CODES

All construction shall comply with all local codes and ordinances and the codes listed below:

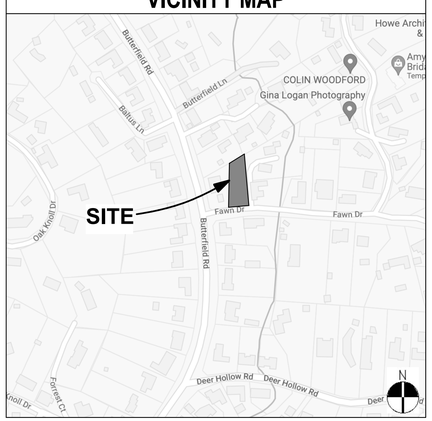
2022 California Residential Code: CRC
2022 California Mechanical Code: CMC
2022 California Electrical Code: CEC
2022 California Plumbing Code: CPC
2022 California Fire Code
2022 California Energy Code: CEnC
2022 California Building Code: CBC
2022 California Green Building Standards: CalGreen

County of Marin Municipal Code

FIRE SPRINKLER SYSTEM NOTES

1. All house areas shall incorporate an automatic fire protection sprinkler system designed and installed in accordance with the requirements of the local Fire Protection District and prevailing code requirements as applicable. (NFPA, CBC, CEC, CPC and CMC)
2. A copy shall be submitted to the Architect for review of the head placements prior to agency submittal.
3. All riser components shall be located to the interior of the structure at the point of entry.
4. All heads shall be **concealed head** type, ceiling or sidewall as appropriate to the final head layout design.
5. Verify final configuration and capacity of storage tank and booster pump system.
6. Submit drawings and calculations to the building department a minimum three weeks before requesting the close-in inspection. A hold on close-in inspection is placed on this project for compliance with this item.
7. The fire protection system shall be monitored for water flow by an approved alarm company.

VICINITY MAP



SCOPE OF WORK

NEW TWO STORY 4,263 SF SINGLE FAMILY RESIDENCE WITH ATTACHED 546 SF GARAGE, NEW DRIVEWAY, FENCING AND PATH TO FRONT DOOR

PROJECT TEAM

OWNER
Advanced Building Solutions, Inc
855 Lakeville Street, Suite 200
Petaluma CA 94952
Tel: 707-206-4041
chris@absconstruct.com

ARCHITECT
Polsky Perlstein Architects
469B Magnolia Avenue
Larkspur CA 94939
Tel: 415-927-1156 x306
Contact: Laura VanAmburgh
laura@polskyarchitects.com

SURVEYOR
BKF Engineers
1646 N. California Blvd., Suite 400
Walnut Creek, CA 94596
Tel: 925-940-2200
Contact: Bill Boriolo
bboriolo@bkf.com

CIVIL
BKF Engineers
1646 N. California Blvd., Suite 400
Walnut Creek, CA 94596
Tel: 925-940-2200
Contact: Bill Boriolo
bboriolo@bkf.com

LANDSCAPE
Imprints Landscape Architecture
202 Rosemont Ave
Mill Valley CA 94941
Tel. (415) 380-0755
Contact: Brad Eigsti
brad@imprintsgardens.com

PROJECT DATA

Address:	33 Fawn Dr
Zoning Designation:	R1-BD
Assessor's Parcel Number:	177-051-08
Actual Site Area (SF):	19,913
Occupancy Type:	R-1 (single family) U-1 (Garage)
Building Type:	V-B Fully Sprinklered
Number of stories	2
Latitude	38' 00' 09.46" N
Longitude	122' 34' 27.09" W
WUI district:	Yes

	Zoning Req't.	Existing	Proposed Project
Floor Areas (SF)			
First Floor		0	3,217
Second Floor		0	1,046
Garage area over 540 sf		0	6
Total Floor Areas	5,974	0	4269
Floor Area Ratio	30%		21%
Building Areas (SF)			
First Floor		0	3,217
Second Floor		0	1,046
Storage Buildings - under 7' tall		215	215
Garage		0	546
Total Building Areas		215	5024
Building Height			
House	30'-0"		23'-8"
Setbacks			
Front	25'-0"		25'-1 1/2"
Left Side	10'-0"		10'-0"
Right Side	10'-0"		10'-1 1/2"
Rear	25'-0"		89'-7"
Parking			
Required spaces	2		2

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A1.2 SECOND FLOOR PLAN
A2.1 EXTERIOR ELEVATIONS
A2.2 EXTERIOR ELEVATIONS
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LANDSCAPE

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L2.1 LANDSCAPE CONSTRUCTION PLAN

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33 FAWN DRIVE

33 FAWN DR
SAN ANSELMO CA
AP# 177-051-08

LICENSED ARCHITECT
ANGEL LEWIS POLSKY
NO. C 14125
REN. 7-31-23
STATE OF CALIFORNIA

DATE	Δ	DESCRIPTION	BY
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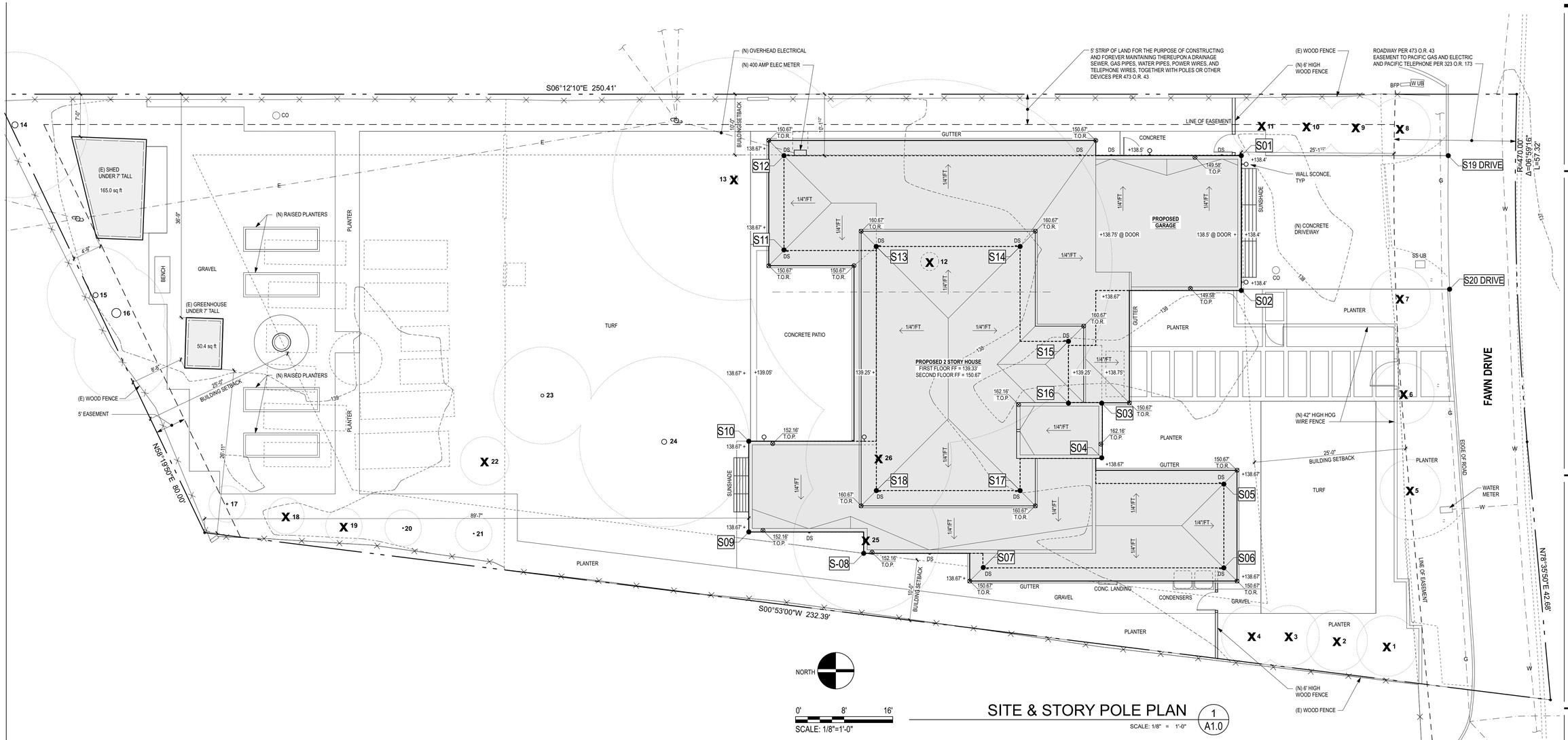
SCALE	NOTED

PROJECT INFORMATION

SHEET
A0.1



SITE & STORY POLE PLAN

SCALE: 1/8" = 1'-0"

1 / A1.0

TREE LEGEND

BASED ON ARBORIST REPORT FROM ARBORSCIENCE DATED MARCH 31, 2023
NO TREES ON THE PROPERTY ARE "PROTECTED" BY THE MARIN COUNTY CODE

CONDITION RATINGS:

POOR: DECLINING HEALTH AND/OR SIGNIFICANT OR EXTENSIVE DEFECTS THAT CANNOT BE CORRECTED

FAIR: MODERATE VIGOR, SOME DIEBACK OR THINNING OF CROWN, MODERATE STRUCTURAL DEFECTS THAT WOULD REQUIRE ONGOING MAINTENANCE

GOOD: HEALTHY AND VIGOROUS, WITH GOOD FORM OR MINOR STRUCTURAL DEFECTS THAT CAN BE CORRECTED

Tag	Common Name	Scientific Name	DBH (in.)	Condition	Status	Recommendation
1	Callery pear	*Pyrus calleryana*	6	Good	None	Remove
2	Callery pear	*Pyrus calleryana*	2	Good	None	Remove
3	Callery pear	*Pyrus calleryana*	4	Good	None	Remove
4	Callery pear	*Pyrus calleryana*	5	Fair	None	Remove
5	Callery pear	*Pyrus calleryana*	2	Good	None	Remove
6	Callery pear	*Pyrus calleryana*	3	Good	None	Remove
7	Callery pear	*Pyrus calleryana*	3	Good	None	Remove
8	Callery pear	*Pyrus calleryana*	4	Good	None	Remove
9	Callery pear	*Pyrus calleryana*	4	Good	None	Remove
10	Callery pear	*Pyrus calleryana*	5	Good	None	Remove
11	Callery pear	*Pyrus calleryana*	2	Good	None	Remove
12	Siberian elm	*Ulmus pumila*	35	Poor	None	Remove
13	Incense cedar	*Calocedrus decurrens*	15	Good	None	Remove
14	Cherry plum	*Prunus cerasifera*	5,6,7	Fair	None	Protect
15	Cherry plum	*Prunus cerasifera*	4,5,6	Poor	None	Protect
16	Coast live oak	*Quercus agrifolia*	1	Good	None	Protect
17	Coast live oak	*Quercus agrifolia*	1	Good	None	Protect
18	Fuyu persimmon	*Diospyros kaki 'Fuyu'*	1	Good	None	Remove
19	Cherry plum	*Prunus cerasifera*	2	Good	None	Remove
20	White peach	*Prunus persica*	1	Good	None	Protect
21	Pomegranate	*Punica granatum*	2	Good	None	Protect
22	Edible fig	*Ficus carica*	2	Good	None	Remove
23	Pear	*Pyrus communis*	6	Good	None	Protect
24	Walnut	*Juglans regia*	12	Good	None	Protect
25	Apricot	*Prunus armeniaca*	8	Good	None	Remove
26	Apple	*Malus domestica*	5	Good	None	Remove

STORY POLE & STAKING SCHEDULE

Story Pole #	Top of Pole	EXISTING GRADE UNDER POLE (+/-)	POLE HEIGHT (approx only- pole installer confirms ht)
S01	149.58'	137.7'	11.88'
S02	149.58'	138'	11.58'
S03	162.16'	137.6'	24.56'
S04	162.16'	137.6'	24.56'
S05	150.67'	137.6'	13.07'
S06	150.67'	137.6'	13.07'
S07	150.67'	138'	12.67'
S08	152.16'	138.2'	13.96'
S09	152.16'	138.8'	13.36'
S10	152.16'	138.2'	13.96'
S11	150.67'	138.2'	12.47'
S12	150.67'	138.5'	12.17'
S13	160.67'	138.5'	22.17'
S14	160.67'	138'	22.67'
S15	160.67'	138'	22.67'
S16	160.67'	138'	22.67'
S17	160.67'	138'	22.67'
S18	160.67'	138'	22.67'
STAKE 19	NA	NA	NA
STAKE 20	NA	NA	NA

NOTE: THE STORY POLES (S1 - S18) MUST BE CONNECTED BY ORANGE CONSTRUCTION NETTING AT LEAST 18" WIDE AND MUST BE INSTALLED AT THE PERIMETER OF THE BUILDING AND AT THE RIDGELINES OF THE ROOF TO REPRESENT THE HEIGHT, MAS AND BULT OF HE STRUCTURE TO HTE MAXIMUM EXTENT FEASIBLE. STAKES 19 & 20 TO BE 18" HIGH AND SHALL BE PAINTED A BRIGHT COLOR ON THE TOP AND SHALL BE LABELED TO INDICATE THE FEATURE THAT THEY DELINEATE.

EXTERIOR WALL SCONCES

HINKLEY

ATLANTIS

SMALL DOWN LIGHT WALL MOUNT LANTERN

1646SK-LED

Atlantis features a minimalist design for the ultimate in urban sophistication. Constructed of solid aluminum and Dark Sky compliant, Atlantis provides a chic solution to eco-conscious homeowners.

FINISH: Satin Black
GLASS: Etched Lens
WIDTH: 9"
HEIGHT: 6"
DEPTH: 0
LIGHT SOURCE: Integrated LED
WATTAGE: 7.50w LED *Included

EXTERIOR MATERIALS

EXTERIOR WALL MATERIAL 1:
Hardie Siding Horizontal
Paint: Sherwin Williams "Peppercorn"

DOWNSPOUTS:
GSM, Paint to match wall color "Peppercorn"

WOOD FENCE:
Paint: Sherwin Williams "Peppercorn"

EXTERIOR WALL MATERIAL 2:
1x6 Clear Cedar Boards Horizontal
Stain: Cabot Semi-transparent New Cedar

METAL FASCIA/GUTTER & CLAD WINDOWS & DOORS:
Black

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33 FAWN DRIVE

33 FAWN DR
SAN ANSELMO CA
AP# 177-051-08

LICENSED ARCHITECT ANGELO LEWIS POLSKY NO. C 14125 REN. 7-31-23 STATE OF CALIFORNIA

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SITE & STORY POLE PLAN / EXTERIOR MATERIALS

SHEET

A1.0

DIMENSIONS ARE TO OUTSIDE FACE OF FINISH FOR PLANNING PURPOSES ONLY

PROPOSED FIRST FLOOR PLAN (1 / A1.1)

SCALE: 1/4" = 1'-0"

NORTH

0' 4' 8'

SCALE: 1/4"=1'-0"

FIRST FLOOR	3217
SECOND FLOOR	1046
TOTAL	4263
GARAGE	546

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FIRST FLOOR PLAN

SHEET

A1.1

DIMENSIONS ARE TO OUTSIDE FACE OF FINISH FOR PLANNING PURPOSES ONLY

PROPOSED SECOND FLOOR PLAN (1 / A1.2)

SCALE: 1/4" = 1'-0"

NORTH

0' 4' 8'

SCALE: 1/4"=1'-0"

SQUARE FOOTAGE TOTALS

FIRST FLOOR	3217
SECOND FLOOR	1046
TOTAL	4263
GARAGE	546

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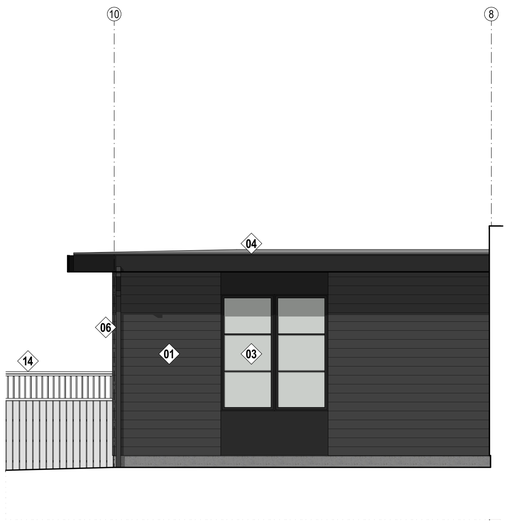
SCALE	NOTED

SECOND FLOOR PLAN

SHEET

A1.2



ENTRY COURT EAST ELEVATION (3 / A2.1)

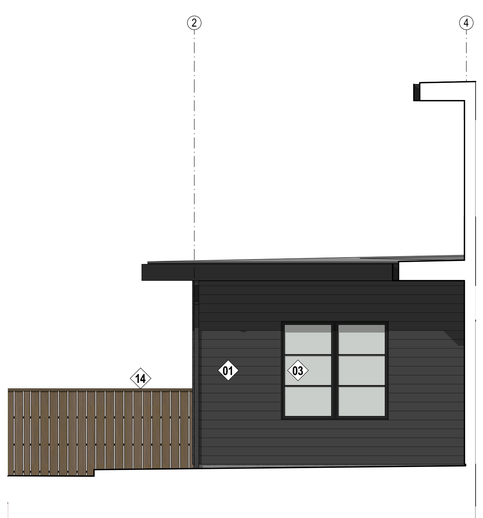
SCALE: 1/4" = 1'-0"

SOUTH ELEVATION (1 / A2.1)

SCALE: 1/4" = 1'-0"

KEY NOTES

- 01 **EXTERIOR WALL MATERIAL 1:** HARDIE SIDING, SHERWIN WILLIAMS "IRON ORE"
- 02 **EXTERIOR WALL MATERIAL 2:** CEDAR SIDING, SEAL WITH CLEAR COAT
- 03 **WINDOWS & DOORS:** CLAD/WOOD COLOR: BLACK
- 04 **SHEET METAL FASCIA/GUTTER:** KYNAR COATED COLOR: BLACK
- 05 **ALUMINUM SUNSHADE:** COLOR: BLACK
- 06 **DOWNSPOUTS:** PAINT TO MATCH WALL COLOR
- 07 **WOOD FENCE:** CEDAR FENCE PAINTED SHERWIN WILLIAMS "IRON ORE"
- 08 **CONCRETE PATIO:**
- 09 **EXTERIOR WALL SCONCE**
- 10 **CONDENSER**
- 11 **SHEET METAL COLOR: BLACK**
- 12 **ELECTRIC METER**
- 13 **METAL COLOR BLACK / GLASS GARAGE DOOR**
- 14 **EXISTING WOOD FENCE**



BACK PATIO WEST ELEVATION (4 / A2.1)

SCALE: 1/4" = 1'-0"

WEST ELEVATION (2 / A2.1)

SCALE: 1/4" = 1'-0"

0' 4' 8'

SCALE: 1/4"=1'-0"

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EXTERIOR ELEVATIONS

SHEET

A2.1

NORTH ELEVATION

SCALE: 1/4" = 1'-0"

1 / A2.2

KEY NOTES

- 01 **EXTERIOR WALL MATERIAL 1:** HARDIE SIDING, SHERWIN WILLIAMS "IRON ORE"
- 02 **EXTERIOR WALL MATERIAL 2:** CEDAR SIDING, SEAL WITH CLEAR COAT
- 03 **WINDOWS & DOORS:** CLAD/WOOD COLOR: BLACK
- 04 **SHEET METAL FASCIA/GUTTER:** KYNAR COATED COLOR: BLACK
- 05 **ALUMINUM SUNSHADE:** COLOR: BLACK
- 06 **DOWNSPOUTS:** PAINT TO MATCH WALL COLOR
- 07 **WOOD FENCE:** CEDAR FENCE PAINTED SHERWIN WILLIAMS "IRON ORE"
- 08 **CONCRETE PATIO:**
- 09 **EXTERIOR WALL SCONCE**
- 10 **CONDENSER**
- 11 **SHEET METAL COLOR: BLACK**
- 12 **ELECTRIC METER**
- 13 **METAL COLOR BLACK / GLASS GARAGE DOOR**
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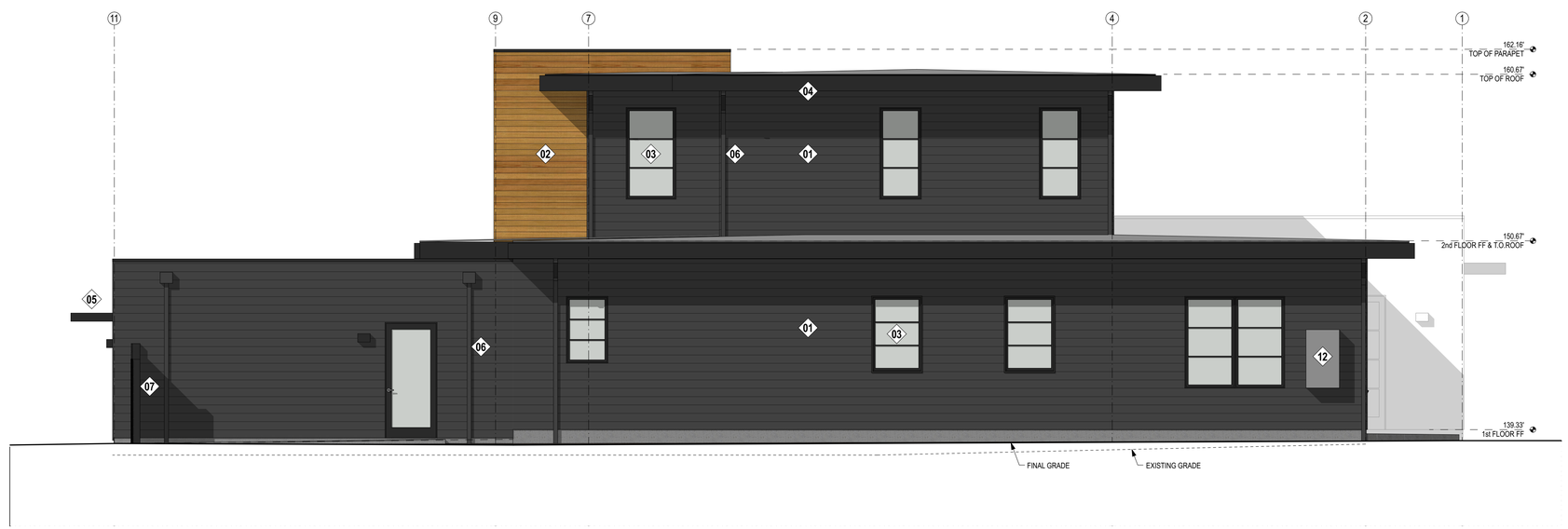
BACK PATIO EAST ELEVATION

SCALE: 1/4" = 1'-0"

3 / A2.2



EAST ELEVATION

SCALE: 1/4" = 1'-0"

2 / A2.2

0' 4' 8'
SCALE: 1/4"=1'-0"

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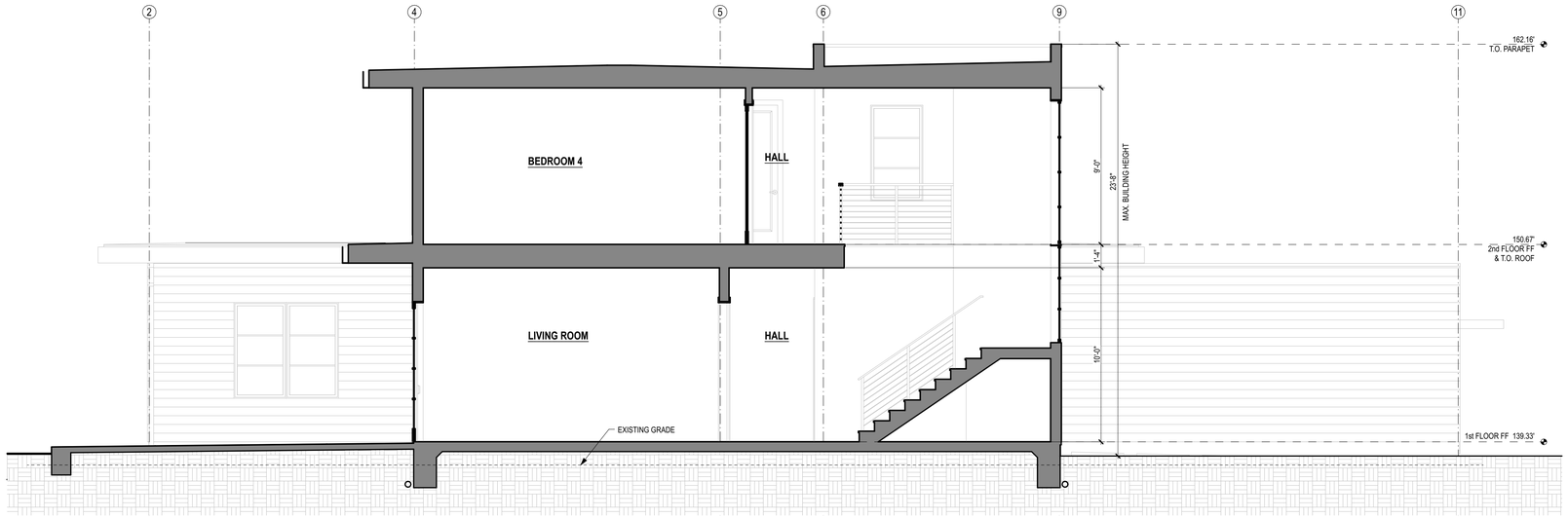
EXTERIOR ELEVATIONS

SHEET

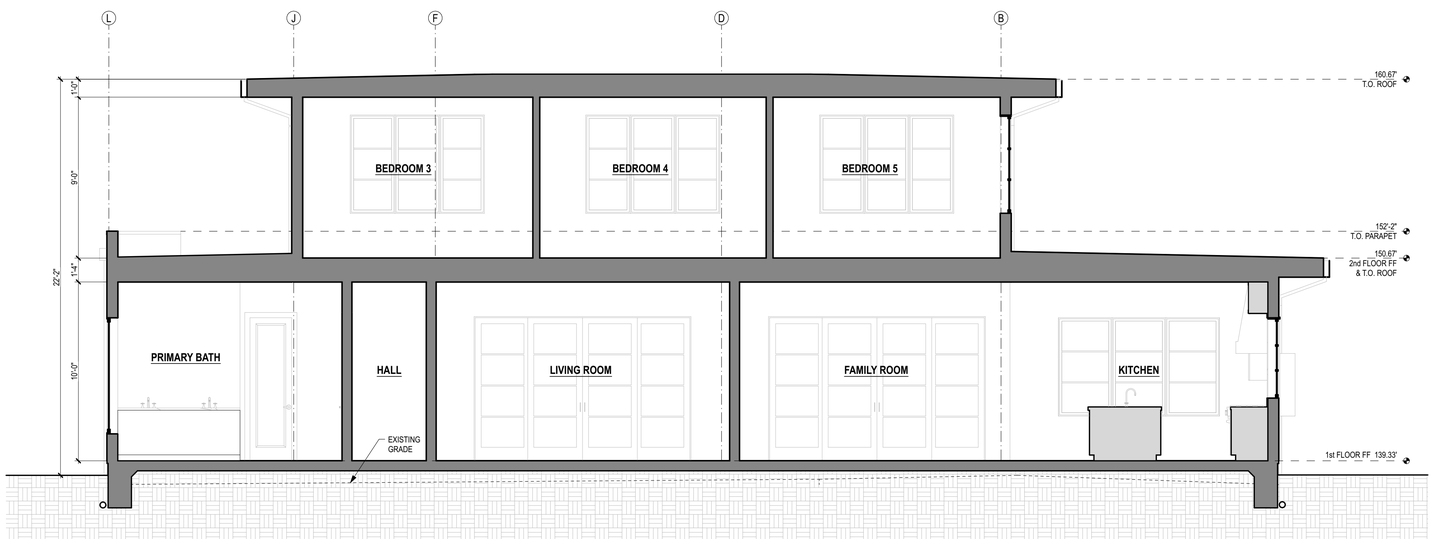
A2.2



A-A SECTION

SCALE: 1/4" = 1'-0"

1
A3.1



B-B SECTION

SCALE: 1/4" = 1'-0"

2
A3.1

0' 4' 8'

SCALE: 1/4"=1'-0"

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BUILDING SECTIONS

SHEET

A3.1

SITE IMPROVEMENT DRAWINGS FOR

ADVANCED BUILDING SOLUTIONS RESIDENCE

SAN ANSELMO

MARIN COUNTY, CALIFORNIA

APN 177-051-08

APRIL 2023

GENERAL

THE DESIGN PROFESSIONAL WHO PREPARED THESE DRAWINGS IS NOT RESPONSIBLE FOR THE MISUSE OF, OR UNAUTHORIZED CHANGES MADE TO THESE DRAWINGS. THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM THE DESIGN PROFESSIONAL WHO PREPARED THESE DRAWINGS PRIOR TO MAKING CHANGES.

THE CONTRACTOR SHALL:

FURNISH AND INSTALL MATERIALS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE CITIES AND COUNTY OF MARIN DATED JUNE 1992, THE UNIFORM CONSTRUCTION STANDARDS OF THE CITIES AND COUNTY OF MARIN DATED MAY 2008, MARIN MUNICIPAL WATER DISTRICT CODE (CURRENT EDITION) AND STANDARD SPECIFICATIONS FOR PRIVATE CONTRACTS (CURRENT EDITION), ROSS VALLEY SANITARY DISTRICT STANDARD SPECIFICATIONS, DRAWINGS, AND APPROVED MATERIALS LIST, AND THE STATE STANDARD PLANS (CURRENT EDITION) AND STATE STANDARD SPECIFICATIONS (CURRENT EDITION).

OBTAIN RELEVANT PERMITS AND APPROVALS REQUIRED BY GOVERNING AGENCIES PRIOR TO COMMENCING WORK.

ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION FOR THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT APPLIES CONTINUOUSLY, AND IS NOT LIMITED TO NORMAL WORKING HOURS.

HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE DESIGN PROFESSIONAL, THEIR CONSULTANTS AND THE COUNTY OF MARIN, FROM LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE WILLFUL MISCONDUCT OR SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

SUBMIT A TRAFFIC CONTROL PLAN TO THE DEPARTMENT OF PUBLIC WORKS AND OBTAIN APPROVAL PRIOR TO COMMENCING WORK IN THE PUBLIC RIGHT-OF-WAY.

PROVIDE A PROPERLY SIGNED ALTERNATE ACCESSIBLE ROUTE OF TRAVEL IF CONSTRUCTION ACTIVITIES IMPACT PEDESTRIAN ACCESS. THIS REQUIREMENT APPLIES CONTINUOUSLY, AND IS NOT LIMITED TO NORMAL WORKING HOURS.

CONTACT UNDERGROUND SERVICE ALERT (811) AT LEAST 48-HOURS BEFORE EXCAVATING.

PROPERLY MUFFLE EQUIPMENT AND LIMIT CONSTRUCTION HOURS TO 7:00 AM TO 6:00 PM MONDAY THROUGH FRIDAY, AND 9:00 AM TO 6:00 PM ON SATURDAY, EXCLUDING HOLIDAYS. THIS RESTRICTION INCLUDES THE STARTUP OF MOTOR VEHICLES AND OTHER HEAVY EQUIPMENT.

REPAIR DAMAGE TO FACILITIES OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES TO RETURN THEM TO THEIR CONDITION PRIOR TO CONSTRUCTION. IF THE CONTRACTOR DOES NOT ACT PRUDENTLY, THE COUNTY OF MARIN MAY, AT ITS DISCRETION PERFORM THE CORRECTION AND CHARGE THE CONTRACTOR FOR COSTS INCURRED.

REMOVE STUMPS AND ROOT FROM THE SOIL TO A DEPTH OF AT LEAST 12-INCHES BELO THE SURFACE OF THE GROUND IN THE AREA TO BE OCCUPIED BY THE BUILDING.

PROVIDE RECORD DRAWINGS TO THE OWNER'S REPRESENTATIVE WHICH INCLUDE IMPROVEMENTS WHICH DEVIATE FROM AND IMPROVEMENTS NOT SHOWN ON THE ORIGINAL DESIGN DRAWINGS.

GRADING

PERFORM GRADING IN CONFORMANCE WITH CHAPTER 18 AND APPENDIX J OF THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE, AND THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT PREPARED BY KC ENGINEERING, DATE NOVEMBER 6, 2023.
PROVIDE PROTECTIVE FENCE AROUND THE DRIP LINES OF TREES WHICH WILL REMAIN FOLLOWING CONSTRUCTION PRIOR TO PERFORMING GRADING OPERATIONS. RETAIN THE SERVICES OF A COUNTY OF MARIN APPROVED ARBORIST PRIOR TO DISTURBING EARTH WITHIN THE ROOT ZONES OF TREES WHICH WILL REMAIN FOLLOWING CONSTRUCTION. PERFORM CONSTRUCTION IN THE ROOT ZONES OF TREES UNDER THE OBSERVATION OF THE PROJECT ARBORIST.

PROVIDE A MOISTURE BARRIER IN AREAS WHERE CURB AND GUTTER ARE ADJACENT TO LANDSCAPING AND WHERE THE SOIL EXPANSION INDEX IS GREATER THAN 51.

REMOVE MATERIAL WHICH WILL NOT BE USED ON SITE AS IT IS EXCAVATED AND DISPOSE OF IN ACCORDANCE WITH THE GOVERNING AGENCY'S REQUIREMENTS.

MAINTAIN A CLEAN CONSTRUCTION SITE TO PREVENT THE INTRODUCTION OF FOREIGN MATERIALS INTO THE STORM WATER CONVEYANCE SYSTEM. ACTIVITY DURING CONSTRUCTION WHICH RESULTS IN THE DISCHARGE OF POLLUTANTS TO THE STORM WATER CONVEYANCE SYSTEM IS IN VIOLATION OF THE COUNTY OF MARIN CODE OF ORDINANCES AND THE SAN FRANCISCO BAY REGIONAL WATER QUALITY CONTROL BOARD'S REGULATIONS.

PROVIDE DUST CONTROL THROUGHOUT THE DURATION OF THE CONSTRUCTION PROJECT TO MINIMIZE AIRBORNE POLLUTANTS.

STOP WORK IF CONTAMINATED MATERIAL IS ENCOUNTERED. PREPARE A WORK PLAN AND ACQUIRE APPROVAL IN WRITING FROM THE MARIN COUNTY FIRE DEPARTMENT AND THE SAN FRANCISCO BAY REGIONAL WATER QUALITY CONTROL BOARD PRIOR TO RESUMING WORK.

IF, DURING THE COURSE OF CONSTRUCTION, CULTURAL, ARCHAEOLOGICAL OR PALEONTOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE (SURFACE OR SUBSURFACE RESOURCES) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. THE COUNTY OF MARIN PLANNING DIVISION AND A QUALIFIED ARCHAEOLOGIST (I.E., AN ARCHAEOLOGIST REGISTERED WITH THE SOCIETY OF PROFESSIONAL ARCHAEOLOGISTS) SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE INDIVIDUAL PRESENT ON SITE. WHEN CONTACTED, THE PROJECT PLANNER AND THE ARCHAEOLOGIST SHALL IMMEDIATELY VISIT THE SITE TO DETERMINE THE EXTENT OF THE RESOURCES AND TO DEVELOP PROPER MITIGATION MEASURES REQUIRED FOR THE DISCOVERY.

THE CALIFORNIA BUILDING CODE REQUIRES THAT MATERIALS USED FOR THE CONSTRUCTION OF PERMANENT STRUCTURES LOCATED NEARER THAN 6-INCHES TO EARTH BE TREATED, OR OF NATURAL RESISTANCE TO DECAY. ELEVATIONS HAVE BEEN ESTABLISHED WITH THIS SET OF CIVIL DRAWINGS, WHICH MAY REQUIRE THE IMPLEMENTATION OF A RAISED CURB ALONG THE PERIMETER OF THE BUILDING WHERE ADJACENT TO LANDSCAPE AREAS. THE CONTRACTOR SHALL COORDINATE THE LOCATION(S) OF RAISED CURBS PRIOR TO POURING THE CONCRETE SLAB.

THE CONTRACTOR SHALL NOT IMPEDE DRAINAGE FROM EXISTING UPSTREAM PROPERTIES. THE CONTRACTOR SHALL PLACE STOCKPILES AWAY FROM CREEK SETBACKS, AWAY FROM VEGETATION DESIGNATED TO REMAIN, A MINIMUM OF 10-FEET FROM ADJACENT EXISTING RESIDENTIAL PARCELS, AND A MINIMUM OF 50-FEET FROM ADJACENT EXISTING RESIDENTIAL PARCELS WHERE THE STOCK PILE DEPTH EXCEEDS 2.5-FEET.

A PROTECTION ZONE SHALL BE ESTABLISHED TO PROTECT NATURAL VEGETATION AND TREES (WHICH WILL REMAIN FOLLOWING CONSTRUCTION) FROM CONSTRUCTION ACTIVITIES. THE FOLLOWING CONDITIONS AND RESTRICTIONS SHALL APPLY:

I. THE ZONE SHALL ENCOMPASS THE "PROTECTED PERIMETER" WHICH SHALL BE EITHER THE ROOT ZONE OR OTHER LIMIT AS ESTABLISHED IN THIS APPROVAL.
II. THE ZONE SHALL BE DELINEATED WITH A BRIGHTLY COLORED CONSTRUCTION FENCE. SUCH FENCES SHALL REMAIN CONTINUOUSLY IN PLACE FOR THE DURATION OF ALL WORK UNDERTAKEN ON THE SITE.
III. NO STORAGE OR CONSTRUCTION ACTIVITIES (INCLUDING TRENCHING, GRADING OR FILLING) SHALL BE PERMITTED WITHIN THE PROTECTED ZONE.
IV. NO BURNING OR USE OF EQUIPMENT WITH AN OPEN FLAME SHALL OCCUR NEAR OR WITHIN THE PROTECTED PERIMETER.
V. BRUSH, EARTH AND OTHER DEBRIS SHALL BE REMOVED IN A MANNER WHICH PREVENTS INJURY TO THE PROTECTED TREES AND/OR SHRUBS.
VI. NO OIL, GAS, CHEMICALS OR OTHER SUBSTANCES THAT MAY BE HARMFUL TO TREES SHALL BE STORED OR DUMPED WITHIN THE PROTECTED PERIMETER OR ANY OTHER LOCATION FROM WHICH SUBSTANCES MIGHT ENTER THE PERIMETER OF A PROTECTED TREE.

THE PROTECTION ZONE DELINEATED WITH THE BRIGHTLY COLORED CONSTRUCTION FENCE SHALL BE POSTED WITH SIGNS WHICH STATE "TREE/VEGETATION PROTECTION ZONE--NO CONSTRUCTION OR STORAGE PERMITTED." ANY SPECIAL WORK, INCLUDING MITIGATION, WITHIN THE "PROTECTION ZONE" MUST BE DONE UNDER THE SUPERVISION OF A COUNTY APPROVED CERTIFIED ARBORIST.

SEE ARBORIST'S REPORT FOR THE TREES TO BE REMOVED OR PROTECTED.

THE ENGINEER SHALL CERTIFY TO THE COUNTY IN WRITING UPON THE COMPLETION OF WORK THAT ALL GRADING AND DRAINAGE IMPROVEMENTS WERE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND FIELD DIRECTION. BE AWARE THAT A DEPARTMENT OF PUBLIC WORKS ENGINEER WILL NEED TO INSPECT AND ACCEPT WORK AFTER RECEIPT OF THE CERTIFICATION LETTER. CERTIFICATION LETTERS SHALL REFERENCE BUILDING PERMIT NUMBER OR NUMBERS FOR SPECIFIC WORK BEING CERTIFIED, THE ADDRESS OF THE PROPERTY AND THE ASSESSOR'S PARCEL NUMBER (APN), AND SHALL BE SIGNED AND STAMPED BY THE CERTIFYING PROFESSIONAL.

UTILITIES

THE CONTRACTOR SHALL:

EXPOSE EXISTING UTILITIES PRIOR TO TRENCHING TO VERIFY THE ALIGNMENTS AND ELEVATIONS OF THE UTILITIES, AND TO VERIFY DESIGN ASSUMPTIONS. EXISTING UTILITIES MAY REQUIRE RELOCATION AND/OR PROPOSED IMPROVEMENTS MAY REQUIRE GRADE OR ALIGNMENT REVISION DUE TO FIELD CONDITIONS. IF THE EXPOSED UTILITY IS DETERMINED TO BE IN A LOCATION WHICH IS NOT REFLECTED BY THE CONSTRUCTION DOCUMENTS, NOTIFY THE ENGINEER IN WRITING SO THAT APPROPRIATE ADJUSTMENTS CAN BE MADE.

REPORT UTILITY CONFLICTS TO THE OWNER'S REPRESENTATIVE IN WRITING AS THEY ARE ENCOUNTERED SO THAT THE OWNER AND OWNER'S REPRESENTATIVE CAN MAKE A DECISION AS TO HOW THE CONTRACTOR SHOULD PROCEED WITH THE WORK.

COORDINATE WITH UTILITY COMPANIES, FURNISH, INSTALL, TEST AND OBTAIN INSPECTIONS FOR UNDERGROUND IMPROVEMENTS PRIOR TO SURFACING.

UNLESS OTHERWISE, PROVIDE ADS N12 OR EQUIVALENT HDPE PIPE NOTED WHERE ANNOTATED AS STORM DRAIN (SD) ON THIS DRAWING.

PROVIDE TRENCHING FOR SANITARY SEWER UTILITIES IN ACCORDANCE WITH ROSS VALLEY SANITARY DISTRICT STANDARD SPECIFICATIONS AND DRAWINGS AND FOR OTHER UTILITIES IN ACCORDANCE WITH THE UNIFORM CONSTRUCTION STANDARDS OF THE CITIES AND COUNTY OF MARIN DRAWING NUMBERS 330, 340 AND 350.

COORDINATE WITH UTILITY COMPANIES, FURNISH, INSTALL, TEST AND OBTAIN INSPECTIONS FOR UNDERGROUND IMPROVEMENTS PRIOR TO SURFACING.

OTHER FORCES WILL BE ENGAGED IN INSTALLING, IN MAKING ADJUSTMENTS TO AND/OR IN RELOCATING VARIOUS FACILITIES THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL COORDINATE WORK AROUND OTHER FORCES IN A MANNER THAT DOES NOT PROLONG THE CONTRACT TIME.

EXISTING UNDERGROUND FACILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND HAVE BEEN LOCATED BASED ON TOPOGRAPHIC FEATURES AND AVAILABLE INFORMATION. THE PROFESSIONAL WHO PREPARED THESE DRAWINGS, THE OWNER, AND THE COUNTY OF MARIN ASSUME NO RESPONSIBILITY FOR THE ACCURACY OF THESE FACILITIES OR FOR THE INADVERTENT OMISSION OF RELATED INFORMATION.

THE CONTRACTOR IS CAUTIONED NOT TO ORDER PRECAST ITEMS OR INSTALL IMPROVEMENTS UNTIL CONFLICTS ARE RESOLVED. IMPROVEMENTS INSTALLED OR ORDERED PRIOR TO CONFLICT RESOLUTION SHALL BE DONE SOLELY AT THE CONTRACTOR'S RISK AND AT NO EXPENSE TO THE OWNER, THE DESIGN PROFESSIONAL, THE TOWN OF MARIN, OR THE COUNTY OF MARIN.

UTILITY CONFLICTS MAY OCCUR IN THOSE INSTANCES WHERE TWO GRAVITY UTILITIES CROSS AND LACK THE REQUIRED SEPARATION, OR IN THOSE INSTANCES WHERE AN EXISTING UTILITY HAS NOT BEEN IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.

CROSSING UTILITIES WHICH HAVE BEEN IDENTIFIED IN THE CONSTRUCTION DOCUMENTS MAY NOT BE CONSTRUED AS UTILITY CONFLICTS. THE CONTRACTOR SHALL INSTALL GRAVITY UTILITIES TO THE LINES AND ELEVATIONS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS AND INSTALL OTHER UTILITIES ABOVE OR BELOW GRAVITY UTILITIES WHILE COMPLYING WITH THE MINIMUM COVER REQUIREMENTS FOR EACH UTILITY INSTALLED.

EARTHWORK:

EARTHWORK QUANTITIES ARE APPROXIMATE AND HAVE BEEN SUMMARIZED ON THESE DRAWINGS TO PROVIDE THE REVIEWING AGENCY WITH AN OPINION OF HOW MUCH MATERIAL MAY BE MOVED TO FACILITATE THE PROPOSED IMPROVEMENTS.

OPINION OF PROBABLE EARTHWORK QUANTITIES	
DISTURBED AREA	0.41 ACRES
SOIL MOVED ON SITE *	260 CUBIC YARDS
FILL	330 CUBIC YARDS

*SOIL MOVED ON SITE IS ANY SOIL EXCAVATED (CUT) AS A RESULT OF STRIPPING OR GRADING ACTIVITIES AND REUSED ON THE PROJECT SITE AS FILL.

IMPERVIOUS SURFACE AREA	
TOTAL PRE-PROJECT IMPERVIOUS	215 SQUARED FEET
TOTAL POST-PROJECT IMPERVIOUS	6,200 SQUARED FEET
TOTAL IMPERVIOUS	6,415 SQUARED FEET

VICINITY MAP
NOT TO SCALE

INDEX OF DRAWINGS

C1. PROJECT INFORMATION
C2. GRADING & UTILITY PLAN
C3. EROSION & SEDIMENT CONTROL PLAN

SYMBOLS & LEGEND

EXISTING / PROPOSED

- BENCHMARK
- IRON PIPE
- BLOW OFF
- VALVE
- CHECK VALVE
- BACKFLOW PREVENTION DEVICE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- POST INDICATOR VALVE
- REDUCER
- RISER
- UTILITY POLE
- GUY ANCHOR
- CLEANOUT/DOWNSPOUT
- DROP INLET
- TREE
- TREE CLUSTER
- TREE TO BE REMOVED
- PROPERTY LINE
- GRADE BREAK
- FLOW LINE
- FENCE
- TREE PROTECTION FENCE
- SIZE" SS-LENGTH' — SANITARY SEWER
- SIZE" SD-LENGTH' — STORM DRAIN
- SIZE" W-LENGTH' — WATER
- OVHU — OVERHEAD UTILITY LINE
- G — UNDERGROUND GAS LINE
- ASPHALT
- ASPHALT GRIND & OVERLAY
- CONCRETE
- GRAVEL
- VALLEY GUTTER
- BIORETENTION AREA
- INV — INVERT AT CLEANOUT
- ? — KEYNOTE
- 1 / C1 — DETAIL IDENTIFICATION / SHEET WHERE DETAIL IS SHOWN
- A / C2 — CROSS SECTION IDENTIFICATION / SHEET WHERE CROSS SECTION IS SHOWN

GENERAL NOTES

THE PROPOSED DEVELOPMENT WILL BE IN CONFORMANCE WITH THE CITY OF SAN RAFAEL ZONING CODE, GENERAL PLAN AND DESIGN & CONSTRUCTION STANDARDS OR AS APPROVED BY THE REVIEWING AGENCY.

WATER SUPPLY -----MARIN MUNICIPAL WATER DISTRICT

SEWAGE DISPOSAL -----ROSS VALLEY SANITARY DISTRICT

PRESENT ZONING -----R1-BD RESIDENTIAL SINGLE FAMILY

PROPOSED ZONING -----R1-BD RESIDENTIAL SINGLE FAMILY

GRADING NOTES

SOILS ON THIS SITE ARE NOT ANTICIPATED TO PROHIBIT THIS TYPE OF DEVELOPMENT.

PROVISIONS FOR EROSION CONTROL WILL BE INCORPORATED INTO THIS PROJECT.

DEVELOPER: ADVANCED BUILDING SOLUTIONS
855 LAKEVILLE STREET, SUITE 200
PETALUMA, CA. 94952
PH: (707) 206-4044

CIVIL ENGINEER: BKF ENGINEERS
200 4TH ST, STE. 300
SANTA ROSA, CA. 95401
PH: (707) 583-8500
FAX: (707) 583-8539

ARCHITECT: POLSKY PERLSTEIN ARCHITECTS
469 B MAGNOLIA AVE,
LARKSPUR, CA. 94939
PH: (415)-927-1156

LANDSCAPE ARCHITECT: IMPRINTS LANDSCAPE ARCHITECTURE
202 ROSEMONT AVE,
MILL VALLEY, CA. 94941
PH: (415)-380-0755

GEOTECHNICAL ENGINEER: KC ENGINEERING COMPANY
865 COTTING LANE, SUITE A
VACAVILLE, CA. 95688
PH: (707) 447-4025
FAX: (707) 447-4143

ABBREVIATIONS

±	MORE OR LESS	MAX	MAXIMUM
Δ	DELTA	MB	MAILBOX
AB	AGGREGATE BASE	MH	MANHOLE
AC	ASPHALT CONCRETE	MIN	MINIMUM
AD	AREA DRAIN	MON	MONUMENT
APN	ASSESSOR'S PARCEL NUMBER	NO	NUMBER
BC	BEGIN CURVE	NTS	NOT TO SCALE
BCT	BEGIN CURB TRANSITION	OVH	OVERHEAD UTILITY LINE
BFP	BACKFLOW PREVENTER	OR	OFFICIAL RECORDS
BLDG	BUILDING	PAD	PAD GRADE
BLRD	BOLLARD	PCC	PORTLAND CEMENT CONCRETE
BM	BENCHMARK	PG&E	PACIFIC GAS & ELECTRIC
BO	BLOWOFF	PIV	POST INDICATOR VALVE
BSL	BUILDING SETBACK LINE	PL	PROPERTY LINE
CB	CATCH BASIN	PTC	PROJECTED TOP OF CURB
CC	POINT OF COMPOUND CURVE	PUE	PUBLIC UTILITY EASEMENT
CL	CENTERLINE	PVI	POINT OF VERTICAL INTERSECTION
CL2	CLASS II	PVT	PRIVATE
CO	CLEAN OUT	R	RADIUS
CONC	CONCRETE	RC	POINT OF REVERSE CURVE
CY	CUBIC YARD	RSPR	RIPRAP ROCK SLOPE PROTECTION
DDC	DOUBLE DETECTOR CHECK	RTWL	RETAINING WALL
DI	DROP INLET	R/W	RIGHT OF WAY
DIA	DIAMETER	S=	SLOPE
DN	DOCUMENT NUMBER	SD	STORM DRAIN
DS	RAINWATER DOWN SPOUT	SDCO	STORM DRAIN CLEAN OUT
DW	DRIVEWAY	SDMH	STORM DRAIN MANHOLE
E	ELECTRIC	SF	SQUARE FEET
ECT	END CURB TRANSITION	SL	STREETLIGHT
EG	EXISTING GROUND	SO	SIDE OPENING
ELEV	ELEVATION	SS	SANITARY SEWER
EP	EDGE OF PAVEMENT	SSCO	SANITARY SEWER CLEAN OUT
ER	EDGE OF ROAD	SSMH	SANITARY SEWER MANHOLE
ESMT	EASEMENT	STA	STATION
EX	EXISTING	STD	STANDARD
FDC	FIRE DEPARTMENT CONNECTION	TB	TOP OF BOX
FF	FINISHED FLOOR	TC	TOP FACE OF CURB
FG	FINISHED GRADE	TEL	TELECOMMUNICATION LINE
FH	FIRE HYDRANT	TF	TRANSFORMER
FL	SURFACE FLOWLINE	TG	TOP OF GRATE
FT	FOOT	TS	TRAFFIC SIGNAL
G	GAS	TV	TELEVISION
GB	GRADE BREAK	TW	TOP OF WALL
GI	GRATE INLET	TYP	TYPICAL
GM	GAS METER	UB	UTILITY BOX
HDRL	HANDRAIL	UP	UTILITY POLE
HORZ	HORIZONTAL	UT	UNDERGROUND UTILITY LINE
HT	HEIGHT	W	WATER
INV	BOTTOM INSIDE OF PIPE	WL	WHITE LINE
IP	IRON PIPE	WM	WATER METER
IR	IRRIGATION	WS	WATER SERVICE
L	LENGTH	YD	YARD DRAIN
LP	LIGHT POLE		

TOPOGRAPHIC NOTES

UNAUTHORIZED CHANGES & USES: THE PROFESSIONAL PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. CHANGES TO THIS MAP MUST BE REQUESTED IN WRITING AND MUST BE APPROVED BY THE PROFESSIONAL.

THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND ARE BASED ON OBSERVED TOPOGRAPHIC SURFACE FEATURES AND AVAILABLE INFORMATION. UTILITY SIZES WERE TAKEN FROM PUBLIC SOURCES SUCH AS EXISTING IMPROVEMENT DRAWINGS. THE PROFESSIONAL PREPARING THIS MAP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THESE FACILITIES OR FOR THE INADVERTENT OMISSION OF RELATED INFORMATION.

CONTOURS HAVE BEEN INTENTIONALLY OMITTED FROM THIS DRAWING FOR CLARITY, BECAUSE THE SITE IS RELATIVELY FLAT, AND THEY WILL NOT PROVIDE ANY DISCERNABLE ADDITIONAL INFORMATION.

TREE DIAMETERS ARE MEASURED AT CHEST HEIGHT (48"). DRIPLINE DIAMETERS AND TREE SPECIES ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

BOUNDARY, EASEMENT AND SETBACK INFORMATION SHOWN HEREON WAS OBTAINED PRELIMINARY TITLE REPORT CAL LAND TITLE ON SEPTEMBER 1 2022, MARIN COUNTY RECORDS.

BASIS OF BEARINGS: RECORD OF SURVEY OF THE LANDS OF HAMILTON, FILED FOR RECORD IN BOOK 2009 OF MAPS, AT PAGE 120, MARIN COUNTY RECORDS.

THE BEARINGS AND DISTANCES DO NOT REFLECT A FIELD SURVEY AND DO NOT CONSTITUTE A FORMAL BOUNDARY DETERMINATION.

BENCHMARK: SQUARE BOLT IN MONUMENT WELL IN FAWN DRIVE, LOCATION SHOWN HEREON. ELEVATION: 136.48 (DATUM NAVD 88 BASED ON GPS OBSERVATION).

FIELD SURVEY DATE: 10/17/2022

REGISTERED PROFESSIONAL ENGINEER WILLIAM J. BORIOLO No. C-75905 CIVIL STATE OF CALIFORNIA

C 75905
04-04-2023
WILLIAM J. BORIOLO

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ADVANCED BUILDING SOLUTIONS RESIDENCE
APN 177-051-08
SAN ANSELMO, CALIFORNIA

PROJECT INFORMATION

No.	Revisions

Date: APR 2023
Scale: AS SHOWN
Design: RHS
Drawn: TI/AM
Approved: RHS
Job No: 20220285-12

Drawing Number:
C1
1 OF 3

PM: Apr 04, 2023 at 12:13pm
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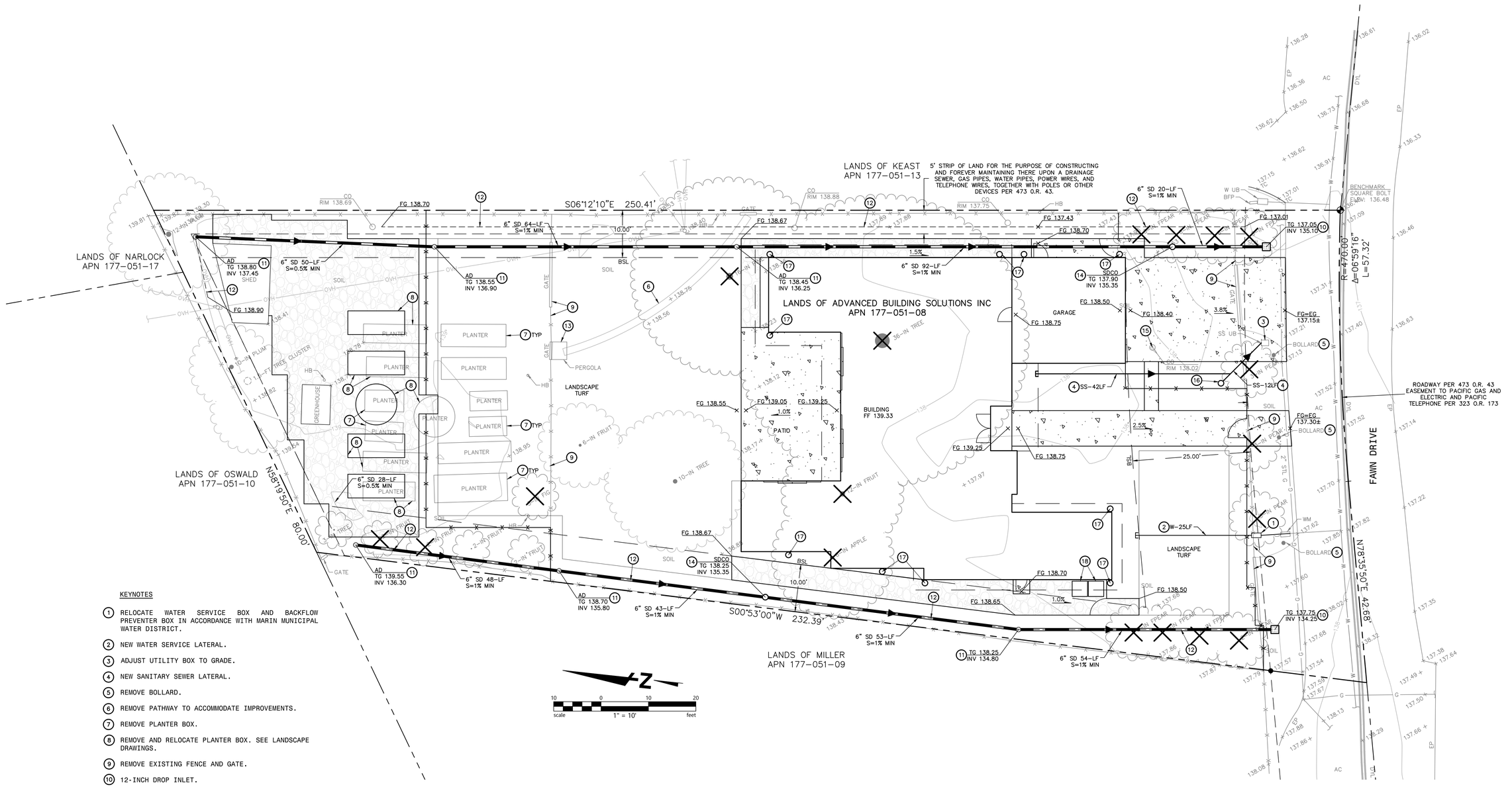

KEYNOTES

1. RELOCATE WATER SERVICE BOX AND BACKFLOW PREVENTER BOX IN ACCORDANCE WITH MARIN MUNICIPAL WATER DISTRICT.
2. NEW WATER SERVICE LATERAL.
3. ADJUST UTILITY BOX TO GRADE.
4. NEW SANITARY SEWER LATERAL.
5. REMOVE BOLLARD.
6. REMOVE PATHWAY TO ACCOMMODATE IMPROVEMENTS.
7. REMOVE PLANTER BOX.
8. REMOVE AND RELOCATE PLANTER BOX. SEE LANDSCAPE DRAWINGS.
9. REMOVE EXISTING FENCE AND GATE.
10. 12-INCH DROP INLET.
11. AREA DRAIN.
12. GRADE BREAK.
13. REMOVE PERGOLA.
14. STORMDRAIN CLEANOUT.
15. REMOVE SANITARY SEWER CLEANOUT.
16. NEW SANITARY SEWER CLEANOUT PER ROSS VALLEY SANITARY DISTRICT.
17. DOWNSPOUT. SEE ARCHITECTURAL PLANS.
18. CONDENSERS. SEE ARCHITECTURAL PLANS.

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ADVANCED BUILDING SOLUTIONS RESIDENCE

APN 177-051-08
SAN ANSELMO, CALIFORNIA

GRADING & UTILITY PLAN

Revisions	No.

Date: APR 2023
Scale: AS SHOWN
Design: RHS
Drawn: IT/AM
Approved: RHS
Job No: 20220285-12

Drawing Number:

C2

2 OF 3

2202285-12_SITE.dwg
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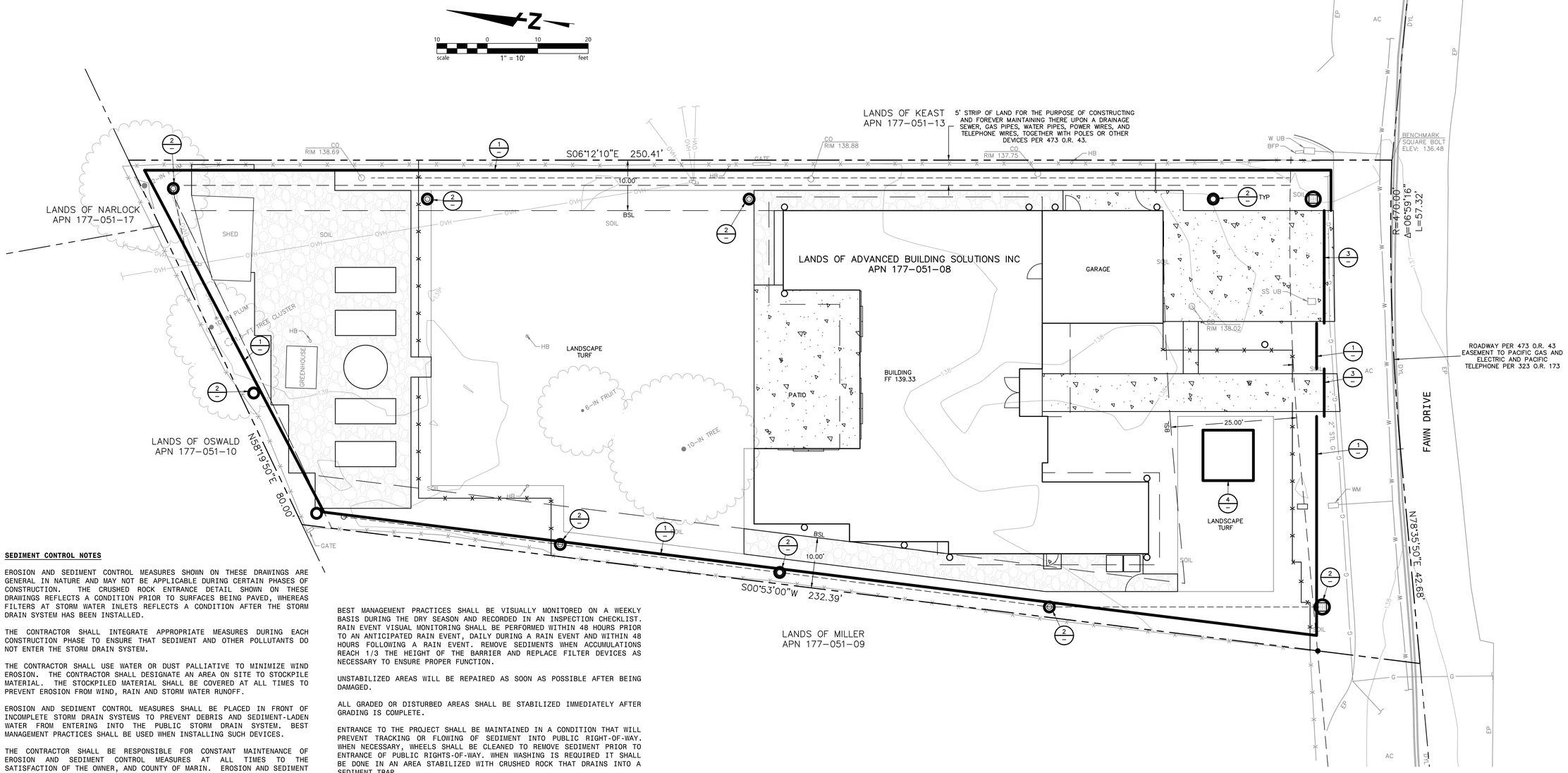


SEDIMENT CONTROL NOTES

EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THESE DRAWINGS ARE GENERAL IN NATURE AND MAY NOT BE APPLICABLE DURING CERTAIN PHASES OF CONSTRUCTION. THE CRUSHED ROCK ENTRANCE DETAIL SHOWN ON THESE DRAWINGS REFLECTS A CONDITION PRIOR TO SURFACES BEING PAVED, WHEREAS FILTERS AT STORM WATER INLETS REFLECTS A CONDITION AFTER THE STORM DRAIN SYSTEM HAS BEEN INSTALLED.

THE CONTRACTOR SHALL INTEGRATE APPROPRIATE MEASURES DURING EACH CONSTRUCTION PHASE TO ENSURE THAT SEDIMENT AND OTHER POLLUTANTS DO NOT ENTER THE STORM DRAIN SYSTEM.

THE CONTRACTOR SHALL USE WATER OR DUST PALLIATIVE TO MINIMIZE WIND EROSION. THE CONTRACTOR SHALL DESIGNATE AN AREA ON SITE TO STOCKPILE MATERIAL. THE STOCKPILED MATERIAL SHALL BE COVERED AT ALL TIMES TO PREVENT EROSION FROM WIND, RAIN AND STORM WATER RUNOFF.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED IN FRONT OF INCOMPLETE STORM DRAIN SYSTEMS TO PREVENT DEBRIS AND SEDIMENT-LADEN WATER FROM ENTERING INTO THE PUBLIC STORM DRAIN SYSTEM. BEST MANAGEMENT PRACTICES SHALL BE USED WHEN INSTALLING SUCH DEVICES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTANT MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES TO THE SATISFACTION OF THE OWNER, AND COUNTY OF MARIN. EROSION AND SEDIMENT CONTROL MEASURES AND THEIR INSTALLATION SHALL BE ACCOMPLISHED USING BEST MANAGEMENT PRACTICES.

IF THE STORM DRAIN SYSTEM IS NOT INSTALLED PRIOR TO A PRECIPITATION EVENT, ADDITIONAL MEASURES SHALL BE TAKEN SUCH AS TEMPORARY SETTLING BASINS WHICH MEET THE SATISFACTION OF THE OWNER, AND THE COUNTY OF MARIN. SILT AND/OR CATCH BASINS MUST BE CLEANED OUT ON A REGULAR BASIS AFTER STORMS TO MAINTAIN DESIGN CAPACITY.

STORM WATER RUNOFF FROM THE CONSTRUCTION SITE SHALL BE DIRECTED TOWARD AN INLET WITH A SEDIMENT OR FILTRATION INTERCEPTOR PRIOR TO ENTERING THE STORM DRAIN SYSTEM.

THE CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING WATER THAT HAS BECOME POLLUTED DUE TO NOT TAKING NECESSARY EROSION AND SEDIMENT CONTROL ACTIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF MUD AND DEBRIS CARRIED ONTO SURROUNDING STREETS AND ROADS AS A RESULT OF CONSTRUCTION ACTIVITY ON THE SITE TO THE SATISFACTION OF THE COUNTY OF MARIN.

ANY DENUDED OR DISTURBED SOILS SHALL BE PROTECTED USING BEST MANAGEMENT PRACTICES.

PRIOR TO AND DURING A PRECIPITATION EVENT, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE IS TO BE MAINTAINED BY THE DEVELOPER, CONTRACTOR OR OWNER SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF LEAVES THE SITE.

THE CONTRACTOR SHALL INFORM ALL CONSTRUCTION SITE WORKERS ABOUT THE MAJOR PROVISIONS OF THE EROSION AND SEDIMENT CONTROL PLAN AND SEEK THEIR COOPERATION IN AVOIDING THE DISTURBANCE OF THESE CONTROL MEASURES.

BEST MANAGEMENT PRACTICES SHALL BE VISUALLY MONITORED ON A WEEKLY BASIS DURING THE DRY SEASON AND RECORDED IN AN INSPECTION CHECKLIST. RAIN EVENT VISUAL MONITORING SHALL BE PERFORMED WITHIN 48 HOURS PRIOR TO AN ANTICIPATED RAIN EVENT, DAILY DURING A RAIN EVENT AND WITHIN 48 HOURS FOLLOWING A RAIN EVENT. REMOVE SEDIMENTS WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE BARRIER AND REPLACE FILTER DEVICES AS NECESSARY TO ENSURE PROPER FUNCTION.

UNSTABILIZED AREAS WILL BE REPAIRED AS SOON AS POSSIBLE AFTER BEING DAMAGED.

ALL GRADED OR DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE.

ENTRANCE TO THE PROJECT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHT-OF-WAY. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE OF PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED ROCK THAT DRAINS INTO A SEDIMENT TRAP.

ALL SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY USING BEST MANAGEMENT PRACTICES.

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR PURPOSE SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED OR REPLACED WHEN THEY ARE NO LONGER FUNCTIONING.

THE CONTRACTOR SHALL HAVE EROSION AND SEDIMENT CONTROL MEASURES ON SITE ADEQUATE TO PROTECT THE ENTIRE SITE SUCH THAT IT IS IMMEDIATELY AVAILABLE IN PREPARATION OF A PRECIPITATION EVENT.

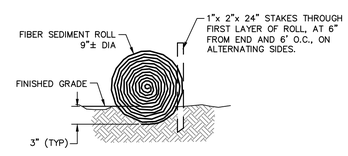
THE CONTRACTOR SHALL DISPOSE OF UNUSED CONSTRUCTION MATERIALS AND WASTE PRIOR TO THE COMPLETION OF CONSTRUCTION.

AFTER CONSTRUCTION IS COMPLETE ALL STORM DRAIN SYSTEMS ASSOCIATED WITH THIS PROJECT SHALL BE INSPECTED AND CLEARED OF ACCUMULATED SEDIMENTS AND DEBRIS.

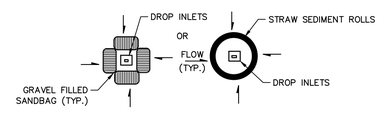
GRADED AREAS TO BE SEEDED FOR EROSION CONTROL SHALL USE GRASS SEED AT THE RATE OF 75-100/LBS. PER ACRE. SEEDED AREAS SHALL BE IRRIGATED TO ENSURE COVER IS ESTABLISHED PRIOR TO THE RAINY SEASON.

HYDROSEED SHALL BE EITHER APPLIED MECHANICALLY OR BY HYDROSEEDING. HYDROSEEDING REQUIRES THE APPLICATION OF FIBER AND STABILIZING EMULSION. MECHANICAL APPLICATION SHALL REQUIRE ROLLING, TAMPING, OR OTHERWISE WORKING THE SEED APPROXIMATELY 0.5 INCHES INTO THE TOPSOIL.

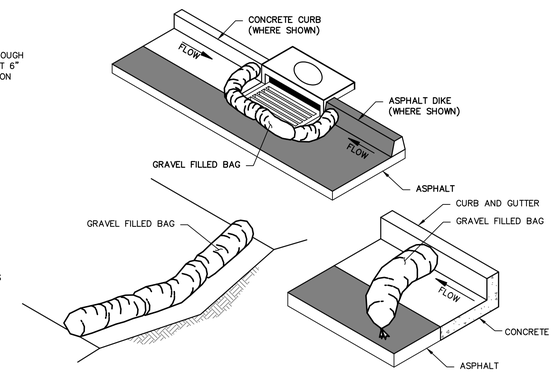
STABILIZATION OF EXPOSED GRADED AREAS WITH STRAW MULCH SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE.



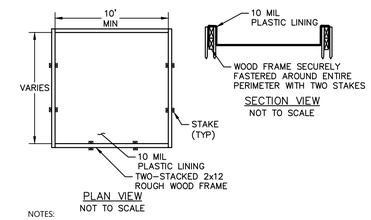
1 FIBER ROLL DETAIL
NTS



2 TYPICAL SEDIMENT DEVICES
NTS



3 GRAVEL BAG
NTS



NOTES:

1. LOCATION IN PLAN SHOWN FOR GRAPHIC PURPOSE ONLY. LOCATION TO BE APPROVED BY INSPECTOR.
2. CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. CONSTRUCT A BERMED AREA LARGE ENOUGH FOR LIQUID AND WASTE CONCRETE MATERIALS GENERATED DURING WASHOUT PROCEDURES. WASHOUT WASTES INTO THE TEMPORARY WASHOUT WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED PROPERLY. WASHOUT SHOULD BE LINED WITH A 10 MIL PLASTIC SO THERE IS NO DISCHARGE INTO THE UNDERLYING SOIL. REFER TO PROJECT SWPPP FOR BMP INSPECTION AND MAINTENANCE.

4 CONCRETE WASHOUT DETAIL
NTS

REGISTERED PROFESSIONAL ENGINEER WILLIAM J. BORIOLO No. C-75905 CIVIL STATE OF CALIFORNIA

04-04-2023
C 75905
WILLIAM J. BORIOLO

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ADVANCED BUILDING SOLUTIONS RESIDENCE
APN 177-051-08
SAN ANSELMO, CALIFORNIA

EROSION & SEDIMENT CONTROL PLAN

No.	Revisions

Date: APR 2023
Scale: AS SHOWN
Design: RHS
Drawn: TJ/AM
Approved: RHS
Job No: 202202285-12

Drawing Number:
C3
3 OF 3

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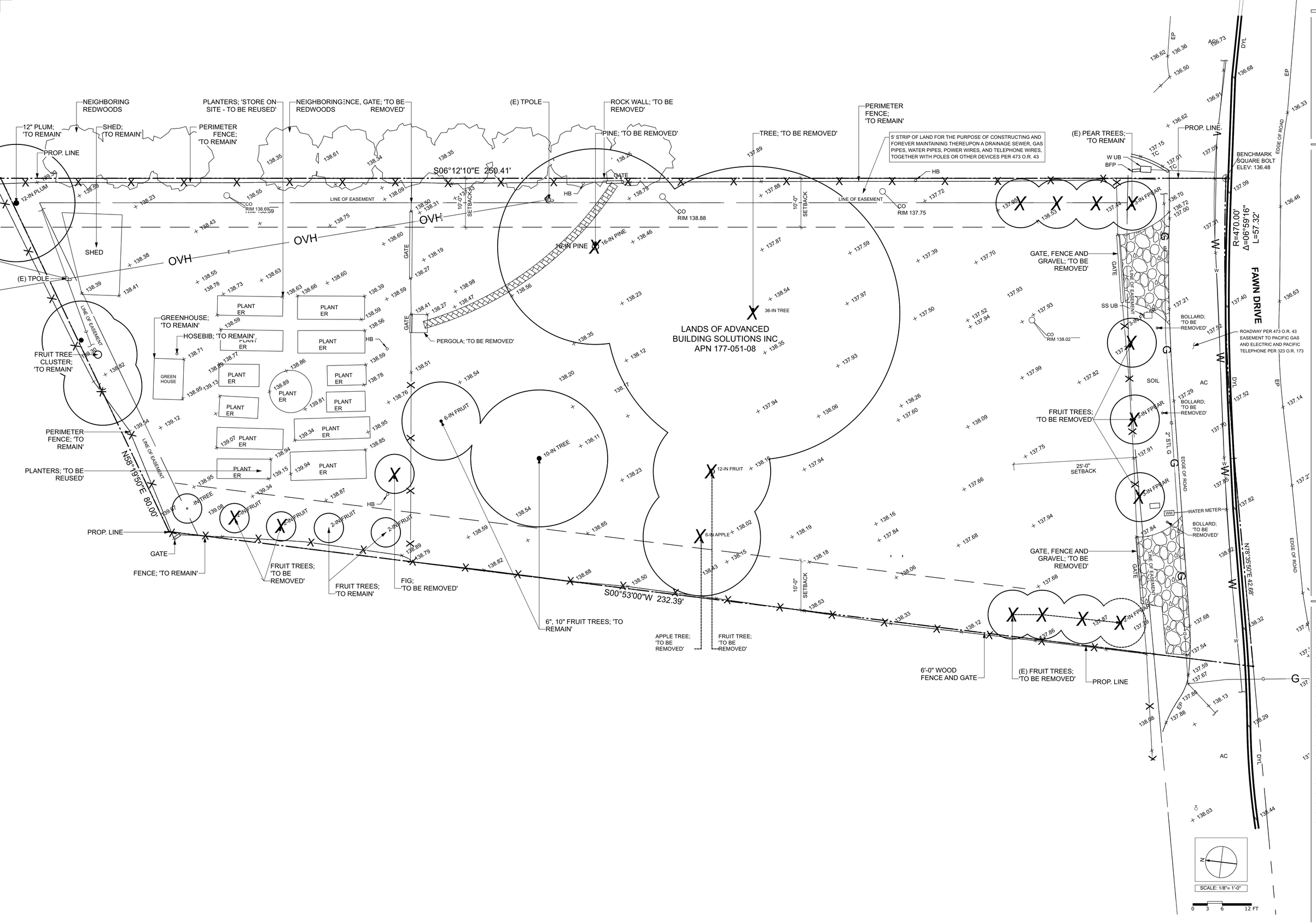
202285-12_SITE.dwg
Plot Apr 04, 2023 at 12:00pm



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BRADFORD KOSTKA
STATE OF CALIFORNIA

DATE	Δ	DESCRIPTION	BY
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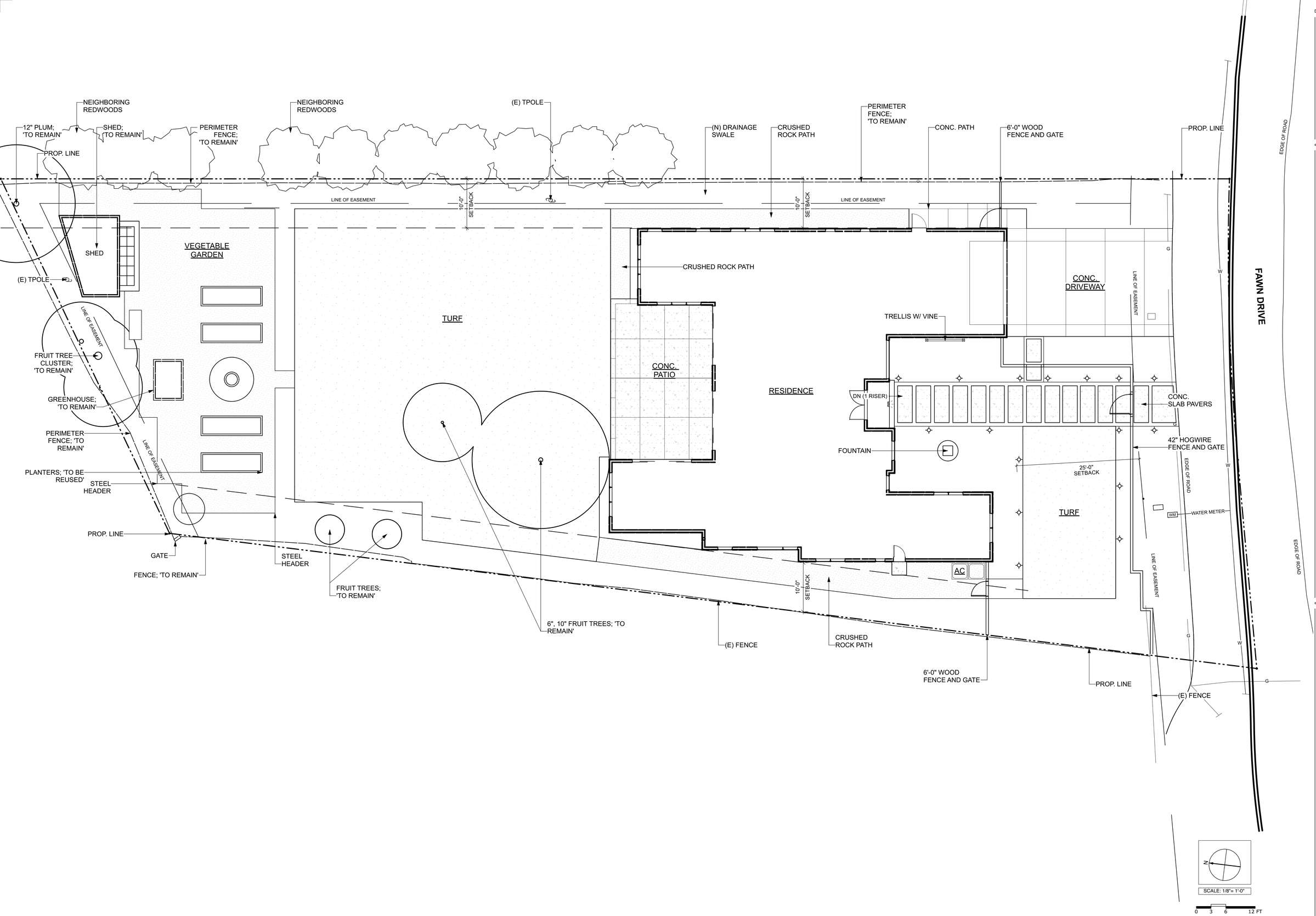
PLOT DATE	02.9.2023
DRAWN	DOK
JOB #	SCERRI
SCALE	1/8"=1'-0"

LANDSCAPE DEMO PLAN

SHEET
L1.1



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PLOT DATE	02.9.2023
DRAWN	DOK
JOB #	SCERRI
SCALE	1/8"=1'-0"

LANDSCAPE CONSTRUCTION PLAN

SHEET

L2.1