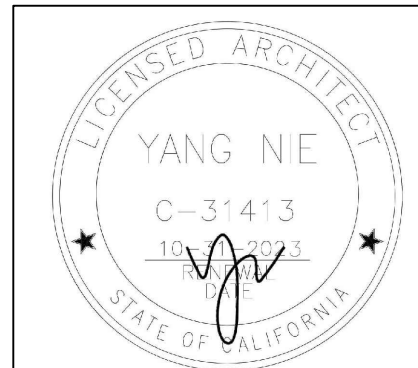


PLAN NOTES

EXISTING FLOOR PLAN _ MAIN FLOOR 1/4"=1'-0"

1

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 1/4"=1'-0"
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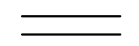
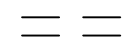

SHEET TITLE
 EXISTING FLOOR PLAN _
 MAIN FLOOR

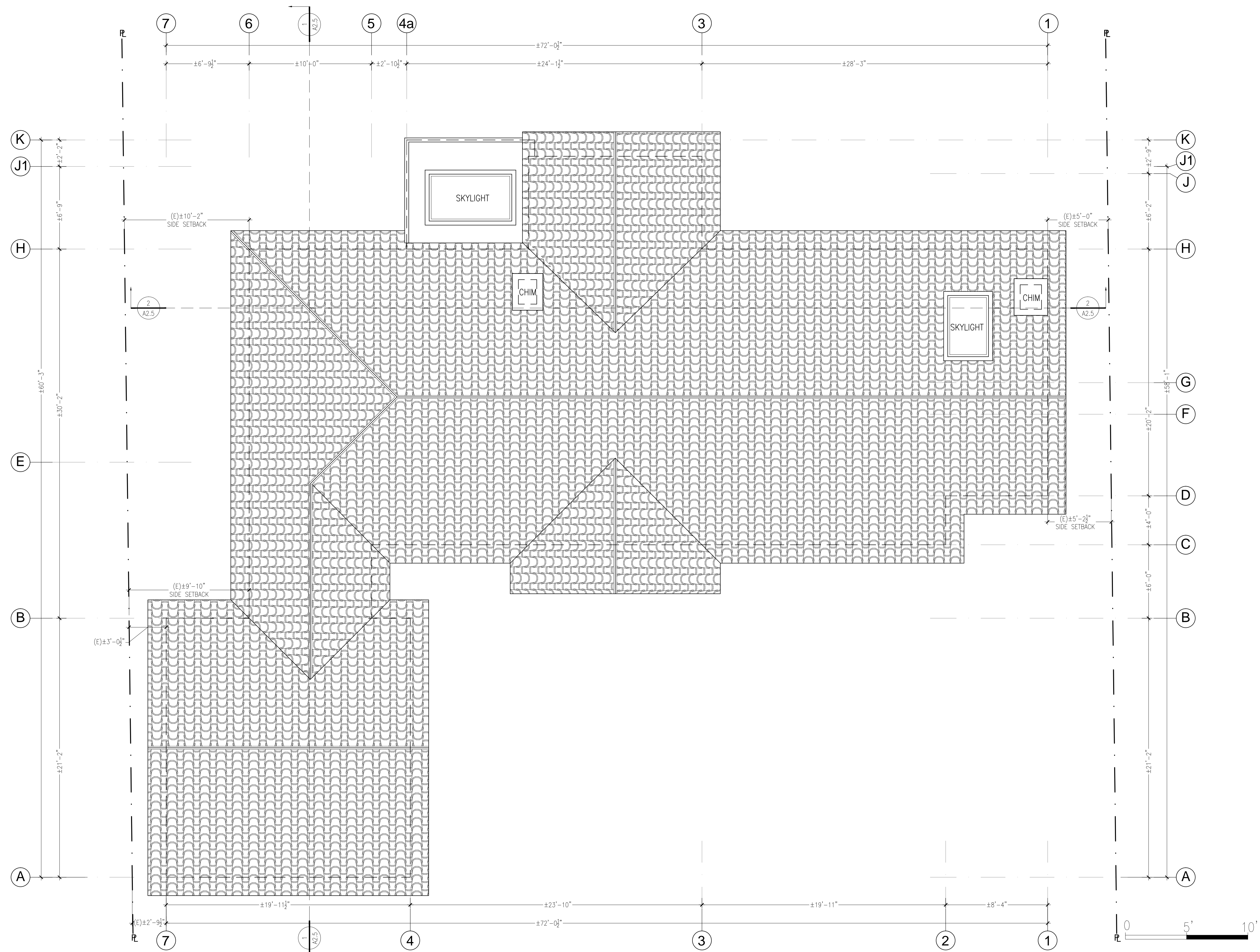
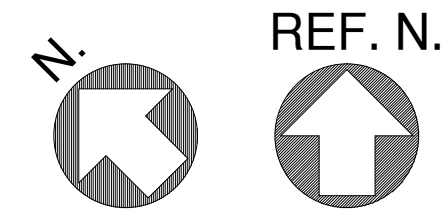
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A2.1

Of 21 Sheets

LEGEND

-  (E) WALL
-  (E) WALL TO BE REMOVED
-  CEILING HEIGHT

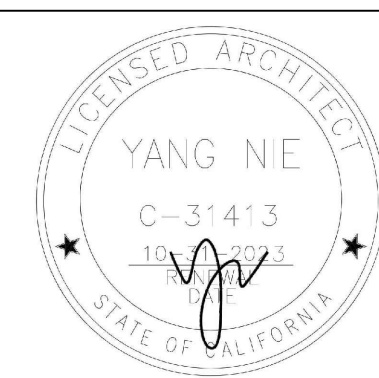


PLAN NOTES

EXISTING ROOF PLAN 1/4"=1'-0"

1

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SHEET TITLE
 EXISTING ROOF PLAN

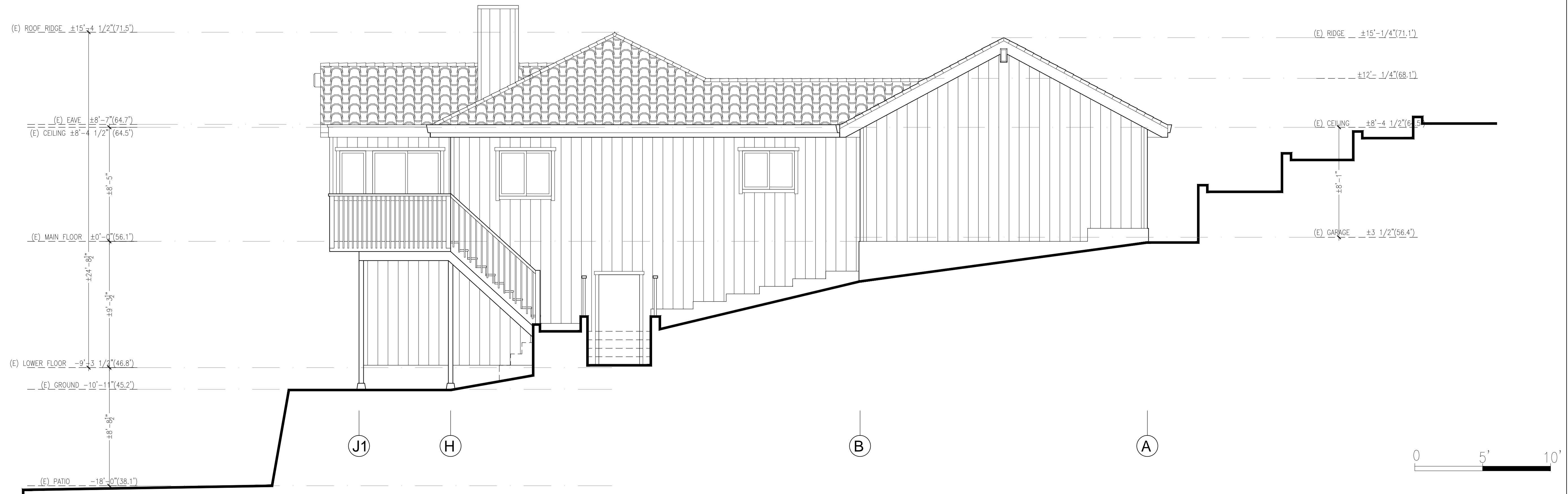
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EXISTING NORTH ELEVATION 1/4"=1'-0" 2



EXISTING WEST ELEVATION 1/4"=1'-0" 1

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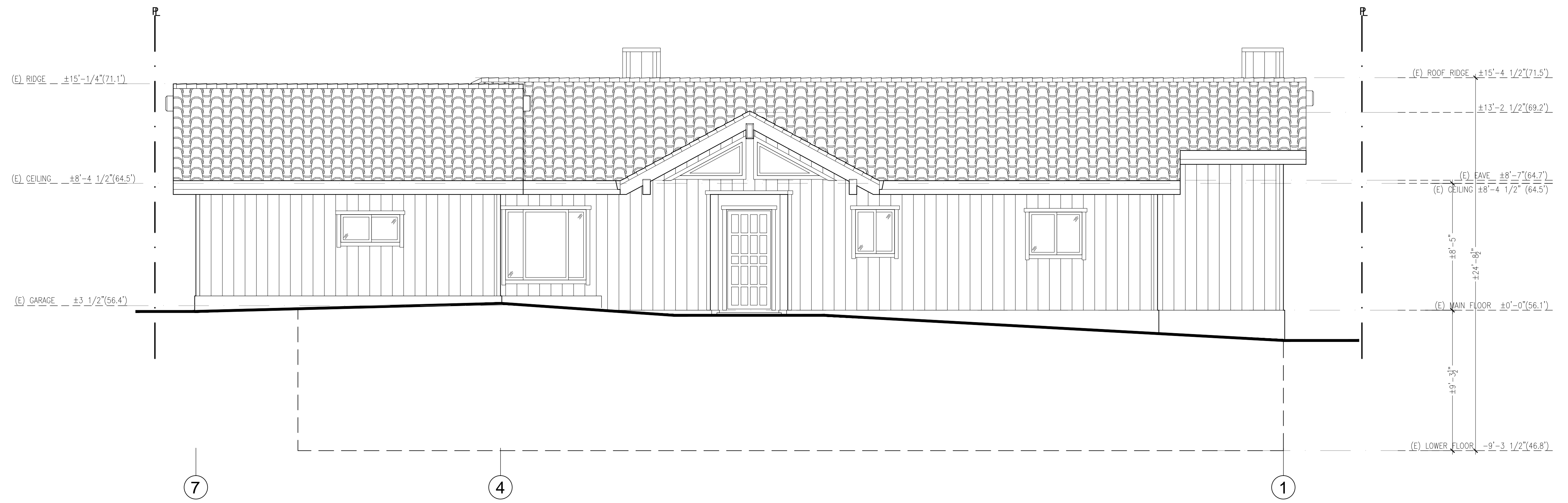
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SHEET TITLE
 EXISTING WEST ELEVATION,
 EXISTING NORTH ELEVATION

SHEET NO.

A2.3

Of 21 Sheets

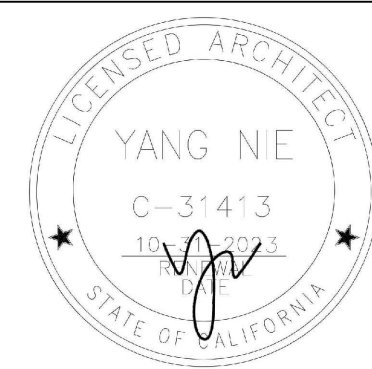


EXISTING SOUTH ELEVATION 1/4"=1'-0" 2



EXISTING EAST ELEVATION 1/4"=1'-0" 1

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SHEET TITLE
 EXISTING EAST ELEVATION,
 EXISTING SOUTH ELEVATION

SHEET NO.

A2.4

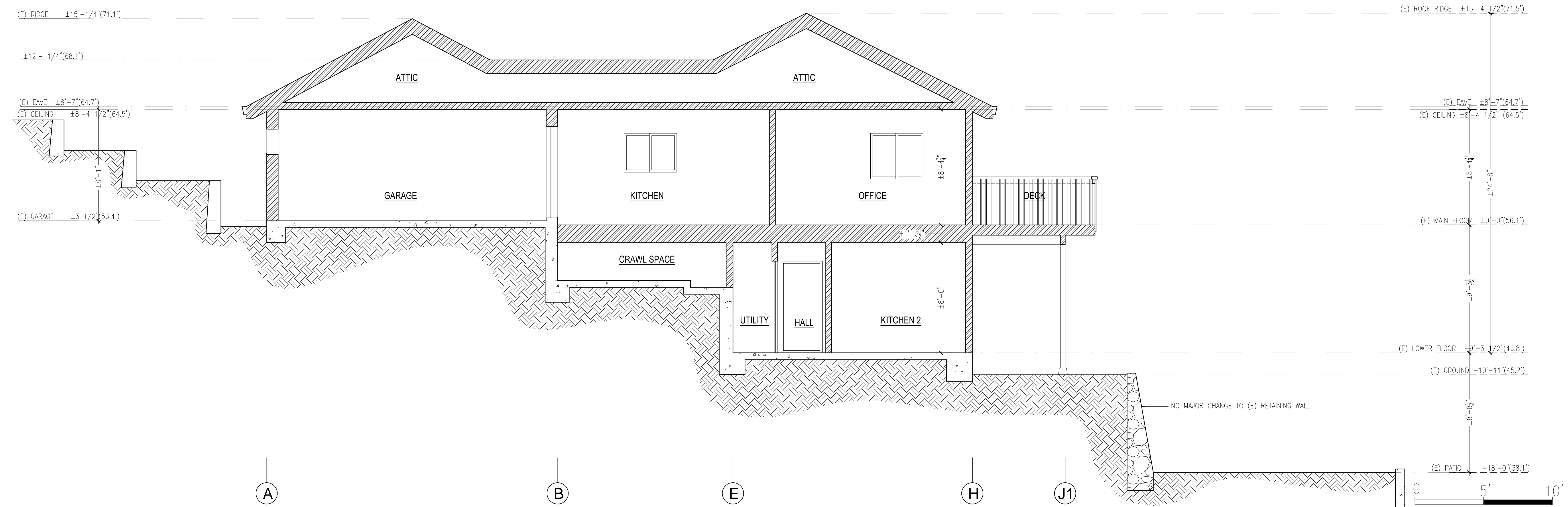
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LEGEND



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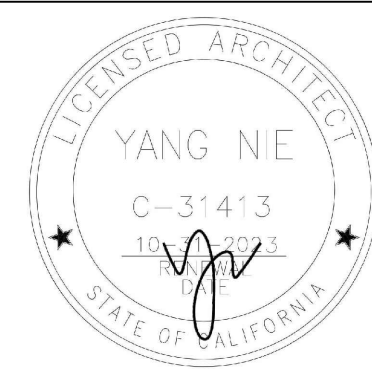
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EXISTING SECTION 1/4"=1'-0"

1

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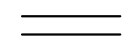
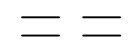



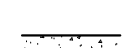

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 EXISTING SECTIONS

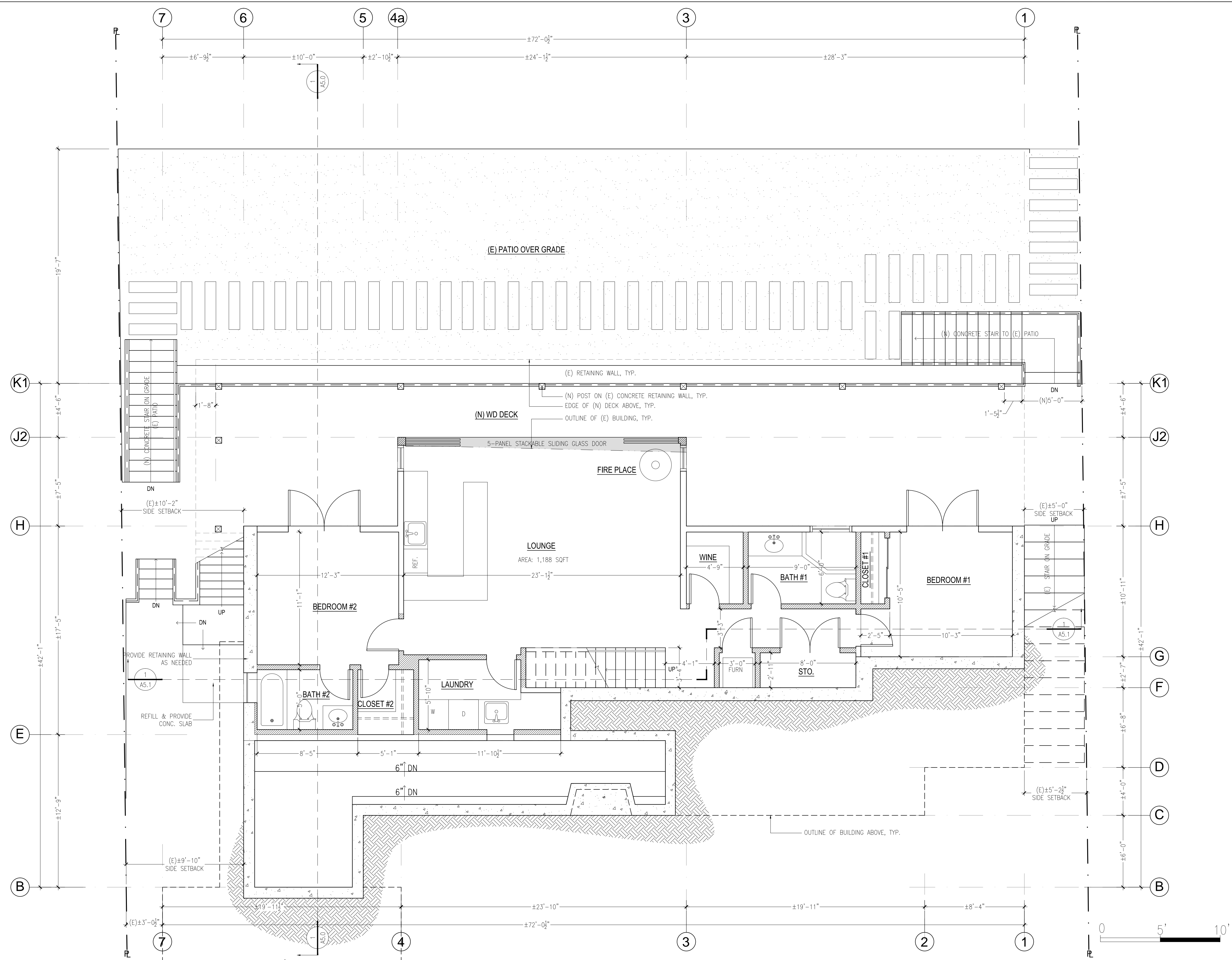
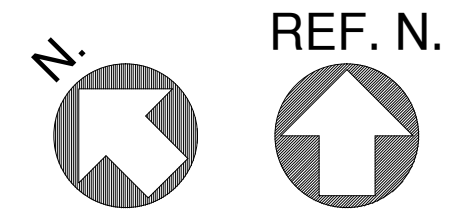
SHEET NO.

A2.5

Of 21 Sheets

LEGEND

-  (E) WALL
-  (E) WALL TO BE REMOVED
-  (N) 2X WOOD STUD WALL
-  (N) 1-HR FIRE RATED 2X WOOD STUD WALL
-  (N) 42" H CABLE RAIL, TYP.
-  (E) OR (N) CONCRETE RETAINING WALL
-  AREA OF ADDITION

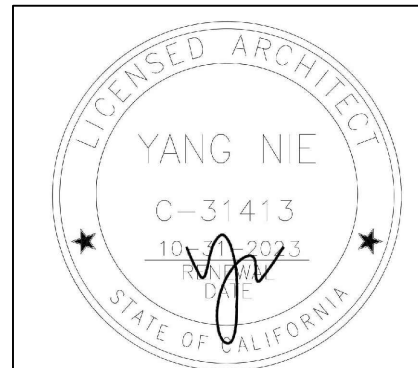


PLAN NOTES

1. ALL EXISTING DIMENSIONS APPROXIMATE. CONTRACTOR MUST VERIFY IN FIELD BEFORE CONSTRUCTION.

PROPOSED FLOOR PLAN _ LOWER FLOOR 1/4"=1'-0" 1

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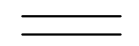
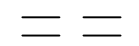





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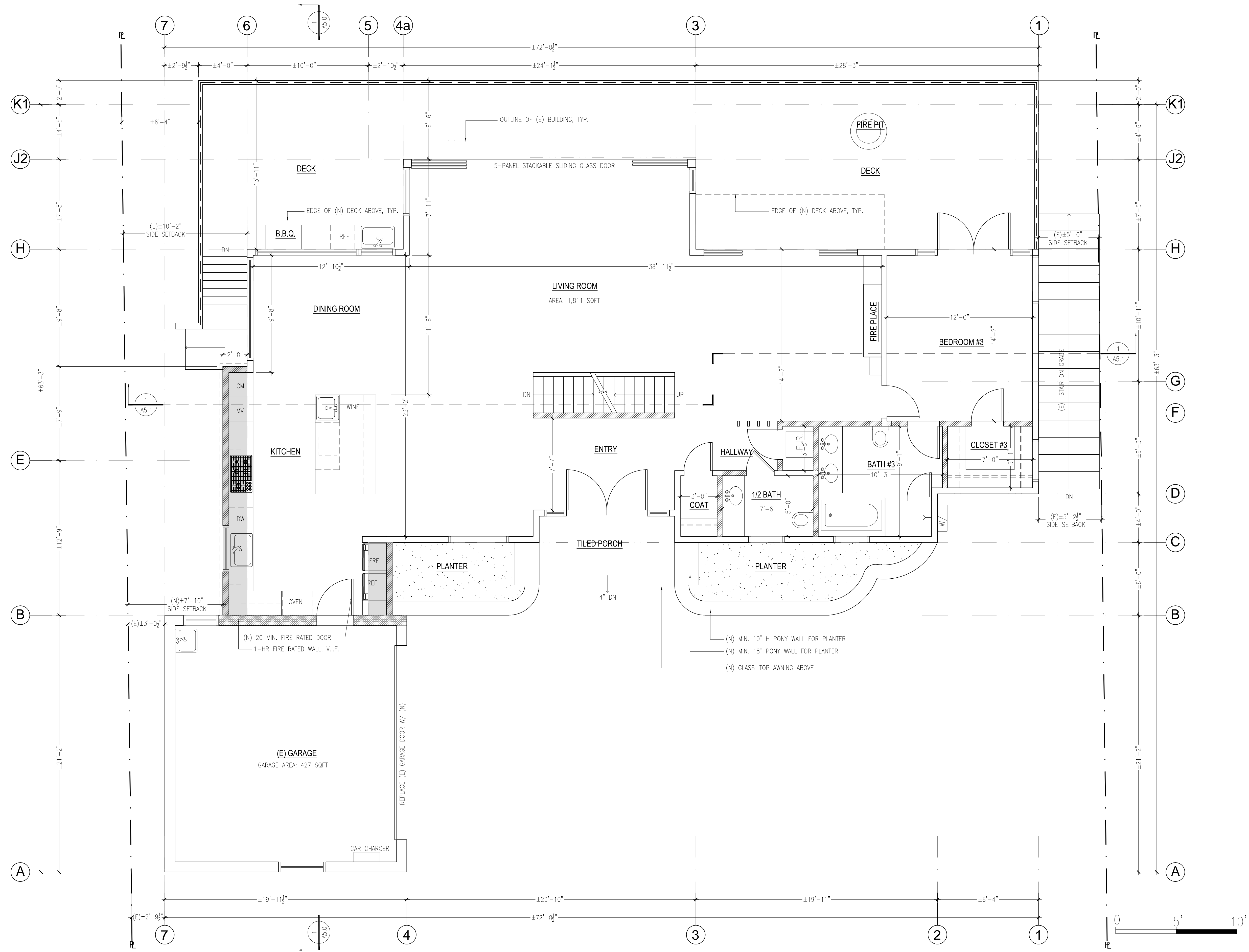
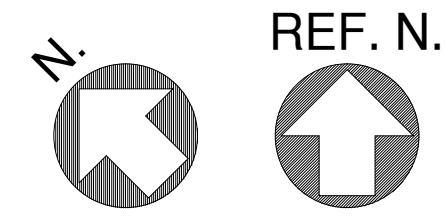
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SHEET TITLE
 PROPOSED FLOOR PLAN _
 LOWER FLOOR

SHEET NO.
A3.0
 Of 21 Sheets

LEGEND

-  (E) WALL
-  (E) WALL TO BE REMOVED
-  (N) 2X WOOD STUD WALL
-  1-HR FIRE RATED 2X WOOD STUD WALL
-  (N) 42" H CABLE RAIL, TYP.
-  (E) OR (N) CONCRETE RETAINING WALL
-  AREA OF ADDITION

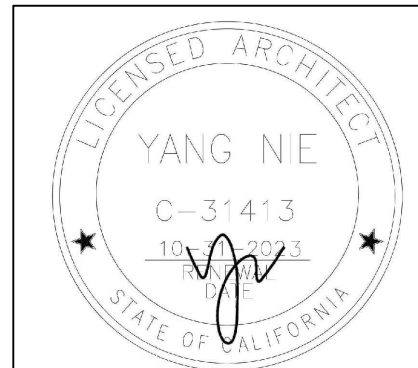


PLAN NOTES

1. ALL EXISTING DIMENSIONS APPROXIMATE. CONTRACTOR MUST VERIFY IN FIELD BEFORE CONSTRUCTION.

PROPOSED FLOOR PLAN _ MAIN FLOOR 1/4"=1'-0" **1**

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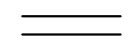
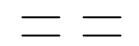





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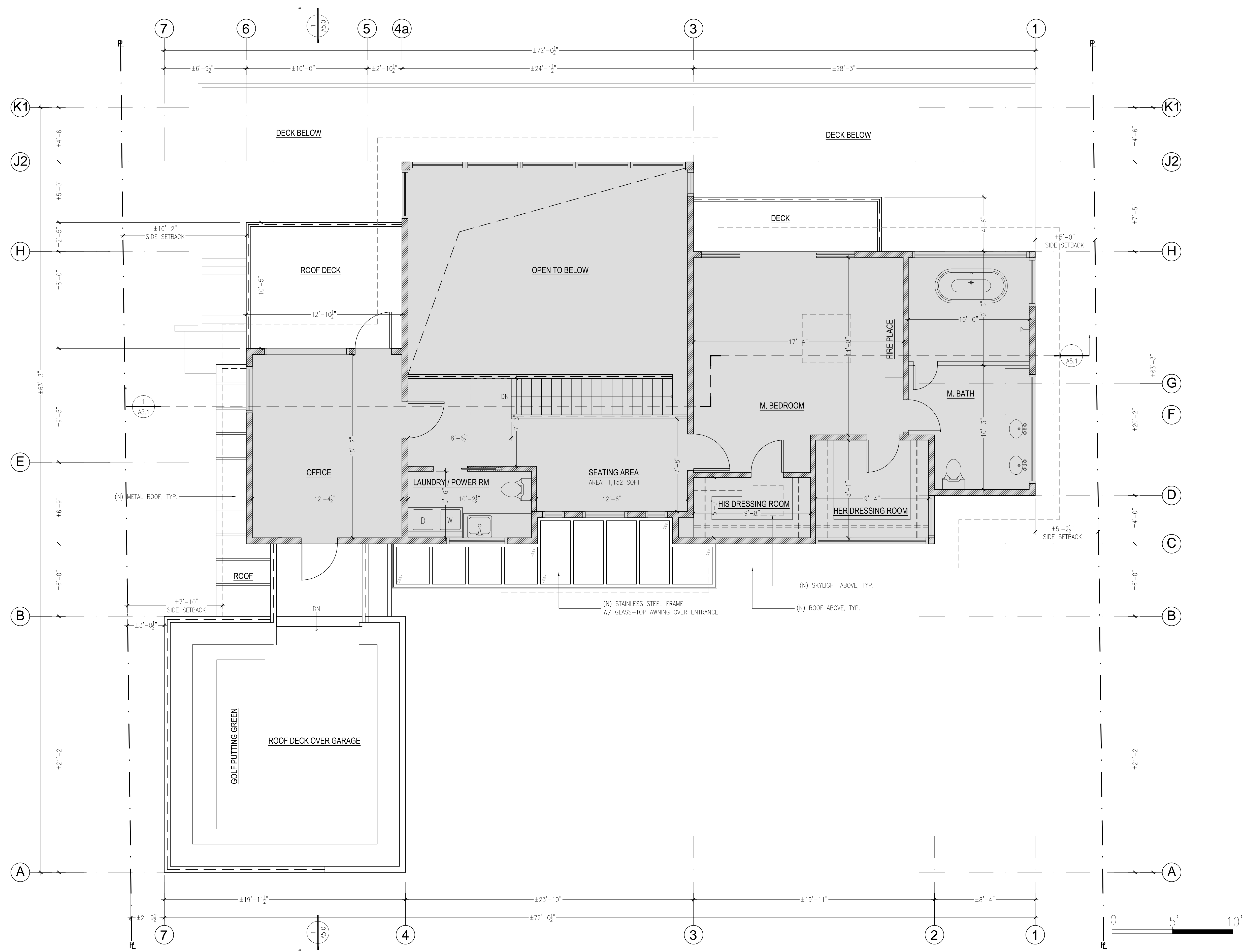
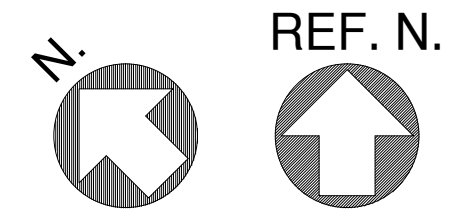
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SHEET TITLE
 PROPOSED FLOOR PLAN _
 MAIN FLOOR

SHEET NO.
A3.1
 Of 21 Sheets

LEGEND

-  (E) WALL
-  (E) WALL TO BE REMOVED
-  (N) 2X WOOD STUD WALL
-  (N) 1-HR FIRE RATED 2X WOOD STUD WALL
-  (N) 42" H CABLE RAIL, TYP.
-  (E) OR (N) CONCRETE RETAINING WALL
-  AREA OF ADDITION

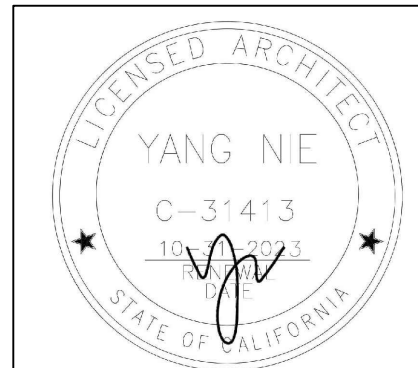


PLAN NOTES

1. ALL EXISTING DIMENSIONS APPROXIMATE. CONTRACTOR MUST VERIFY IN FIELD BEFORE CONSTRUCTION.

PROPOSED FLOOR PLAN _ UPPER FLOOR 1/4"=1'-0" **1**

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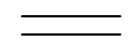
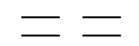



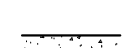
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SHEET TITLE
 PROPOSED FLOOR PLAN _
 UPPER FLOOR

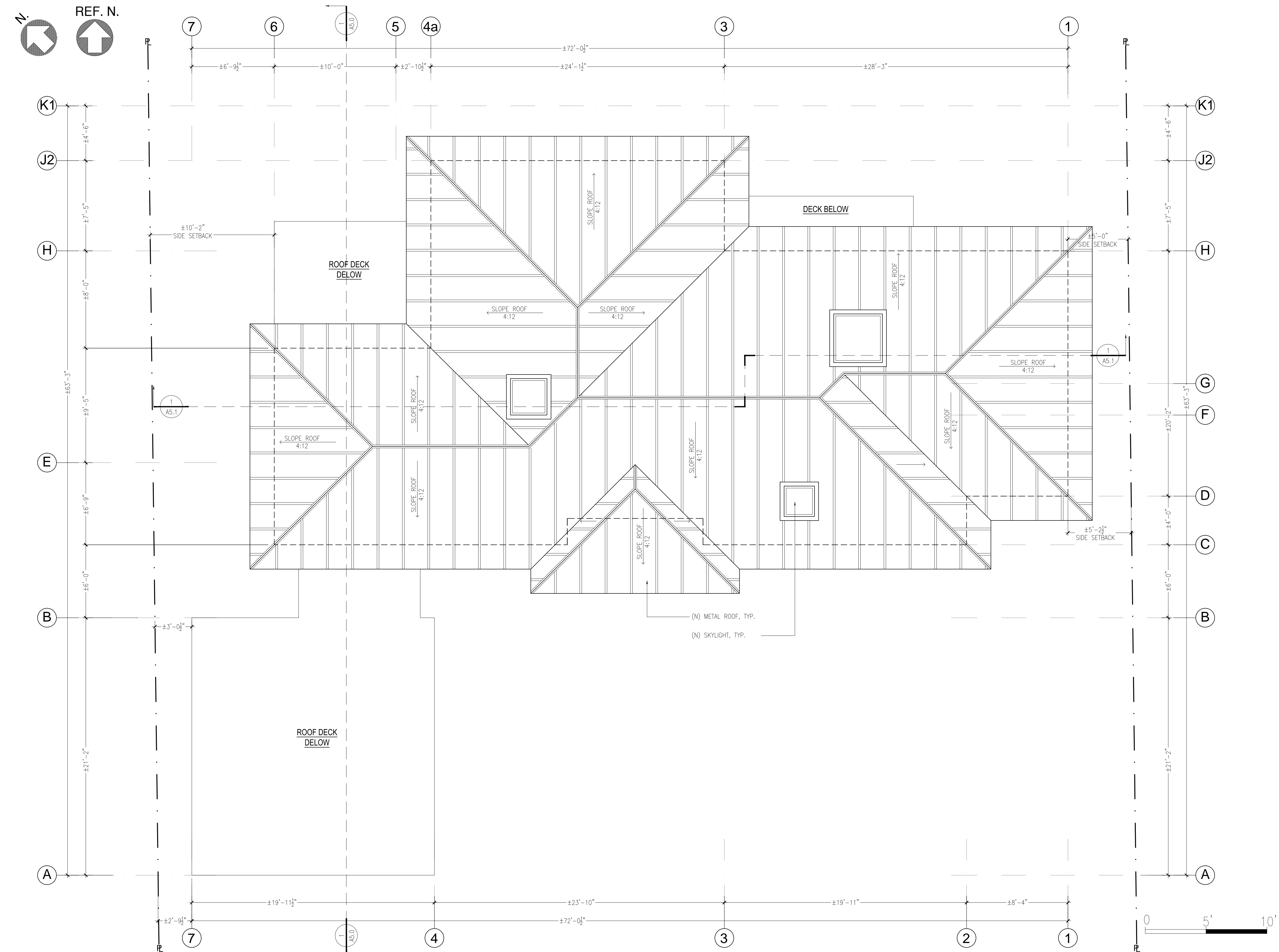
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A3.2
 Of 21 Sheets

LEGEND

-  (E) WALL
-  (E) WALL TO BE REMOVED
-  (N) 2X WOOD STUD WALL
-  (N) 1-HR FIRE RATED 2X WOOD STUD WALL
-  (N) 42" H CABLE RAIL, TYP.
-  (E) OR (N) CONCRETE RETAINING WALL

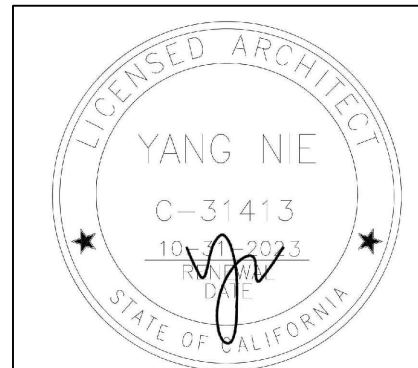
PLAN NOTES

1. ALL EXISTING DIMENSIONS APPROXIMATE. CONTRACTOR MUST VERIFY IN FIELD BEFORE CONSTRUCTION.



PROPOSED ROOF PLAN 1/4"=1'-0" 1

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SHEET TITLE
PROPOSED ROOF PLAN

SHEET NO.
A3.3
 Of 21 Sheets

EXTERIOR MATERIALS AND COLORS

NOTE: ALL EXTERIOR MATERIALS ON ELEVATIONS SPECIFIED AS BELOW OR APPROVED EQUAL.

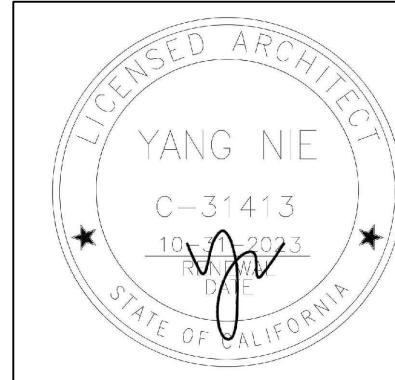
- ① METAL ROOF PANEL : ABC - IMPERIAL RIB
COLOR : KOKO BROWN
- ② RAINSCREEN SIDING & SOFFIT : NOVA EXOCLAD QUICKCLIP
WOOD STAIN : NOVA EXOSHIELD OR APPROVED EQUAL
COLOR : BLACK WALNUT
- ③ WINDOW AND DOOR : MARVIN ALUMINUM CLAD
COLOR : GUNMETAL
- ④ GUTTERS, FASCIA, & STUCCO (ACCENT COLOR)
COLOR : BENJAMIN-MOORE (MIDNIGHT BLUE, 1638)
- ⑤ WALL STUCCO & TRIM
COLOR : BENJAMIN-MOORE (WHITE MOUNTAINS, 906)
- ⑥ EXTERIOR LIGHT FIXTURE - PROGRESS LIGHTING,
2-LIGHT WALL LANTERN, 29 WATT LED
COLOR : BLACK
- ⑦ METAL CABLE RAIL - ATLANTIS RAIL SYSTEMS
NOVA II POWDER-COATED ALUMINUM CABLE RAILING SYSTEM
COLOR : BLACK
- ⑧ STAINLESS STEEL FRAME AWNING
COLOR : TITANIUM BLACK, BRUSHED FINISH



PROPOSED FRONT / SOUTH ELEVATION 1/4"=1'-0"

1

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SHEET TITLE
PROPOSED FRONT / SOUTH
ELEVATION

SHEET NO.

A4.0

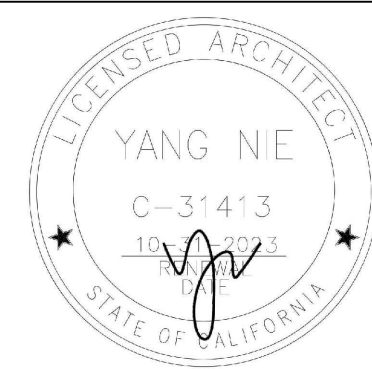
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PROPOSED REAR / NORTH ELEVATION 1/4"=1'-0"

1

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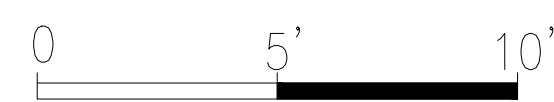
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 JOB NO.
 20201027

SHEET TITLE
 PROPOSED REAR / NORTH
 ELEVATION

SHEET NO.

A4.1

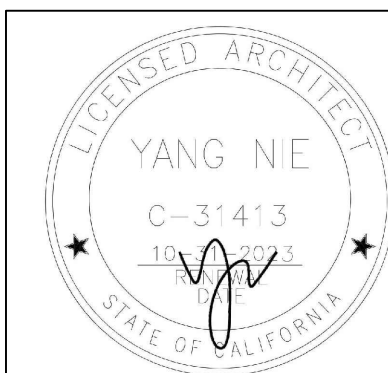
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PROPOSED EAST ELEVATION 1/4"=1'-0"

1

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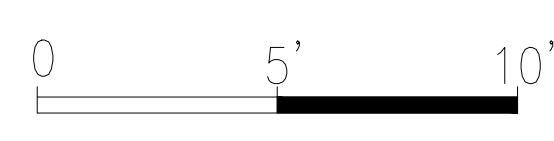
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SHEET TITLE
 PROPOSED EAST
 ELEVATION

SHEET NO.

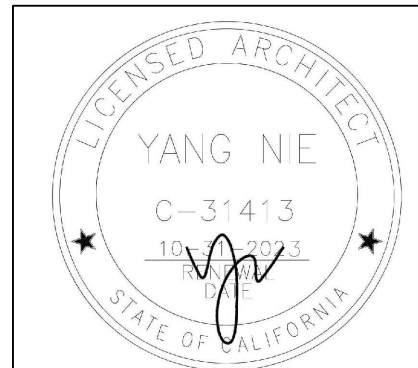
A4.2

Of 21 Sheets



PROPOSED WEST ELEVATION 1/4"=1'-0" 1

NIE YANG ARCHITECTS
 ARCHITECTURE PLANNING
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 SOUTH SAN FRANCISCO, CA 94080
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 EMAIL. NYARCHITECTS@GMAIL.COM



OWNER / REP:
 MRS. JUN SHI
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 TIBURON, CA 94920
 TEL: 617 893 2568
 EMAIL: JUDYSHI0224@GMAIL.COM

PROJECT ADDRESS:
 5030 PARADISE DR.
 TIBURON, CA 94920

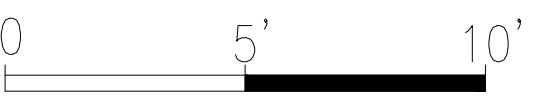
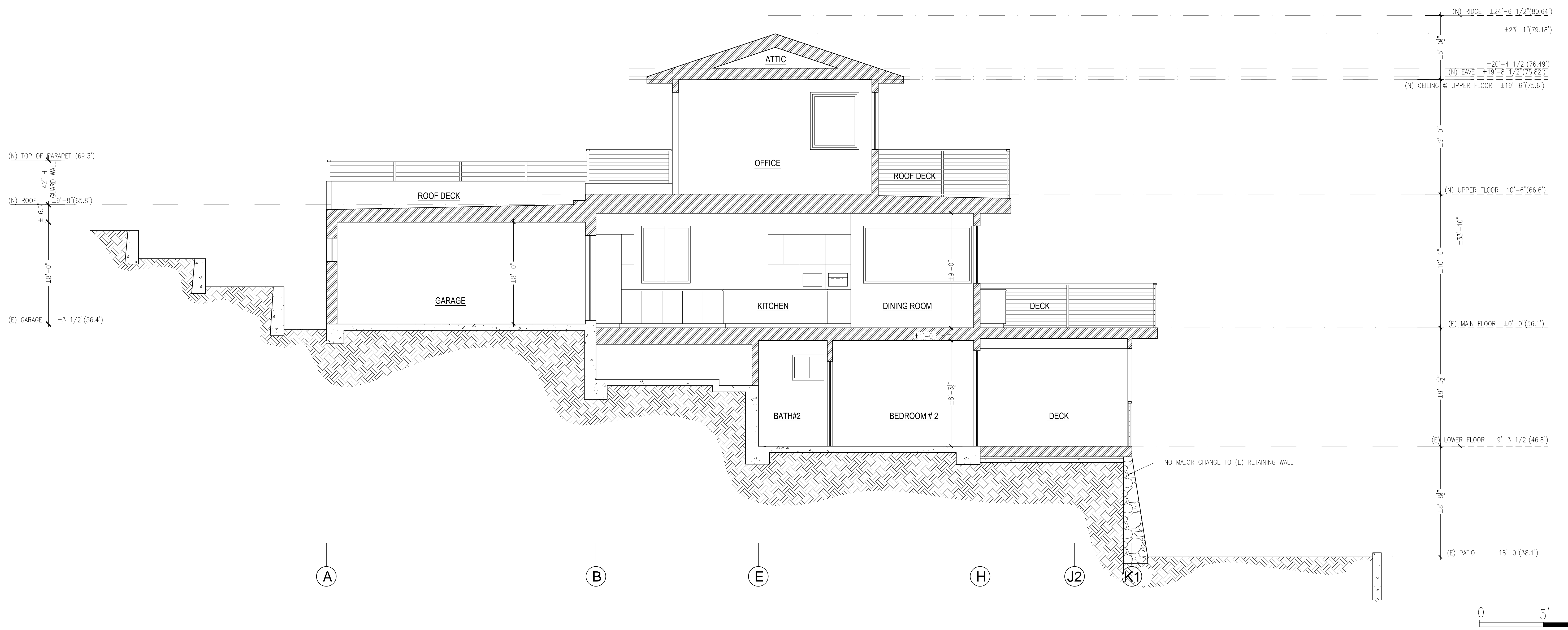
**ADDITION TO A SINGLE FAMILY DWELLING
 PLANNING PERMIT APPLICATION**

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 REVISIONS 1

SCALE
 1/4"=1'-0"
 DATE
 10/12/2021
 JOB NO.
 20201027

SHEET TITLE
 PROPOSED WEST
 ELEVATION

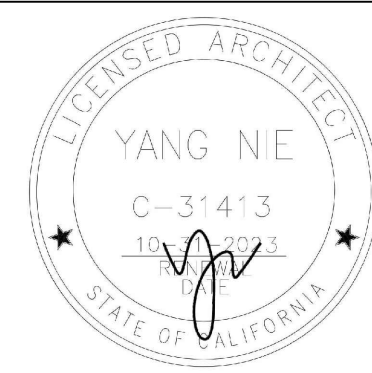
SHEET NO.
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 Of 21 Sheets



PROPOSED SECTION 1/4"=1'-0"

1

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SCALE
 1/4"=1'-0"
 DATE
 10/12/2021
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 20201027

SHEET TITLE
 PROPOSED SECTION

SHEET NO.

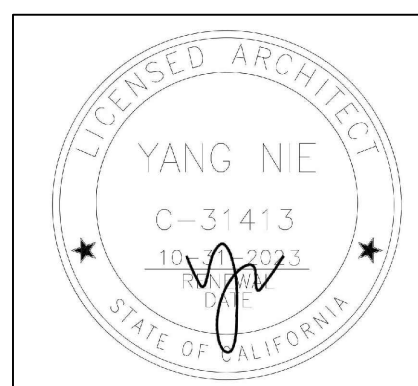
A5.0

Of 21 Sheets



PROPOSED SECTION 1/4"=1'-0" 1

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**ADDITION TO A SINGLE FAMILY DWELLING
 PLANNING PERMIT APPLICATION**

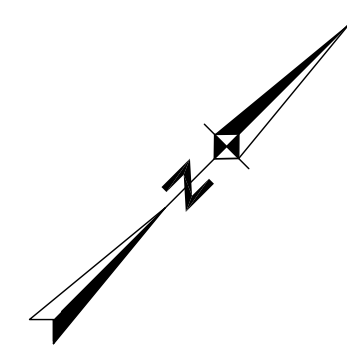
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SCALE
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 DATE
 10/12/2021
 JOB NO.
 20201027

SHEET TITLE
 PROPOSED SECTION

SHEET NO.
A5.1
 Of 21 Sheets

- LEGEND**
- SUBJECT PROPERTY LINES PER [1]
 - OTHER PROPERTY LINES PER [1]
 - MONUMENT LINE PER [1]
 - - - WOOD FENCE
 - - - WIRE FENCE
 - - - BUILDING LINE
 - - - FOUND MONUMENT PER [1]
 - AD AREA DRAIN
 - BC BUILDING CORNER
 - BW TOE BACK OF WALL
 - CMP CORRUGATED METAL PIPE
 - CO CLEANOUT
 - CONC CONCRETE
 - DI DRAIN INLET
 - EC EDGE OF CONCRETE
 - EL ELEVATION
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - FC FACE OF CURB
 - FL FLOW LINE
 - FF FINISH FLOOR
 - FH FIRE HYDRANT
 - GM GAS METER
 - GW GUY WIRE
 - IV IRRIGATION VALVE
 - LG LIP OF CUTTER
 - LP LAMP POST
 - MH MANHOLE
 - PP POWER POLE
 - SC SEWER CLEANOUT
 - TBW TOP BACK OF WALL
 - TEW TOE OF WALL
 - WM WATER METER
 - +9.16 ELEVATION
 - + EC DESCRIPTION



BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS SURVEY IS N40°00'00"E BETWEEN FOUND IRON PIPES PER [3], ON FILE IN THE MARIN COUNTY ARCHIVES.

SURVEY NOTE:
 BUILDING(S), WALL(S), AND/OR STRUCTURE(S) SHOWN MAY CONTAIN DECORATIVE ELEMENTS NOT NECESSARILY ACCOUNTED FOR IN THE BUILDING FOOTPRINT AS SURVEYED OR MAPPED. THE DESIGNER SHALL FIELD INSPECT ANY AREAS WHERE IMPROVEMENTS ARE EXPECTED IN THE EVENT SETBACKS OR ANY OTHER CONSTRAINTS MAY BE AN ISSUE. TREES SHOWN ARE LOCATED FOR GENERAL SITE PLANNING AND ANY CONSTRUCTION PLANNED IN THE VICINITY OF TREES MAY REQUIRE MORE DETAIL. ANY FURTHER SURVEYING SHALL BE ARRANGED BY THE OWNER(S) OR OWNER(S) AGENT. TREE SPECIES AND SIZE ARE APPROXIMATE AND ANY SPECIFIC DETAILS SHALL BE CONFIRMED BY AN ARBORIST.

GENERAL NOTES:

- 1) REFERENCED MAPS PER MARIN COUNTY RECORDER.
- 2) ALL ANGLES ARE 90°00' UNLESS SHOWN OTHERWISE.
- 3) DISTANCES SHOWN IN FEET AND DECIMALS THEREOF.
- 4) CONTOURS SHOWN AT A 2 FOOT INTERVAL.
- 5) ALL DISTANCES CONSIDERED RECORD-MEASURED UNLESS NOTED OTHERWISE.
- 6) ROOF ELEVATIONS TAKEN AT HIGHEST RELEVANT LOCATIONS VISIBLE FROM GROUND.
- 7) ONLY VISIBLE ACCESSIBLE SURFACE UTILITIES ARE SHOWN.
- 8) THIS SURVEY DOES NOT SHOW SUBSURFACE ENCROACHMENTS (UTILITIES/FOUNDATIONS)
- 9) ELEVATIONS SHOWN ON ASSUMED LOCAL DATUM.

REFERENCES

- [1] "MAP OF PARADISE COVE" FILED 1/10/1939, MAP BOOK 5, PAGE 77 (5 M 77)
- [2] DEED DOCUMENT: BOOK 53, PAGE 249, DECEMBER 2, 1898
- [3] "PORTION OF LOT 19 PARADISE COVE", JCO FILE NO 15915 MCA

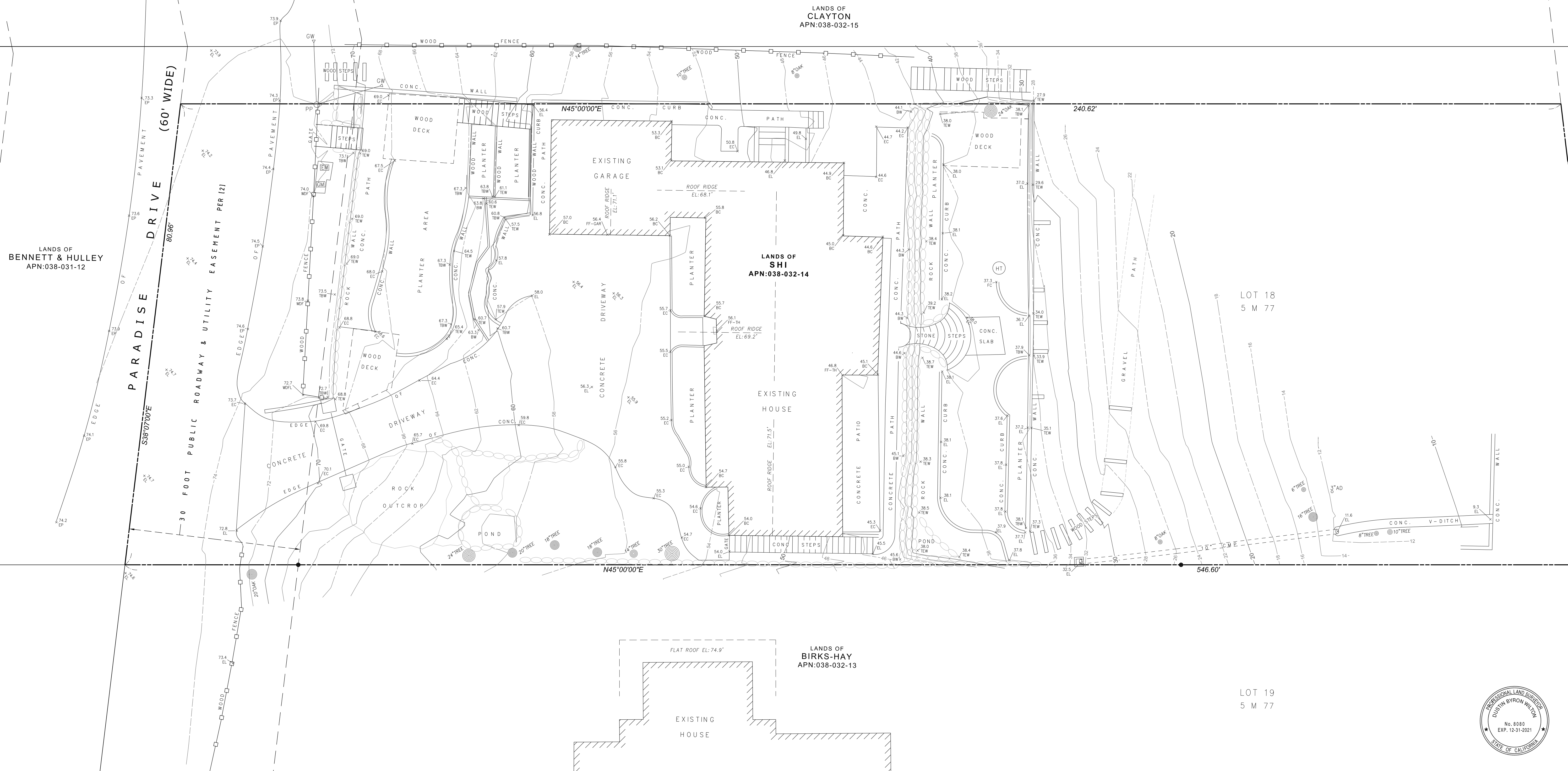
UTILITY NOTE:
 UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION AND UNDERGROUND SERVICE ALERT ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE. NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF ALL SAID UTILITIES.

MAP NOTE:
 THIS PLAT MAY NOT BE A COMPLETE AND FINAL AND MAY BE CURRENTLY UNDER REVIEW BY OUR OFFICE, SO PLEASE CONTACT OUR OFFICE PRIOR TO ANY USE. WE HOLD NO RESPONSIBILITY FOR USE OF THIS PLAT.

BASIS OF SURVEY:
 THE BASIS OF THIS SURVEY IS FROM FIDELITY NATIONAL TITLE PRELIMINARY TITLE REPORT TITLE REPORT: FMNA-5051500787-DP

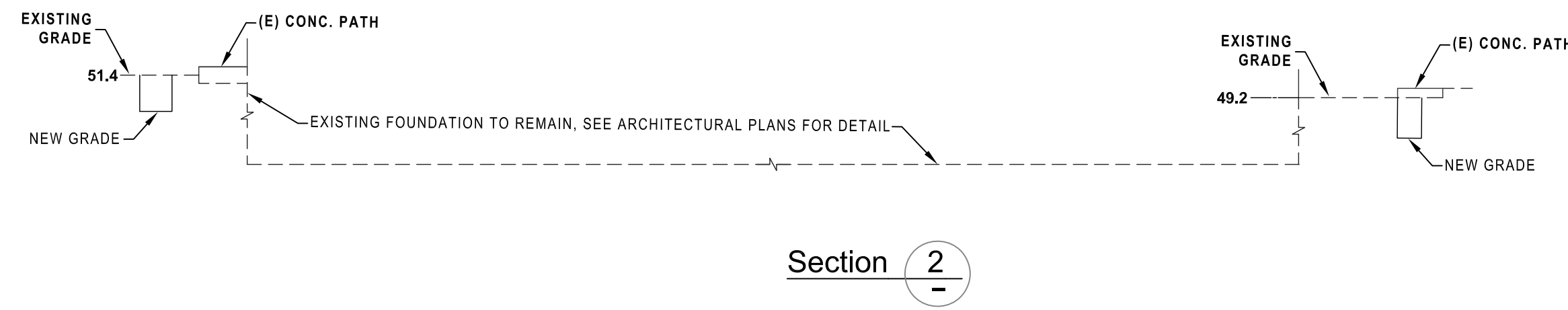
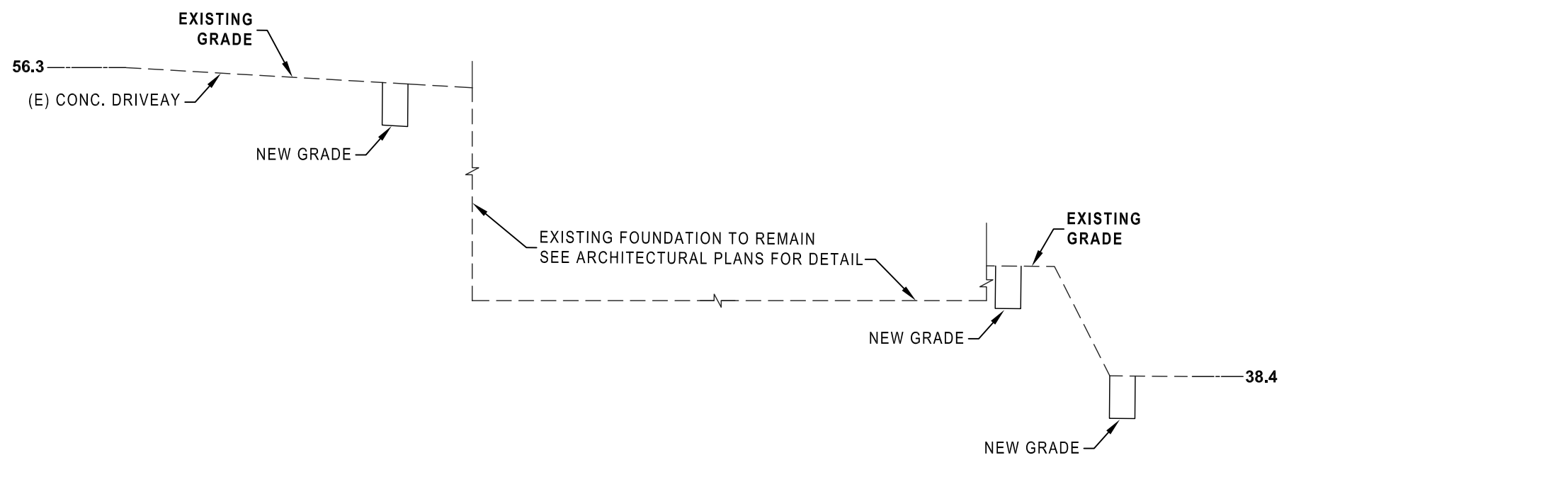
NOTE:
 THIS PLAT HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT AND SHALL BE CONSIDERED PRELIMINARY UNLESS SIGNED IN BLUE INK, WHERE ANY PREVIOUS VERSIONS ARE VOID. USE OR RELIANCE OF THIS PLAT BY ANY PARTY OTHER THAN THE CLIENT(S) OR CLIENTS' AGENT IS FORBIDDEN WITHOUT WRITTEN CONSENT FROM AMERICAN LAND SURVEYING, INC. AN ELECTRONIC FILE IS ONLY PROVIDED AS A COURTESY AND IS SUBORDINATE TO THE PROVIDED SIGNED HARD COPY PLAT.

LOT 17
5 M 77



LOT 18
5 M 77

LOT 19
5 M 77

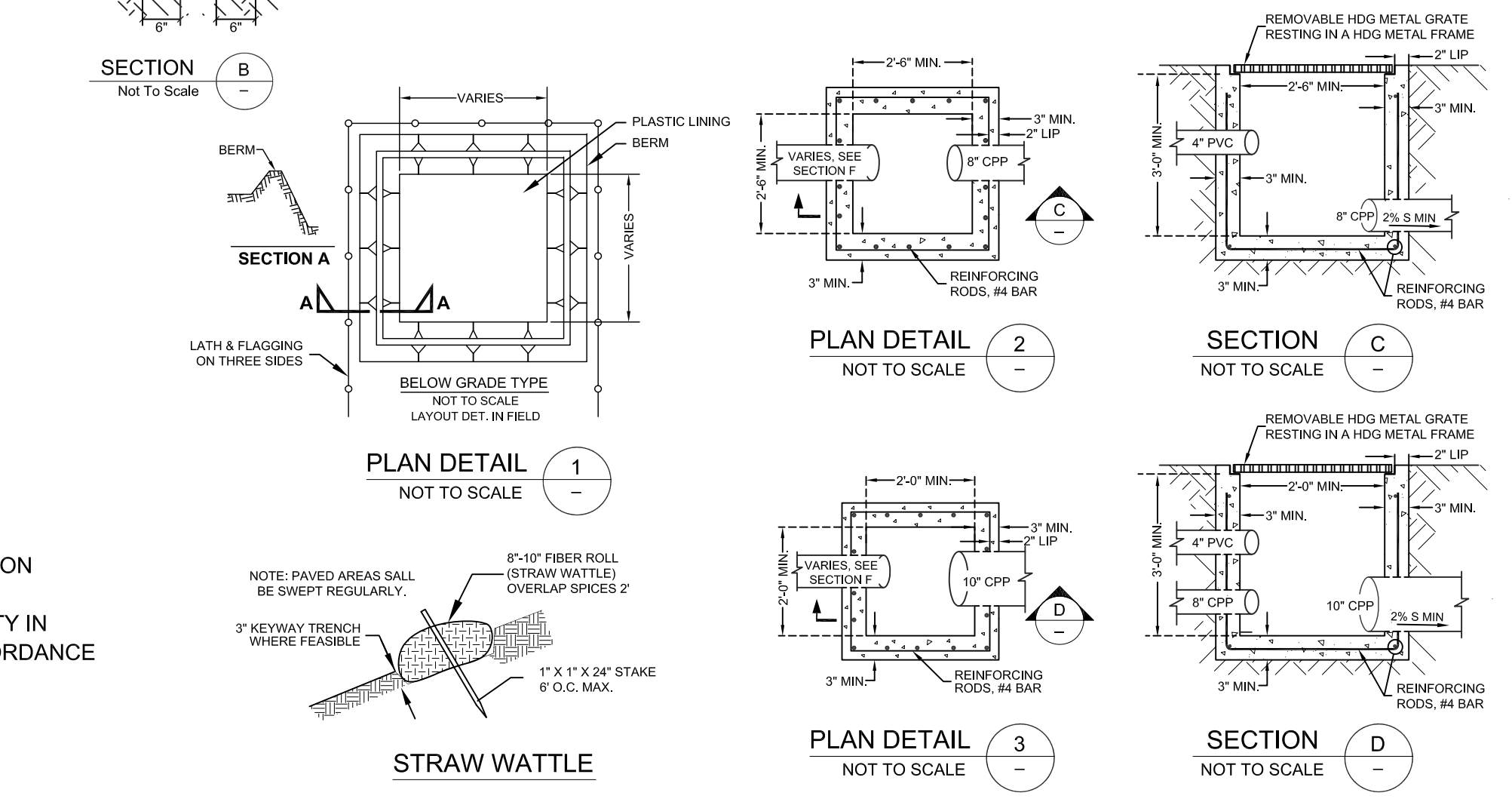
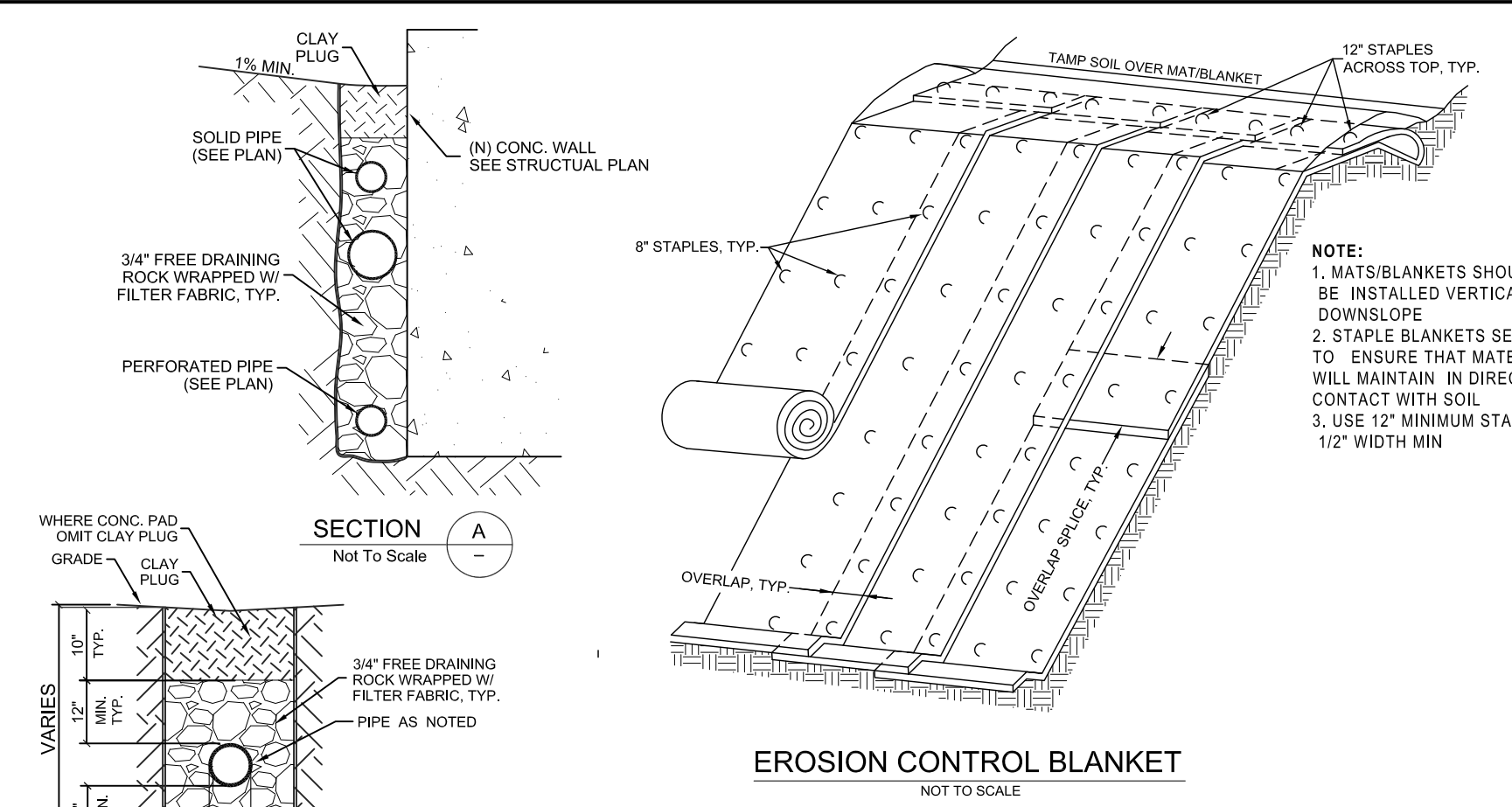


- LEGEND**
- (S) 4" Ø SOLID SDR 35 PIPE
 - (S) 10" Ø SOLID SDR 35 PIPE
 - (P) 4" Ø PERFORATED SDR 35 PIPE
 - CO CLEANOUT
 - DS DOWNSPOUT
 - CD CLEANOUT & DOWNPOUT
 - STRAW WATTLES (SEE DETAIL BELOW)

MASS EXCAVATION QUANTITIES:

FILL = 1 C.Y.
CUT = 3 C.Y.
NET CUT = 2 ± C.Y.

- GENERAL NOTES:**
1. ALL CONSTRUCTION SHALL CONFORM TO 2019 CALIFORNIA BUILDING CODE AND THE MOST CURRENT MARIN COUNTY BUILDING CODE REQUIREMENTS.
 2. DESIGN AND PLACEMENT OF CONCRETE SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE CODE AC 318.
 3. ALL CONDITIONS AND DIMENSIONS TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
 4. CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND PROTECTION DURING CONSTRUCTION.
 5. REINFORCING STEEL TO BE ASTM 615, GRADE 60
 6. CONCRETE F_c = 2500 PSI
 7. LUMBER D.F. #1 F_b = 1000 PSI, F_v = 95 PSI
 8. ALL HARDWARE AND NAILS IN CONTACT WITH PRESSURE TREATED MATERIAL SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
 9. CONSTRUCTION INSPECTION SHALL BE CARRIED OUT BY A REGISTERED ENGINEER AND CITY BUILDING OFFICIAL.
 10. THESE PLANS ARE TO BE WORKED IN CONJUNCTION WITH THE ARCHITECTS PLAN, CIVIL ENGINEERS PLAN AND STRUCTURAL ENGINEERS PLANS.
 11. ENGINEER OF RECORD SHALL CERTIFY TO THE COUNTY IN WRITING UPON THE COMPLETION OF WORK THAT ALL GRADING AND DRAINAGE IMPROVEMENTS WERE INSTALLED ACCORDANCE WITH THE APPROVED PLANS AND FIELD DIRECTION.
 12. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 2% SLOPE FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF WALL.
 13. STRAW WATTLES AND/OR GRAVEL WATTLES AS APPROPRIATE SHALL BE INSTALLED WITHIN 10 FEET OF ANY CONSTRUCTION INVOLVING EARTH DISTURBANCE.
 14. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MATS AND/OR BLANKETS ON ANY AND ALL DISTURBED EARTH AFTER EXCAVATION.
 15. THE CONTRACTOR SHALL CONSIDER THE POTENTIAL FOR EROSION AND SEDIMENTATION AT THE SITE AND COMPLY WITH COUNTY OF MARIN REQUIREMENTS.
 16. UPON COMPLETION OF THE WORK THE ENGINEER SHALL CERTIFY TO COUNTY IN WRITING THAT ALL GRADING AND DRAINAGE IMPROVEMENTS WERE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND FIELD DIRECTIONS.



REGISTERED PROFESSIONAL ENGINEER
KEVIN PENG
EXP. 12.31.21
CIVIL
STATE OF CALIFORNIA

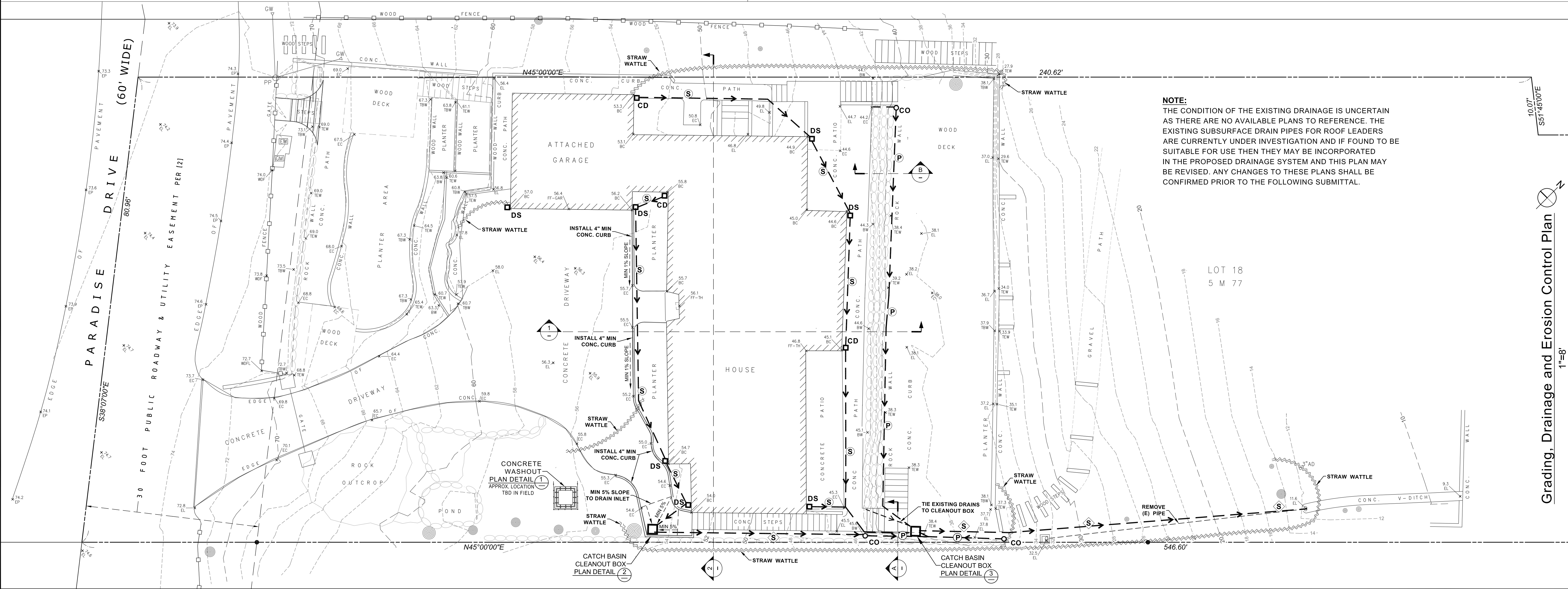
AMERICAN LAND SURVEYING, INC.
2030 Union St. #1008, San Francisco, Ca 94102
PH: (415) 888-8380 Email: office@alstpr.com

SCALE AS NOTED
0 1

SHI RESIDENCE
5030 PARADISE DRIVE, TIBURON
ASSESSOR'S PARCEL: 038-032-14

GRADING, DRAINAGE, EROSION CONTROL
AND EROSION CONTROL PLAN

C-2



NOTE:
THE CONDITION OF THE EXISTING DRAINAGE IS UNCERTAIN AS THERE ARE NO AVAILABLE PLANS FOR REFERENCE. THE EXISTING SUBSURFACE DRAIN PIPES FOR ROOF LEADERS ARE CURRENTLY UNDER INVESTIGATION AND IF FOUND TO BE SUITABLE FOR USE THEN THEY MAY BE INCORPORATED IN THE PROPOSED DRAINAGE SYSTEM AND THIS PLAN MAY BE REVISED. ANY CHANGES TO THESE PLANS SHALL BE CONFIRMED PRIOR TO THE FOLLOWING SUBMITTAL.