

# GLAUBACH RESIDENCE

**GLAUBACH RESIDENCE**

89 VISTA DEL SOL  
MILL VALLEY, CA

APN: 043-420-15

89 VISTA DEL SOL  
MILL VALLEY, CA  
APN: 043-420-15

## DESIGN REVIEW FOR:

- ADU
- SWIMMING POOL W/ SPA
- RETAINING WALLS

## LANDSCAPE ITEMS:

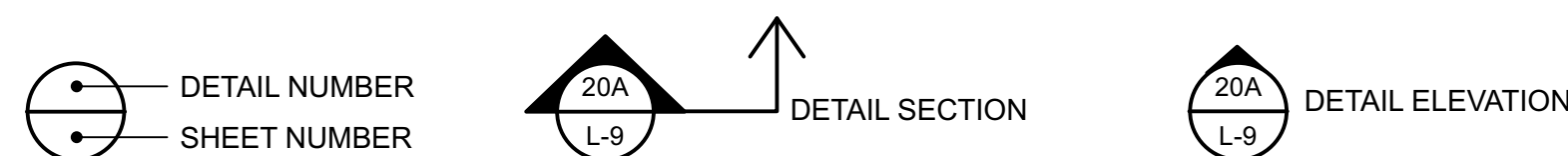
- STAIRS W/ LANDINGS AND WALLS
- OUTDOOR GRILL COUNTER AND CABINETS
- FIRE TABLE
- WATER FOUNTAIN
- GUARDRAILS
- SCREENING AT (E) UTILITIES
- PAVINGS (CONCRETE PAVING, ACCENT PAVING)
- PLANTING, LIGHTING AND IRRIGATION

## SITE INFORMATION:

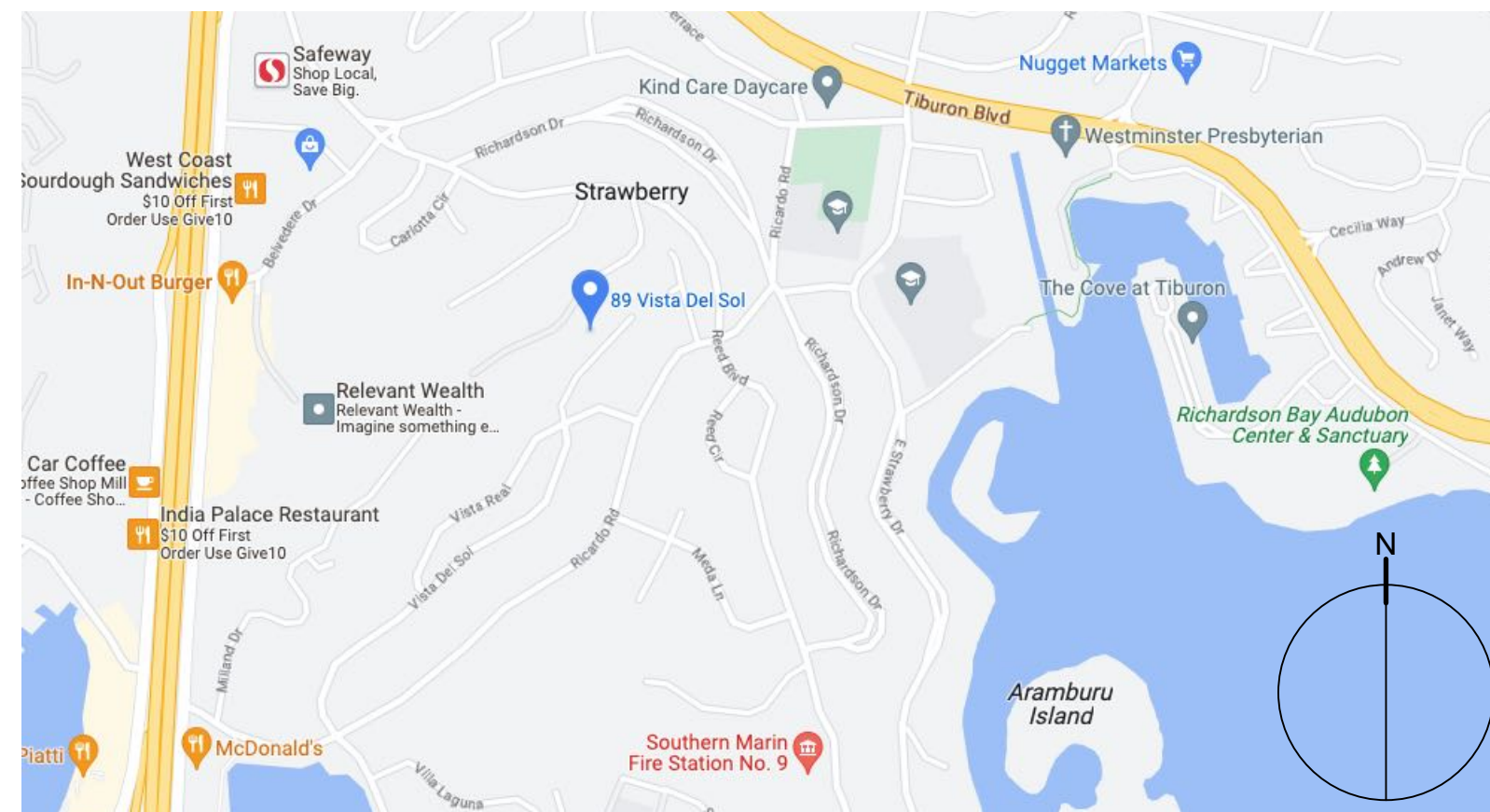
	EXISTING	PROPOSED
LOT SIZE:	16,208 S.F.	NO CHANGE
ZONING:	RMP-2	NO CHANGE
PLAN DISTRICT:	STRAWBERRY HILL M.P.	NO CHANGE
LOT #:	15 (28)	NO CHANGE
BUILDING AREA :	5,474 S.F.	726 S.F.
FLOOR AREA :	3,158 S.F.	703 S.F.
FLOOR AREA RATIO:	19.5%	23.8% *
PERVIOUS AREA:	10,016 S.F.	10,874 S.F.
IMPERVIOUS AREA:	6,193 S.F.	5,335 S.F.
AREA OF DISTURBANCE:		8,300 S.F.
GRADING CALCULATIONS:		CUT : 504 C.Y. FILL : 53 C.Y.

$$* \frac{(E) \text{ FLOOR AREA} + (P) \text{ FLOOR AREA}}{\text{LOT SIZE}} = \frac{3,158 \text{ S.F.} + 703 \text{ S.F.}}{16,208}$$

## DETAIL SYMBOL KEY



## VICINITY MAP:



N.T.S.

## INDEX TO DRAWINGS:

L-0	COVER SHEET
1	SURVEY
A-1	SITE PLAN
A-2	ADU UPPER / MIDDLE / LOWER FLOOR PLANS
A-3	ELEVATIONS
A-4	SECTIONS
A-4.1	SECTIONS
C1	COVER SHEET, NOTES, LOCATION MAP
C2	OVERALL SITE PLAN
C3	GRADING PLAN
C4	DRAINAGE PLAN
C5	DETAILS
C6	EROSION CONTROL PLAN AND DETAILS
L-1	MATERIAL AND TREE REMOVAL PLAN / MATERIAL IMAGES / SITE TABULATIONS
L-2	PLANTING PLAN
L-3	UTILITY & LIGHTING PLAN
L-4	IMAGES

## DESIGN TEAM

<b>OWNER</b>	SHULAMIT GLAUBACH 89 VISTA DEL SOL MILL VALLEY, CA 94941 EMAIL: drglaubach@gmail.com
<b>ARCHITECT</b>	JRP ARCHITECT JEF PEDERSEN 6212 VIEW CREST DRIVE OAKLAND, CA 94619 PHONE: 510-530-1475 EMAIL: JfPedersen@aol.com
<b>CIVIL ENGINEER &amp; SURVEY</b>	MUNSELL CIVIL ENGINEERING & LAND SURVEYING 513 CENTER STREET HEALDSBURG, CA 95448 PHONE: 707-395-0968 EMAIL: cort@munsellecivil.com
<b>* LANDSCAPE ARCHITECT</b>	PEDERSEN ASSOCIATES PEDER JENS PEDERSEN 24 H STREET SAN RAFAEL, CA 94901 PHONE: 415-456-2070 EMAIL: tkawasaki@pedersenassociates.com

\* DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE

## GENERAL NOTES

1. ALL WORK SHALL CONFORM TO OR EXCEED THE REQUIREMENTS OF THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE, REGARDLESS OF WHAT IS SHOWN OR NOT SHOWN IN THE CONTRACT DOCUMENTS. ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES.

THE FOLLOWING 2022 CALIFORNIA BUILDING STANDARDS CODES AS ADOPTED BY CALIFORNIA WILL BE ENFORCED BY THE COUNTY OF MARIN:

- CALIFORNIA BUILDING CODE
- CALIFORNIA RESIDENTIAL CODE
- CALIFORNIA PLUMBING CODE
- CALIFORNIA MECHANICAL CODE
- CALIFORNIA ELECTRICAL CODE
- CALIFORNIA FIRE CODE
- CALIFORNIA ENERGY CODE
- CALIFORNIA GREEN BUILDING STANDARDS CODE

2. THE CONTRACTOR SHALL COMPLY WITH MARIN COUNTY ORDINANCE AND ALL OTHER APPLICABLE STATE OR LOCAL ORDINANCES. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.

3. CONFLICTS IN THE CONTRACT DOCUMENTS: IN CASE OF DISCREPANCIES OR CONFLICTS IN INFORMATION OR REQUIREMENTS WITHIN THE DRAWINGS, SPECS, OR BETWEEN THE DRAWINGS AND THE SPECS, THE MOST EXPENSIVE REQUIREMENT SHOWN OR SPECIFIED SHALL BE THE BASIS OF THE CONTRACT FOR CONSTRUCTION.

4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER GRAPHIC SCALE SHOWN ON THE DRAWINGS. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE SHOWN TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.

5. ALL SYSTEMS AND ASSEMBLIES SHALL BE COMPLETE AND OPERATIVE THOUGH NOT FULLY DESCRIBED IN THE CONTRACT DOCUMENTS. IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER OF SIMILAR CONDITIONS SHOWN OR CALLED FOR.

6. UNLESS OTHERWISE NOTED ALL CONNECTIONS AND FASTENERS SHALL BE CONCEALED. THE USE OF SURFACE FASTENERS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT. ALL EXTERIOR FASTENERS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.

7. THE OWNER AND LANDSCAPE ARCHITECT SHALL NOT BE RESPONSIBLE FOR: CONSTRUCTION MEANS, METHODS OR TECHNIQUES, SEQUENCES OR PROCEDURES OF THE CONTRACTOR, SAFETY PRECAUTIONS AND PROGRAMS OF THE CONTRACTOR, OR FAILURE OF THE CONTRACTOR TO PERFORM THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

8. THESE DRAWINGS MAY NOT BE TO SCALE AND ARE FOR ILLUSTRATION PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO EXECUTING THE WORK.

9. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER DRAWINGS.

10. INSTALL ALL MATERIALS, EQUIPMENT, FIXTURES, APPLIANCES AND ACCESSORIES IN CONFORMANCE WITH THE MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS. ALL WORK SHALL BE INSTALLED PLUMB, LEVEL AND TRUE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

11. THE CONTRACTOR SHALL HOLD HARMLESS THE OWNER, THE LANDSCAPE ARCHITECT AND THE COUNTY OF MARIN FROM ALL LIABILITIES AND DAMAGES RESULTING FROM HIS CONSTRUCTION OPERATIONS.

12. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT.

13. SPOT ELEVATIONS INDICATED ARE CRITICAL ELEVATIONS. INTERVENING ELEVATIONS NOT SPECIFICALLY NOTED SHALL BE INTERPOLATED FROM ELEVATIONS SHOWN. A MINIMUM SLOPE OF EXTERIOR SURFACES SHALL BE 2% U.O.N.

14. INSURANCE: EACH CONTRACTOR SHALL MAINTAIN INSURANCE IN FULL FORCE AND EFFECT FOR THE LIFE OF THE CONTRACT, AND GIVE EVIDENCE OF SAME OR A CERTIFICATE INDICATING ITS EXISTENCE DELIVERED TO THE OWNER AND THE ARCHITECT AND GENERAL CONTRACTOR THE POLICIES LISTED HEREIN:

a) WORKER'S COMPENSATION COVERING CONTRACTOR'S FULL LIABILITY UNDER "THE WORKMAN'S COMPENSATION AND SAFETY ACTS."

b) COMPREHENSIVE GENERAL LIABILITY INSURANCE IN THE FOLLOWING AMOUNTS:  
BODILY INJURY: \$1,000,000  
PROPERTY DAMAGE: \$1,000,000

c) COMPREHENSIVE AUTO LIABILITY INSURANCE IN THE FOLLOWING AMOUNTS:  
BODILY INJURY: \$1,000,000 EACH PERSON  
PROPERTY DAMAGE: \$1,000,000 EACH OCCURRENCE

15. CONTRACTOR'S LIABILITY INSURANCE SHALL INCLUDE THE "OWNER" AND THE "LANDSCAPE ARCHITECT" AS ADDITIONAL INSURED. CONTRACTOR IS TO PROVIDE CERTIFICATE OF INSURANCE TO EACH OF THE ADDITIONAL INSURED PRIOR TO COMMENCING WORK. PROGRESS PAYMENTS WILL BE WITHHELD UNTIL CERTIFICATES ARE RECEIVED BY THE OWNER AND THE LANDSCAPE ARCHITECT.

16. GUARANTEE: UNLESS SPECIFICALLY STATED TO THE CONTRARY IN THE DRAWINGS, THE CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE TO THE EFFECT THAT ALL MATERIALS AND WORKMANSHIP FURNISHED UNDER THE CONTRACT SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE TO BE FREE FROM DEFECTS AND FAULTY WORKMANSHIP AND THAT ANY SUCH DEFECTS SHALL BE PROMPTLY REPAIRED OR REPLACED WITHOUT ADDITIONAL COST TO THE OWNER.

## ABBREVIATIONS & SYMBOLS

&	ALIGN	D.F.	DOUGLAS FIR	G	GAS	REF.	REFERENCE
@	AND	DET.	DETAIL	GAL.	GALLON	REINF.	REINFORCED
⊙	AT	DI	DROP INLET	GALV.	GALVANIZED	REQ.	REQUIRED
⊕	CENTERLINE	DIM.	DIMENSION	GR.	GRADE	RM.	ROOM
#	FOUNDATION	DN.	DOWN	H.B.	HOSE BIB	RWD.	REDWOOD
(E)	EXISTING	DR.	DOOR	HDWD.	HARDWOOD	SHT.	SHEET
(N)	NEW	DS.	DOWNSPOUT	HORIZ.	HORIZONTAL	SIM.	SIMILAR
A.C.	AIR CONDITIONING	DWG.	DRAWING	HT.	HEIGHT	SPEC.	SPECIFICATION
A.D.	AREA DRAIN	E	ELECTRIC	INST.	INSTALL	SQ.	SQUARE
ADJ.	ADJUSTABLE	EA.	EACH	JT.	JOINT	S.ST.	STAINLESS STEEL
APPROX.	APPROXIMATE	E.J.	EXPANSION JOINT	MAX.	MAXIMUM	STD.	STANDARD
ARCH.	ARCHITECTURAL	EL.	ELEVATION	MECH.	MECHANICAL	STL.	STEEL
BD.	BOARD	E.M.	ELECTRIC METER	MFR.	MANUFACTURER	STOR.	STORAGE
BLDG.	BUILDING	ENCL.	ENCLOSURE	MH.	MANHOLE	STRL.	STRUCTURAL
B.W.	BOTTOM OF WALL	E.P.	ELECTRICAL PANELBOARD	MIN.	MINIMUM	SYM.	SYMMETRICAL
C	CABLE	EQ.	EQUAL	MISC.	MISCELLANEOUS	TRD.	TREAD
C.B.	CATCH BASIN	EXST.	EXISTING	N.I.C.	NOT IN CONTRACT	T.C.	TOP OF CURB
CEM.	CEMENT	EXP.	EXPANSION	NO./#	NUMBER	TN	TRUE NORTH
CER.	CERAMIC	EXT.	EXTERIOR	NOM.	NOMINAL	T.P.	TOP OF PIER/COLUMN
C.J.	CONTROL JOINT	FIN.	FINISH	N.T.S.	NOT TO SCALE	T.W.	TOP OF WALL
CLR.	CLEAR	FIN.GR.	FINISH GRADE	O.C.	ON CENTER	TYP.	TYPICAL
CONC.	CONCRETE	FL.	FLOOR	O.C.E.W.	ON CENTER EACH WAY	U.O.N.	UNLESS OTHERWISE NOTED
CONN.	CONNECTION	FLASHG	FLASHING	PA.	PLANTING AREA	VERT.	VERTICAL
CONT.	CONTINUOUS	F.O.F.	FACE OF FINISH	P.L.	PROPERTY LINE	W/	WITH
CTSK.	COUNTERSUNK	FT.	FOOT/FEET	P.O.B.	POINT OF BEGINNING	WD.	WOOD
CTR.	CENTER	FTG.	FOOTING	R.	RISER	W.M.	WATER METER
DBL.	DOUBLE	FUT.	FUTURE	RAD.	RADIUS	W/O	WITHOUT
DEPT.	DEPARTMENT					WP.	WATERPROOF

01/29/24 DR RESUB

11/06/23 DR RESUB

08/15/23 DESIGN REVIEW

DATE ISSUES & REVISIONS NO.

PROJECT# 2022.27 DRAWN BY: PP/TK

ORIGINAL DRAWING SIZE: 24" X 36"

## COVER SHEET

SHEET #

**L-0**

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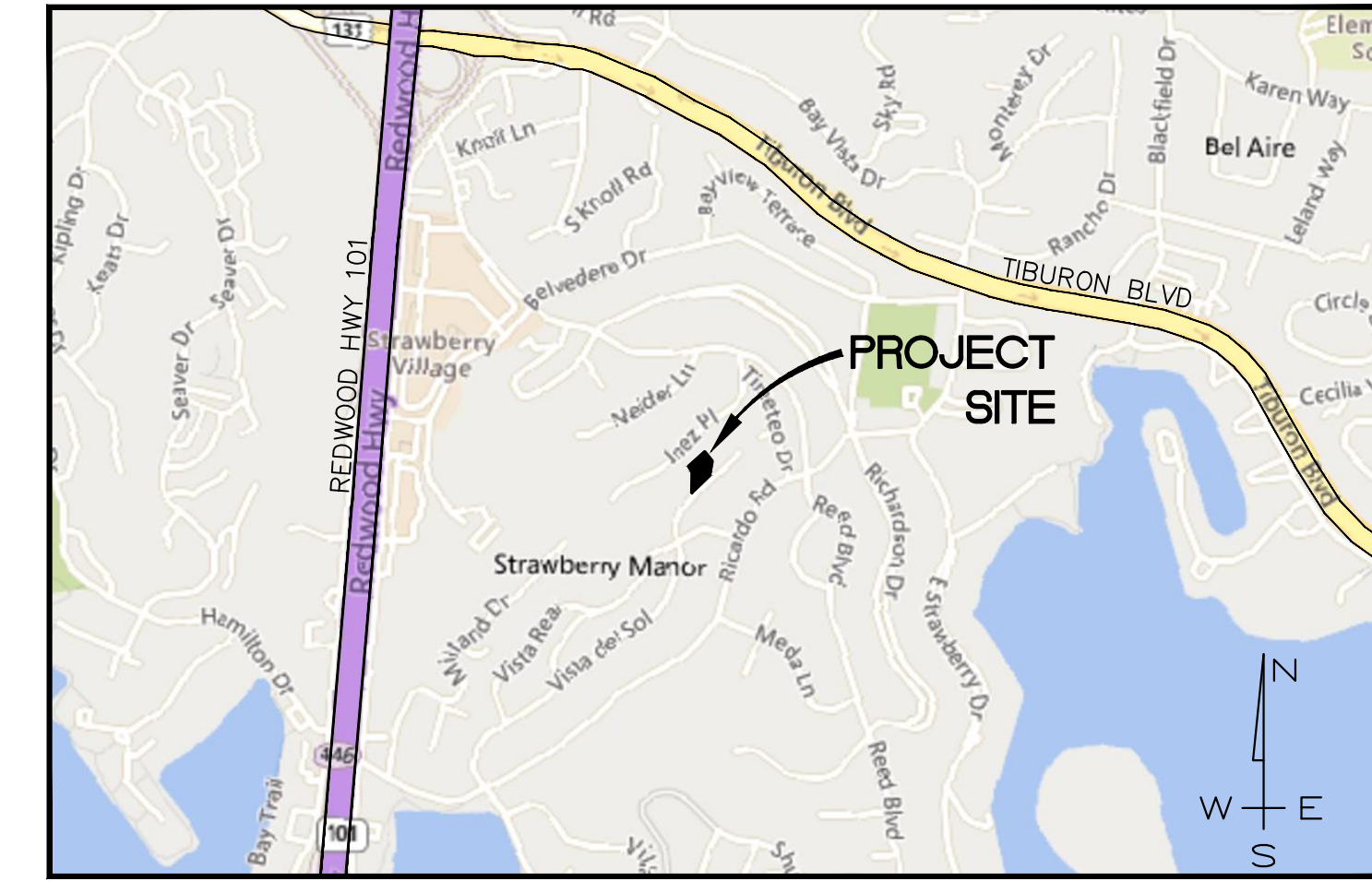
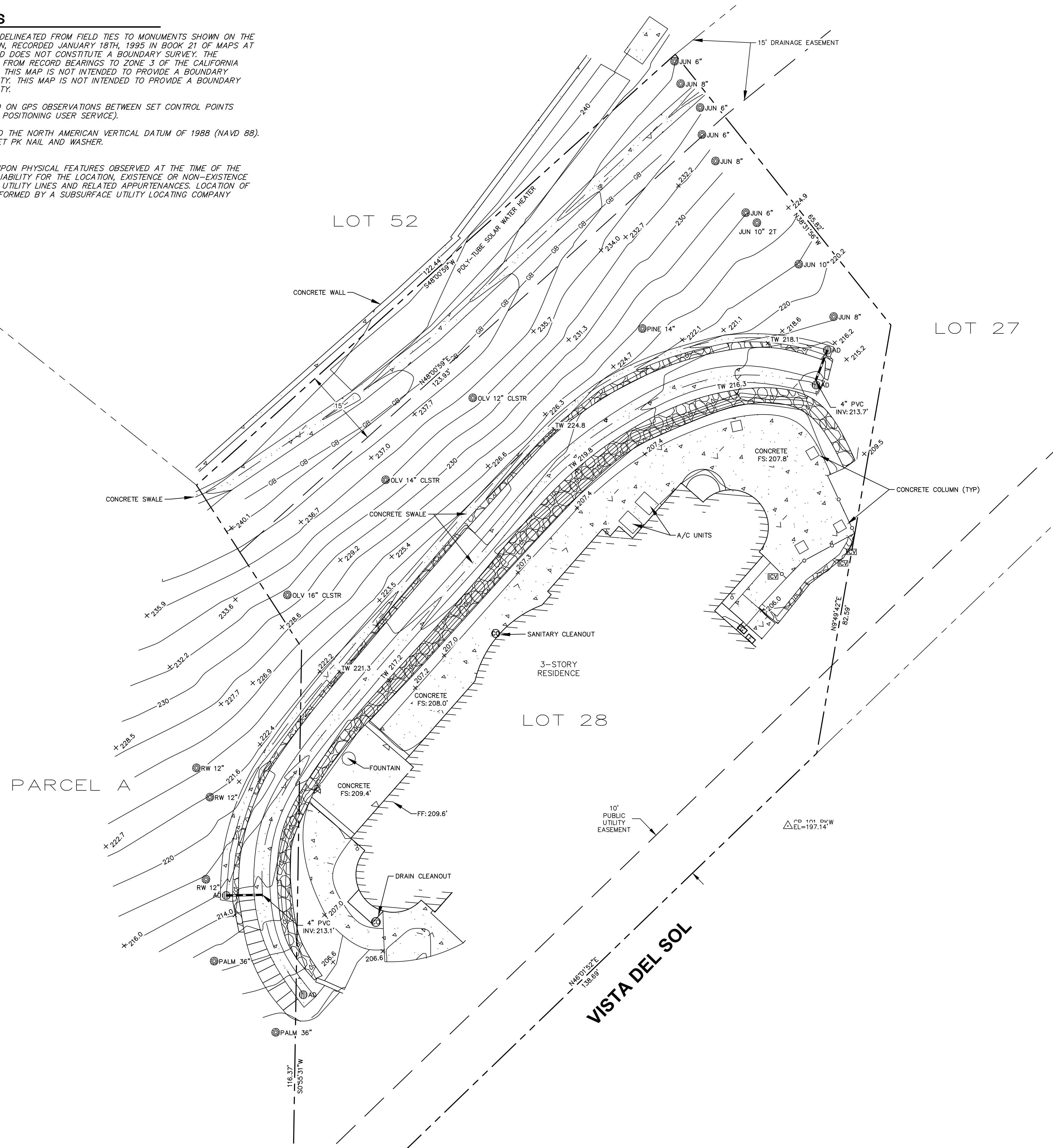
**GENERAL NOTES**

BOUNDARY LINES SHOWN HEREON ARE DELINEATED FROM FIELD TIES TO MONUMENTS SHOWN ON THE MAP OF STRAWBERRY VISTA SUBDIVISION, RECORDED JANUARY 18TH, 1995 IN BOOK 21 OF MAPS AT PAGE 33, MARIN COUNTY RECORDS, AND DOES NOT CONSTITUTE A BOUNDARY SURVEY. THE BEARINGS SHOWN HAVE BEEN ROTATED FROM RECORD BEARINGS TO ZONE 3 OF THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83). THIS MAP IS NOT INTENDED TO PROVIDE A BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY. THIS MAP IS NOT INTENDED TO PROVIDE A BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY.

BASIS OF BEARINGS: GRID NORTH BASED ON GPS OBSERVATIONS BETWEEN SET CONTROL POINTS POST PROCESSED USING OPUS (ONLINE POSITIONING USER SERVICE).

ELEVATIONS SHOWN HEREON ARE BASED THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). BENCHMARK CONTROL POINT #101 - SET PK NAIL AND WASHER. ELEVATION = 197.14' (NAVD 88)

UTILITIES SHOWN HEREON ARE BASED UPON PHYSICAL FEATURES OBSERVED AT THE TIME OF THE SURVEY. THE SURVEYOR ACCEPTS NO LIABILITY FOR THE LOCATION, EXISTENCE OR NON-EXISTENCE OF THOSE UNDERGROUND STRUCTURES, UTILITY LINES AND RELATED APPURTENANCES. LOCATION OF UNDERGROUND UTILITIES SHALL BE PERFORMED BY A SUBSURFACE UTILITY LOCATING COMPANY (IF DESIRED).

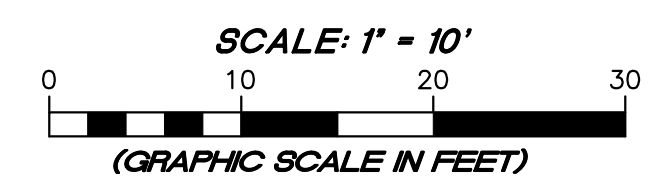
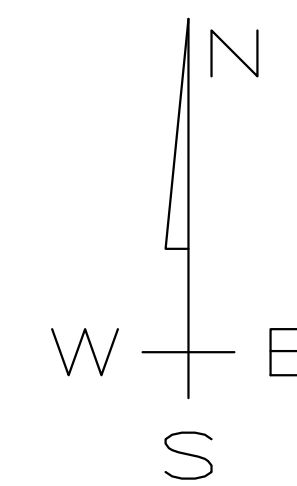


**LOCATION MAP**

1" = 1000'

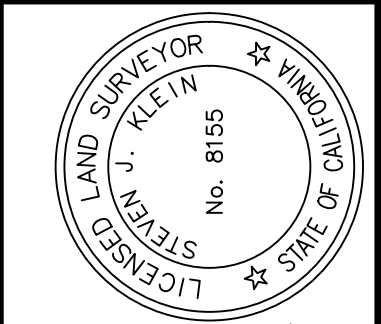
**LEGEND**

- RECORD BOUNDARY LINE
- - - RECORD ADJOINING BOUNDARY LINE
- - - RECORD EASEMENT LINE
- FLOWLINE SWALE
- EDGE OF CONCRETE
- GB --- GB --- GRADE BREAK
- CHAINLINK FENCE
- CONCRETE SURFACE
- ROCK WALL
- BUILDING
- IRRIGATION CONTROL VALVE
- HOSE BIB
- GAS VALVE
- WATER METER
- ELECTRIC METER
- GAS METER
- CLEAN OUT
- AREA DRAIN
- CULVERT
- BENCHMARK
- SPOT ELEVATION
- x TW 150.5 --- TOP OF WALL ELEVATION
- RW 24" --- TREE-TYPE & DIAMETER
- OLV --- OLIVE TREE
- PINE --- PINE TREE
- JUN --- JUNIPER TREE
- PALM --- PALM TREE
- RW --- REDWOOD TREE
- INV --- INVERT
- FF --- FINISHED FLOOR
- FS --- FINISHED SURFACE



REVISION	DESCRIPTION	BY	DATE

**DVC GROUP INC.**  
 PLANNING • ENGINEERING • SURVEYING  
 219 SHORELINE HIGHWAY  
 MILL VALLEY, CA 94541  
 (707) 395-0968



STEVEN J. KLEIN  
 PLS 8155  
 DATE: 1/12/2021

**GLAUBACH RESIDENCE**  
 TOPOGRAPHIC MAP  
 APN 043-420-15  
 85 VISTA DEL SOL  
 MILL VALLEY, CA

JANUARY 2021  
 JOB NO. 97-20  
 SHEET NO. **1**  
 OF 1 SHEETS



GLAUBACH RESIDENCE  
NEW ADU

89 VISTA DEL SOL MILL VALLEY, CA APN:043-420-15

No.	Revision/Issue	Date
1	ISSUED FOR DESIGN REVIEW	1-29-24

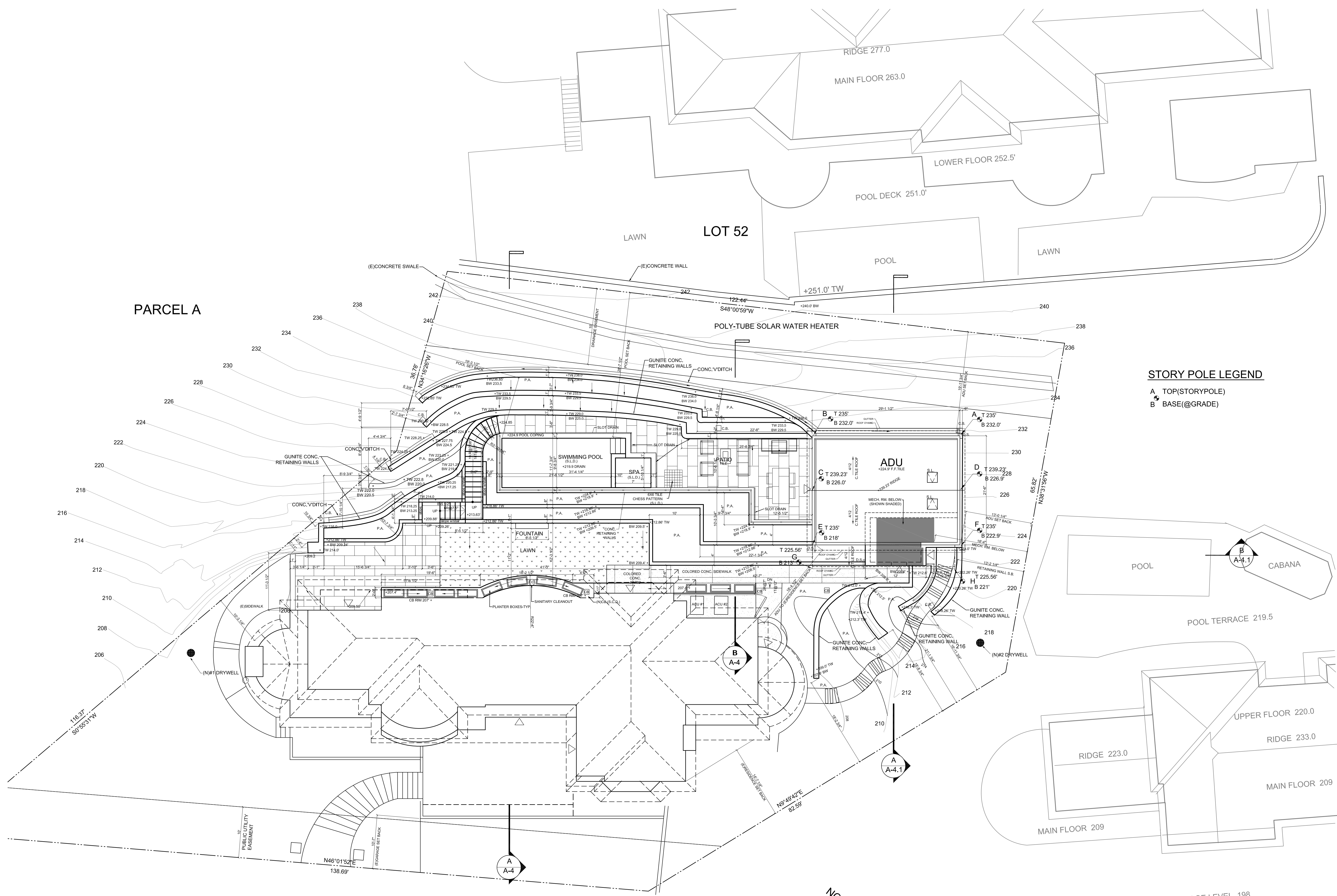
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PROJECT NO.:	GLAUJ5023
DRAWN BY:	JRP
CHECKED BY:	JRP
DATE:	5-30-23
SCALE:	AS NOTED

DRAWING TITLE: SITE PLAN

DRAWING NO. **A-1**

24"X36" SHEET



PARCEL A

LOT 52

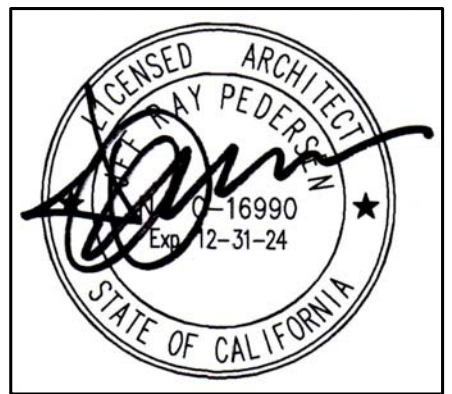
**STORY POLE LEGEND**

- A TOP(STORYPOLE)
- B BASE(@GRADE)

**SITE PLAN**

SCALE:1/8"=1'-0"





GLAUBACH RESIDENCE  
NEW ADU

89 VISTA DEL SOL MILL VALLEY, CA APN:043-420-15

CONSTRUCTION NOTES

- 1 MIRRORED M.C.
- 2 TOWEL BAR
- 3 ELEVATOR by "RESIDENTIAL ELEVATORS"-HOR HP2SG10 950#, LH RAIL IN-LINE OPENING HOISTWAY MUST BE IN ACCORDANCE WITH "SAFETY CODE FOR ELEVATORS AND ESCALATORS (ASME A17.1). THE G.C. MUST ENSURE THE HOISTWAY IS PLUM. INSTALL ELEVATOR PER MANUFACTURERS SPECIFICATIONS.
- 4 PANORAMIC STACKING PANEL DOORS-COLOR WHITE
- 5 2'X2' OPERABLE VELUX SKYLITE ABOVE IN LOFT
- 6 WD. LADDER TO LOFT-TBD
- 7 24"W X12"H MTL. LOUVERED ELEVATOR SHAFT VENT-WHITE
- 8 SLIDING WINDOW-COLOR WHITE
- 9 CASEMENT WINDOW-COLOR WHITE W/ OBSCURE GLASS

WALL LEGEND

SYMBOL	DESCRIPTION
	CONCRETE WALL-
	EXTERIOR WALLS- 2X6 STUDS @16"O.C.- 1 LAYER 1/2" TYPE 'X' G.W.B. INTERIOR FACE
	INTERIOR WALLS- 2X4 STUDS @16"O.C.- 1 LAYER 1/2" TYPE 'X' G.W.B. EA.FACE 3" SOUND ATTENUATION BLANKETS-TYP.
	FURRING- 1-1/2"x2-1/2" PTDF STUDS @16"O.C.- 1 LAYER 1/2" TYPE 'X' G.W.B.
	ECO SLOT DRAIN-
	GUARDRAIL SYSTEM +42"
	10'-0" FINISHED CEILING HEIGHT

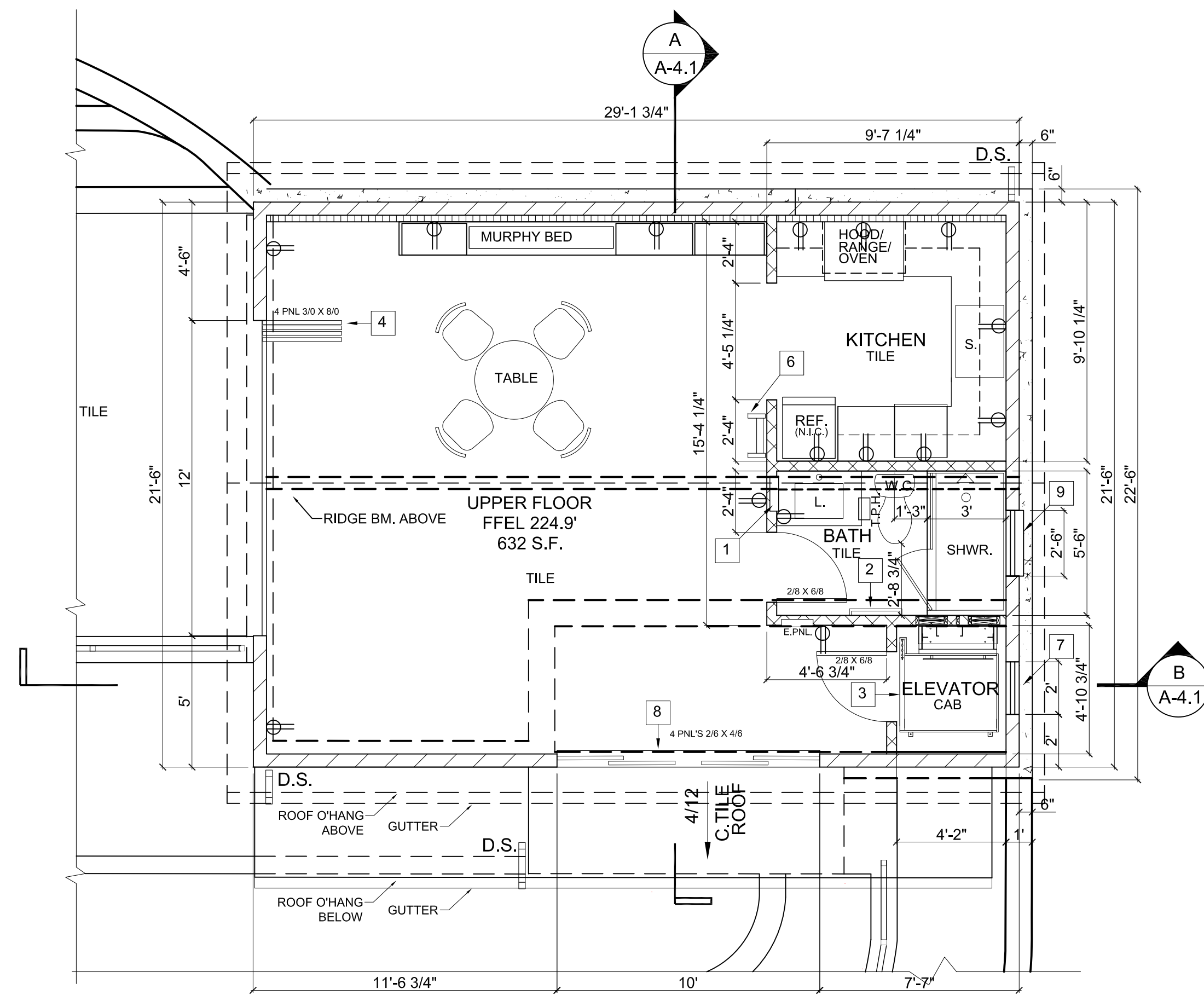
No.	Revision/Issue	Date
ISSUED FOR DESIGN REVIEW 1-29-24		

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PROJECT NO.:	KIDANR1522
DRAWN BY:	JRP
CHECKED BY:	JRP
DATE:	6-15-22
SCALE:	None

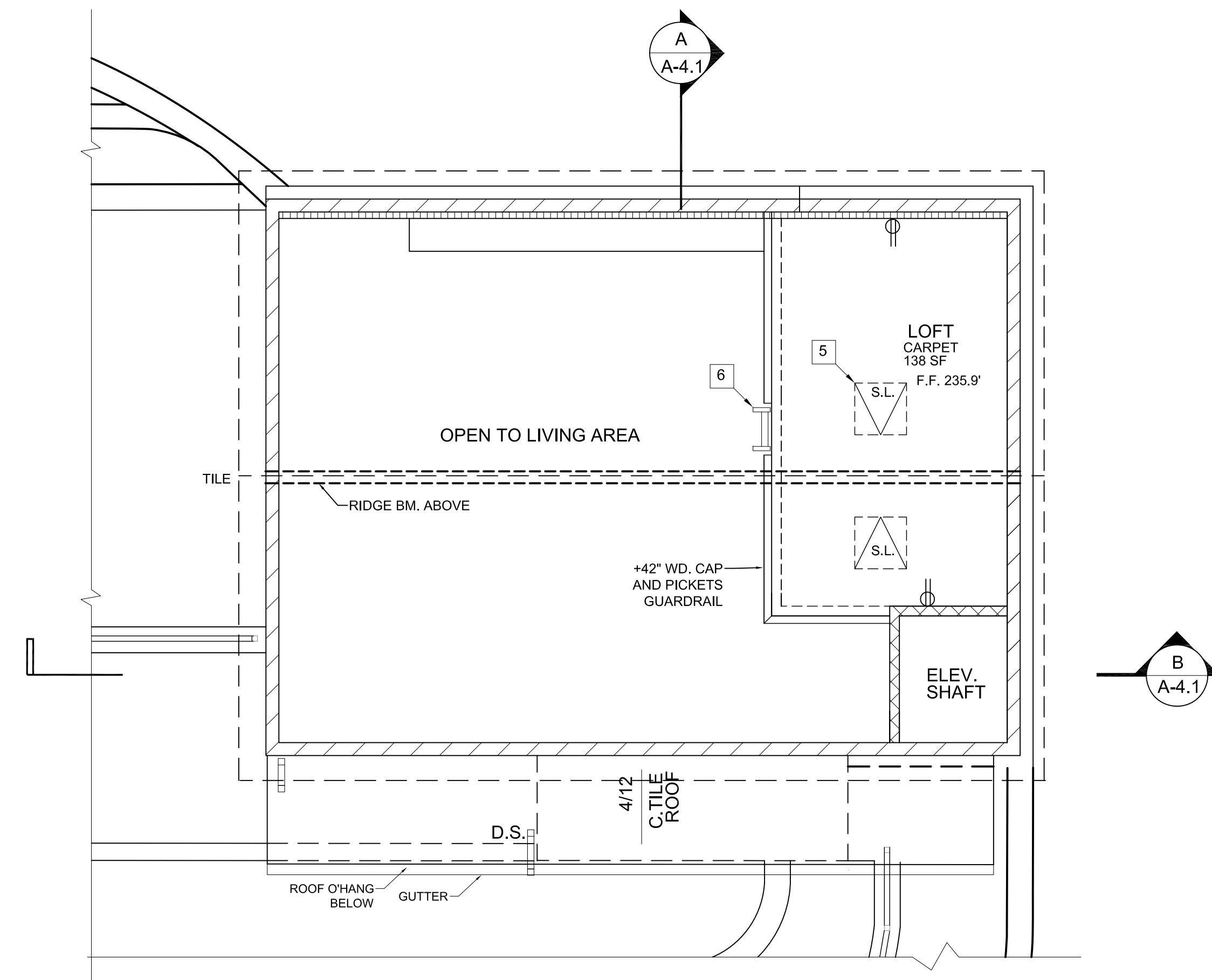
DRAWING TITLE:  
ADU UPPER FLOOR PLAN  
ADU MIDDLE FLOOR PLAN  
ADU LOWER FLOOR PLAN

DRAWING NO. **A-2**



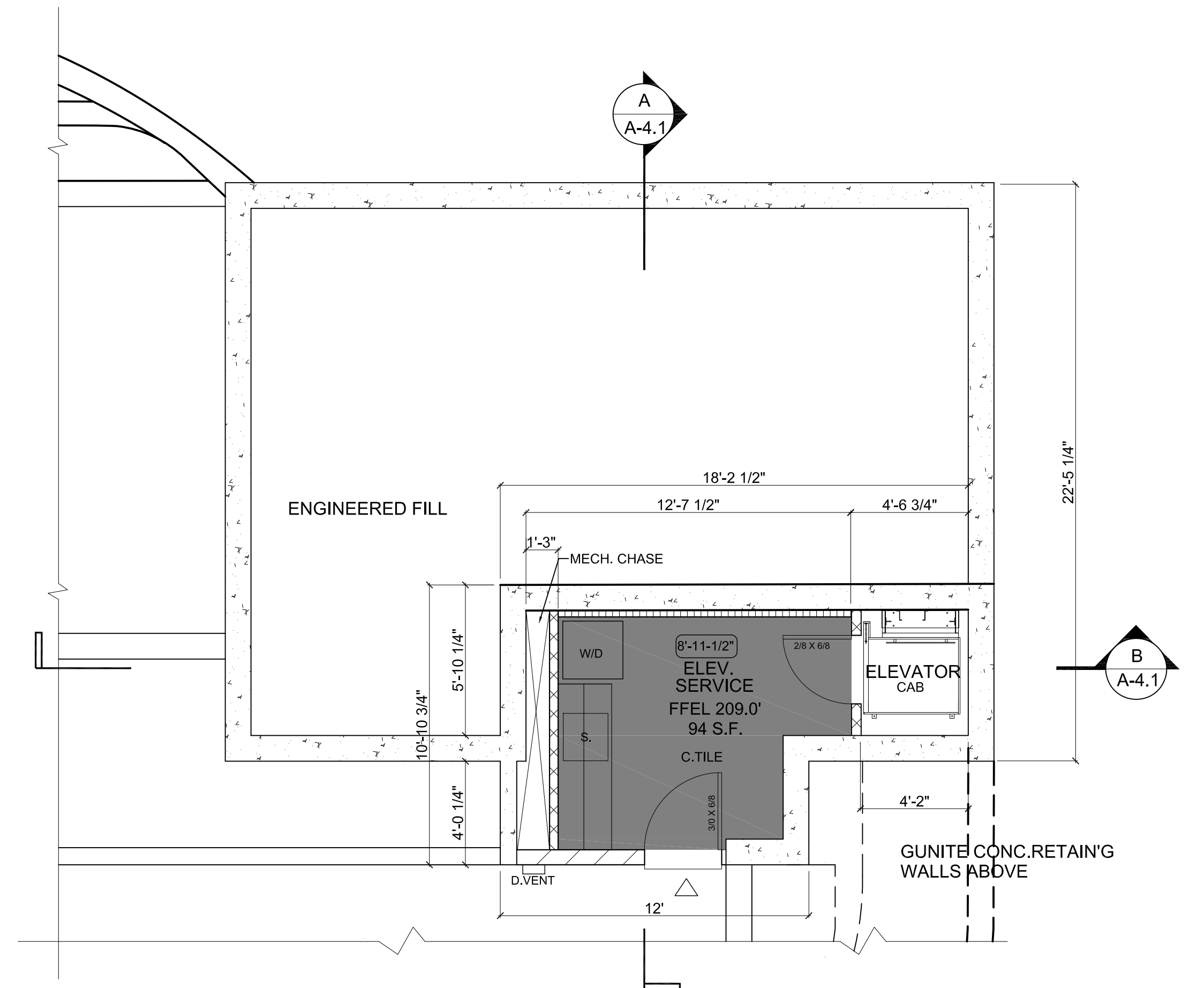
ADU- UPPER FLOOR PLAN

SCALE: 1/4"=1'-0"  
632 SF (INCLUDES ELEVATOR SHAFT)



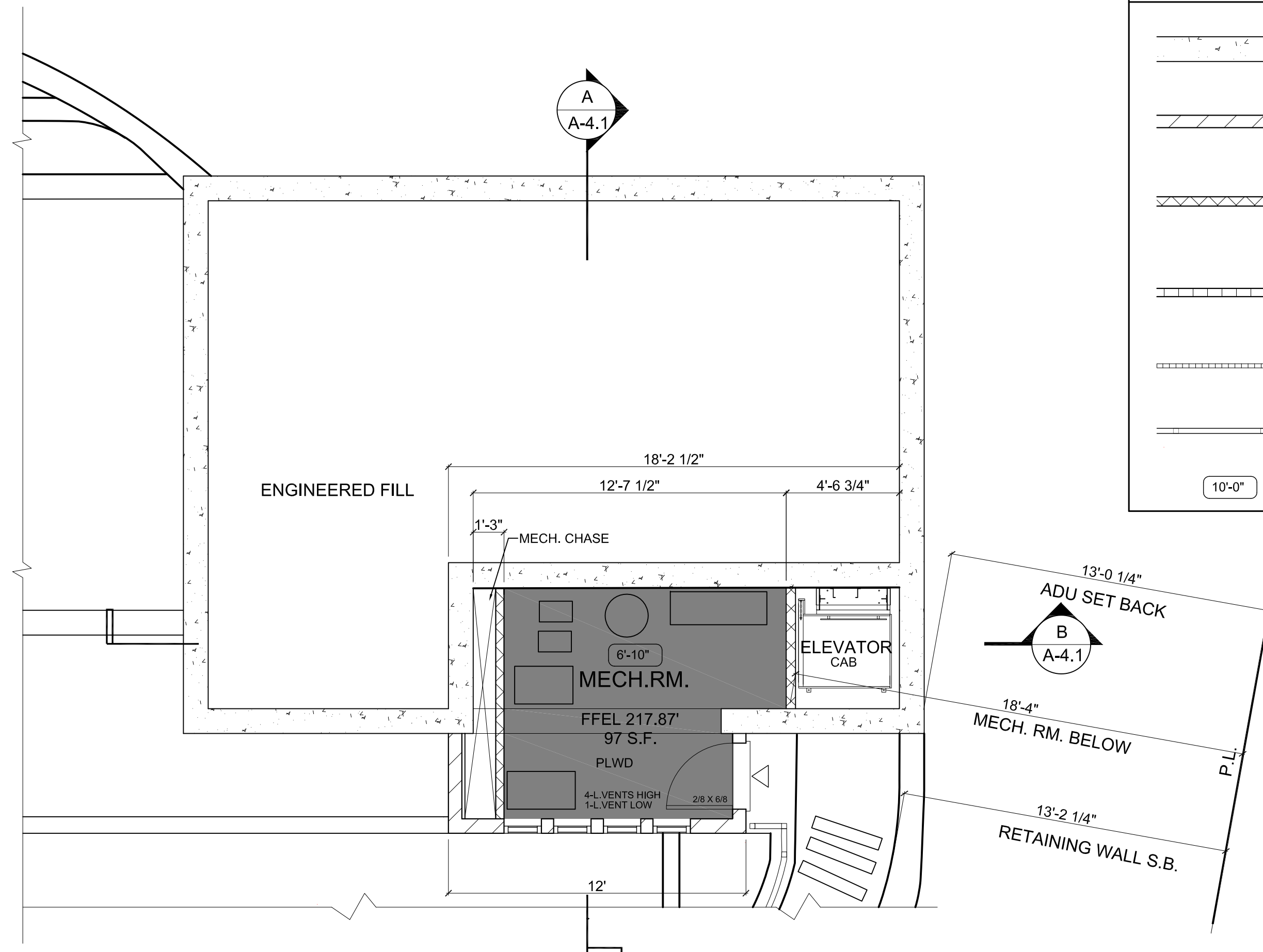
ADU- LOFT PLAN

SCALE: 1/4"=1'-0"



ELEVATOR/SERVICE LOWER FLOOR PLAN

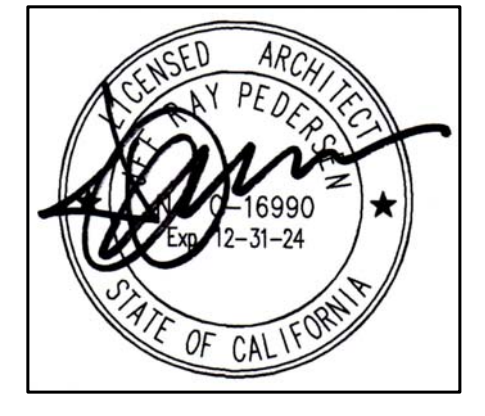
SCALE: 1/4"=1'-0"  
94 SF (FLOOR AREA SHOWN SHADED)



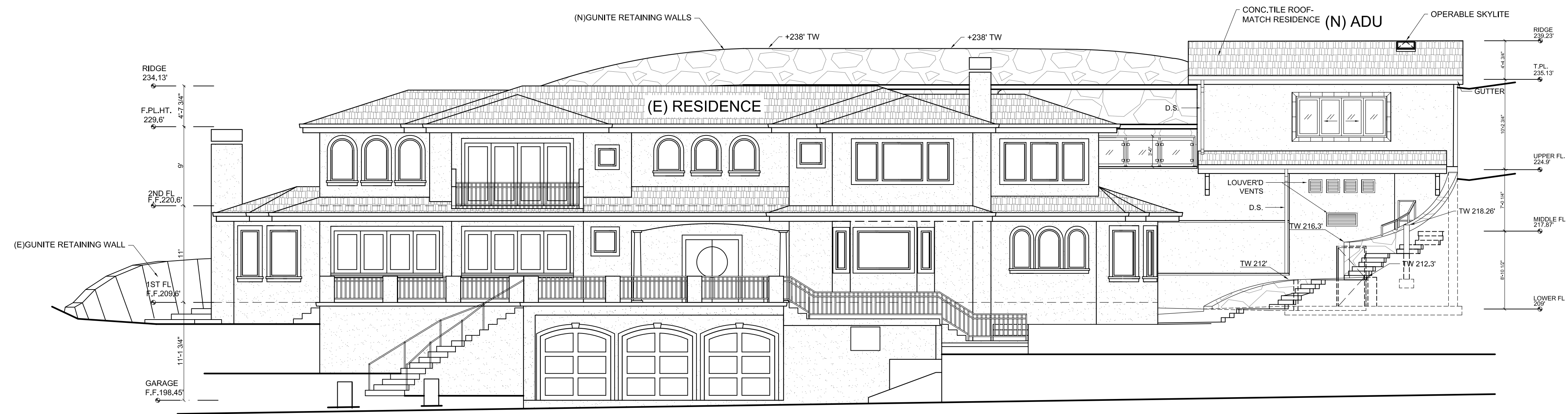
MECHANICAL ROOM-MIDDLE FLOOR PLAN

SCALE: 1/4"=1'-0"  
97 SF (FLOOR AREA SHOWN SHADED)

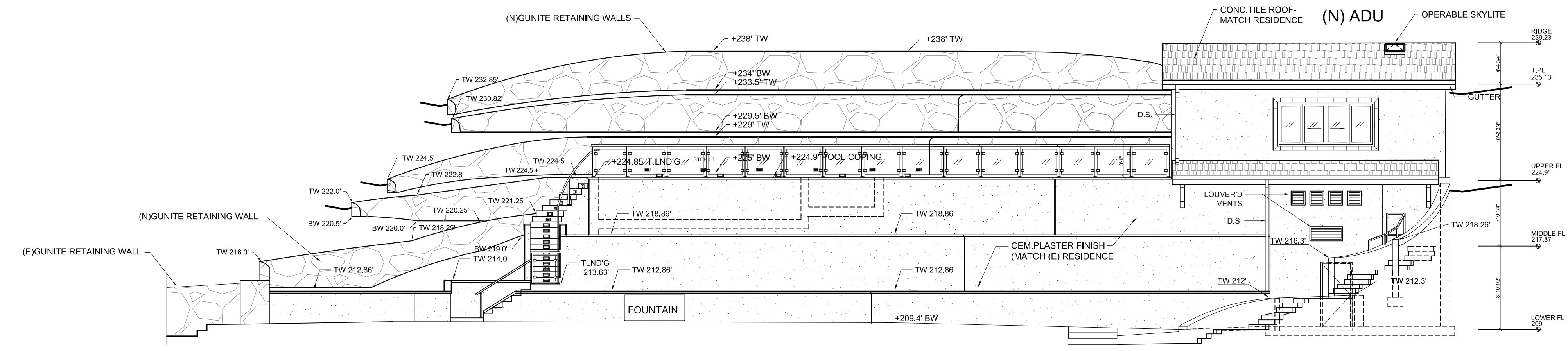
Jef Ray Pedersen, AIA  
Architect  
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510.530.1475  
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email: JJPedersen@aol.com  
www.jparchitect.com  
  
6212 View Crest Drive  
Oakland, CA 94619



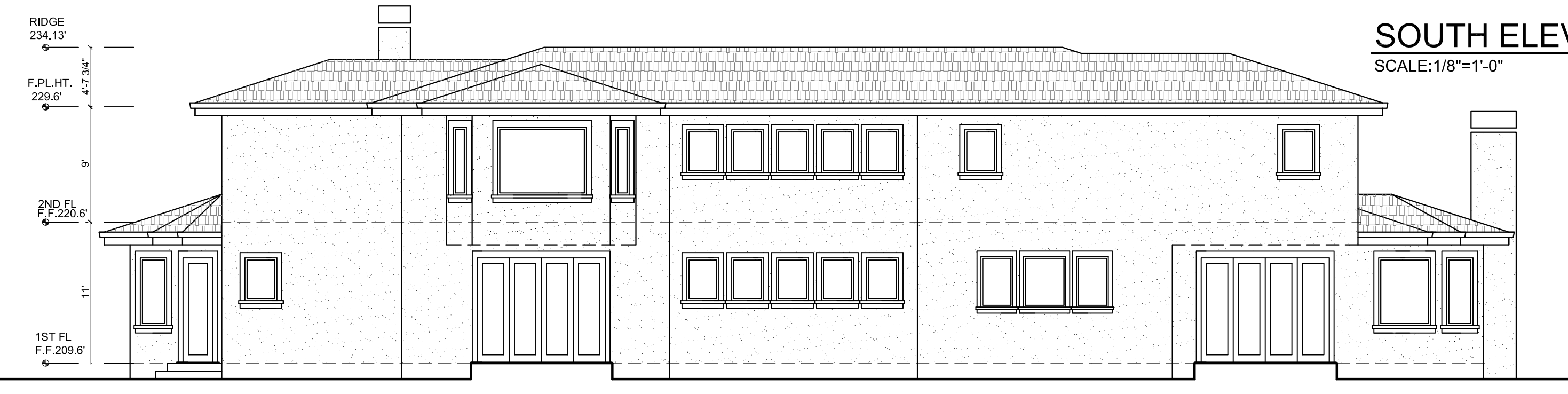
GLAUBACH RESIDENCE  
NEW ADU  
  
89 VISTA DEL SOL  
MILL VALLEY, CA  
APN:043-420-15



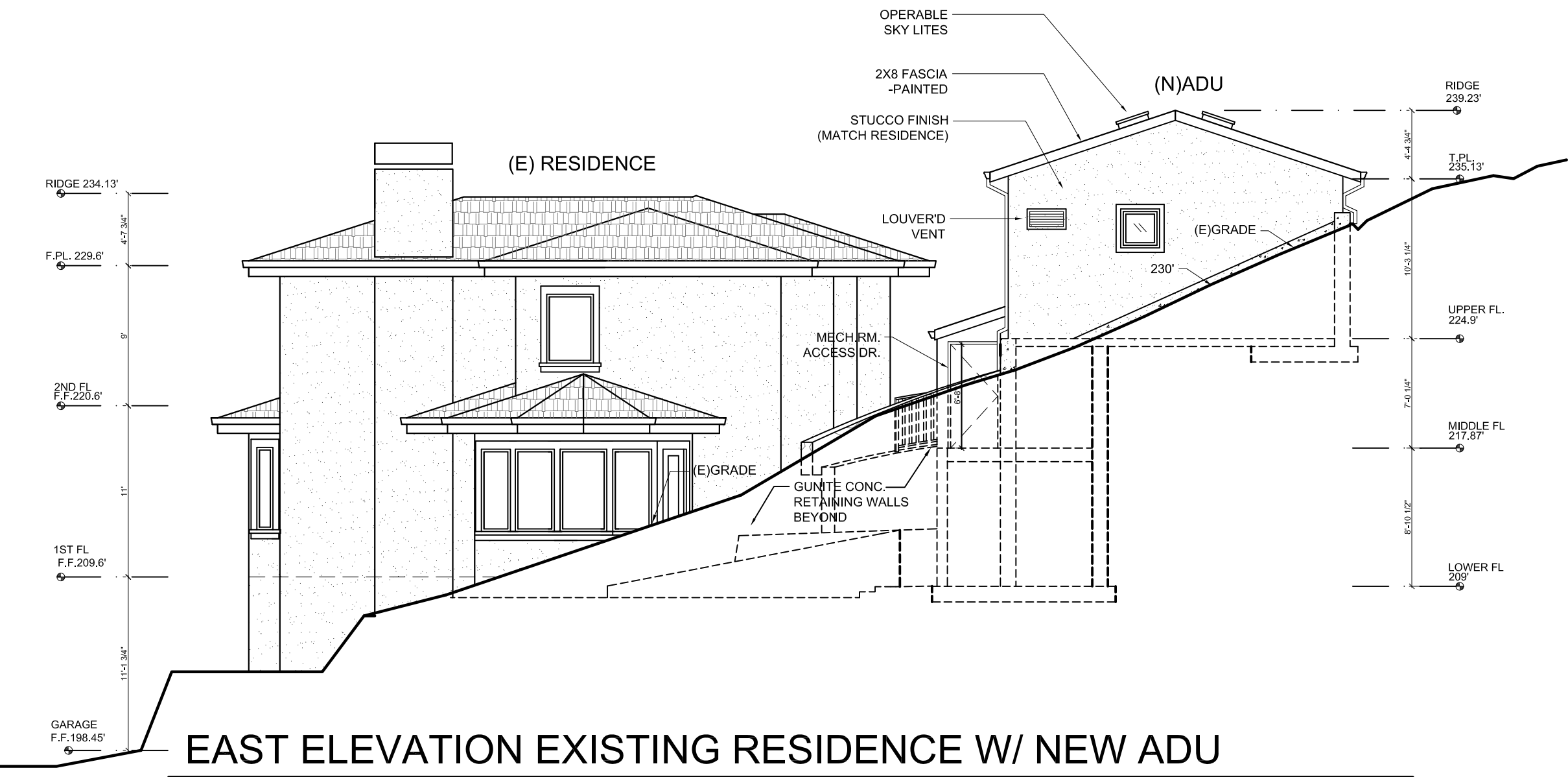
SOUTH ELEVATION EXISTING RESIDENCE W/(N)ADU  
SCALE: 1/8"=1'-0"



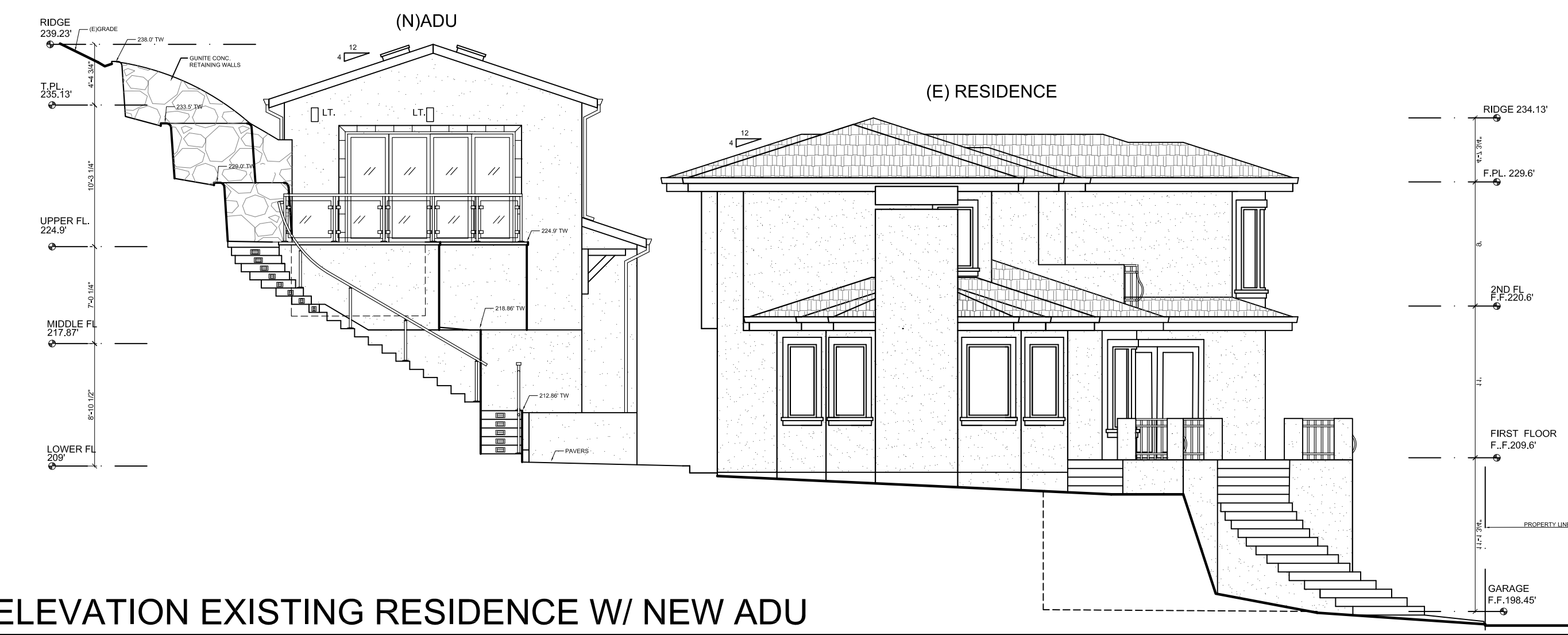
SOUTH ELEVATION W/(N)ADU  
SCALE: 1/8"=1'-0"



NORTH ELEVATION EXISTING RESIDENCE  
SCALE: 1/8"=1'-0"



EAST ELEVATION EXISTING RESIDENCE W/ NEW ADU  
SCALE: 1/8"=1'-0"



WEST ELEVATION EXISTING RESIDENCE W/ NEW ADU  
SCALE: 1/8"=1'-0"

No. Revision/Issue Date  
ISSUED FOR DESIGN REVIEW 1-29-24

No.	Revision/Issue	Date

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PROJECT No.: GLAUBACH-15-23  
DRAWN BY: JRP  
CHECKED BY: JRP  
DATE: 6-15-23  
SCALE: 1/8"=1'-0"

DRAWING TITLE:  
ELEVATIONS

DRAWING No.  
**A-3**  
SHEET OF

Jef  
Ray  
Pedersen, AIA  
Architect  
c-16990

510.530.1475  
510.530.7599F  
email: jrp@pedersen@aol.com  
www.jrparchitect.com

6212 View Crest Drive  
Oakland, CA 94619



GLAUBACH  
RESIDENCE  
NEW ADU

89 VISTA DEL SOL  
MILL VALLEY, CA  
APN:043-420-15

No. Revisor/Issue Date

ISSUED FOR DESIGN REVIEW 1-29-24

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ARCHITECT AND MAY NOT BE DUPLICATED, USED OR  
REPRODUCED WITHOUT WRITTEN CONSENT OF THE ARCHITECT.

PROJECT No.: GLAUBACH-15-23

DRAWN BY: JRP

CHECKED BY: JRP

DATE: 6-15-23

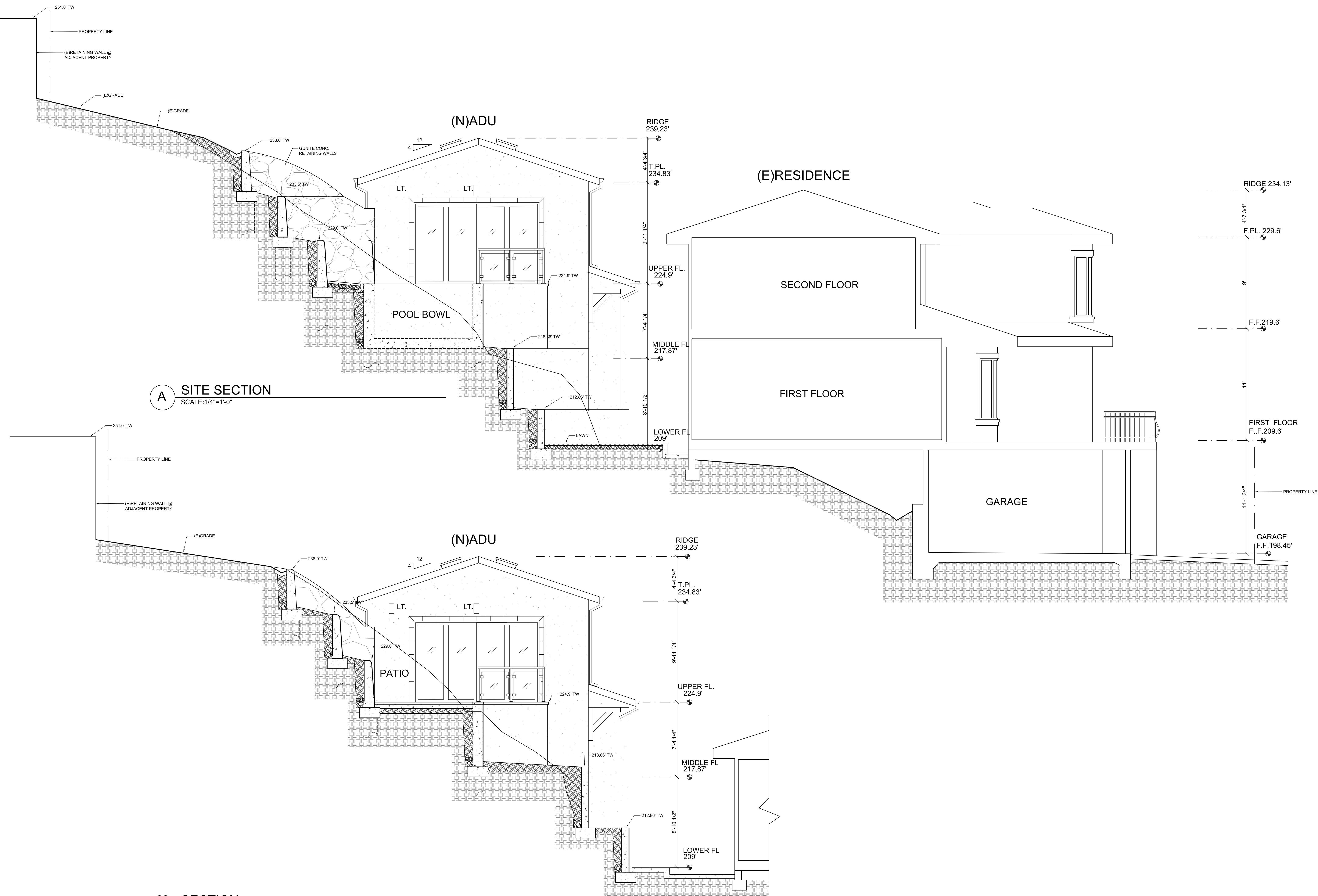
SCALE: AS NOTED

DRAWING TITLE:  
SECTIONS

DRAWING No.:

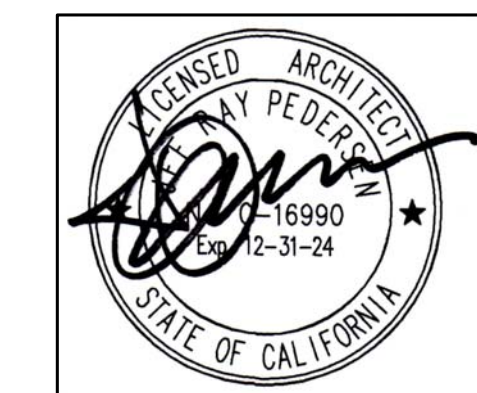
A-4

SHEET OF



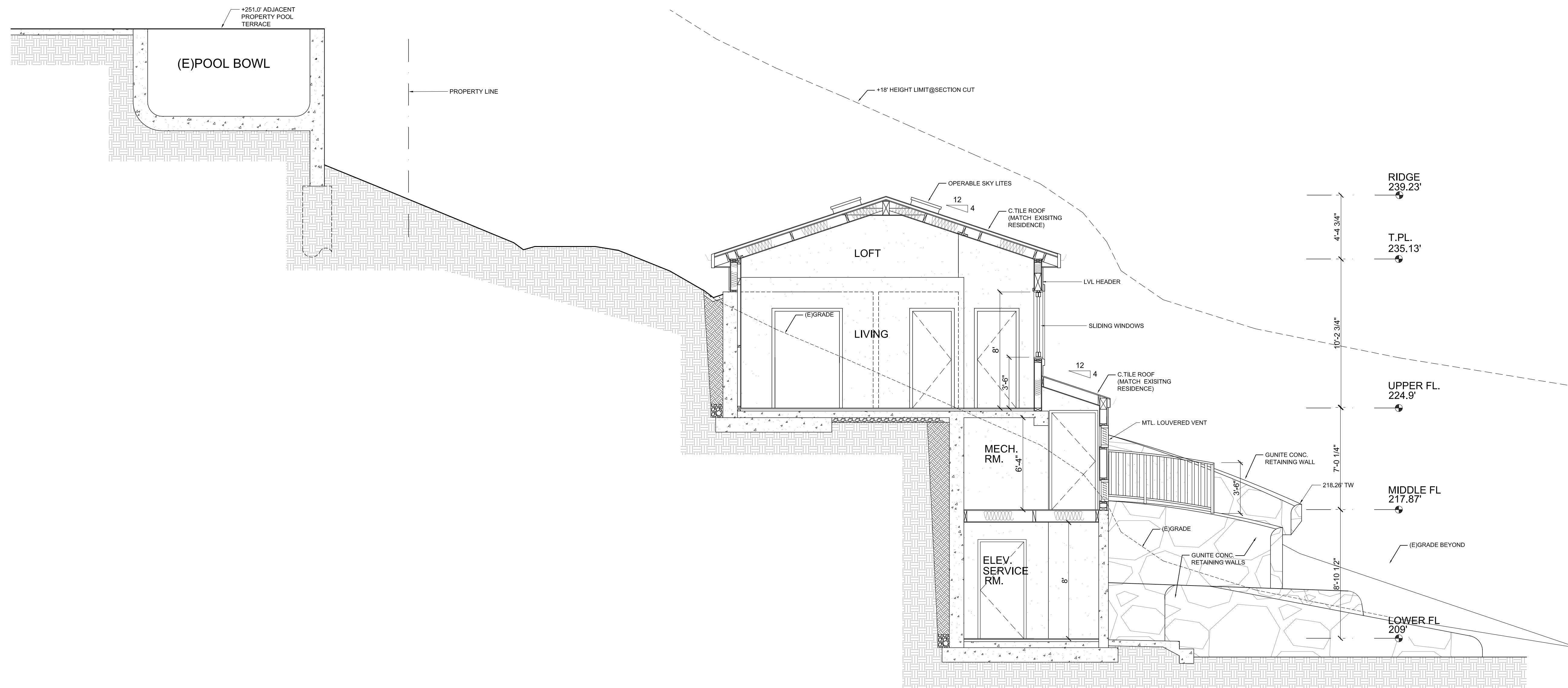
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B SECTION  
SCALE: 1/4"=1'-0"

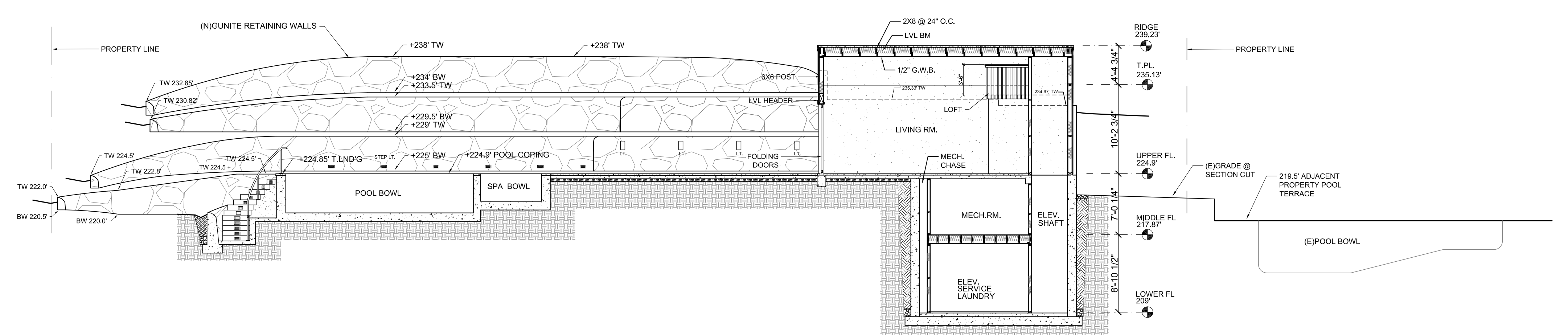


**GLAUBACH  
RESIDENCE  
  
NEW ADU**

89 VISTA DEL SOL  
MILL VALLEY, CA  
APN:043-420-15



**A SECTION**  
SCALE: 1/4"=1'-0"



**B SECTION**  
SCALE: 1/8"=1'-0"

No.	Revision/Issue	Date
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ISSUED FOR DESIGN REVIEW 1-29-24


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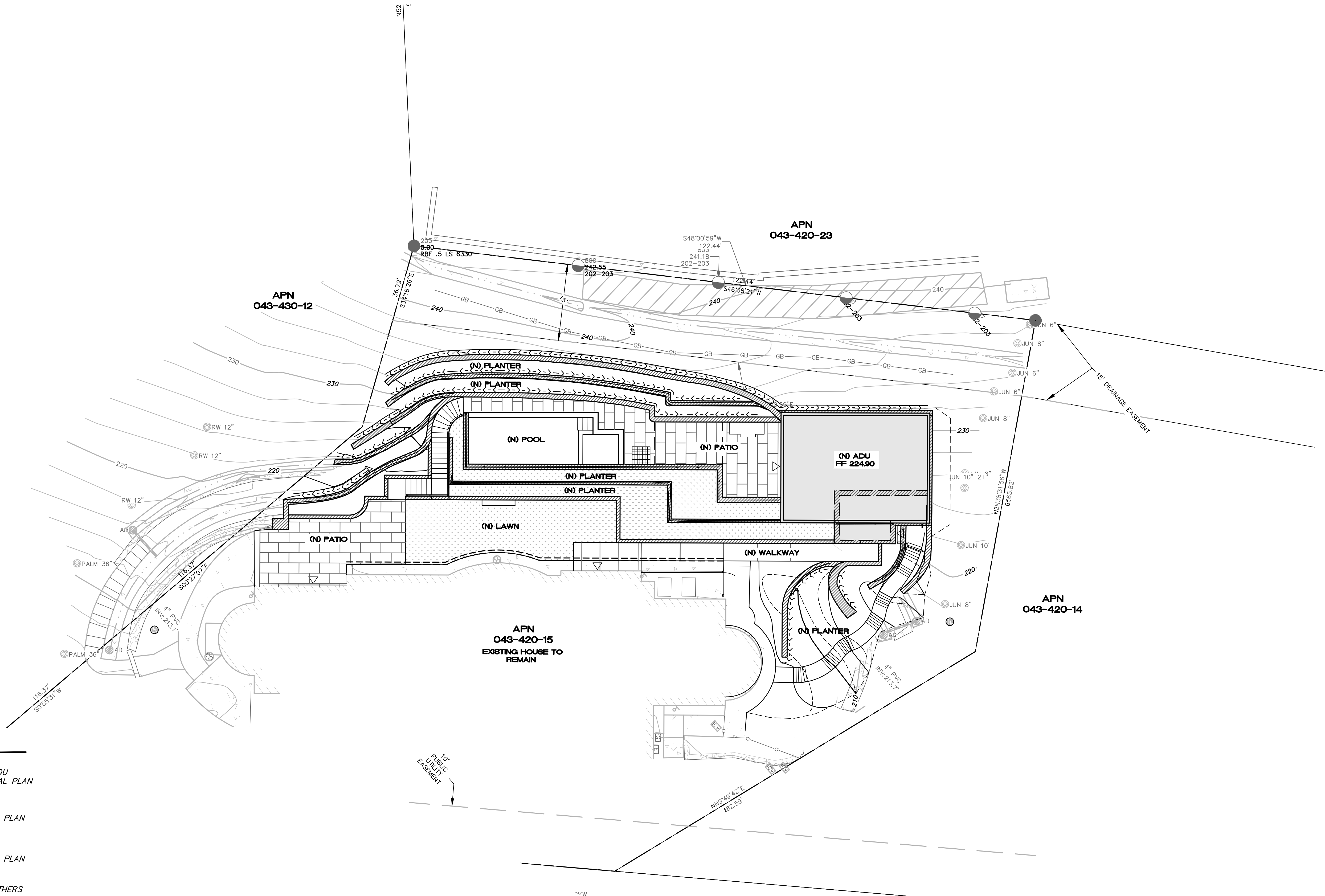
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DRAWN BY:	JRP
CHECKED BY:	JRP
DATE:	6-15-23
SCALE:	AS NOTED

DRAWING TITLE:
SECTIONS


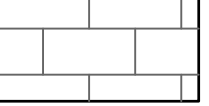





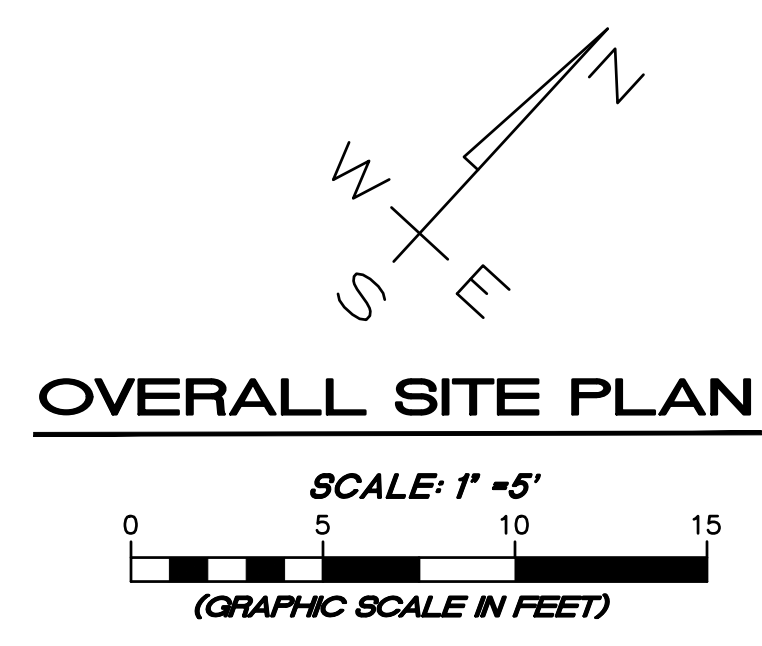


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**LEGEND**

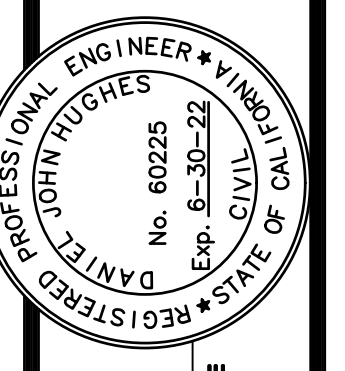
-  NEW DETACHED ADU  
SEE ARCHITECTURAL PLAN
-  PROPOSED TILES  
PER LANDSCAPING PLAN
-  PROPOSED LAWN  
PER LANDSCAPING PLAN
-  PROPOSED WALL  
SEE DESIGN BY OTHERS
-  PROPOSED BACK OF WALL  
SUB-DRAIN



**OVERALL SITE PLAN**

REVISION	DESCRIPTION	BY	DATE

**MUNSELLE CIVIL ENGINEERING**  
 ♦ CIVIL ENGINEERING ♦ SURVEYING ♦  
 ♦ PLANNING ♦ CONST. MANAGEMENT ♦  
 519 CENTER STREET  
 HEALDSBURG, CA 95448  
 (707) 395-0968



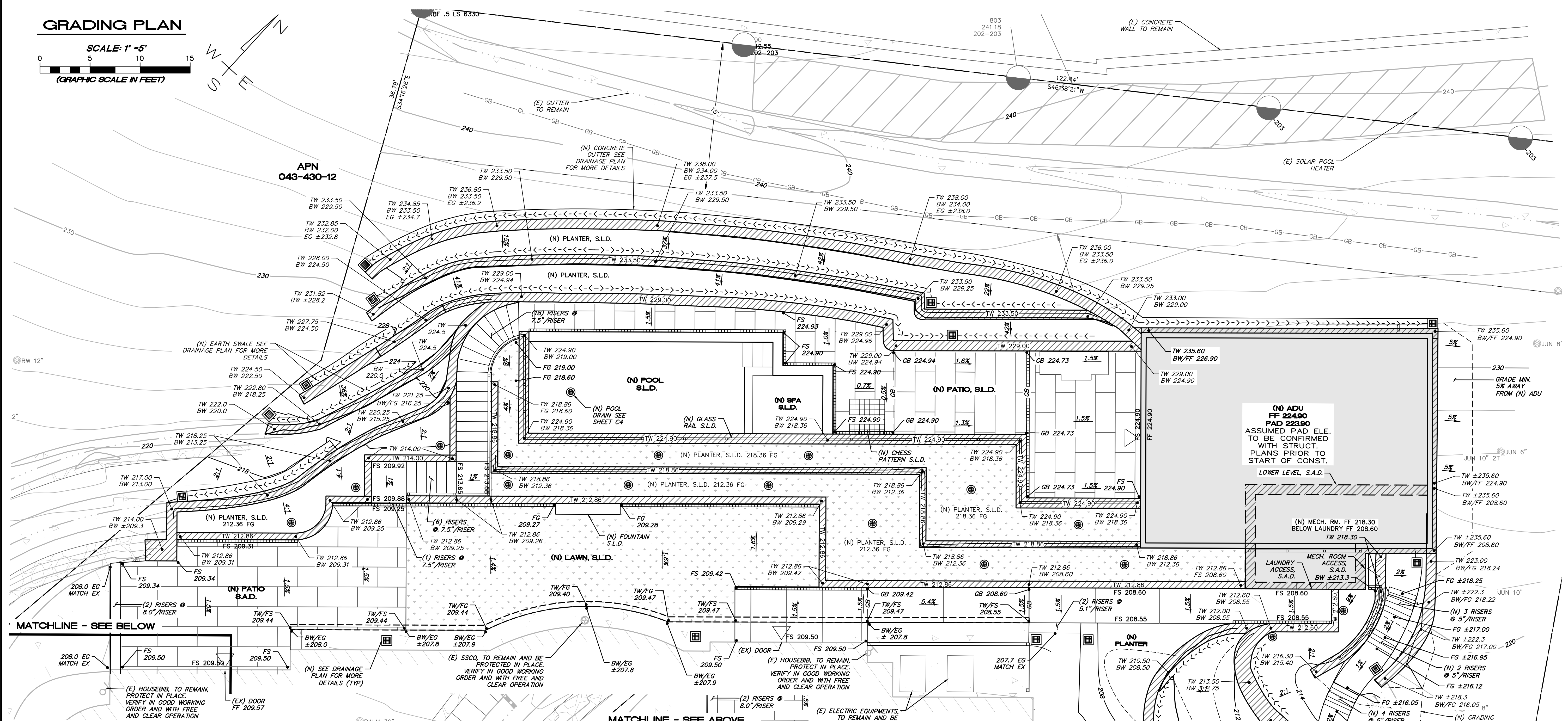
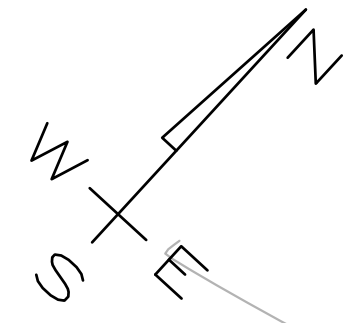
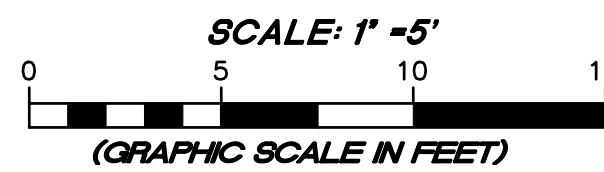
*Daniel Hughes*  
 DANIEL JOHN HUGHES DATE  
 PCE 80225

**89 VISTA DEL SOL**  
**OVERALL SITE PLAN**  
 APN 043-420-15  
 89 VISTA DEL SOL  
 MILL VALLEY, CA

JANUARY 12, 2024  
 JOB NO.  
 165-23

SHEET NO.  
**C2**  
 OF 6 SHEETS

**GRADING PLAN**



**GRADING AND DRAINAGE NOTES**

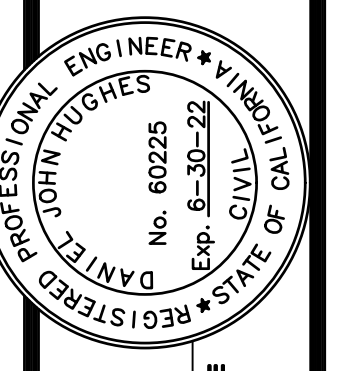
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STRUCTURAL SECTION OF CONCRETE SLABS, AND FOUNDATION DETAILS.
- DOWNSPOUT LOCATIONS SHOWN ARE APPROXIMATE ONLY AND SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS.
- INSTALL FOUNDATION SUBDRAINS AS SHOWN ON THE ARCHITECTURAL AND STRUCTURAL PLANS. DO NOT CONNECT SUBDRAINS TO THE STORM DRAIN OR ROOF LEADER DRAINAGE SYSTEMS.
- DRAINAGE STRUCTURES, CLEANOUTS OR "Y" CONNECTIONS SHALL BE USED AS APPROPRIATE AT STORM DRAIN ALIGNMENT DEFLECTIONS OR JUNCTIONS OF INTERSECTING DRAIN LINES TO FACILITATE MAINTENANCE.
- ALL PAVED AND UNPAVED FINISHED SURFACES SHALL BE POSITIVELY DRAINED WITH A 1% MINIMUM SLOPE TO OUTLET.
- ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.
- PAD ELEVATION IS BASED ON INFORMATION PROVIDED TO THE ENGINEER AT THE TIME OF GRADING PLAN DEVELOPMENT. PRIOR TO THE COMMENCEMENT OF GRADING OPERATIONS, CONTRACTOR SHALL CONFIRM THAT FINISH AND PAD ELEVATIONS CORRESPOND WITH CURRENT ARCHITECTURAL AND STRUCTURAL PLANS.
- A PORTION OF THIS BUILDING STRUCTURE REQUIRES RETAINING WALLS TO BE INCORPORATED INTO THE FOUNDATION DESIGN THAT ARE HIGHER THAN THE FINISHED FLOOR ELEVATION. OWNER AND CONTRACTOR SHALL COORDINATE THIS WITH ARCHITECTURAL AND STRUCTURAL ENGINEER PRIOR TO START OF CONSTRUCTION.
- HANDRAILS REQUIRE IN VARIOUS LOCATION TO MEET BUILDING CODE. SEE ARCHITECTURAL PLANS FOR HANDRAIL LOCATION AND DESIGN.
- STEPS TO BE SLOPED 1% FOR POSITIVE DRAINAGE.

**LEGEND**

- NEW DETACHED ADU SEE ARCHITECTURAL PLAN
- PROPOSED TILES PER LANDSCAPING PLAN
- PROPOSED LAWN PER LANDSCAPING PLAN
- PROPOSED WALL SEE DESIGN BY OTHERS
- PROPOSED BACK OF WALL SUB-DRAIN

REVISION	DESCRIPTION	BY	DATE

**MUNSELLE CIVIL ENGINEERING**  
 CIVIL ENGINEERING & SURVEYING & PLANNING & CONST. MANAGEMENT & CENTER STREET HEALDSBURG, CA 95448  
 (707) 395-0968



Daniel John Hughes  
 DANIEL JOHN HUGHES DATE  
 PCE 80225

**89 VISTA DEL SOL GRADING PLAN**  
 APN 043-420-15  
 89 VISTA DEL SOL MILL VALLEY, CA

JANUARY 12, 2023  
 JOB NO. 165-23

SHEET NO. **C3**  
 OF 6 SHEETS

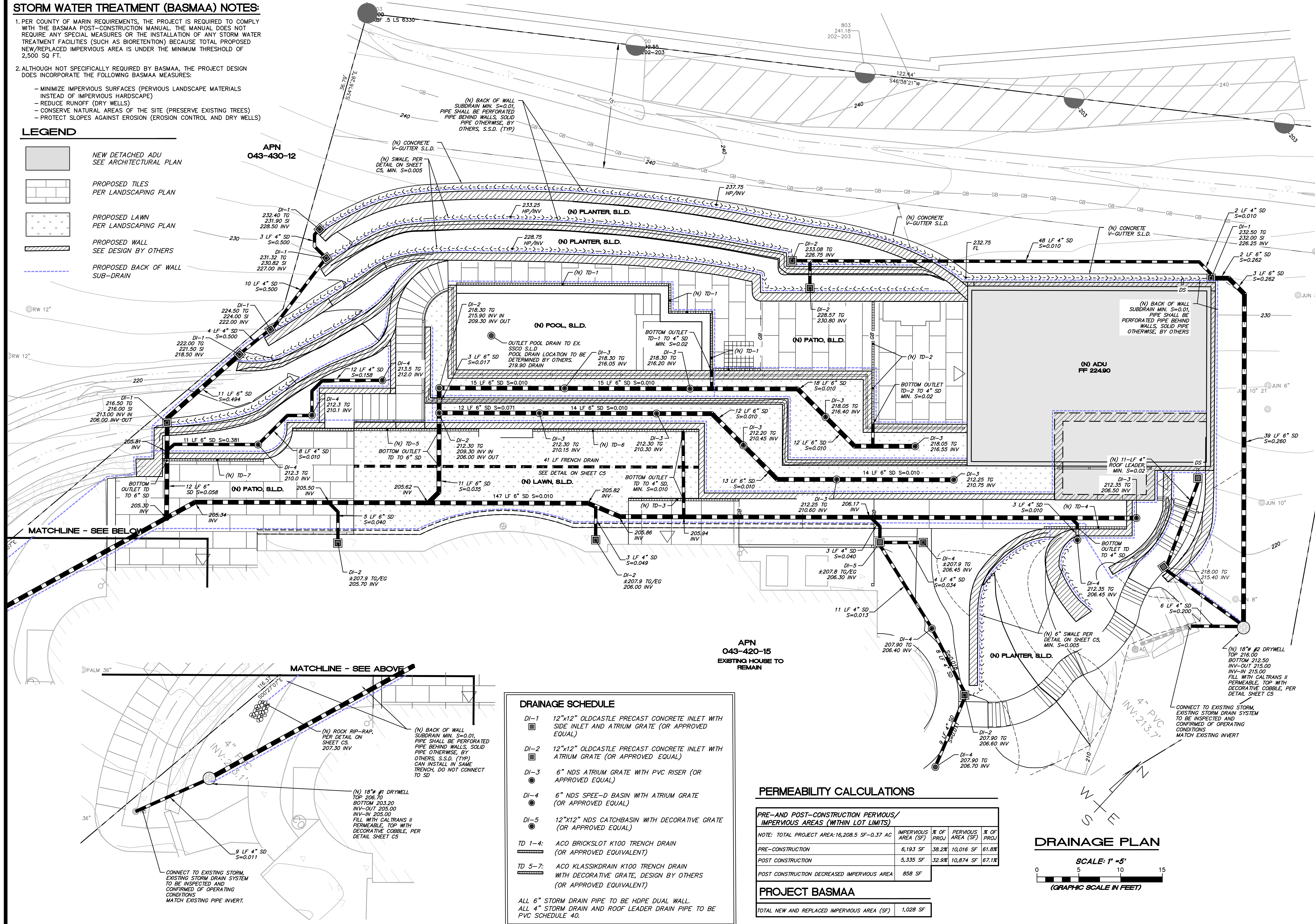
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**STORM WATER TREATMENT (BASMAA) NOTES:**

- PER COUNTY OF MARIN REQUIREMENTS, THE PROJECT IS REQUIRED TO COMPLY WITH THE BASMAA POST-CONSTRUCTION MANUAL. THE MANUAL DOES NOT REQUIRE ANY SPECIAL MEASURES OR THE INSTALLATION OF ANY STORM WATER TREATMENT FACILITIES (SUCH AS BIORETENTION) BECAUSE TOTAL PROPOSED NEW/REPLACED IMPERVIOUS AREA IS UNDER THE MINIMUM THRESHOLD OF 2,500 SQ. FT.
- ALTHOUGH NOT SPECIFICALLY REQUIRED BY BASMAA, THE PROJECT DESIGN DOES INCORPORATE THE FOLLOWING BASMAA MEASURES:
  - MINIMIZE IMPERVIOUS SURFACES (PERVIOUS LANDSCAPE MATERIALS INSTEAD OF IMPERVIOUS HARDSCAPE)
  - REDUCE RUNOFF (DRY WELLS)
  - CONSERVE NATURAL AREAS OF THE SITE (PRESERVE EXISTING TREES)
  - PROTECT SLOPES AGAINST EROSION (EROSION CONTROL AND DRY WELLS)

**LEGEND**

- NEW DETACHED ADU SEE ARCHITECTURAL PLAN
- PROPOSED TILES PER LANDSCAPING PLAN
- PROPOSED LAWN PER LANDSCAPING PLAN
- PROPOSED WALL SEE DESIGN BY OTHERS
- PROPOSED BACK OF WALL SUB-DRAIN



**DRAINAGE SCHEDULE**

DI-1	12"x12" OLDCASTLE PRECAST CONCRETE INLET WITH SIDE INLET AND ATRIUM GRATE (OR APPROVED EQUAL)
DI-2	12"x12" OLDCASTLE PRECAST CONCRETE INLET WITH ATRIUM GRATE (OR APPROVED EQUAL)
DI-3	6" NDS ATRIUM GRATE WITH PVC RISER (OR APPROVED EQUAL)
DI-4	6" NDS SPEED-BASIN WITH ATRIUM GRATE (OR APPROVED EQUAL)
DI-5	12"x12" NDS CATCHBASIN WITH DECORATIVE GRATE (OR APPROVED EQUAL)
TD 1-4:	ACO BRICKSLOT K100 TRENCH DRAIN (OR APPROVED EQUIVALENT)
TD 5-7:	ACO KLASSIKDRAIN K100 TRENCH DRAIN WITH DECORATIVE GRATE, DESIGN BY OTHERS (OR APPROVED EQUIVALENT)

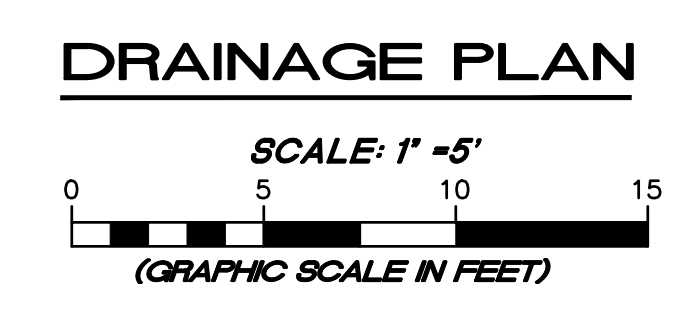
ALL 6" STORM DRAIN PIPE TO BE HDPE DUAL WALL.  
ALL 4" STORM DRAIN AND ROOF LEADER DRAIN PIPE TO BE PVC SCHEDULE 40.

**PERMEABILITY CALCULATIONS**

PRE- AND POST-CONSTRUCTION PERVIOUS/ IMPERVIOUS AREAS (WITHIN LOT LIMITS)			
	IMPERVIOUS AREA (SF)	% OF PROJ.	PERVIOUS AREA (SF)
NOTE: TOTAL PROJECT AREA: 16,208.5 SF - 0.37 AC			
PRE-CONSTRUCTION	6,193 SF	38.2%	10,016 SF
POST CONSTRUCTION	5,335 SF	32.9%	10,874 SF
POST CONSTRUCTION DECREASED IMPERVIOUS AREA	858 SF		

**PROJECT BASMAA**

TOTAL NEW AND REPLACED IMPERVIOUS AREA (SF)	1,028 SF
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REVISION	DESCRIPTION	BY	DATE

**MUNSELLE CIVIL ENGINEERING**  
 CIVIL ENGINEERING & SURVEYING  
 PLANNING & CONST. MANAGEMENT  
 519 CENTER STREET  
 HEALDSBURG, CA 95448  
 (707) 395-0968

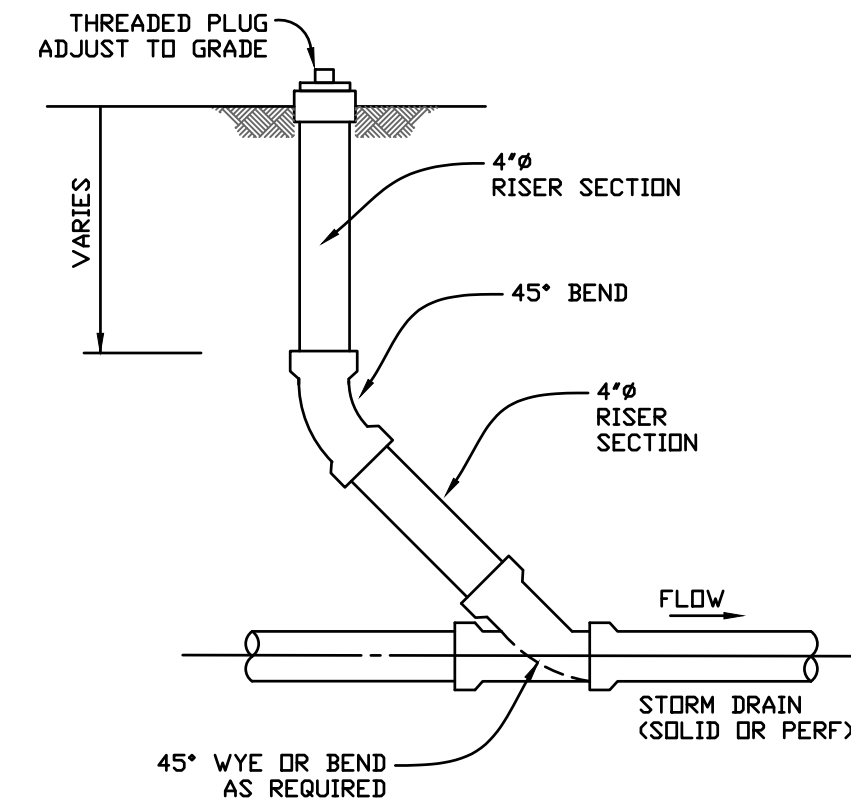
**DANIEL JOHN HUGHES**  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 60225  
 Exp. 5-30-23  
 CIVIL  
 STATE OF CALIFORNIA

**DANIEL JOHN HUGHES** DATE  
 RCE 60225

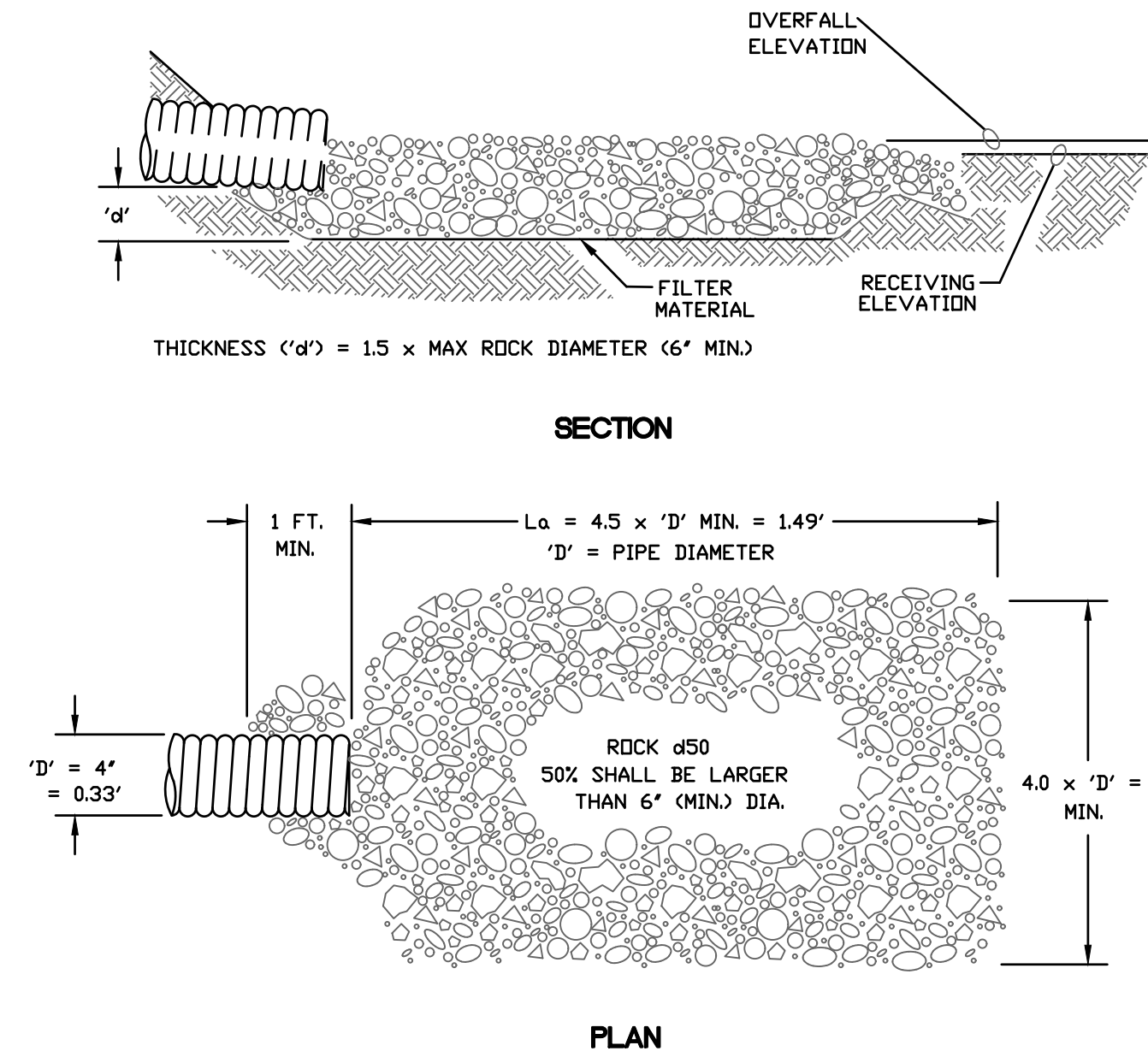
**89 VISTA DEL SOL**  
 DRAINAGE PLAN  
 APN 043-420-15  
 89 VISTA DEL SOL  
 MILL VALLEY, CA

JANUARY 12, 2024  
 JOB NO. 165-23  
 SHEET NO. **C4**  
 OF 6 SHEETS

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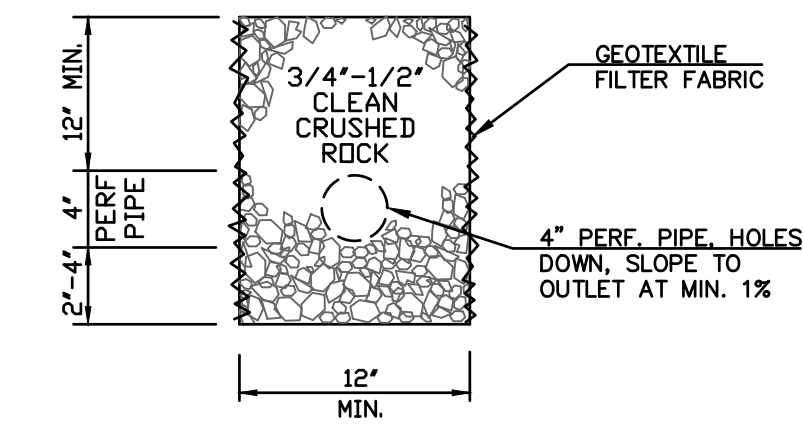


**STORM DRAIN CLEANOUT DETAIL**  
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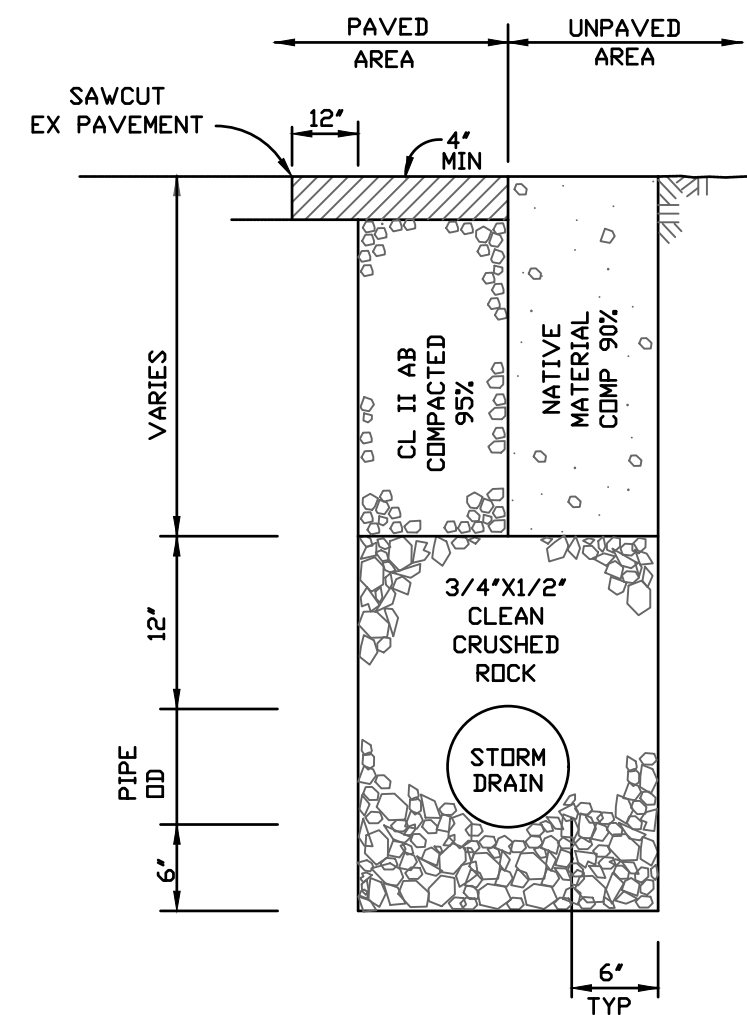


- NOTES:
1. 'La' = LENGTH OF APRON. DISTANCE 'La' SHALL BE OF SUFFICIENT LENGTH TO DISSIPATE ENERGY.
  2. APRON SHALL BE SET AT A ZERO GRADE AND ALIGNED STRAIGHT.
  3. FILTER MATERIAL SHALL BE FILTER FABRIC OR 6" THICK (MIN) GRADED GRAVEL LAYER.

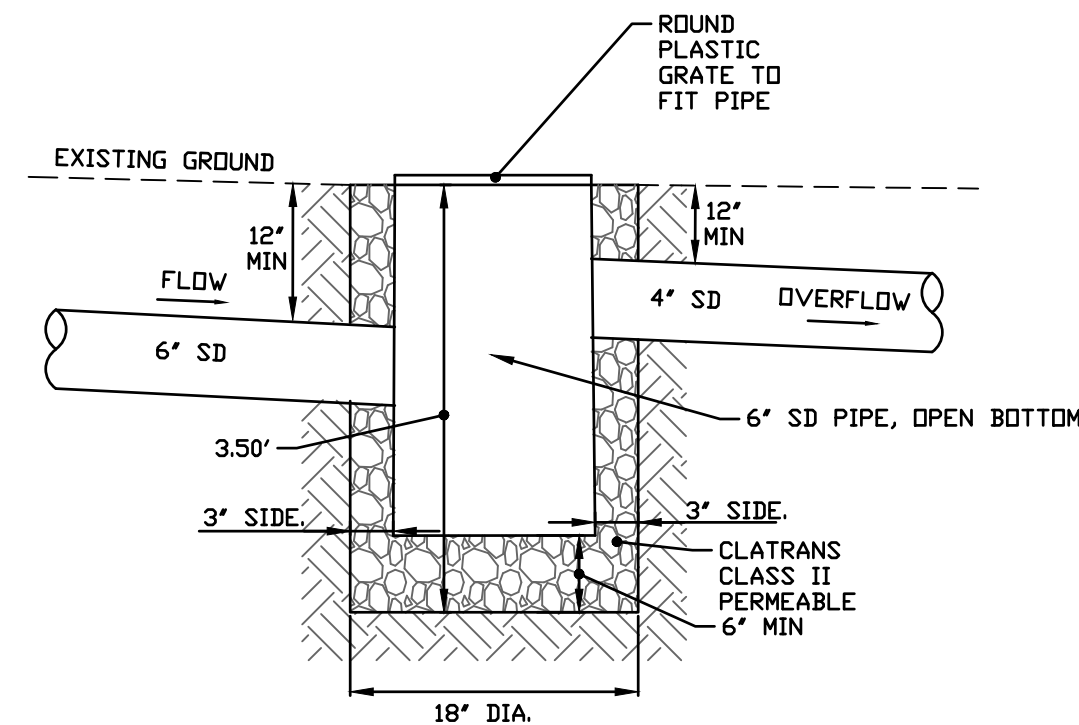
**ROCK OUTLET FOR BACK OF WALL**  
NOT TO SCALE



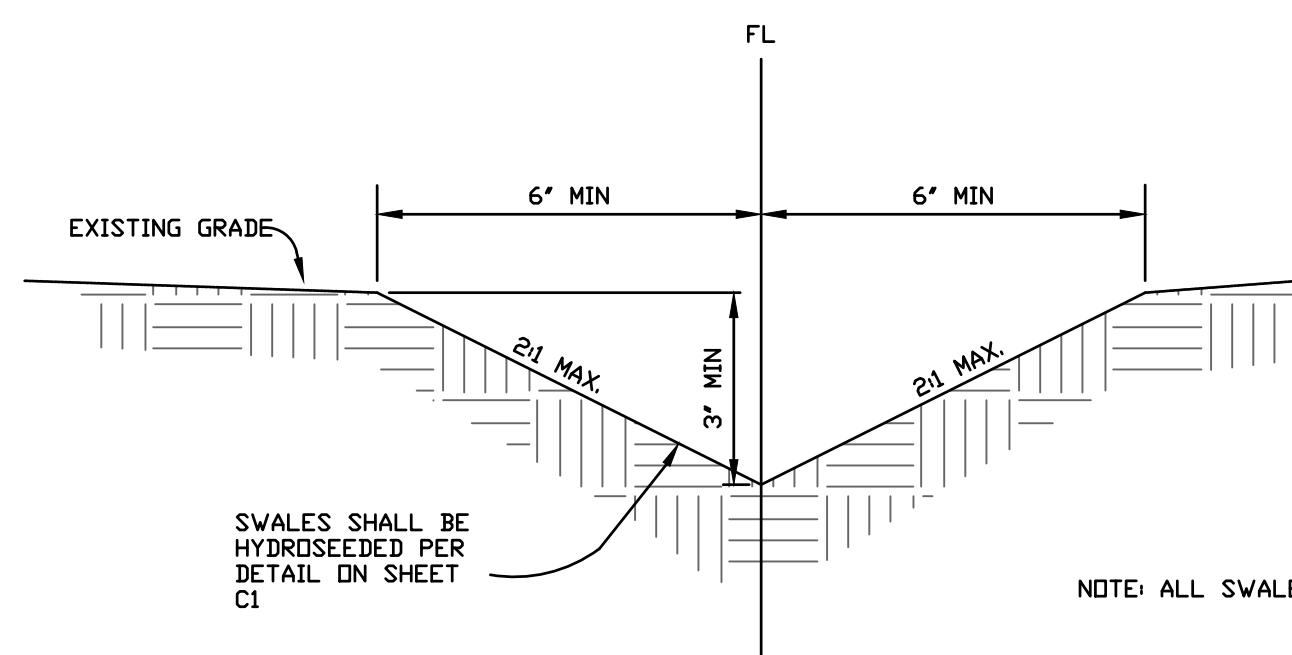
**FRENCH DRAIN DETAIL**  
NOT TO SCALE



**STORM DRAIN TRENCH DETAIL**  
NOT TO SCALE

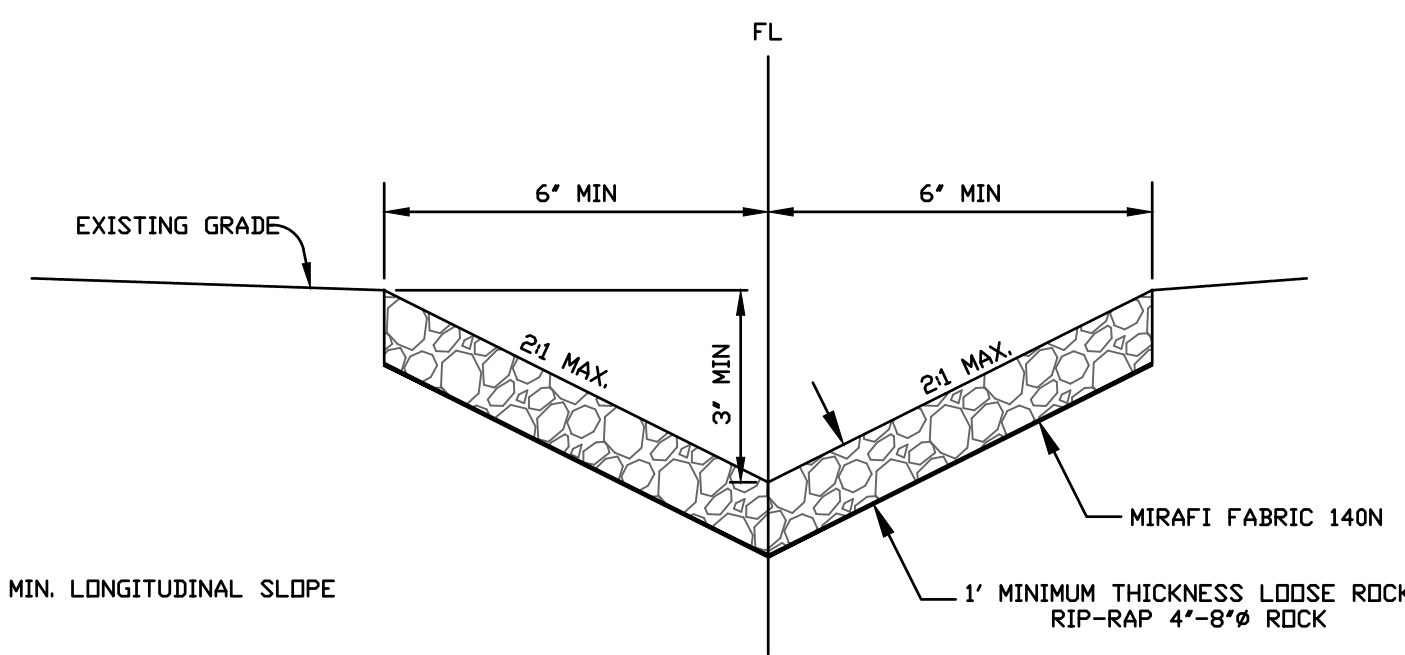


**DRY WELL DETAIL**  
NOT TO SCALE

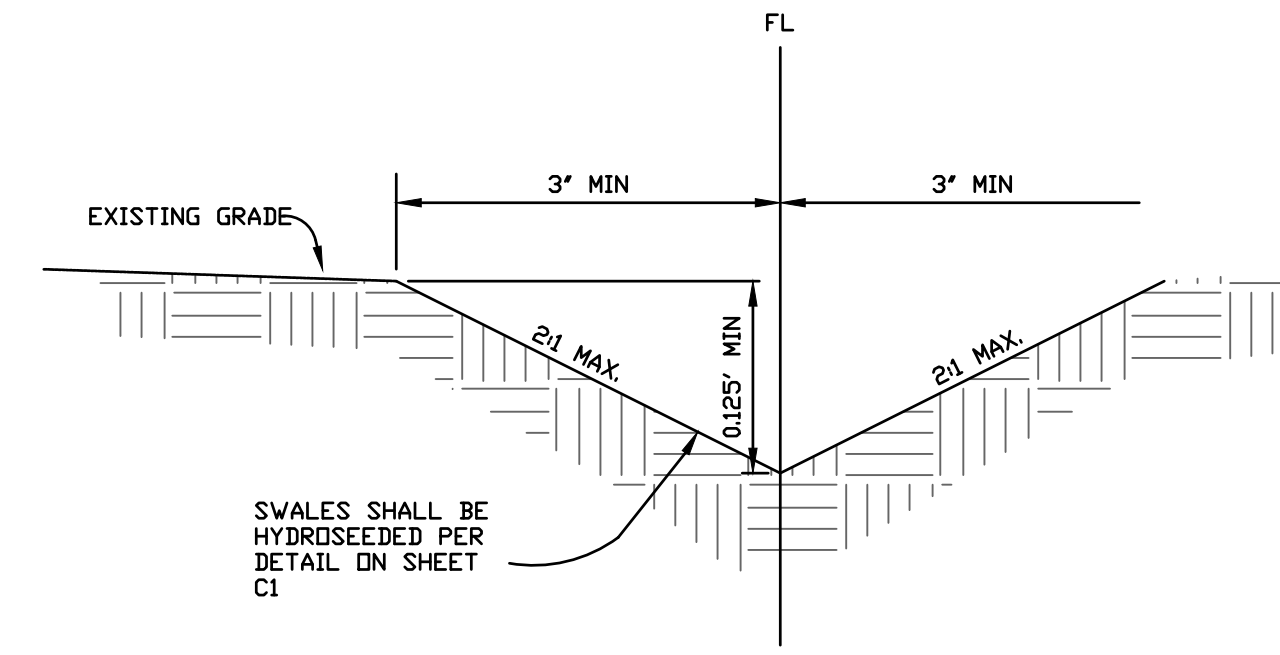


**EARTH SWALE**

NOTE: ALL SWALES SHALL HAVE 1% MIN. LONGITUDINAL SLOPE.



**ROCK LINED SWALE**



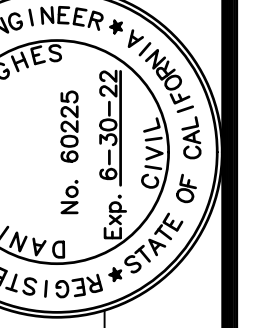
**6" EARTH SWALE**

SWALES SHALL BE HYDROSEED PER DETAIL ON SHEET C1

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REVISION	DESCRIPTION	BY	DATE

**MUNSELLE CIVIL ENGINEERING**  
 ♦ CIVIL ENGINEERING ♦ SURVEYING ♦  
 ♦ PLANNING ♦ CONST. MANAGEMENT ♦  
 518 CENTER STREET  
 HEALDSBURG, CA 95448  
 (707) 395-0988



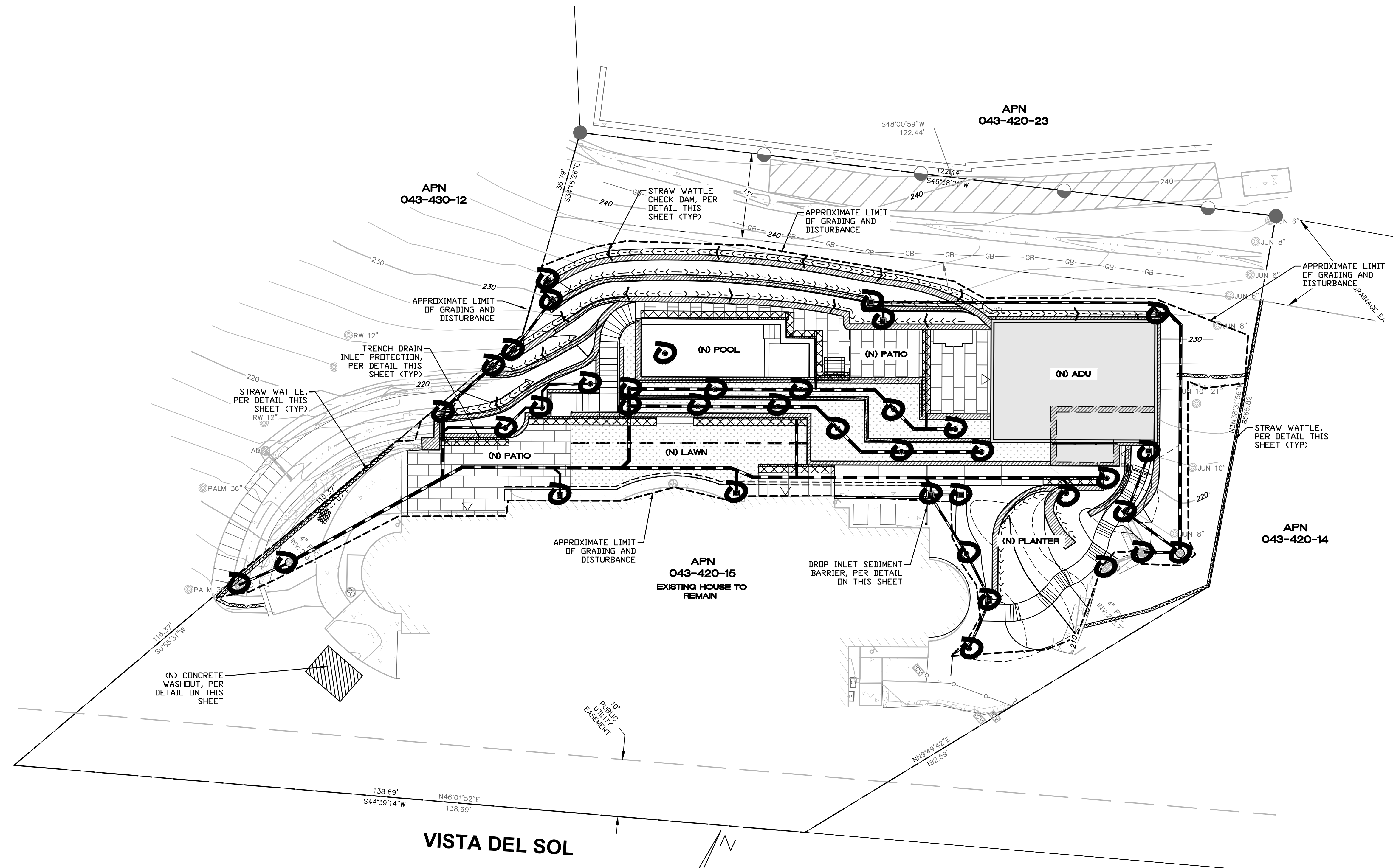
*D. Hughes*  
 DANIEL JOHN HUGHES  
 P.E. 60225

**89 VISTA DEL SOL**  
**DETAILS**  
 APN 049-420-16  
 89 VISTA DEL SOL  
 MILL VALLEY, CA

JANUARY 12, 2024  
 JOB NO.  
 165-23  
 SHEET NO.

**C5**  
 OF 6 SHEETS

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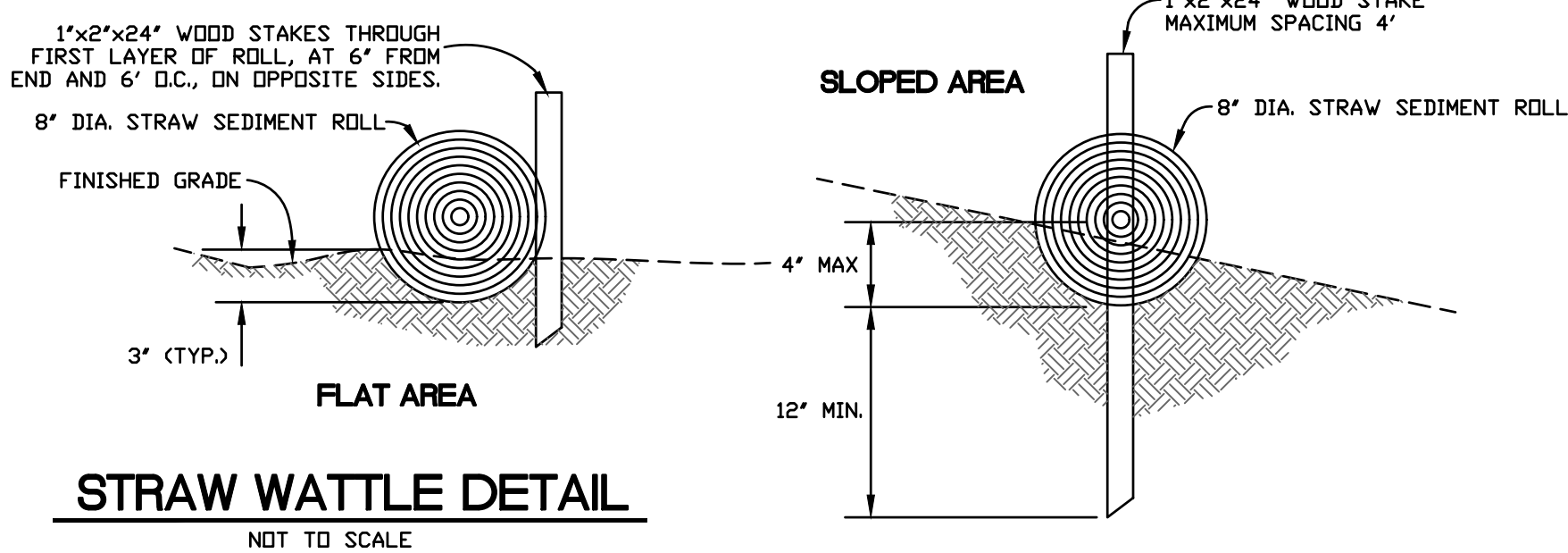


**LEGEND**

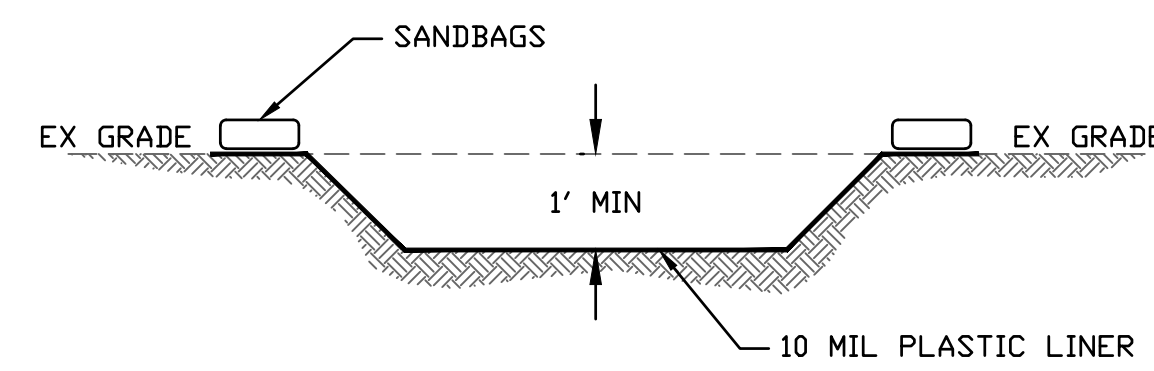
- STRAW WATTLE
- DROP INLET SEDIMENT BARRIER
- STRAW WATTLE CHECK DAM
- VEGETATED SWALE
- SLOT DRAIN INLET PROTECTION PER DETAIL ON THIS SHEET

**NOTES:**

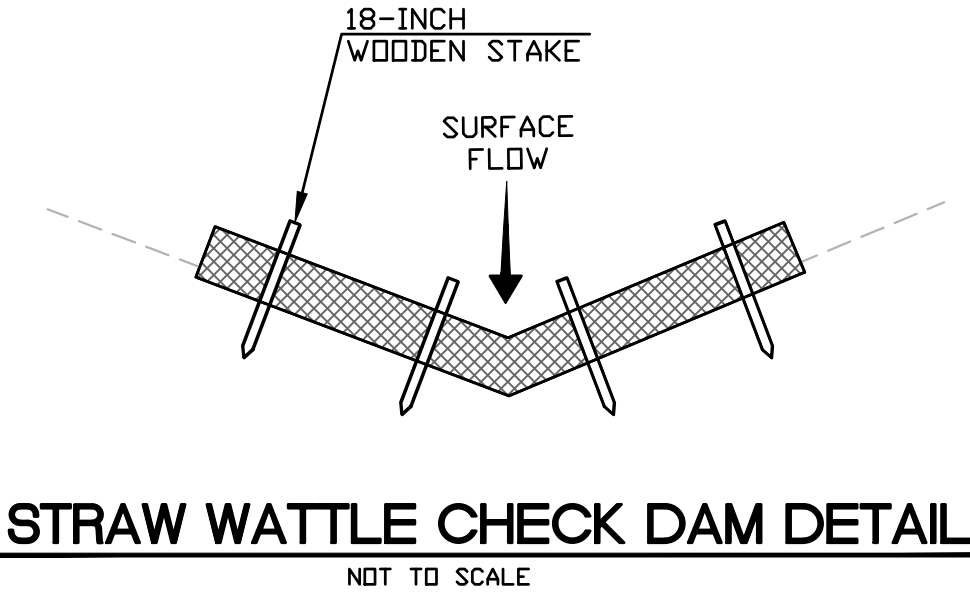
1. THE GEOTECHNICAL ENGINEER MUST MONITOR EROSION AND SEDIMENT CONTROL MEASURES ON A MONTHLY BASIS, AS WELL AS BEFORE AND AFTER A RAIN EVENT. MONTHLY MONITORING REPORTS FROM THE GEOTECHNICAL ENGINEER SHALL BE MAINTAINED AT THE JOB SITE AT ALL TIMES.
2. EROSION AND SEDIMENT CONTROL MEASURES MUST BE PLACED ON EXPOSED AREAS WHEN RAIN IS WITHIN A 5 DAY FORECAST.



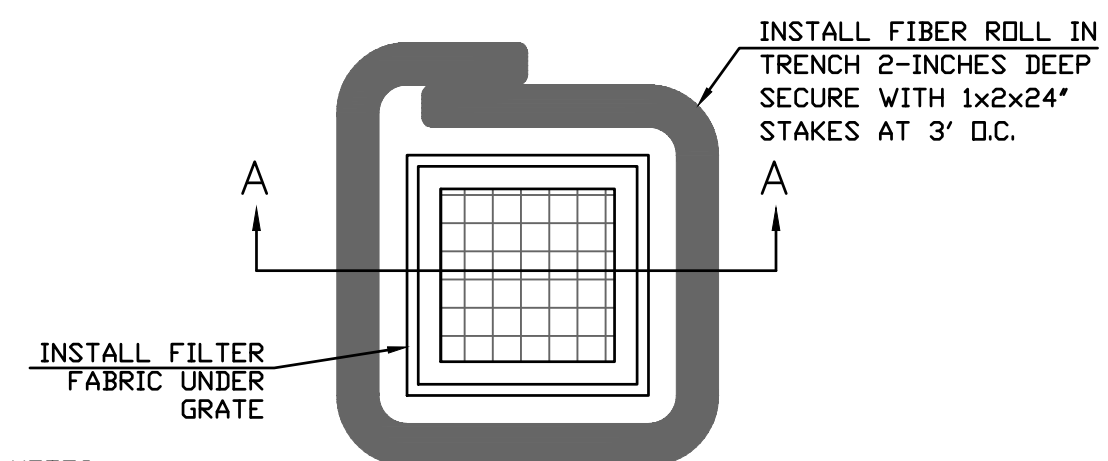
**STRAW WATTLE DETAIL**  
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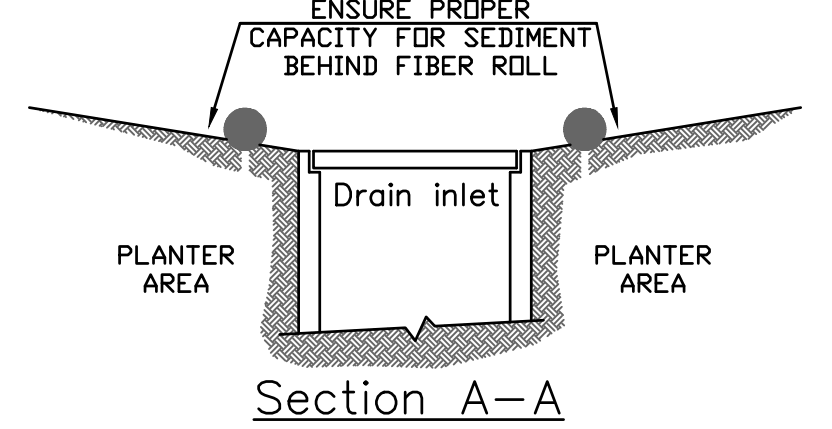
**CONCRETE WASHOUT DETAIL**  
NOT TO SCALE



**STRAW WATTLE CHECK DAM DETAIL**  
NOT TO SCALE



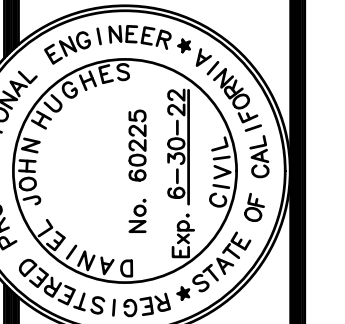
- NOTES:**
1. INSPECT INLET PROTECTION DEVICE BEFORE AND AFTER RAIN EVENTS, AND WEEKLY THROUGH THE RAINY SEASON. DURING EXTENDED RAIN EVENTS, INSPECT AT LEAST ONCE EVERY 24 HOURS.
  2. REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SILT AND DEBRIS TO ALLOW FOR PROPER FUNCTION OF DEVICE



**DROP INLET SEDIMENT BARRIER**  
NOT TO SCALE

REVISION	DESCRIPTION	BY	DATE

**MUNSELLE CIVIL ENGINEERING**  
 CIVIL ENGINEERING & SURVEYING & PLANNING & CONSTRUCTION MANAGEMENT  
 513 CENTER STREET  
 HEALDSBURG, CA 95448  
 (707) 395-0968



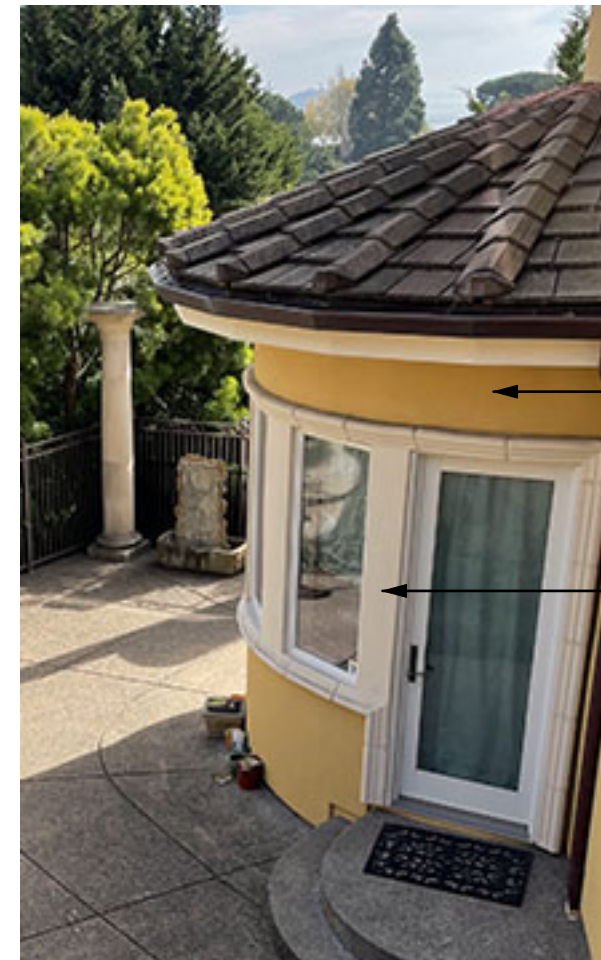
*Daniel John Hughes*  
 DANIEL JOHN HUGHES DATE  
 PCE 60225

**89 VISTA DEL SOL**  
**EROSION CONTROL PLAN AND DETAILS**  
 APN 043-420-15  
 89 VISTA DEL SOL  
 MILL VALLEY, CA

JANUARY 12, 2024  
 JOB NO. 165-23  
 SHEET NO.

8 4 0 8 16 24 32  
SCALE: 1/8" = 1'-0"  
FEET

**MATERIAL IMAGES**



ADU ROOF TO MATCH (E) RESIDENCE  
ADU WALL TO MATCH (E) RESIDENCE  
ADU TRIM TO MATCH (E) RESIDENCE



(N) WALLS TO FINISH (E) WALL



PORCELAIN PAVERS

**LEGEND**

- PROPERTY LINE
- SETBACK
- (E) TREE TO REMAIN
- (E) TREE TO BE REMOVED
- PLANTING AREA

**FOUNTAIN NOTES**

CONTRACTOR SHALL PROVIDE ALL NECESSARY ELECTRICAL LOAD DESIGN AND CODE COMPLIANCE FOR PERMIT REQUIREMENTS. THE CONTRACTOR WILL ACQUIRE AND THE OWNER WILL PAY FOR THE PERMIT. THE WORK IS TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND MEET ALL TESTING REQUIREMENTS.

COMPONENT LOCATIONS ARE APPROXIMATE. BEFORE INSTALLATION CONTRACTOR SHALL STUDY ADJACENT ARCHITECTURAL ELEMENTS AND MAKE INSTALLATION IN MOST LOGICAL MANNER. ARRANGE EQUIPMENT AND CONTROLLER IN AN ORDERLY FASHION TO ALLOW ACCESS AS NECESSARY.

SECURE EQUIPMENT TO SLAB WITH APPROPRIATE CONCRETE ANCHORS. TRANSFORMERS AND LOW VOLTAGE WIRING TO BE SIZED BY THE ELECTRICAL CONTRACTOR.

PIPE TO BE SCH 40 PVC WITH SCH 80 FITTINGS. THREADED, GASKETED, FLANGE TYPE FITTINGS ARE TO BE USED AT BASIN DRAINS.

EXPOSED PIPE AT HOSE BIBS TO BE GALVANIZED IRON, TYP.

PROVIDE ACOUSTIC ISOLATION COVER AT PUMP. PLASTIC VALVE BOX WITH LID. SIZE TO COVER THE ENTIRE UNIT. PROVIDE VENTING AS NECESSARY.

MATERIALS LEGEND	
1	PATIO PAVING: 24" X 48" PORCELAIN PAVERS LIGHT BEIGE COLOR RANGE
2	PLANTER WALLS: STUCCO FINISH OVER SHOTCRETE/ CONCRETE WITH PRECAST CAP
3	PRECAST COPING, WALL CAPS, STAIR TREAD AND RISERS SIMILAR COLOR AS PORCELAIN PAVING
4	OUTDOOR GRILL, COUNTERS AND CABINETS 'DANVER' S.S. CABINETS WITH 'DEKTON' COUNTERS
5	ACCENT PAVING: CHESS BOARD PATTERN
6	GUARDRAIL: S.S. POSTS, CAP & STRINGER W/SAFETY GLASS PANEL
7	CONVERSATION GROUPING WITH FIRE TABLE: 72" X 24" X 12.5" 'ROBATA 72" BY 'PALO FORM' OR EQUAL
8	COLORED CONCRETE PAVING: 'MESA BUFF' BY 'SCHOFIELD'
9	SCREEN ENCLOSURE: LATTICE AT EXISTING AC UNITS
10	ADU REFER TO ARCH. DWGS.
11	STORM WATER RETENTION PLANTER
12	'AGOR' SWIMMING POOL & SPA W/ RAISING DECK 10' X 32' X 4.5' DEEP
13	LOWER TERRACE WALL FOUNTAIN LIMESTONE WITH ORNAMENTS
14	NOT USED
15	LAWN
16	TROUGH PLANTERS - 18"X30"X48" BY 'TOURNESOL SITEWORKS' - COLOR: MATTE BRONZE
17	WALL W/ CONCRETE V DITCH SCULPTED & STAINED SHOTCRETE FINISH

SITE TABULATIONS:  
BUILDING COVERAGE (main bldg & ADU)= 3,861.2 SF

GRADED PAD AREA (exist'g & proposed)= 2,025.8 SF (52.4%)

NOTE: BUILDING FOOTPRINT AND TERRACE ELEVATIONS FOR LOTS 27 & 52 ARE BASED ON PERMIT DRAWINGS IN MARIN COUNTY ARCHIVES. PAD AND RIDGE HEIGHTS ARE APPROXIMATE BASED ON FIELD OBSERVATIONS AND MEASUREMENTS

**TREE REMOVAL CHART**

#	COMMON NAME	SPECIES	DBH (INCHES)
# 1	OLIVE TREE	OLEA EUROPAEA	16"
# 2	OLIVE TREE	OLEA EUROPAEA	14"
# 3	OLIVE TREE	OLEA EUROPAEA	12"
# 4	PINE TREE	PINUS SPP.	14"

NOTE: ALL OLIVES TO BE RELOCTED ON-SITE - SEE PLANTING PLAN

**PA**  
**PEDERSEN ASSOCIATES**  
**LANDSCAPE ARCHITECTS**  
2 4 H S T R E E T  
SAN RAFAEL, CA 94901-1792  
P 415 456 2070 F 415 456 2088  
CA REG # 2300 HI REG # 7273  
PA@PEDERSENASSOCIATES.COM

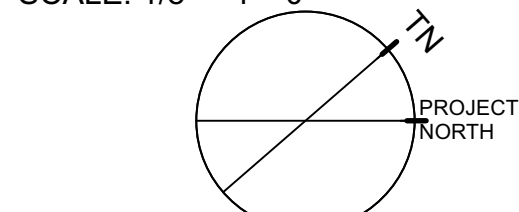
**GLAUBACH RESIDENCE**

89 VISTA DEL SOL  
MILL VALLEY, CA  
APN: 043-420-15

01/29/24 DR RESUB  
11/06/23 DR RESUB  
08/15/23 DESIGN REVIEW

DATE ISSUES & REVISIONS NO.  
PROJECT# 2022.27 DRAWN BY: PP/TK  
ORIGINAL DRAWING SIZE: 24" X 36"

SCALE: 1/8" = 1'-0"

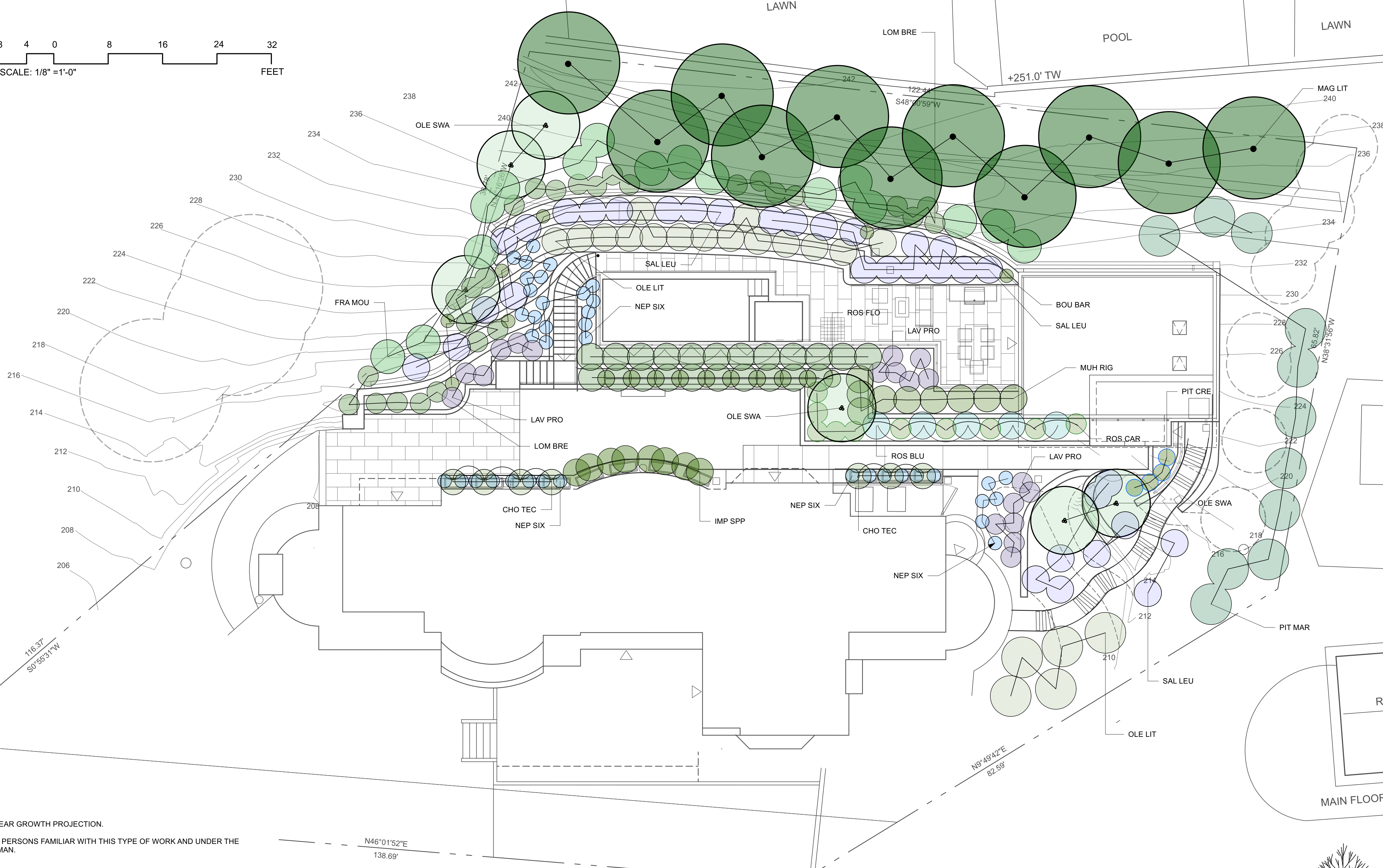
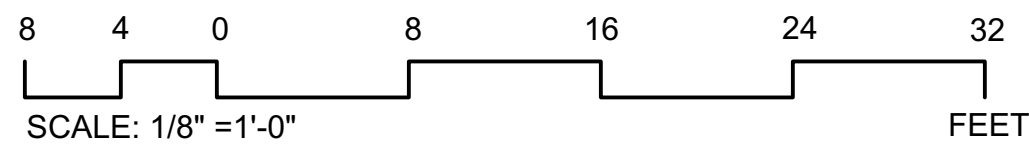


**MATERIAL AND TREE REMOVAL PLAN/ MATERIAL IMAGES/ SITE TABULATIONS**

SHEET #

**L-1**

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**LANDSCAPE NOTES**

PLANT SYMBOLS REPRESENT A 3-5 YEAR GROWTH PROJECTION.  
 PLANTING SHALL BE PERFORMED BY PERSONS FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED FOREMAN.

STAKE OR GUY TREES PER DETAILS.  
 CONTRACTOR SHALL COORDINATE ALL PLANTING WITH UTILITY LOCATIONS NOT SHOWN ON THE PLANS. ANY CONFLICTS BETWEEN LOCATIONS OF PROPOSED SITE UTILITIES OR LIGHTING SHALL BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

ALL EXISTING TREES SHALL REMAIN AND PROTECTED IN PLACE, UNLESS DESIGNATED TO BE REMOVED OR TRANSPLANTED.  
 GENERAL PURPOSE BACKFILL MIX TO BE 50% ON-SITE OR IMPORTED TOPSOIL, 50% APPROVED SOIL AMENDMENT.

PLANTING HOLES TO BE TILLED SO THAT THE SOIL IS LOOSE AND NOT COMPACTED TO A MINIMUM DEPTH OF 8". COMPACTED SOILS SHALL BE RIPPED TO 10" DEPTH AND GRADED SMOOTH TO TRANSITION TO SURROUNDING AREAS.

SOIL TESTS (THERE SHALL BE A MINIMUM OF 6) SHALL BE PERFORMED ON THE EXISTING SOIL TO DETERMINE THE FINAL AMENDMENT AND FERTILIZER FORMULA. THE SOILS REPORT SHALL CONTAIN THE FOLLOWING INFORMATION:

- SOIL PERMEABILITY RATE IN INCHES PER HOUR
- SOIL TEXTURE TEST
- CATION EXCHANGE CAPACITY
- SOIL FERTILITY (INCLUDING TESTS FOR NITROGEN, POTASSIUM, PHOSPHOROUS, PH, ORGANIC MATTER AND ELECTRICAL CONDUCTIVITY)
- RECOMMENDATIONS FOR AMENDMENTS TO THE PLANTING AREA SOIL

GROUND COVER AREAS SHALL BE FERTILIZED PRIOR TO PLANTING WITH "AGRIFORM 18-18-6 OR EQUAL AT TWELVE POUNDS PER THOUSAND SQUARE FEET. BROADCAST FERTILIZER EVENLY AND WORK THOROUGHLY INTO THE TOP THREE INCHES OF SOIL.

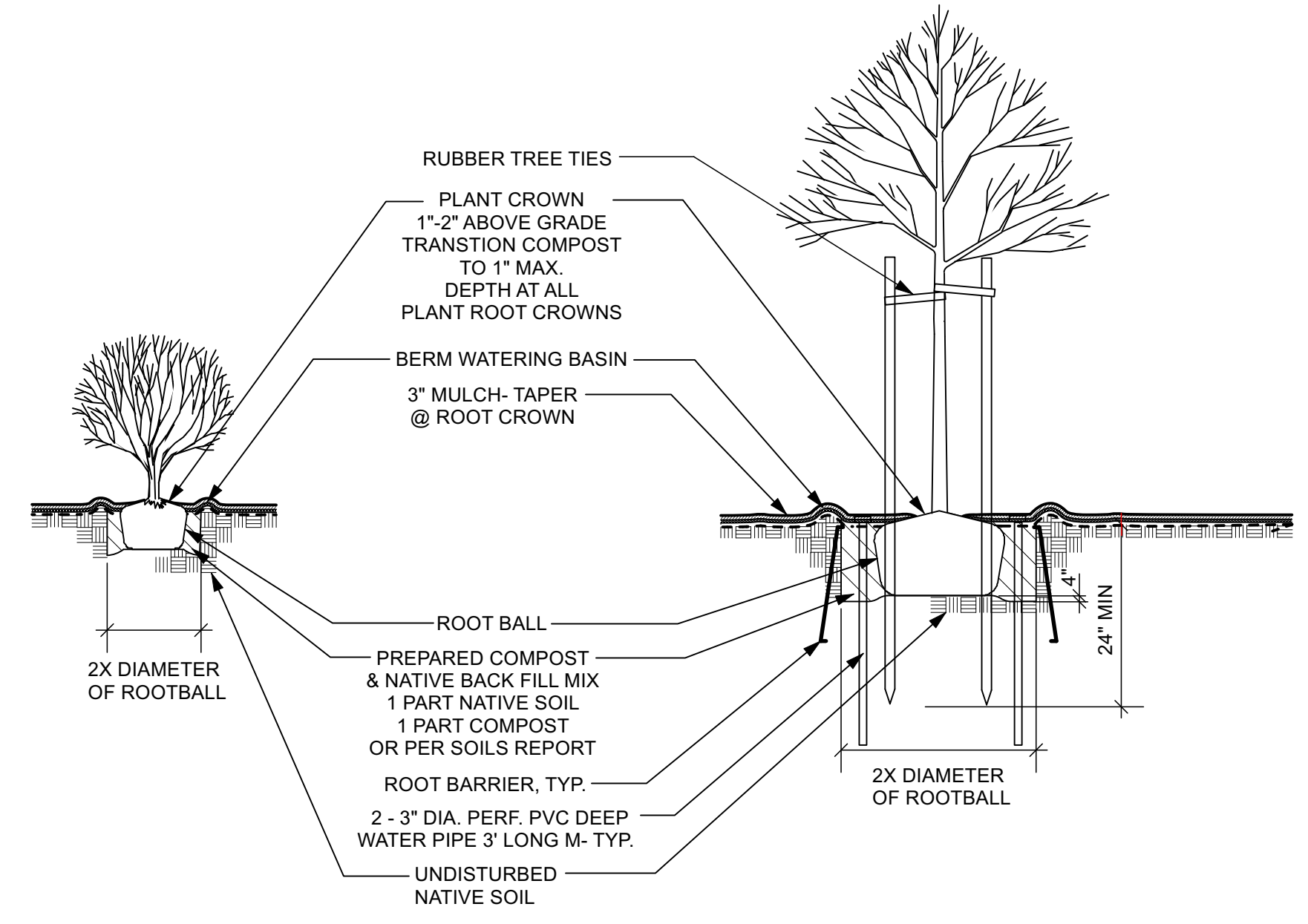
FURNISH AND INSTALL A 3" LAYER OF MULCH IN ALL PLANTING AREAS. MULCH TO BE 'VINEYARD' MULCH FROM SONOMA COMPOST/WESTMARIN COMPOST (PH# 707-664-9113), 'ORGANIC ARBOR MULCH' FROM GRAB N' GROW (PH# 707-575-7275) OR FOREST FLOOR MULCH FROM AMERICAN SOIL PRODUCTS (PH# 510-860-0197). TRANSITION MULCHES TO 1" DEPTH AT ALL PLANT ROOT CROWNS. PLANT ALL MATERIALS 2" MINIMUM ABOVE EXISTING SOIL LEVELS.

THE CONTRACTOR SHALL GUARANTEE TREES FOR A PERIOD OF 1 YEAR.  
 THE CONTRACTOR SHALL GUARANTEE PLANTED STOCK FOR A 90-DAY MAINTENANCE PERIOD AFTER FINAL ACCEPTANCE BY THE OWNER.

IRRIGATION SYSTEM TO BE A FULLY AUTOMATIC, LOW GALLONAGE DRIP SYSTEM WITH COMPLETE WATER PROTECTION. TREE, SHRUB, AND GROUND COVER AREAS TO RECEIVE DRIP EMITTER TYPE IRRIGATION.

**PLANTING LEGEND**

Symbol	Latin Name	Common Name	Quantity	Size	Mature Size (H X W)	Water Use VL, L, M, H	Native ? (Y) or (N)	Fire-Prone ? (Y) or (N)	Remarks
<b>Trees</b>									
MAG LIT	Magnolia 'Little Gem'	Little Gem Magnolia	11	24" Box	20' X 15'	M	N	N	Standard
OLE SWA	Olea europaea 'Swan Hill'	Fruitless Olive	6	24" Box	9'x10'	L	N	N	
<b>Shrubs</b>									
FRA MOU	Franseria californica 'Mound San Bruno'	Mound San Bruno California Coffeeberry	16	5 Gal.	5' x 5'	L	Y	N	
IMP SPP	Impatiens sp.	Impatiens	8	5 GAL.	4'x4'	M	N	N	
LAV PRO	Lavandula x intermedia 'Provence'	'Provence' Lavender	19	1 Gal.	3'0" x 3'6"	L	N	N	
LIG TEX	Ligustrum japonicum 'Texanum'	Japanese Privet	22	15 Gal.	6' x 4'	M	N	N	
OLE LIT	Olea europaea 'Little Ollie'	Dwarf Fruitless Olive	20	---	6' x 6'	VL	N	N	
PIT CRE	Pittosporum tobira 'Cream de Mint'	Cream de Mint Tobira	4	1 Gal.	2'-6" x 2'-6"	L	N	N	
PIT MAR	Pittosporum tenuifolium 'Marjorie Channon'	Variiegated Kohuhu	11	5 Gal.	10'x7'	M	N	N	
ROS BLU	Rosmarinus officinalis 'Tuscan Blue'	Upright Rosemary	5	1 Gal.	4'0" x 5'0"	L	N	N	
ROS FLO	Rosa floribunda 'Iceberg'	Iceberg Rose	10	1 Gal.	4' x 3'	M	N	N	
SAL LEU	Salvia leucantha	Mexican Bush Sage	33	1 Gal.	3' x 4'	L	N	N	
<b>Perennials</b>									
LOM BRE	Lomandra longifolia 'Breeze'	'Breeze' Dwarf Mat Rush	27	1 Gal.	3'x3'	L	N	N	
NEP SIX	Nepeta x 'Six Hills Giant'	Giant Catmint	39	1 Gal.	3' x 2'	L	N	N	
<b>Ferns</b>									
<b>Grasses</b>									
CHO TEC	Chondropetalum tectorum	Cape Rush	7	1 Gal.	3' x 4'	L	N	N	
MUH RIG	Muhlenbergia rigens	Deer Grass	9	1 Gal.	4' x 4'	L	Y	N	
<b>Succulents</b>									
<b>Vines</b>									
BOU BAR	Bougainvillea 'Barbara Karst'	Bougainvillea	8	5 Gal.	Spreading	L	N	N	
<b>Groundcovers</b>									
LAN MON	Lantana montevidensis	Purple Trailing Lantana	5	1 Gal.	2' x 8'	L	N	N	
ROS CAR	Rosa 'Flower Carpet'	Groundcover Rose	10	1 Gal.	2'x3'	M	N	N	



**1 TREE & SHRUB PLANTING**  
 Scale: N.T.S.

01/29/24	DR RESUB	
11/06/23	DR RESUB	
08/15/23	DESIGN REVIEW	
DATE	ISSUES & REVISIONS	NO.
PROJECT# 2022.27 DRAWN BY: PP/TK		
ORIGINAL DRAWING SIZE: 24" X 36"		

SCALE: 1/8" = 1' - 0"

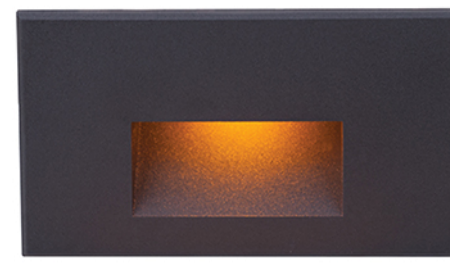
**PLANTING PLAN**  
 SHEET #

**L-2**

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8 4 0 8 16 24 32  
SCALE: 1/8" = 1'-0" FEET

**LIGHT FIXTURE IMAGES**



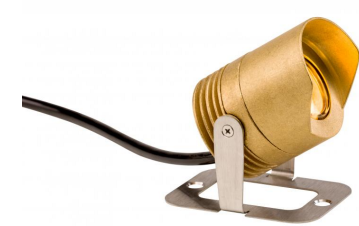
WALL / AISLE LIGHT  
BY WAC LIGHTING



SCONCE LIGHT  
BY KICHLER



PATH LIGHT  
BY WAC LIGHTING



UNDERWATER LIGHT  
BY FX LUMINAIRE

**LIGHTING LEGEND**

- WALL/AISLE LIGHT
- SCONCE LIGHT
- ◆ PATH LIGHT
- ⊕ UNDER WATER LIGHT @ WATER ELEMENT
- ⊙ WEATHER-PROOF OUTLET

**LIGHTING NOTES**

PROVIDE SWITCHING, TRANSFORMER LAYOUT AND WIRE SIZE FOR REVIEW BY LANDSCAPE ARCHITECT.

SIZE LOW VOLTAGE WIRE BASED ON A MAX. ALLOWABLE VOLTAGE DROP OF 50%

TRANSFORMERS SIZED TO MAXIMUM CAPACITY OF LIGHT FIXTURE.

DESIGN LOAD IS TO NOT EXCEED 80% OF TRANSFORMER CAPACITY.

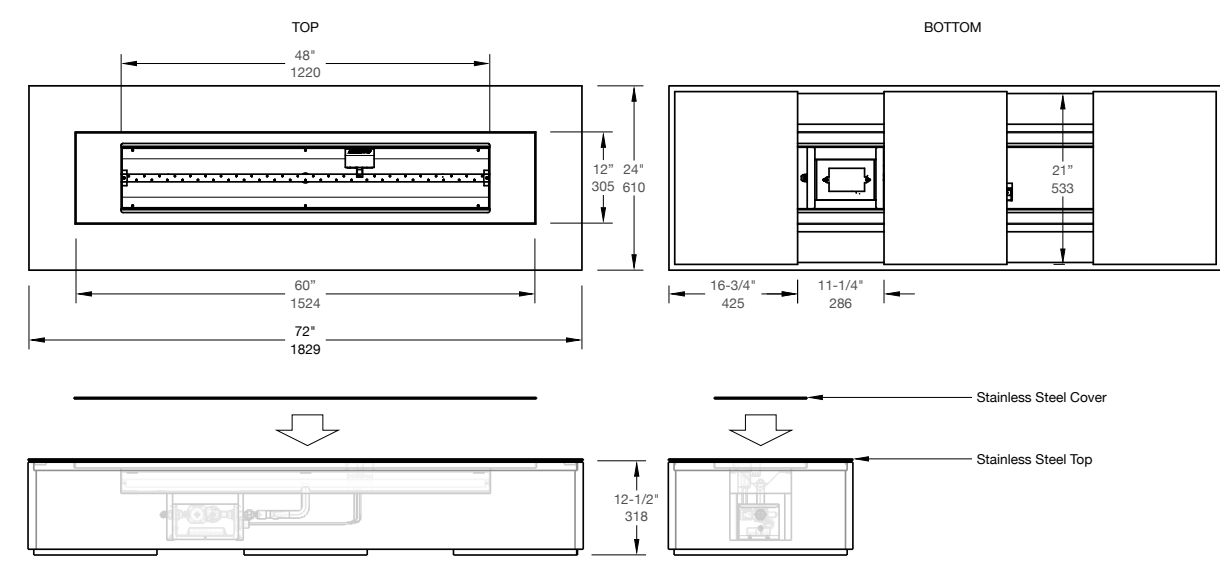
PROVIDE ALL NECESSARY LOAD DESIGN AND CODE COMPLIANCE FOR PERMIT REQUIREMENTS. THE CONTRACTOR WILL ACQUIRE AND THE OWNER WILL PAY FOR THE PERMIT. THE WORK IS TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND MEET ALL TESTING REQUIREMENTS.

FIXTURE LOCATIONS AND WIRE LAYOUTS ARE DIAGRAMMATIC AND APPROXIMATE. BEFORE INSTALLATION, REVIEW ADJACENT ARCHITECTURAL FEATURES WITH THE LANDSCAPE ARCHITECT AND INSTALL AS DIRECTED. ARRANGE TRANSFORMERS AND CONTROLLER IN AN ORDERLY FASHION TO ALLOW ACCESS AS NECESSARY.

REFER TO THE PLAN FOR LIGHT FIXTURE LOCATION. UTILIZE (E) CONDUIT TIE TO (E) SWITCHING WHERE POSSIBLE.

BALANCE LOADS TO THE TRANSFORMERS, IDENTIFY "CENTER OF LOAD," CONNECT WIRE FROM TRANSFORMER TO "CENTER OF LOAD."

PROVIDE 120 VOLT POWER TO EACH REMOTE TRANSFORMER CONNECT TO SWITCH IN HOUSE PER DIRECTION AND ACCEPTANCE OF OWNER..



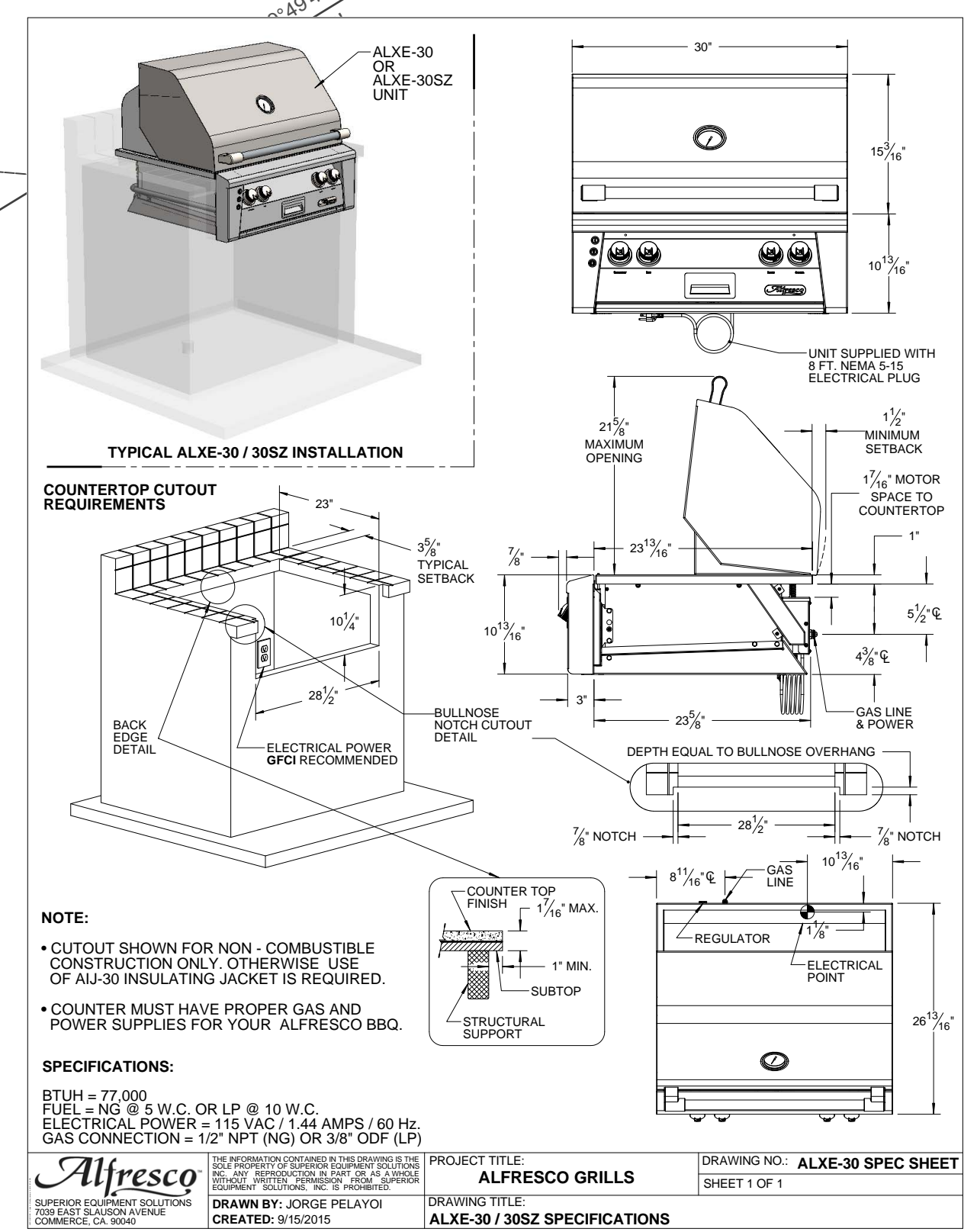
**Technical Data**

<b>Burner Model:</b> UH-E-6B	<b>Natural Gas:</b> 80,000 BTU/hr / 28 kW	<b>Propane:</b> 77,000 BTU/hr / 28 kW
<b>Clearance to Combustibles:</b> Above: 72" Below: 0" Back: 8"	<b>Concrete:</b> 4" Min. (4" Min. Below Burner)	
<b>Available Finishes:</b> Tempered Glass Screen	<b>US &amp; Canada:</b> ETL AND 221 AT CSA 3.1	
<b>Other Certifications &amp; Standards:</b> UK & EU: CE (CAR 91.3) 2016/426, Switzerland: SVGW	<b>UP TO 500 lbs / 225 kg</b>	
<b>Installed Weight:</b> 115 lbs / 52 kg	<b>UP TO 600 lbs / 270 kg</b>	
<b>Crated Weight:</b> 130 lbs / 59 kg	<b>UP TO 600 lbs / 270 kg</b>	
<b>Case Size:</b> 28" x 20" x 11" (716 x 508 x 279 mm)	<b>Cast Concrete:</b> 300 lbs / 136 kg	

For more information, visit [paloform.com/fire-pits/robata](http://paloform.com/fire-pits/robata)

Robata 72 Concrete - Electronic SCALE: 3/4" = 1'-0" 2018-01-18

**1 FIREPIT**  
Scale: N.T.S.



**2 OUTDOOR GRILL**  
Scale: N.T.S.

**PEDERSEN ASSOCIATES**  
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**GLAUBACH RESIDENCE**

89 VISTA DEL SOL  
MILL VALLEY, CA  
APN: 043-420-15

01/29/24 DR RESUB  
11/06/23 DR RESUB  
08/15/23 DESIGN REVIEW  
DATE ISSUES & REVISIONS NO.  
PROJECT# 2022.27 DRAWN BY: PP/TK  
ORIGINAL DRAWING SIZE: 24" X 36"

SCALE: 1/8" = 1'-0"  
PROJECT NORTH

**UTILITY & LIGHTING PLAN**  
SHEET #

**L-3**  
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**GLAUBACH RESIDENCE**

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DATE	ISSUES & REVISIONS	NO.
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**IMAGES**

SHEET #

**L-4**