

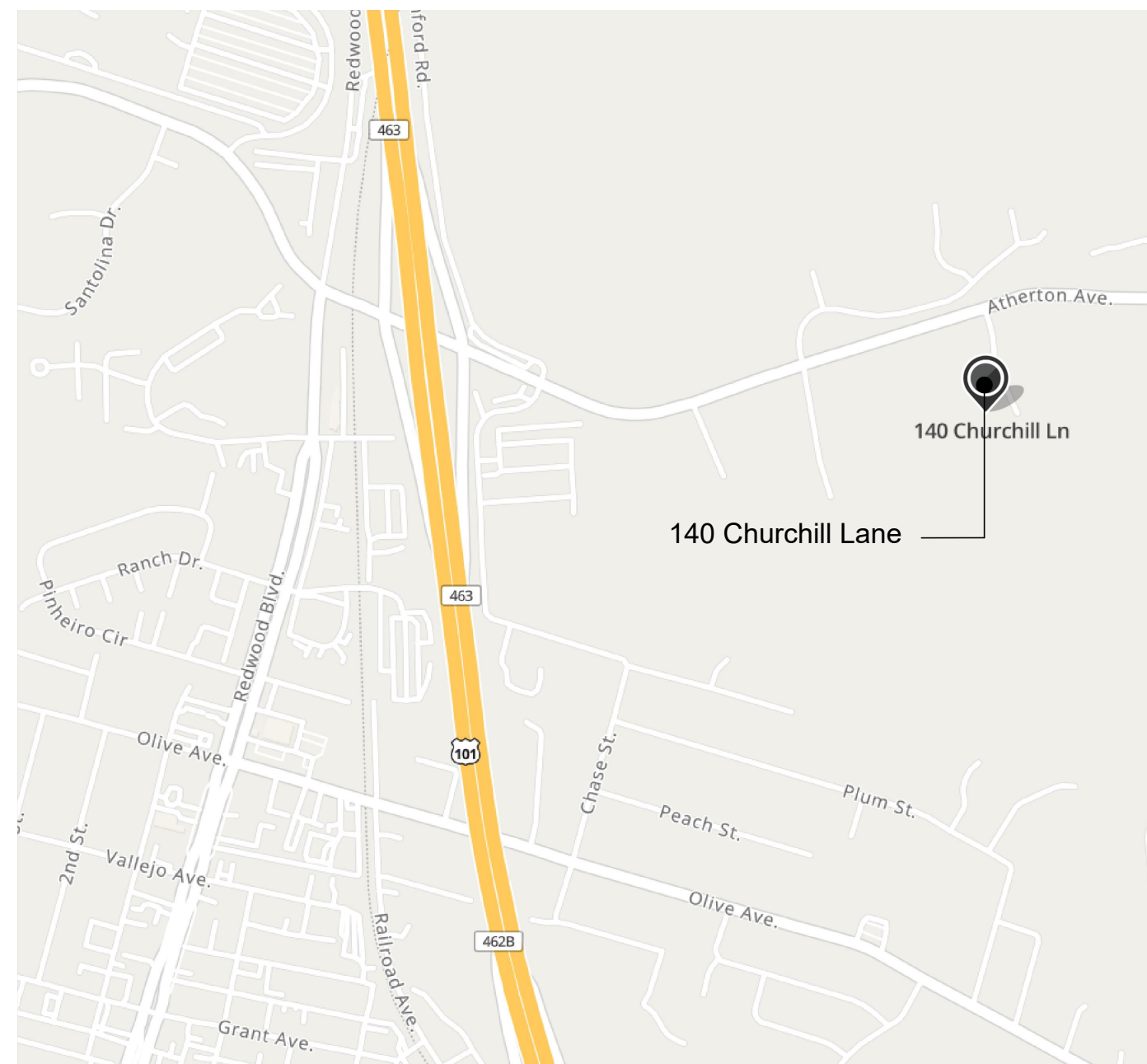
Addition/Remodel

Design Review-Rev1

Haas Residence
140 Churchill Lane, Novato, CA

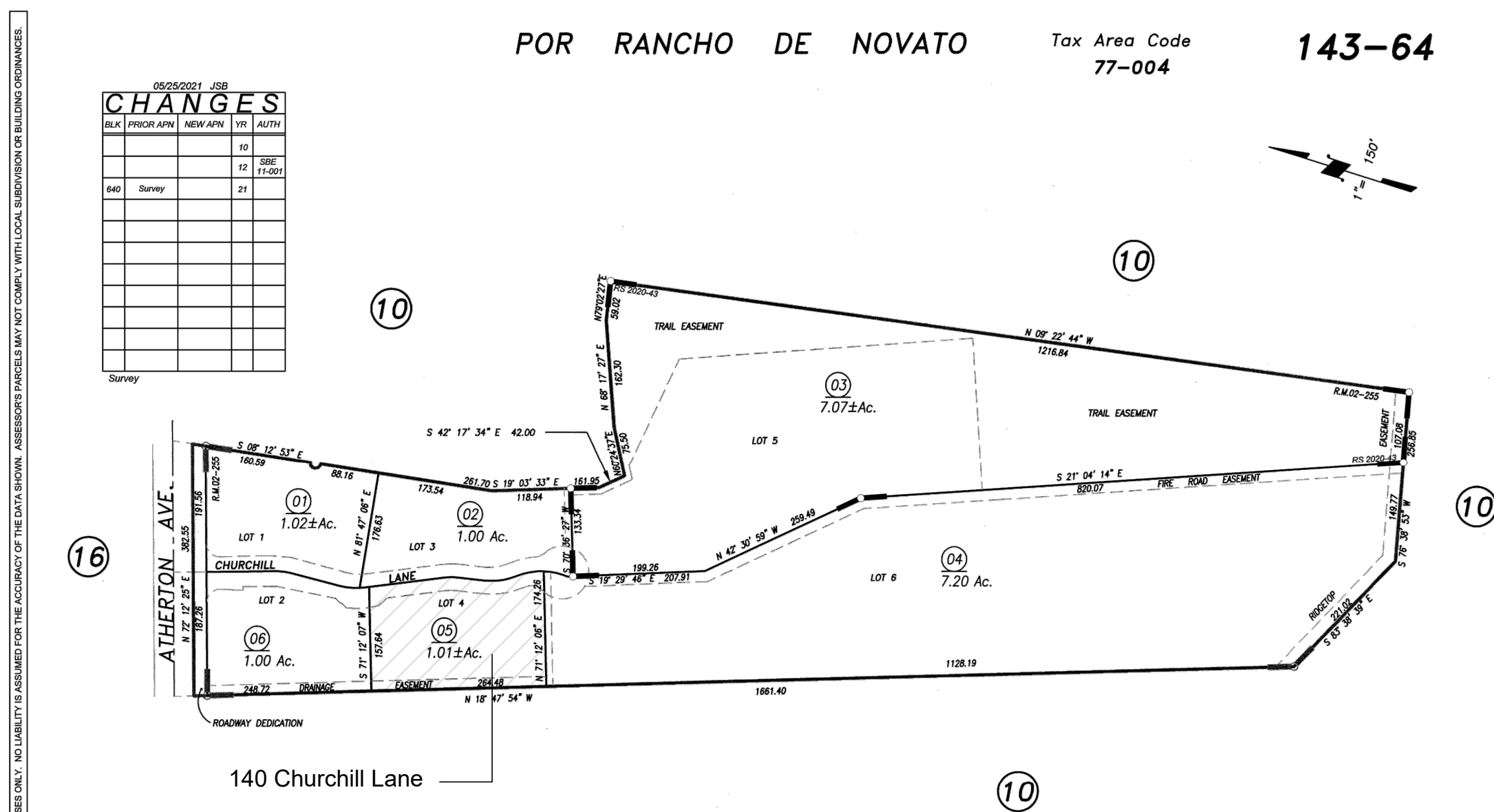
APN: 143-640-05

Vicinity Map:



DRIVING DIRECTIONS: HEADING NORTHBOUND ON US-101 EXIT ATHERTON AVENUE. MAKE A RIGHT TURN ON ATHERTON AVENUE HEADING EAST. MAKE A RIGHT TURN ON CHURCHILL LANE HEADING SOUTH. THE PROJECT SITE IS ON THE RIGHT SIDE OF THE LANE NEAR THE END.

Parcel Map:



Atherton Estates, R.M. Bk. 2002 Pg. 255

NOTE: Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles

CITY OF NOVATO
Assessor's Map Bk. 143 Pg. 64
County of Marin, Calif.

Project Info

ADDRESS: 140 CHURCHILL LANE NOVATO, CA
 APN: 143-640-05
 LATITUDE/LONGITUDE: 38°03'36"N 122°34'34"W
 LOT AREA: 43,995 SF (1.01 ACRE)
 ZONING: A2 B4 (PLANNED DEVELOPMENT- ATHERTON ESTATES)
 GENERAL PLAN: SF3 NORTH NOVATO
 OCCUPANCY GROUP: R-3/U
 CONSTRUCTION TYPE: VB
 BUILDING HEIGHT: 30 LF
 STORIES: 1 STORY (EXISTING)
 MIN. LOT SIZE: 1 ACRE
 F.A.R.: 5,500 SF MAX. OR 30% PER MASTER PLAN RESOLUTION (LESS 540 SF GARAGE ALLOWANCE)

1. LOT AREA:				
EXISTING	43,995 SF			
PROPOSED	43,995 SF			
2. BUILDING AREA:				
EXISTING: Residence = 4,050 sf,	5,292 SF			
Garage = 906 sf, Porch = 256 sf,				
Shed = 80 sf				
PROPOSED: Residence = 4,342 sf,	5,485 SF			
Garage = 906 sf, Porch = 151 sf,				
Shed = 80 sf				
3. FLOOR AREA:				
EXISTING: Residence = 4,050 sf, Attic = 0 sf	4,456 SF			
Garage = (906-540) sf, Porch = 40				
PROPOSED: Residence = 4,342 sf, Attic = 0 sf	4,748 SF			
Garage = (906-540) sf, Porch = 40				
4. FLOOR AREA RATIO:				
EXISTING: 4,456 / 43,995	10.1 %			
PROPOSED: 4,748 / 43,995	10.8 %			
5. PROPOSED AREA OF ADDITIONAL DISTURBANCE: Retaining wall/steps				
	105 SF			
6. LOT COVERAGE:				
EXISTING: 5,552 / 43,995	12.5 %			
PROPOSED: 5,745 / 43,995	13.0 %			
7. GRADING CALCULATIONS:				
CUT (At Steps and Retaining Wall only)	15.8 CY			
FILL	0 CY			
OFF-HAUL (Cut for Steps to be distributed on site in existing planting areas)	0 CY			
8. PARKING:				
EXISTING	3 COVERED			
PROPOSED	3 COVERED			
9. MINIMUM SETBACKS FOR EXTERIOR WALLS OF PROPOSED BUILDING AREA:				
	FRONT	SIDE 1 (N)	SIDE 2 (S)	REAR
ALLOWED	20 LF (From Easement)	30 LF	25 LF	20 LF
PROPOSED	20'-1"	130'-0"	96'-0"	102'-10"
10. MAXIMUM HEIGHT OF PROPOSED BLDG. AREA:				14.5 LF

Index of Drawings:

ARCHITECTURAL DRAWINGS:

TS	COVER SHEET
EC-0	EXISTING SITE PLAN
EC-1	EXISTING FLOOR PLAN
EC-2	EXISTING EXTERIOR ELEVATIONS
EC-3	EXISTING EXTERIOR ELEVATIONS & SECTIONS
EC-4	EXISTING ROOF PLAN
EC-5	EXISTING SITE PHOTOGRAPHS
A-01	PROPOSED SITE PLAN
A-10	PROPOSED DEMOLITION PLAN
A-11	PROPOSED FLOOR PLAN
A-21	PROPOSED EXTERIOR ELEVATIONS
A-31	PROPOSED SECTIONS
A-41	PROPOSED ROOF PLAN

Project Description:

THE PROPOSED PROJECT IS THE RENOVATION AND ADDITION TO AN EXISTING SINGLE STORY FOUR BEDROOM RESIDENCE. THE PROPOSED RENOVATION WILL INCLUDE INTERIOR RENOVATIONS AND ADDITIONS TO BEDROOMS 2 AND 3 WITH A NEW BATHROOM SERVING BOTH BEDROOMS.

THE PROPOSED DESIGN WILL MATCH THE CURRENT MATERIALS AND COLORS OF THE EXISTING RESIDENCE.

SITE WORK WILL INCLUDE ANY NECESSARY LOW RETAINING WALLS, PLANT REMOVAL TO EXECUTE THE DESIGN AND A NEW WALKWAY AROUND THE CORNER OF THE BUILDING FOR FIRE DEPARTMENT ACCESS. ALL EXISTING LANDSCAPING SHALL REMAIN.

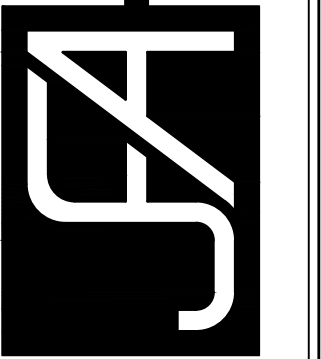
Project Directory

Owner	Architect
BRADLEY AND KIRA HAAS 140 CHURCHILL LANE NOVATO, CA 94945 T: (415) 841-1440 E: bradleyhaas@gmail.com	JOSEPH P. FARRELL, ARCHITECT 1 COMMERCIAL BLVD., SUITE 106 NOVATO, CA 94945 (415) 884-9860 jfarrell@farrellarc.com

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REVISIONS	DATE	BY

JOSEPH FARRELL
ARCHITECTURE
1 Commercial Blvd., Suite 106
Novato, CA 94945
Voice (415) 884-2860



Addition/Remodel Project:
Haas Residence
140 Churchill Lane
Novato, California AP#: 143-640-05

Cover Sheet

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF JOSEPH P. FARRELL, ARCHITECT.

DATE: 2/13/2024
SCALE: NONE
DRAWN: STC
JOB NO: 2310
SHEET NO:

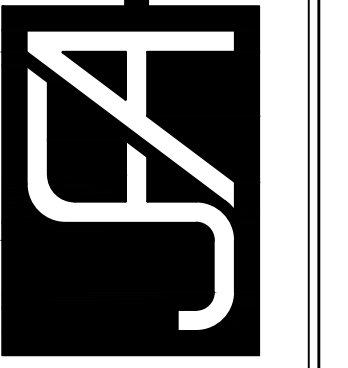
TS
140 CHURCHILL DRIVE
NOVATO, CA

Preliminary Not for Construction

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REVISIONS	DATE	BY

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 1 COMMERCIAL BLVD., SUITE 106
 NOVATO, CA 94949
 VOICE (415) 884-2860



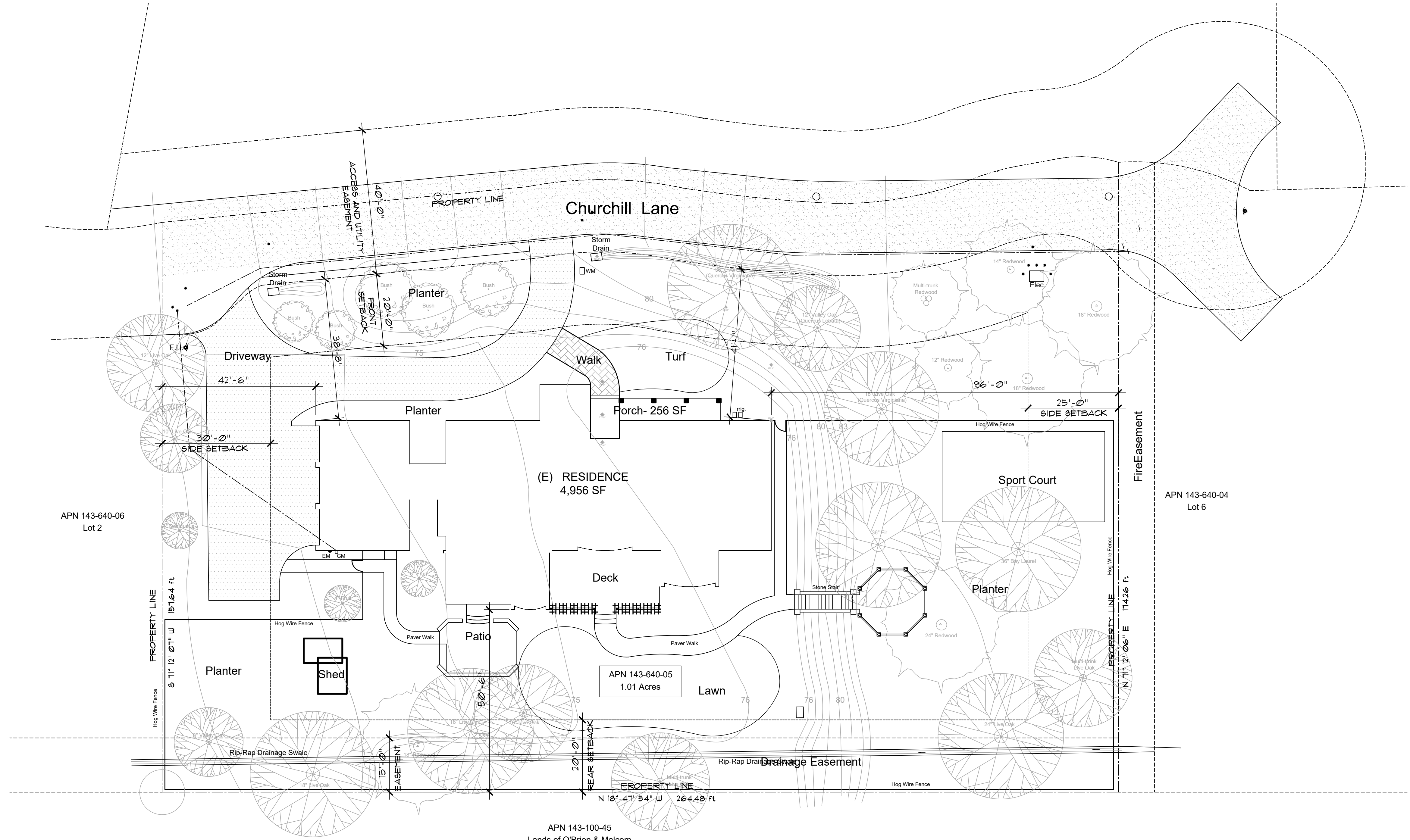
Addition/Remodel Project:
 Hass Residence
 140 Churchill Lane
 Novato, California AP#: 143-640-05

Existing Site Plan

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF JOSEPH P. FARRELL ARCHITECT

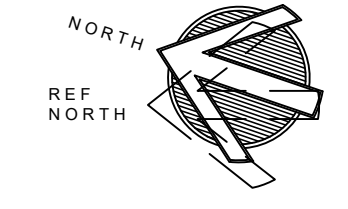
DATE: 2/13/2024
 SCALE: 1/16" = 1'-0"
 DRAWN: STC
 JOB NO: 2310

SHEET NO:
EC-0
 140 CHURCHILL DRIVE
 NOVATO, CA



Existing Site Plan

43,995 sf

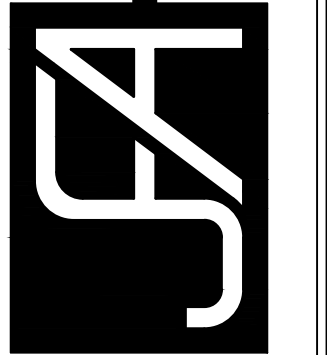


SCALE: 1/16" = 1'-0"

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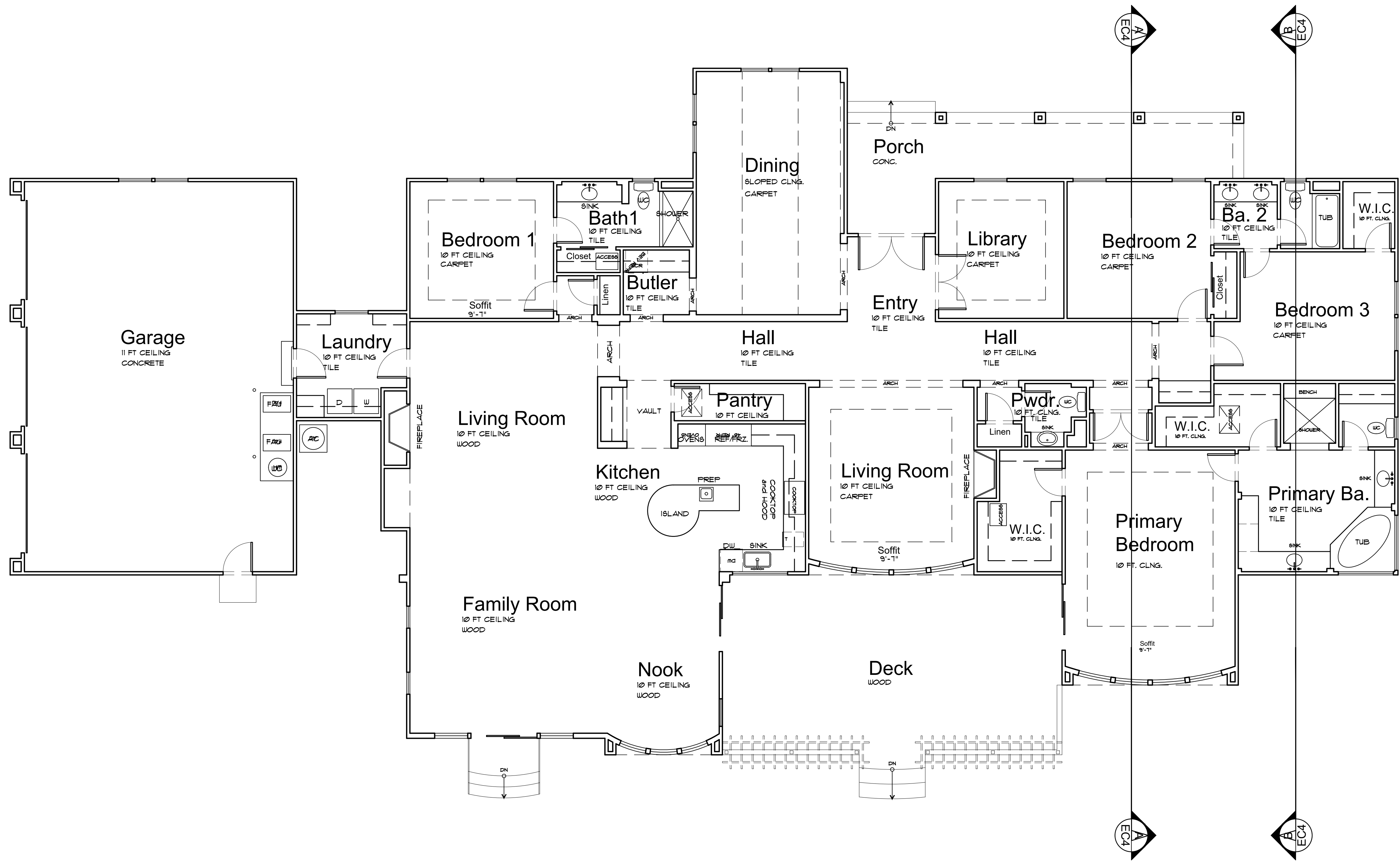
JOSEPH FARRELL
ARCHITECTURE
1 Commercial Blvd., Suite 106
Novato, CA 94949
Voice (415) 884-2660



Addition/Remodel Project:
Hass Residence
140 Churchill Lane
Novato, California AP#: 143-640-05

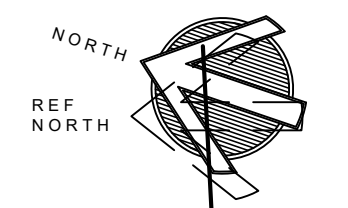
Existing
Floor Plan

DATE: 2/13/2024
SCALE: 3/16"=1'-0"
DRAWN: STC
JOB NO. 2310
SHEET NO.
EC-1
140 CHURCHILL DRIVE
NOVATO, CA



Existing Floor Plan

Residence (R3): 4,050 sf Garage (U): 906 sf



SCALE: 3/16" = 1'-0"

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Existing East (Front) Elevation

SCALE: 3/16" = 1'-0"



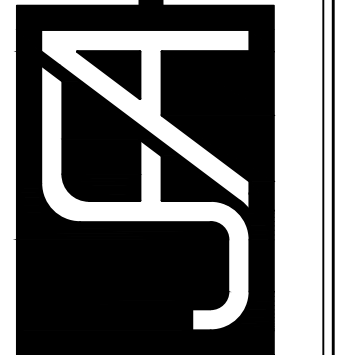
Existing West (Rear) Elevation

SCALE: 3/16" = 1'-0"

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 1 Commercial Blvd., Suite 106
 Novato, CA 94949
 Voice (415) 884-2860



Addition/Remodel Project:
 Hass Residence
 140 Churchill Lane
 Novato, California AP#: 143-640-05

Existing Exterior Elevations

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DATE: 2/13/2024
 SCALE: 3/16" = 1'-0"
 DRAWN: STC
 JOB NO. 2310
 SHEET NO.

EC-2
 140 CHURCHILL DRIVE
 NOVATO, CA

Preliminary Not for Construction

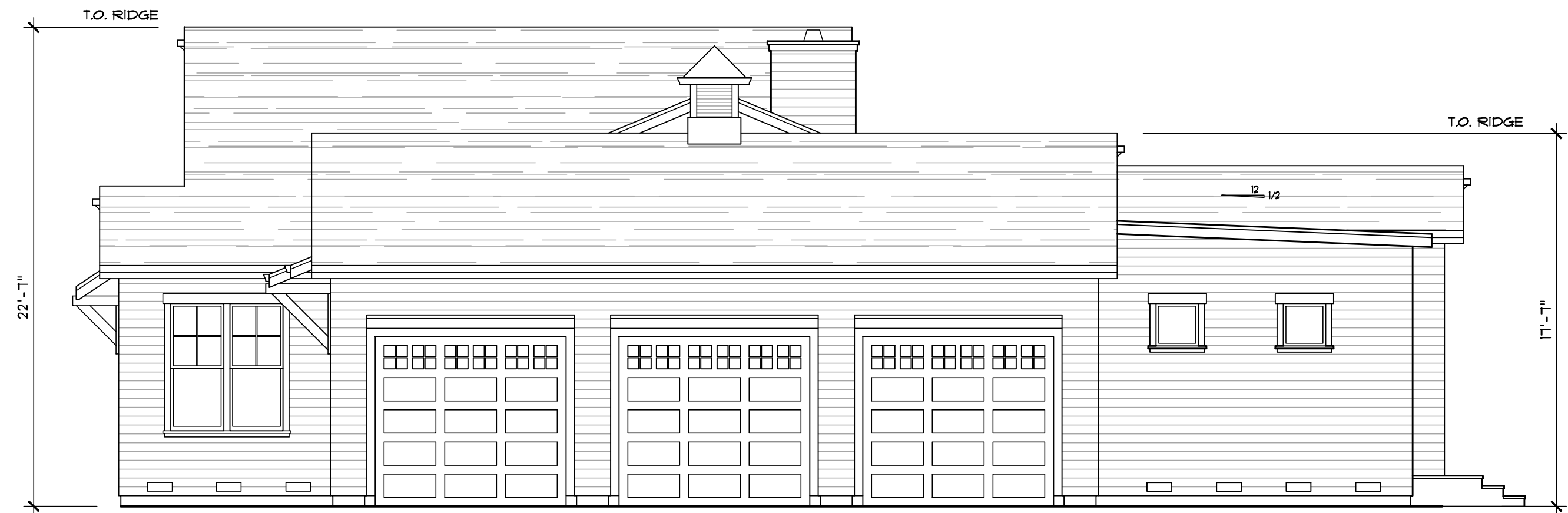
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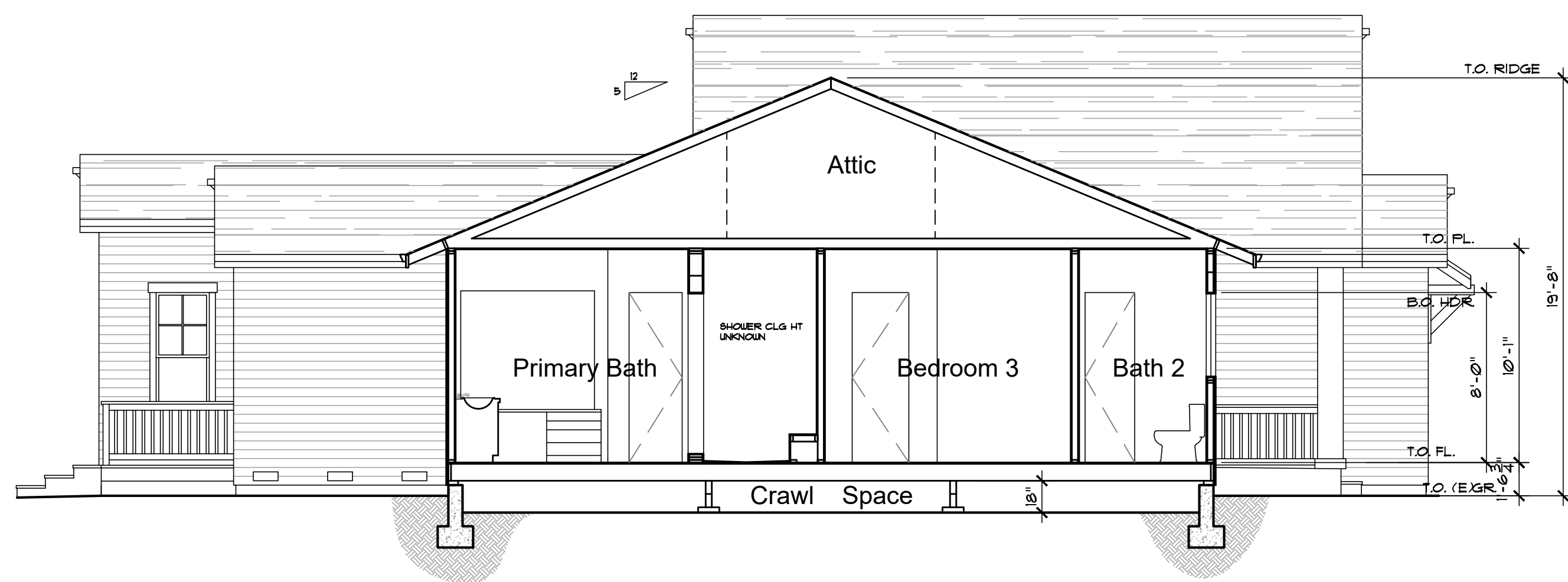
Existing South (Side) Elevation

SCALE: 1/4" = 1'-0"



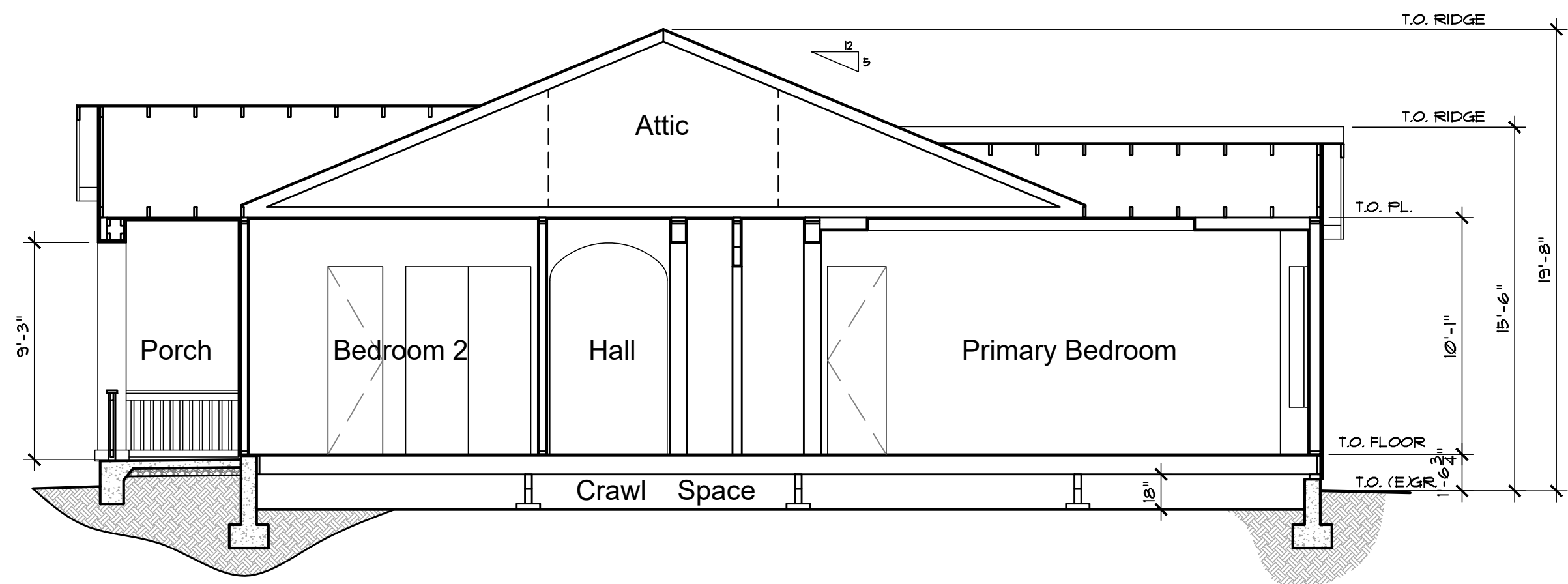
Existing North (Side) Elevation

SCALE: 1/4" = 1'-0"



Section B

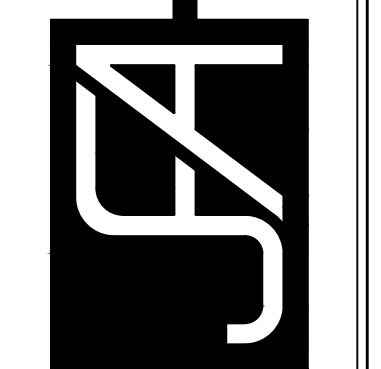
SCALE: 3/16" = 1'-0"



Section A

SCALE: 3/16" = 1'-0"

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 1 Commercial Blvd., Suite 106
 Novato, CA 94949
 Voice (415) 884-2860



Addition/Remodel Project:
 Hass Residence
 140 Churchill Lane
 Novato, California AP#: 143-640-05

Existing
 Exterior
 Elevations
 & Sections

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DATE: 2/13/2024
 SCALE: 1/4" = 1'-0"
 DRAWN: STC
 JOB NO. 2310
 SHEET NO.

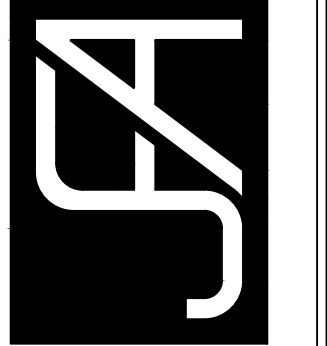
EC-3
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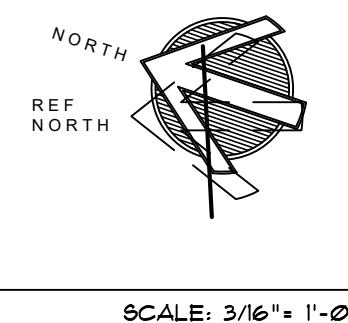
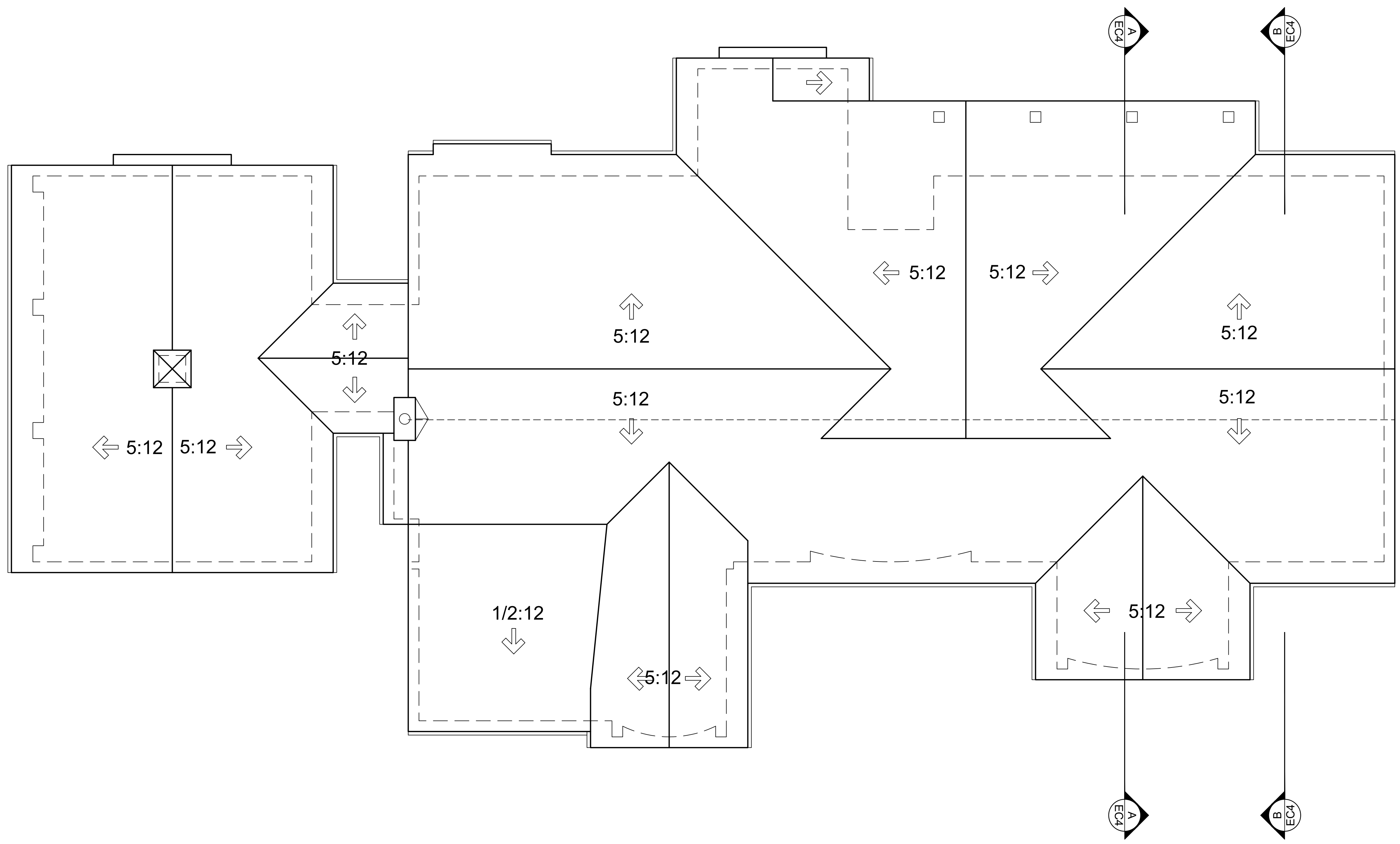
Addition/Remodel Project:
 Hass Residence
 140 Churchill Lane
 Novato, California AP#: 143-640-05

Existing
 Roof Plan

BEFORE THE DRAWING IS USED, THE USER SHALL
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 CONTAINED HEREIN. THE USER SHALL BE RESPONSIBLE
 FOR ANY ERRORS OR OMISSIONS. ANY DISCREPANCY
 BETWEEN THE DRAWING AND THE ORIGINAL SHALL BE
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DATE: 2/13/2024
 SCALE: 3/16"=1'-0"
 DRAWN: STC
 JOB NO. 2310
 SHEET NO.

EC-4
 140 CHURCHILL DRIVE
 NOVATO, CA

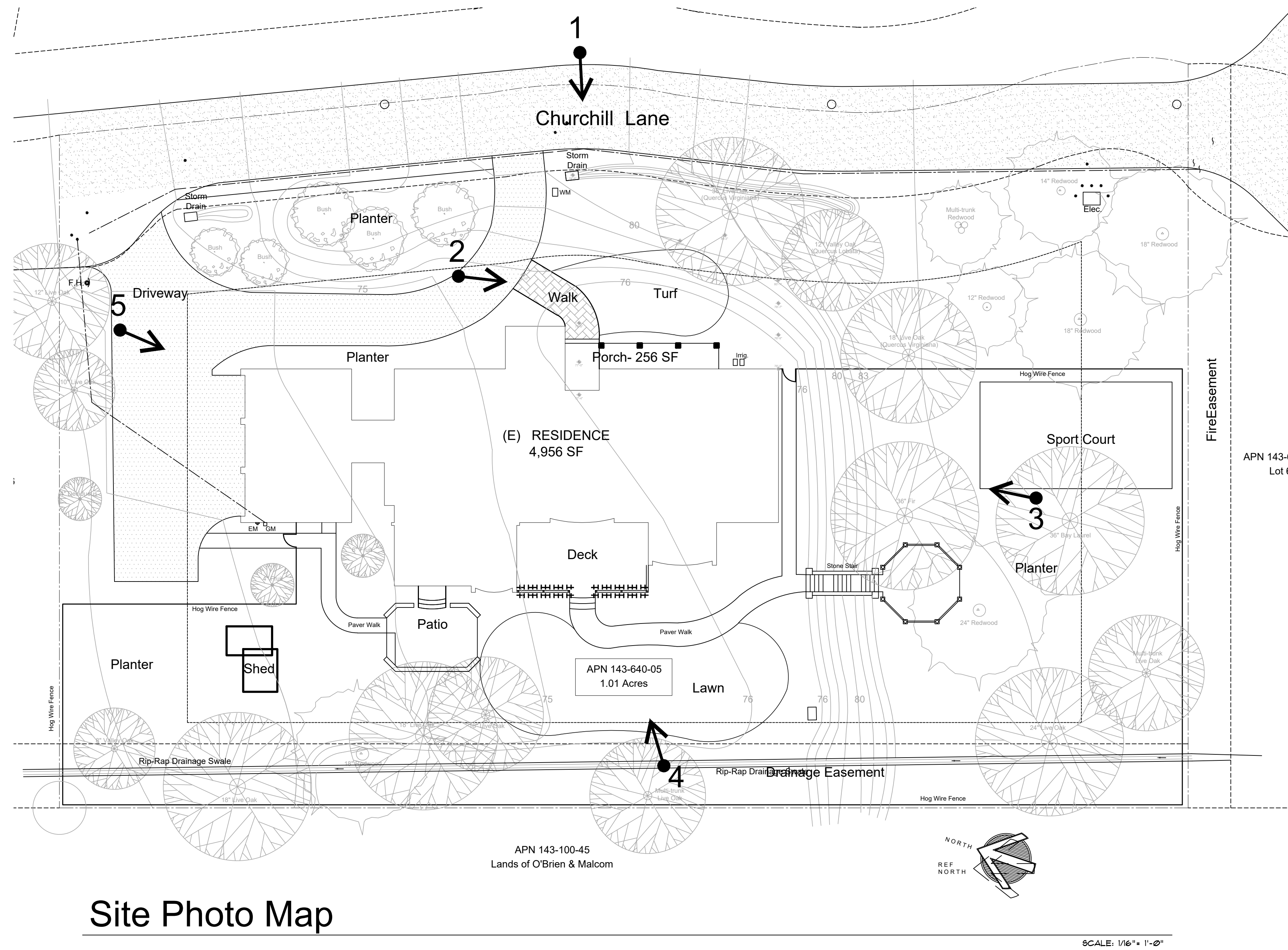


SCALE: 3/16" = 1'-0"

Existing Roof Plan

Preliminary Not for Construction

Existing Site Photos



Site Photo Map



1 - Front Elevation



2 - Proposed Project Area



5 - Right Side Elevation



4 - Rear Elevation

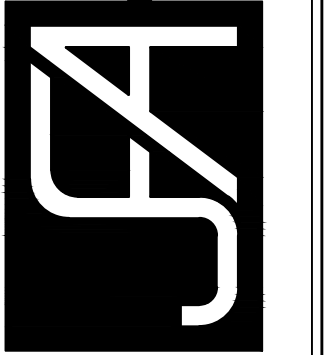


3 - Left Side Elevation

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ARCHITECTURE
1 Commercial Blvd., Suite 110
Novato, CA 94945
Voice (415) 884-2860



Addition/Remodel Project:
Hass Residence
140 Churchill Lane
Novato, California AP#: 143-640-05

Existing Site Photos

DATE: 2/04/2022
SCALE: 1/4" = 1'-0"
DRAWN: STC
JOB NO: 2310
SHEET NO:

EC-5
140 CHURCHILL DRIVE
NOVATO, CA

Preliminary Not for Construction

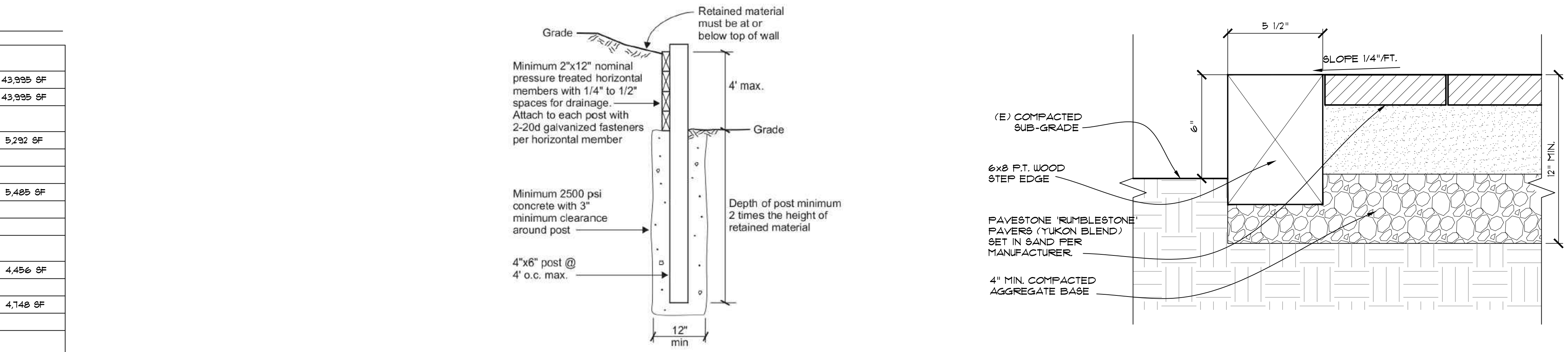
Project Info

1. LOT AREA:				
EXISTING	43,995 SF			
PROPOSED	43,995 SF			
2. BUILDING AREA:				
EXISTING: Residence = 4,250 sf, Garage = 906 sf, Porch = 256 sf, Shed = 80 sf	5,292 SF			
PROPOSED: Residence = 4,342 sf, Garage = 906 sf, Porch = 151 sf, Shed = 80 sf	5,485 SF			
3. FLOOR AREA:				
EXISTING: Residence = 4,250 sf, Attic = 0 sf, Garage = (906-540) sf, Porch = 40	4,456 SF			
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EXISTING: 4,456 / 43,995	10.1 %			
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5. PROPOSED AREA OF ADDITIONAL DISTURBANCE: Retaining wall/steps				
	105 SF			
6. LOT COVERAGE:				
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PROPOSED: 5,745 / 43,995	13.0 %			
7. GRADING CALCULATIONS:				
CUT (At Steps and Retaining Wall only)	15.8 CY			
FILL	0 CY			
OFF-HAUL (Cut for Steps to be distributed on site in existing planting areas)	0 CY			
8. PARKING:				
EXISTING	3 COVERED			
PROPOSED	3 COVERED			
9. MINIMUM SETBACKS FOR EXTERIOR WALLS OF PROPOSED BUILDING AREA:				
	FRONT	SIDE 1 (N)	SIDE 2 (S)	REAR
ALLOWED	20 LF (From Easement)	30 LF	25 LF	20 LF
PROPOSED	28'-1"	138'-0"	96'-0"	102'-10"
10. MAXIMUM HEIGHT OF PROPOSED BLDG. AREA:				
	14.5 LF			

Building Corner & Ridge Heights

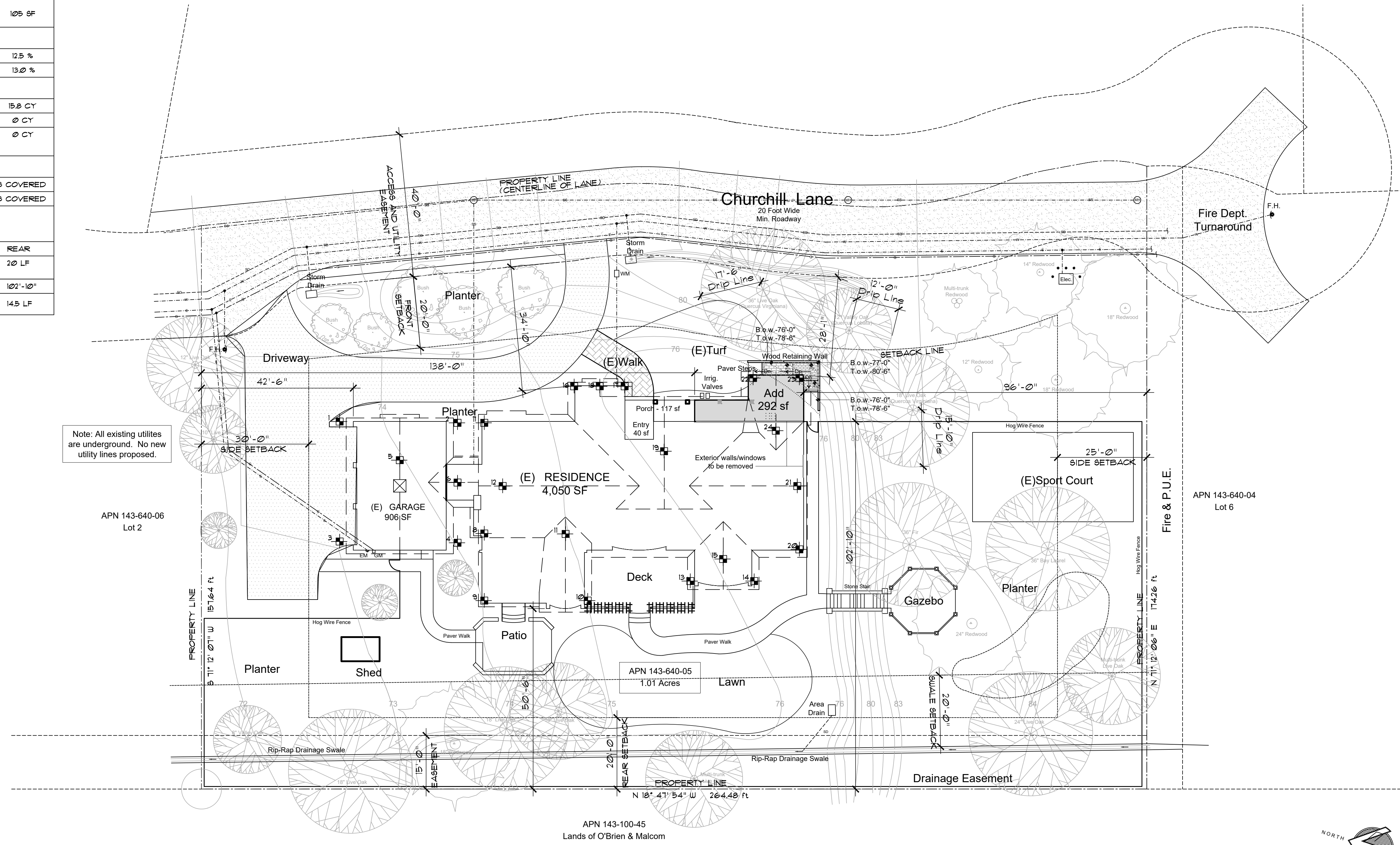
All measurements in feet-Bold # are new construction

Mark #	Base Elev. @ Existing Grade	Top of Bldg. Structure	Height above Ref. Base Elev.
1	74.00	87.40	13.40
2	74.50	87.40	12.90
3	74.00	87.40	13.40
4	74.00	87.40	13.40
5	74.50	92.10	17.60
6	74.50	88.75	14.25
7	75.50	87.40	11.90
8	75.00	87.40	12.40
9	74.50	87.40	12.90
10	75.00	87.40	12.40
11	75.00	91.00	16.00
12	75.00	94.67	19.67
13	75.75	87.40	11.65
14	76.00	87.40	11.40
15	76.00	91.50	15.50
16	75.50	87.40	11.90
17	76.00	87.40	11.40
18	76.00	91.00	15.00
19	76.00	98.50	22.50
20	76.00	87.40	11.40
21	76.00	95.67	19.67
22	76.00	87.40	11.40
23	76.00	87.40	11.40
24	76.00	91.20	15.20



2 Wood Retaining Wall
SCALE: NONE

1 Landscape Step Edge
SCALE: 3"=1'-0"



Proposed Site Plan

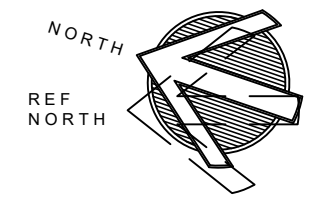
Preliminary Not for Construction

Addition/Remodel Project:
Hass Residence
140 Churchill Lane
Novato, California AP#: 143-640-05

Proposed Site Plan

DATE: 2/13/2024
SCALE: 1/16" = 1'-0"
DRAWN: STC
JOB NO: 2310
SHEET NO:
A-0.1
140 CHURCHILL DRIVE
NOVATO, CA

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1 Commercial Blvd., Suite 106
Novato, CA 94949
Voice (415) 884-2860



SCALE: 1/16" = 1'-0"

REVISIONS	DATE	BY

Floor Plan Demolition Notes:

(See A1.1 for Remodeled/New Construction)

- REMOVE EXISTING EXTERIOR WALLS, DOORS AND WINDOWS AS INDICATED. CONTRACTOR TO SUPPORT AND PROTECT EXISTING ADJACENT CONSTRUCTION DURING ENTIRE CONSTRUCTION PROJECT.
- EXISTING FOUNDATION BELOW TO REMAIN UNLESS OTHERWISE INDICATED BY STRUCTURAL ENGINEER. TIE NEW FOUNDATION INTO EXISTING PER STRUCTURAL DRAWINGS.
- REMOVE EXISTING SIDING AND BUILDING PAPER. REPLACE ANY FLYWOOD SHEATHING AS REQUIRED PRIOR TO INSTALLATION OF NEW SIDING. PROTECT EXISTING SHEATHING FROM WEATHER DURING CONSTRUCTION.
- REMOVE EXISTING FLOORING DOWN TO SUB-FLOOR. REPLACE AND REPAIR SUB-FLOORING AS NEEDED.
- REMOVE ALL EXISTING BATH FIXTURES, CABINETS AND APPLIANCES. CAP ALL EXISTING UTILITIES OR RE-ROUTE FOR USE IN NEW BATH LAYOUT.
- REMOVE EXISTING INTERIOR FINISHES DOWN TO FRAMING OR FLYWOOD SHEATHING.
- REMOVE EXISTING DOOR/WINDOW TO ALLOW FOR INSTALLATION OF NEW DOOR/WINDOW OR WALL PER PLANS.
- REMOVE A MIN. 30" WIDE PORTION OF THE EXISTING FOUNDATION WALL FOR CRAWL SPACE ACCESS PER NEW PLANS.
- REMOVE EXISTING INTERIOR WALL AND ASSOCIATED DOORS - SUPPORT EXISTING STRUCTURAL ELEMENTS TO REMAIN DURING CONSTRUCTION.
- REMOVE EXISTING EXTERIOR PORCH SLAB FOR NEW SITE WORK PER SHEET A-01.

Roof Plan Demolition Notes:

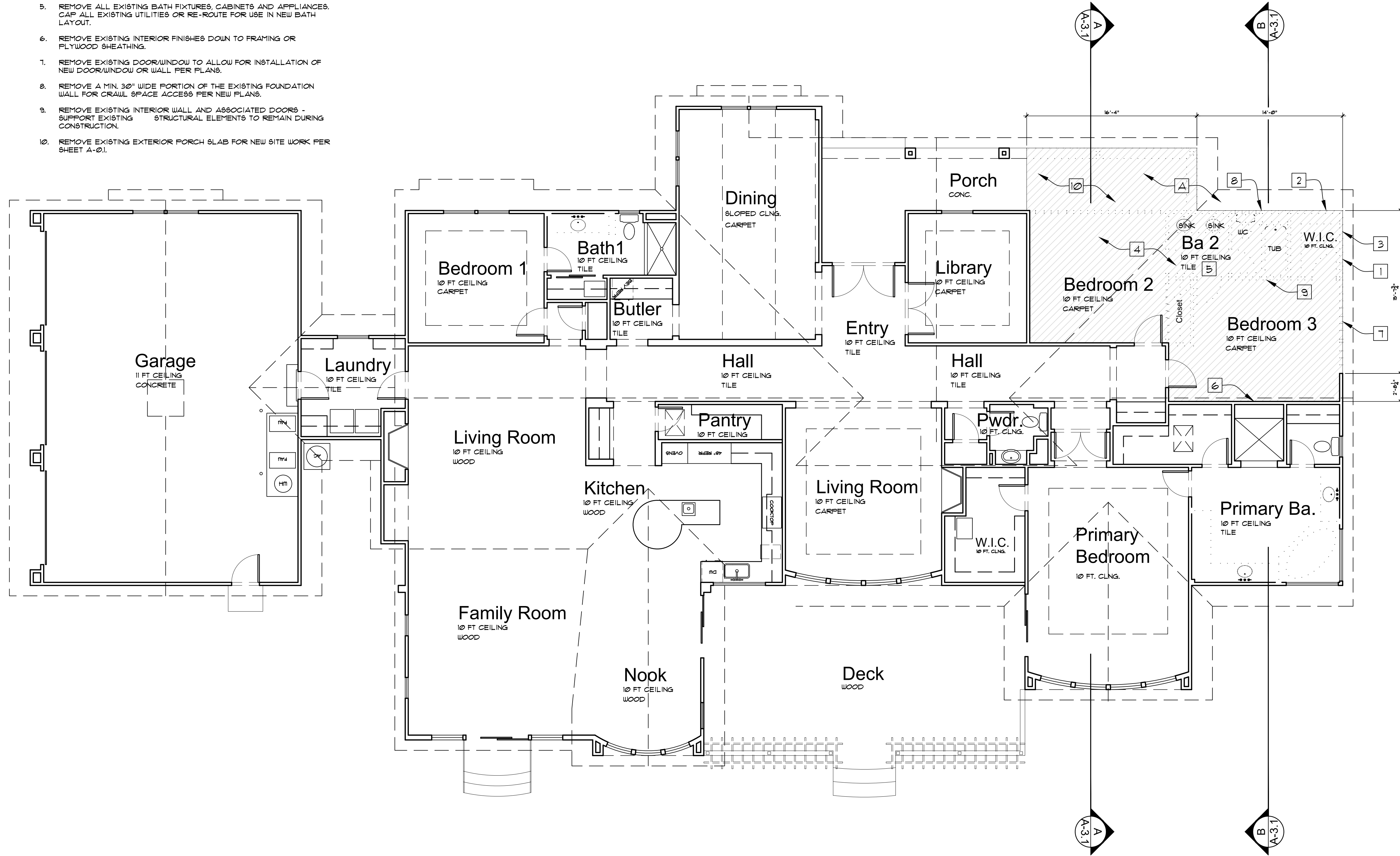
(See A4.1 for Remodeled/New Construction)

- REMOVE EXISTING ROOFING IN AREA OF DEMOLITION. SHEATHING AND FRAMING TO REMAIN. PATCH AND REPAIR EXISTING SHEATHING AS NEEDED. REMOVE ALL EXISTING GUTTERS AND DOWNSPOUTS IN AREA OF DEMOLITION. CONTRACTOR TO SUPPORT EXISTING STRUCTURE TO REMAIN THROUGHOUT DEMOLITION AND NEW CONSTRUCTION.

Note:
Prior to start of demolition work, contractor to verify that there is no existing asbestos or other hazardous material(s) on site. If any hazardous materials are present, removal is to be performed by a certified hazardous materials removal specialist in conformance with all State and Federal regulations.

PLAN LEGEND

- 2x4 STUDY WALL TO REMAIN
- 2x4 STUDY WALL TO BE DEMOLISHED
- AREA OF DEMOLITION



Proposed Demolition Plan

Demolition: 477 sf

SCALE: 3/16" = 1'-0"

Preliminary Not for Construction

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 1 Commercial Blvd., Suite 106
 Novato, CA 94949
 Voice (415) 884-2660

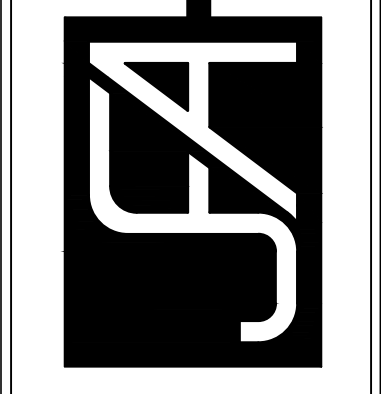
Addition/Remodel Project:
 Hass Residence
 140 Churchill Lane
 Novato, California AP#: 143-640-05

Proposed Demolition Plan

DATE: 2/13/2024
 SCALE: 3/16" = 1'-0"
 DRAWN: STC
 JOB NO. 2310
 SHEET NO.
A-1.0
 140 CHURCHILL DRIVE
 NOVATO, CA

REVISIONS	DATE	BY

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Novato, CA 94949
Voice (415) 884-2660

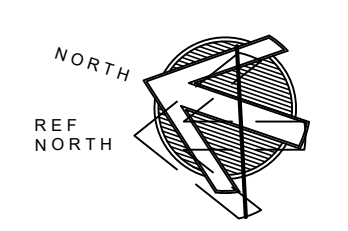
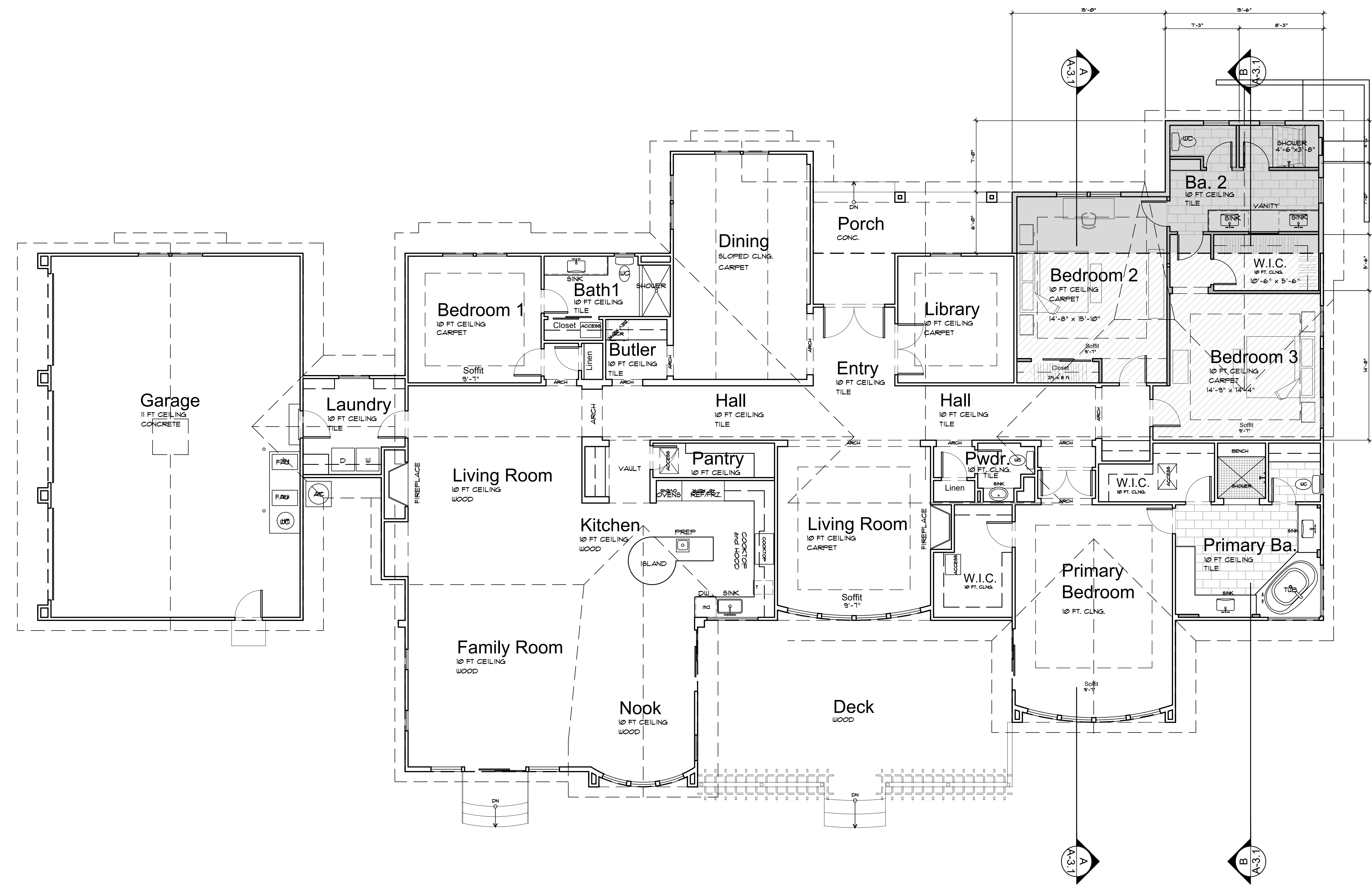


Addition/Remodel Project:
Hass Residence
140 Churchill Lane
Novato, California AP#: 143-640-05

Proposed
Floor Plan

DATE: 2/13/2024
SCALE: 3/16"=1'-0"
DRAWN: STC
JOB NO. 2310
SHEET NO.
A-1.1
140 CHURCHILL DRIVE
NOVATO, CA

Preliminary Not for Construction



SCALE: 3/16" = 1'-0"

Proposed Floor Plan

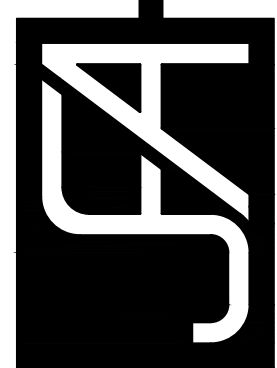
Existing: 4,050 + 40 sf Garage: 609 sf Add: 292 sf Remodel: 477 sf

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF JOSEPH P. FARRELL, ARCHITECT.

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REVISIONS	DATE	BY

**JOSEPH FARRELL
ARCHITECTURE**
1 Commercial Blvd, Suite 106
Novato, CA 94949
Voice (415) 884-2860



Addition/Remodel Project:
Hass Residence
140 Churchill Lane
Novato, California AP#: 143-640-05

**Proposed
Exterior
Elevations**

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SHEET NO:
A-2.1
140 CHURCHILL DRIVE
NOVATO, CA

Preliminary Not for Construction



East Elevation

Match Existing
Windows, Shutters and Trim

Anderson Series 100
Single Hung - White

Match Existing
Painted Shingle Siding

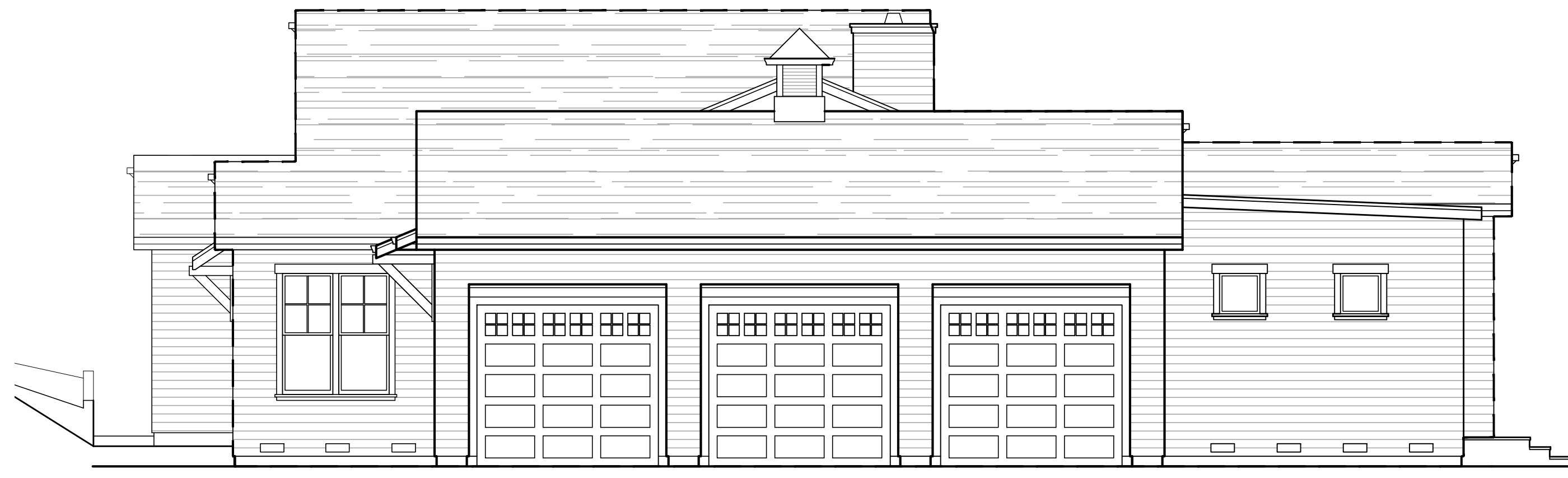
Hardie Shingle - Straight
Edge - Color: Stone



Match Existing
Concrete Tile Roofing

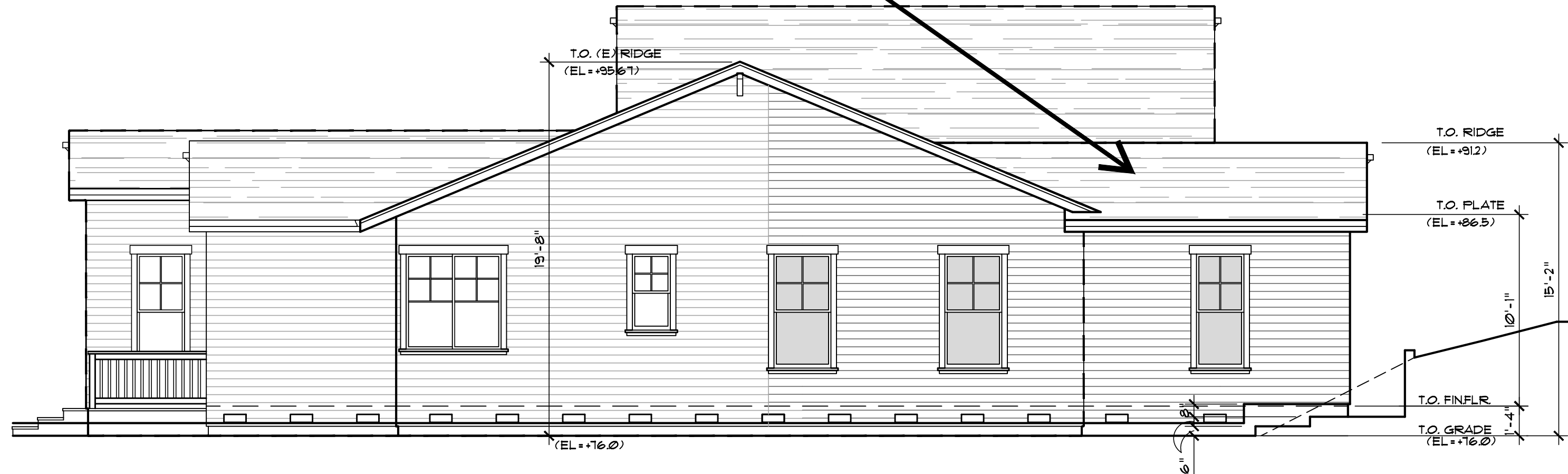
Eagle - Golden Eagle Class A
1699 Charcoal Range

SCALE: 3/16" = 1'-0"



North Elevation

SCALE: 1/4" = 1'-0"



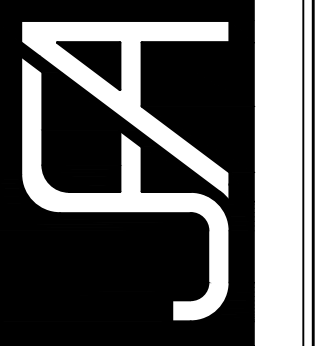
South Elevation

SCALE: 1/4" = 1'-0"

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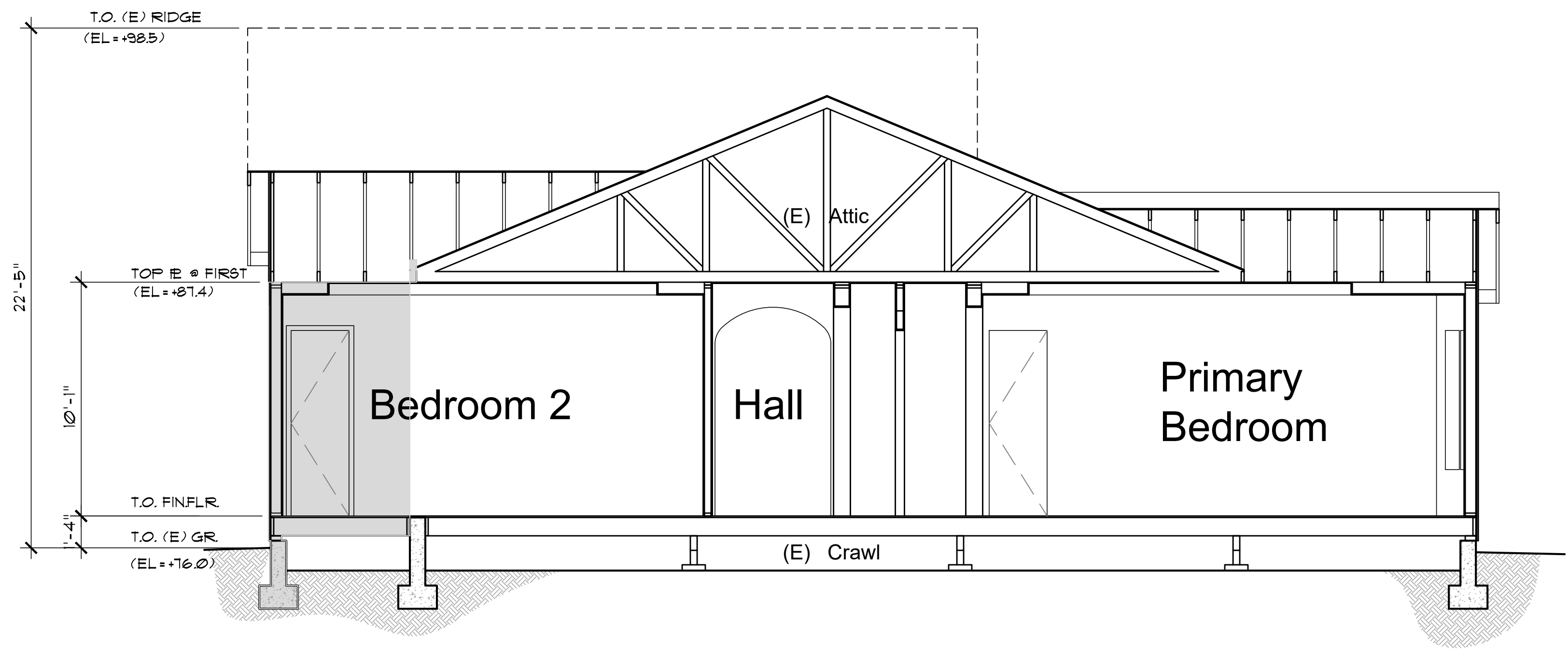
Addition/Remodel Project:
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Novato, California AP#: 143-640-05

Proposed Building Sections

BEFORE THE GRANBOLD CANTONMENT, NO PART OF THIS DRAWING OR ANY DOCUMENTS HEREON SHALL BE Brought to the Immediate Attention of JOSEPH P. FARRELL, ARCHITECT

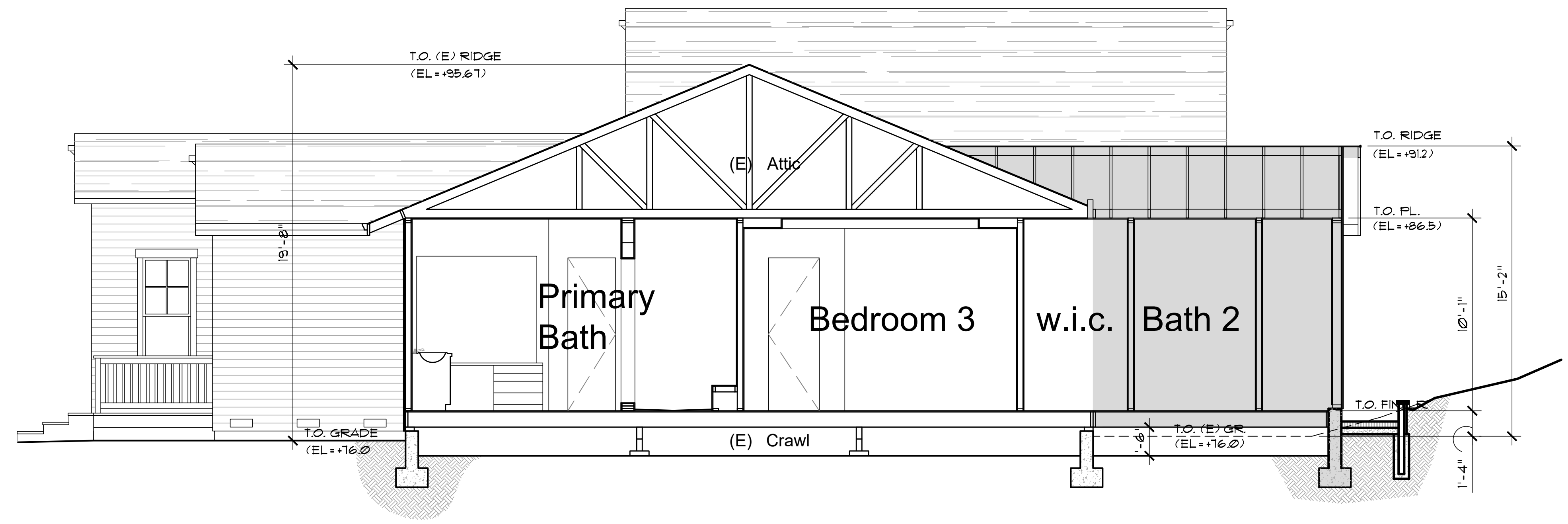
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SCALE: 1/4" = 1'-0"
DRAWN: STC
JOB NO. 2310
SHEET NO.

A-3.1
140 CHURCHILL DRIVE
NOVATO, CA



Section A

SCALE: 1/4" = 1'-0"



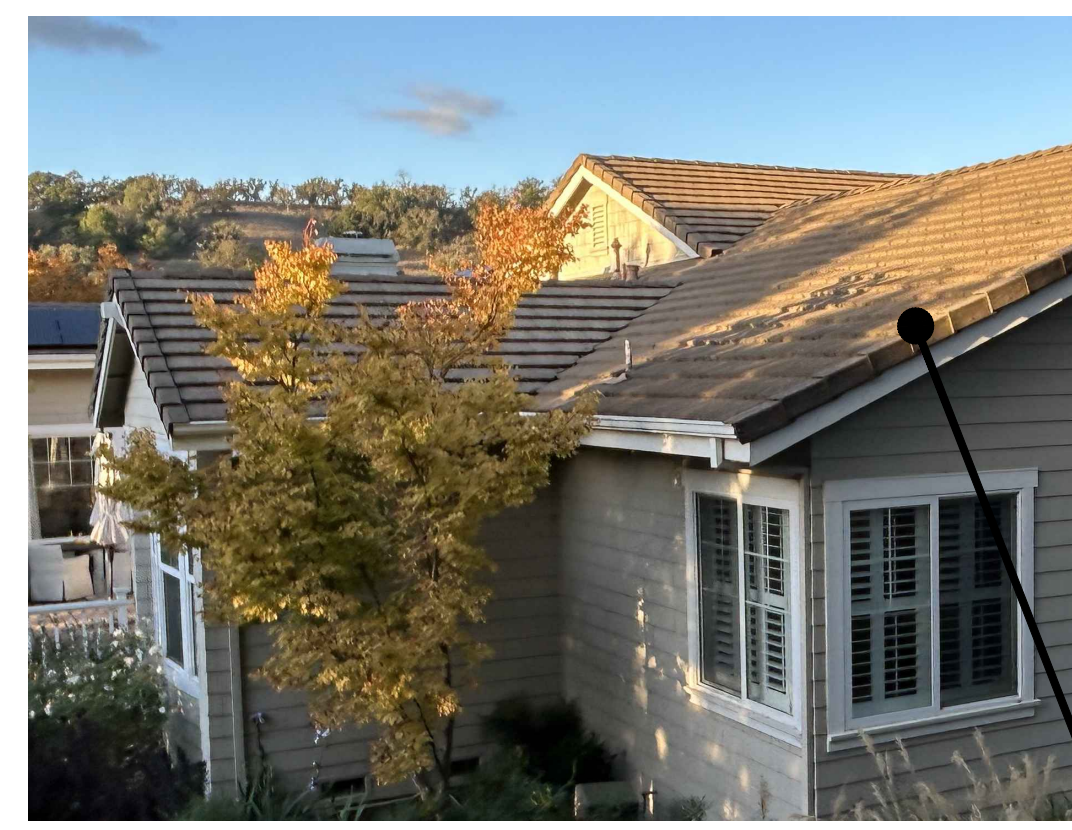
Section B

SCALE: 1/4" = 1'-0"

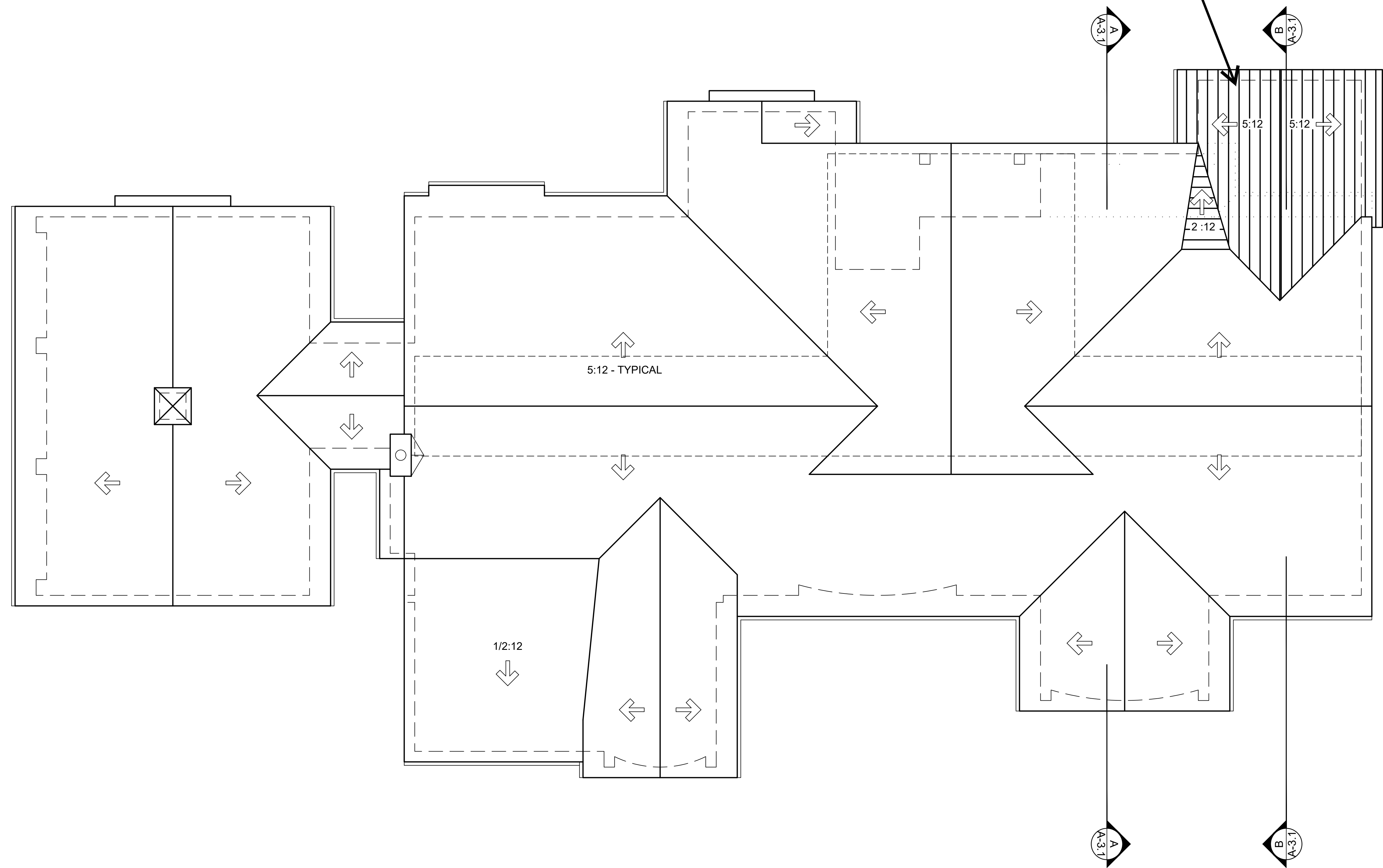
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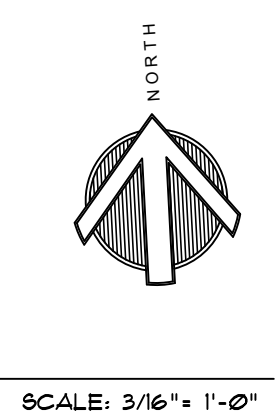
REVISIONS	DATE	BY



Match Existing
Concrete Tile Roofing
Eagle - Golden Eagle Class A
1699 Charcoal Range

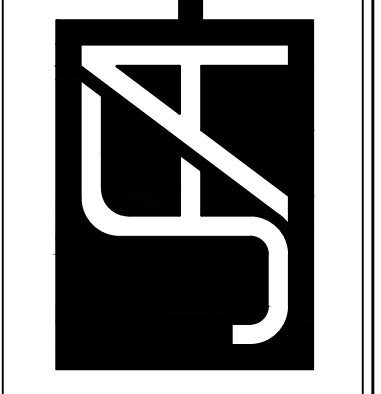


Proposed Roof Plan



SCALE: 3/16" = 1'-0"

JOSEPH FARRELL ARCHITECTURE
1 Commercial Blvd., Suite 106
Novato, CA 94949
Voice (415) 884-2860



Addition/Remodel Project:
Hass Residence
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Proposed Roof Plan

DATE: 2/13/2024
SCALE: 3/16" = 1'-0"
DRAWN: STC
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SHEET NO:

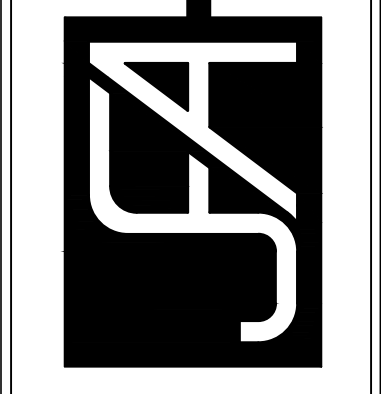
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NOVATO, CA

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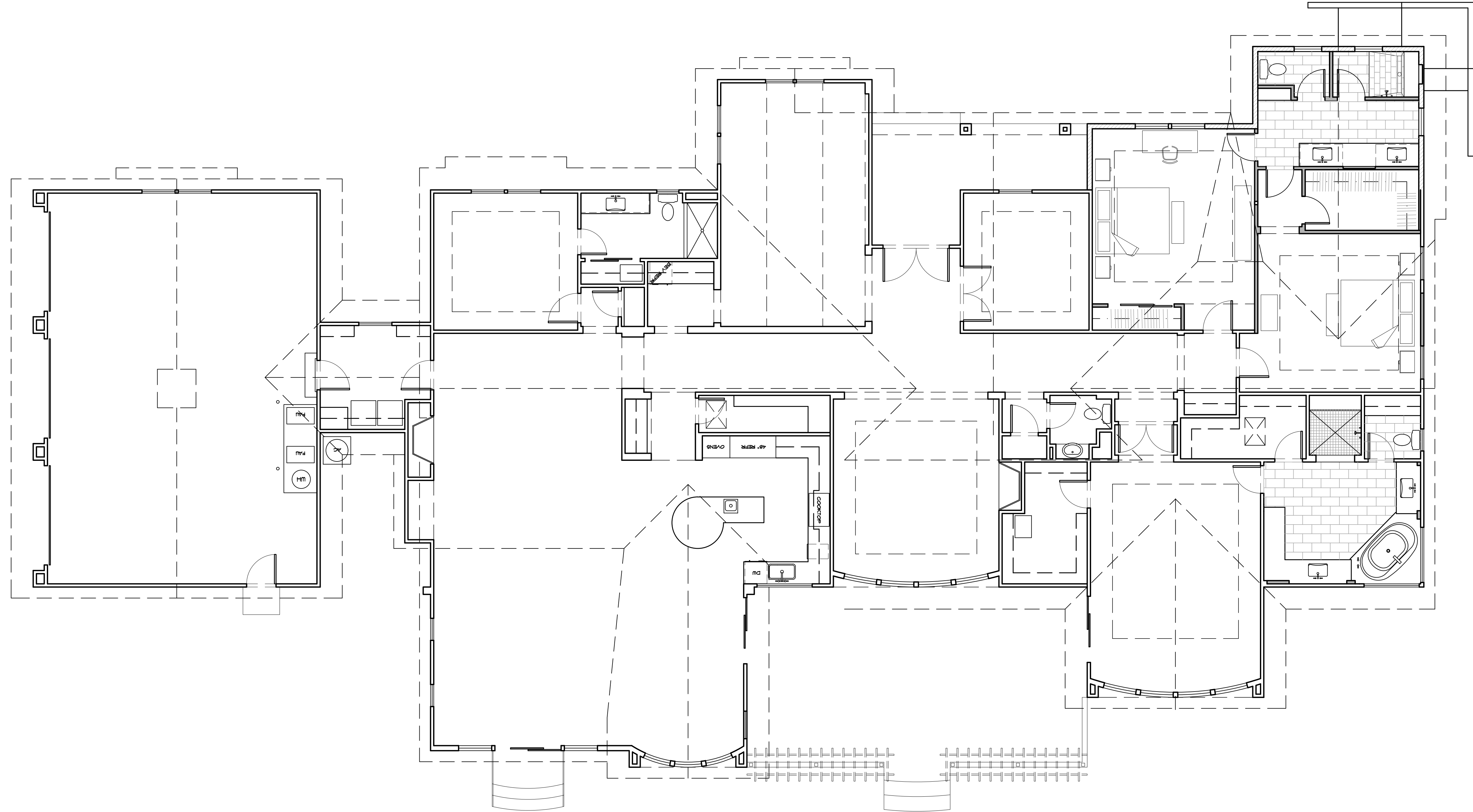
Addition/Remodel Project:
 Hass Residence
 140 Churchill Lane
 Novato, California AP#: 143-640-05

Proposed Utility Plan

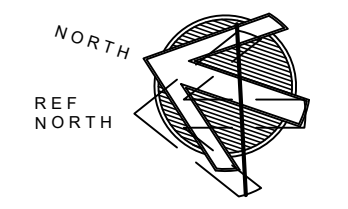
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 JOB NO. 2310
 SHEET NO.

A-5.1
 140 CHURCHILL DRIVE
 NOVATO, CA



Proposed Utility Plan



SCALE: 3/16" = 1'-0"

Preliminary Not for Construction